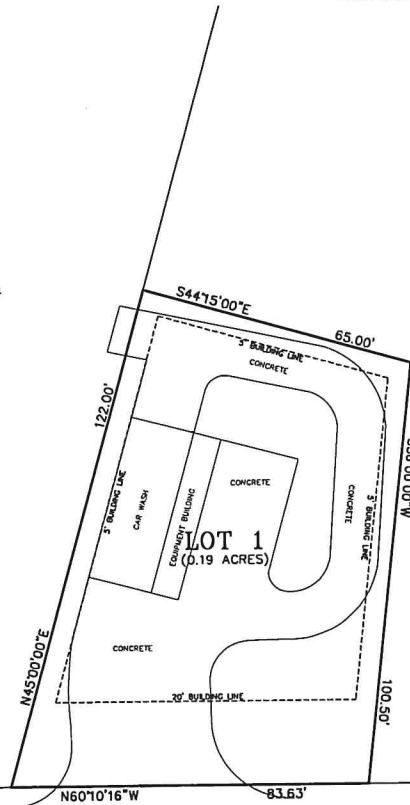


RAFEI SUBDIVISION

0.19 ACRE SUBDIVISION

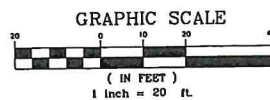
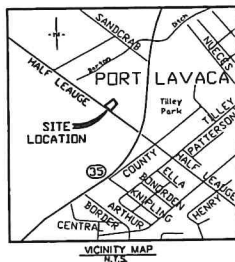
BEING ALL OF 0.187 ACRE IN GENERAL WARRANTY DEED RECORDED
IN FILE NO. 2020-00204 C.C.O.R.
MAXIMO SANCHEZ SURVEY, ABSTRACT NO. 35 OF CALHOUN COUNTY, TEXAS

8.3101 ACRES
FILE NO. 131020 C.C.O.R.



1.521 ACRES
204/48 C.C.O.R.

HALF LEAGUE ROAD



NOTE: BEARINGS SHOWN HEREON ARE TEXAS STATE PLANE SOUTH
CENTRAL ZONE NAD83 GRID BASED ON STATION HAPC-0219
ON THE RTN NETWORK.

LEGEND

- O EXISTING 3/4\"/>

PRELIMINARY. THIS DOCUMENT SHALL NOT
BE RECORDED FOR ANY PURPOSE AND
SHALL NOT BE USED OR VIEWED OR RELIED
UPON AS A FINAL SURVEY DOCUMENT

10-11-2021
RELEASE DATE

I, HENRY A. DANTOSH, A REGISTERED PROFESSIONAL LAND
SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON
REPRESENTS THE RESULT OF A SURVEY MADE ON THE GROUND
UNDER MY DIRECTION ON OCTOBER 00, 2021.

G & W ENGINEERS, INC.
HENRY A. DANTOSH
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5088



CERTIFICATE OF OWNERSHIP

STATE OF TEXAS
COUNTY OF CALHOUN

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE RAFEI
SUBDIVISION, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF PUBLIC
FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSE, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON
SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

ETHAN RAFEI (QUEST TRUST COMPANY FBO REPRESENTATIVE)

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ETHAN RAFEI, KNOWN TO
BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME
THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC, STATE OF TEXAS

FLOODPLAIN ADMINISTRATOR

ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) FOR CALHOUN COUNTY, TEXAS, COMMUNITY
PANEL NUMBER 48037C DIBSE, EFFECTIVE DATE OCTOBER 16, 2014, THE SUBJECT PROPERTY IS
LOCATED FLOOD HAZARD AREA ZONE K.

A DEVELOPMENT PERMIT IS REQUIRED FROM THE FLOOD PLAIN ADMINISTRATOR'S OFFICE, 211 SOUTH ANN
STREET, ROOM 301, PORT LAVACA, TEXAS, 77979.

LADONNA THORP
FLOODPLAIN ADMINISTRATOR

CITY COUNCIL CERTIFICATE APPROVAL

STATE OF TEXAS
COUNTY OF CALHOUN

I, MANDY GRANT, CITY SECRETARY OF THE CITY OF PORT LAVACA, AN INCORPORATED CITY IN
CALHOUN COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING SUBDIVISION PLAT WAS
APPROVED BY THE CITY COUNCIL OF SAID CITY AS APPROVED BY LAW, AND THAT THE
RESOLUTION APPEARS OF RECORD IN VOLUME _____ PAGE _____ OF THE MINUTES OF
THE PLANNING BOARD OF PORT LAVACA AS KEPT IN MY OFFICE.

WITNESS MY HAND AND SEAL OF THE CITY OF PORT LAVACA, TEXAS, ON THIS THE _____
DAY OF _____, 2021.

CITY SECRETARY
CITY OF PORT LAVACA, CALHOUN COUNTY
STATE OF TEXAS

COUNTY CLERK CERTIFICATE

STATE OF TEXAS
COUNTY OF CALHOUN

CALHOUN COUNTY APPRAISAL DISTRICT

I, HEREBY CERTIFY THAT THE AD VALOREM TAXES ON THE LAND INCLUDED WITHIN THE BOUNDARIES
OF THIS PLAT ARE PAID FOR THE TAX YEAR _____ AND ALL PRIOR YEARS.

IF APPLICABLE, THE ABOVE-DESCRIBED PROPERTY HAS/IS RECEIVING SPECIAL APPRAISAL BASED ON
ITS USE, AND ADDITIONAL ROLLBACK TAXES MAY BECOME DUE BASED ON THE PROVISIONS OF THE
SPECIAL APPRAISAL (COMPTROLLER RULE 8.3040) OR PROPERTY OMITTED FROM THE APPRAISAL ROLL
AS DESCRIBED UNDER TAX CODE SECTION 25.21 IS NOT INCLUDED IN THIS CERTIFICATE (TAX CODE
SECTION 31.08 (9)).

SIGNED THIS THE _____ DAY OF _____, 2021.

BY: _____
JESSE W. HUBBELL
CHIEF APPRAISER

DRAWN BY:
J.H.D.
CHECKED BY:
H.A.D.
DATE:
OCT. 11, 2021
SCALE:
1" = 20'

G & W ENGINEERS, INC.
ENGINEERING • SURVEYING • PLANNING
205 W. LIVE OAK STREET, PORT LAVACA, TEXAS 77979
TELEPHONE NO.: 10022100
(361) 552-4509; PORT LAVACA (979) 323-7100; BAY CITY

FILE NO.:
7118-002
JOB NO.:
7118-002
SHEET NO.:
1 OF 1

PRELIMINARY PLAT

Property Identification #: 38209

Property Information: 2022

Owner Identification #: 116115

Geo ID: A0035-00000-0153-00
Situs 2248 FM 3084 PORT LAVACA,
Address: TX 77979
Property Type: Real
State Code: C1

Legal A0035 MAXIMO SANCHEZ,
Description: TRACT PT 30, ACRES .187
Abstract: A0035
Neighborhood: PORT LAVACA EAST
Appraised Value: N/A
Jurisdictions: G05, NV6, S01, C04, FML,
CAD, GWD

Name: QUEST TRUST COMPANY
Exemptions:
DBA: Null

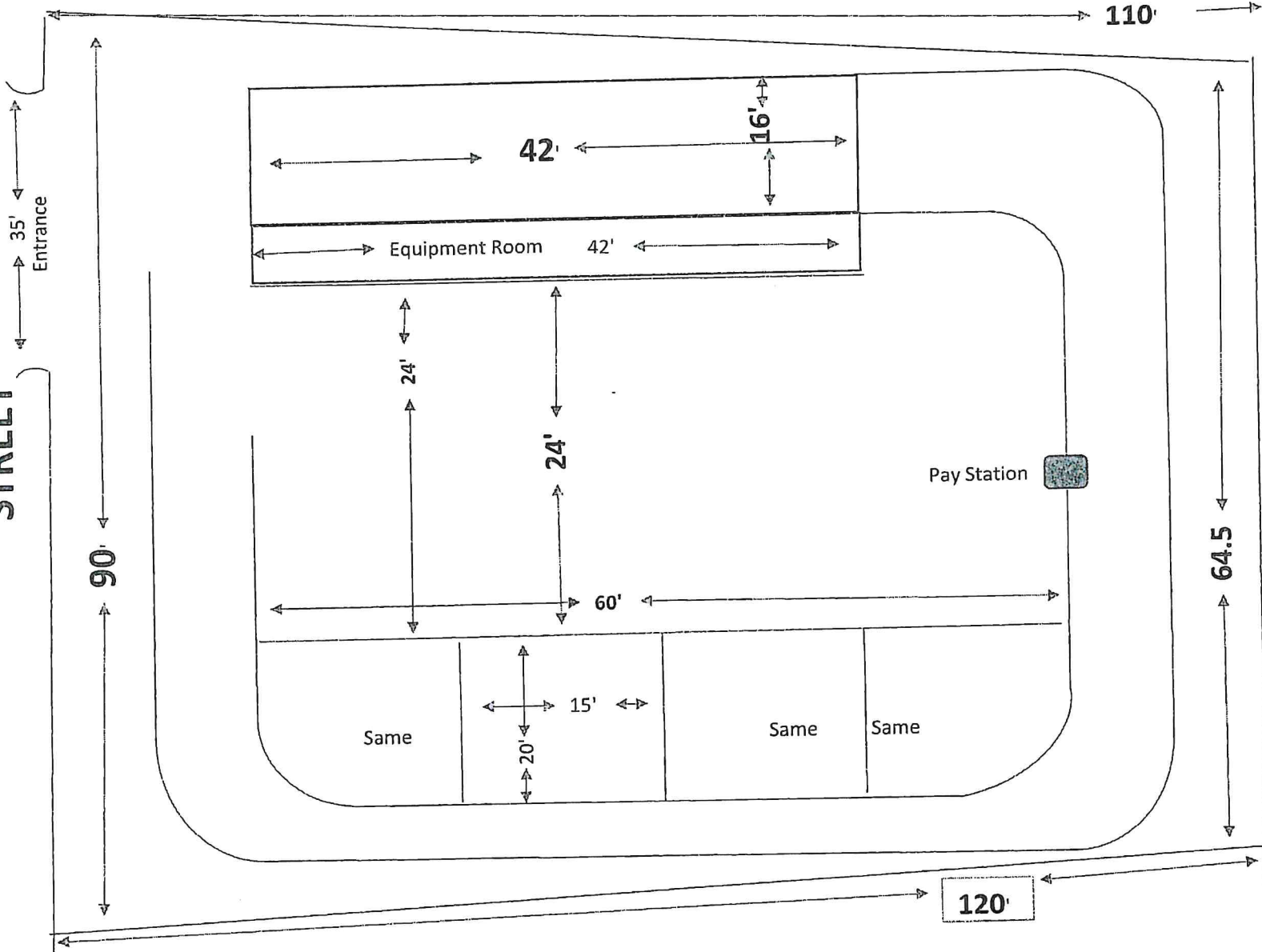
 Re-Center Map

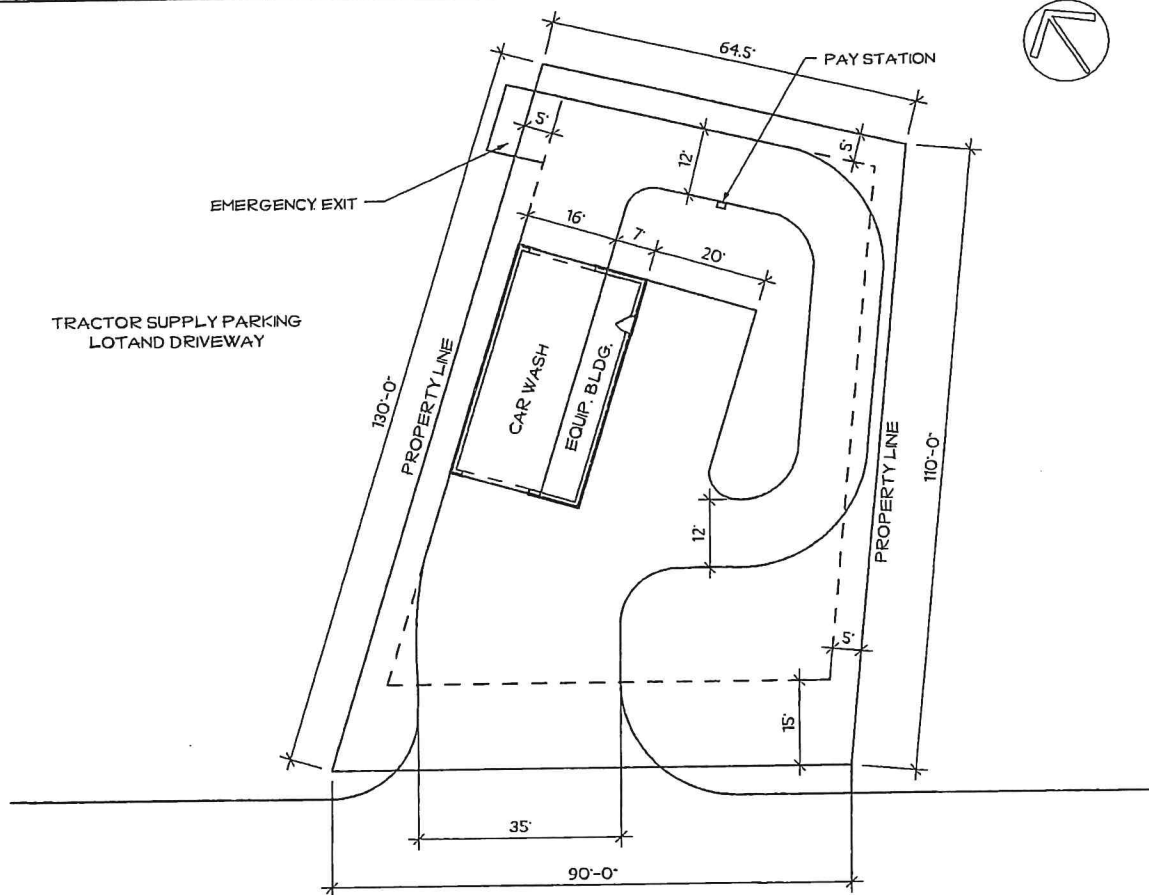


Calhoun CAD Map Search

This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The Calhoun County Appraisal District expressly disclaims any and all liability in connection herewith.

STREET





A0035 MAXMO SANCHEZ
TRACT PT 30
0.187 ACRES



GENERAL NOTES

No.	REVISION/ISSUE	DATE

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND
THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART
WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS
BEFORE CONSTRUCTION AND TO REPORT ANY
DISCREPANCIES TO THE DESIGNER.

VEF Engineering

527 Elmhurst Drive
Port Lavaca, TX 77979
(361) 920-6240
TX Firm No. 17596

PROJECT NAME:
Automated Car Wash
2248 FM 3084
Port Lavaca, TX

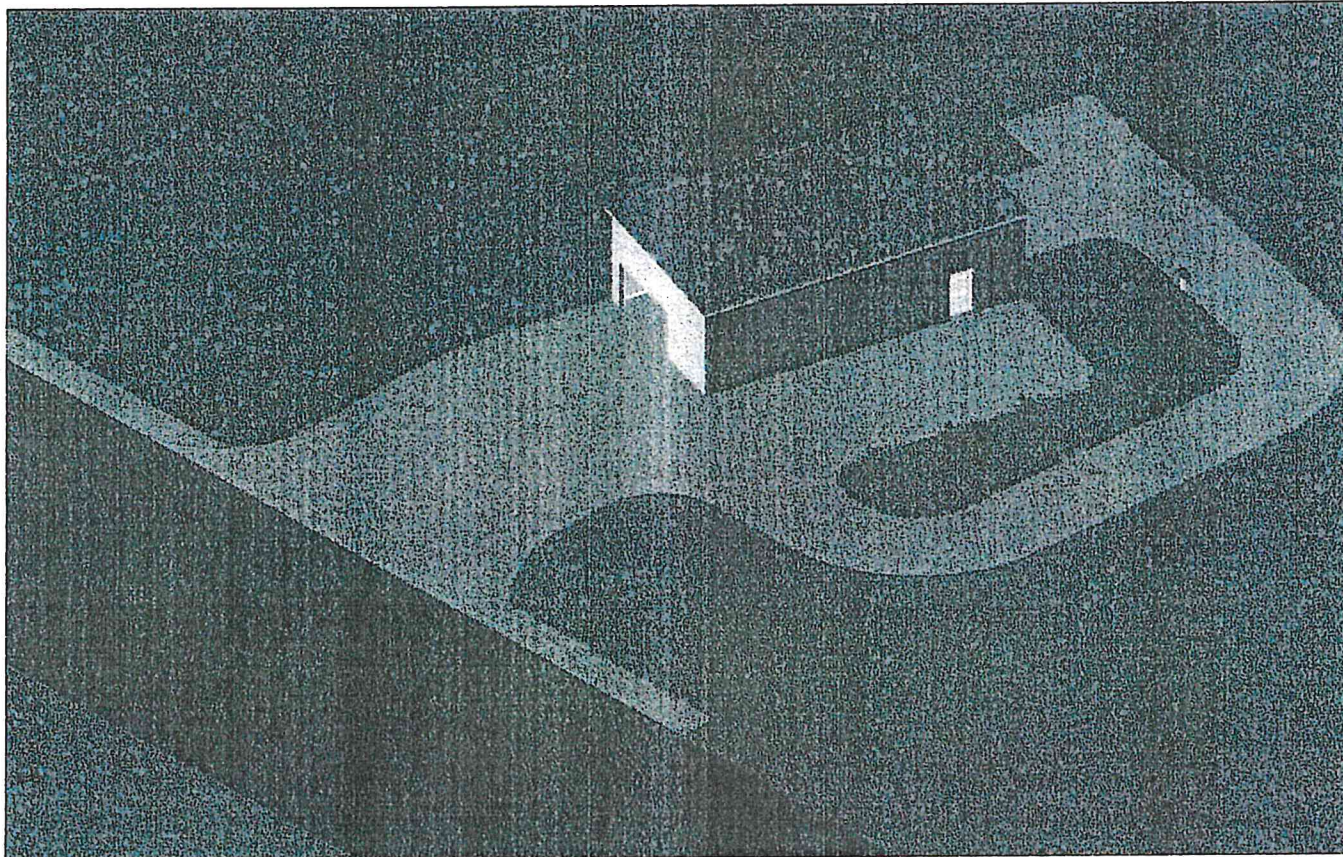
CLIENT:
Ethan Rafael

DRAWING:
PRELIMINARY SITE PLAN

SCALE: 1"=20' DATE: FEB. 2021

DRAWN BY: VEF	SHEET: 1
CHECKED BY: VEF	
APPROVED BY: VEF	

HALF LEAGUE RD. (FM 3084)



GENERAL NOTES

No.	REVISION/ISSUE	DATE

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

VEF Engineering

527 Elmhurst Drive
Port Lavaca, TX 77979
(361) 920-6240
TX Firm No. 17596

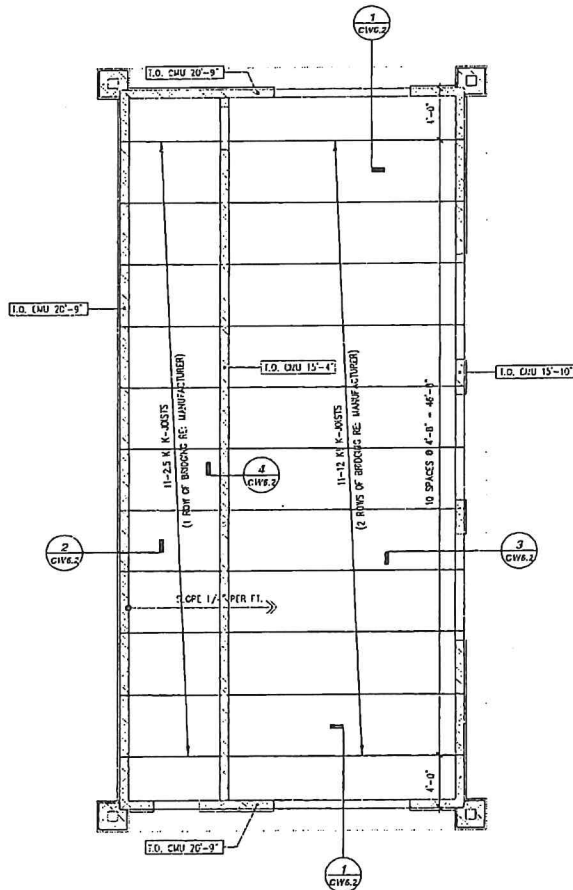
PROJECT NAME:
Automated Car Wash
2248 FM 3084
Port Lavaca, TX

CLIENT:
Ethan Rafei

DRAWING:
PRELIMINARY RENDERING

SCALE: 1/8"=1'-0" DATE: FEB. 2021

DRAWN BY: VEF	SHEET: 2
CHECKED BY: VEF	
APPROVED BY: VEF	



NOTE ON CMU WALL:
ALL CMU WALLS SHALL BE LOAD BEARING WALLS. (U.O.N.)

NOTE ON ROOF JOISTS
REFER TO JOIST MANUFACTURER'S DRAWINGS FOR JOIST, SIZE, SPACING AND CONNECTION DETAILS. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS TO ENGINEER-OF-RECORD FOR APPROVAL PRIOR TO COMMENCING JOIST MANUFACTURING.

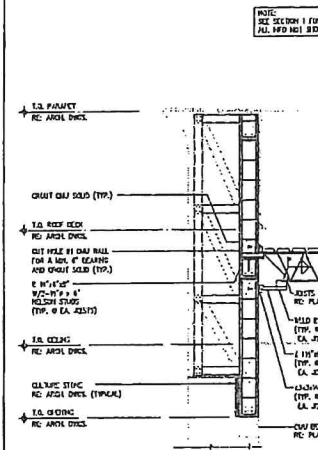
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

PLAN LEGEND

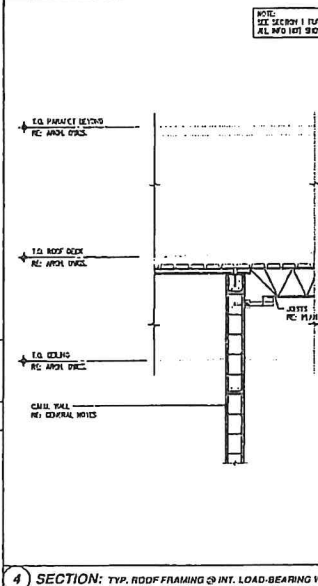
1. (U.O. CMU 20'-9") INDICATES TOP OF CMU WALL IN ELEVATION AND HORIZONTAL LOCATION.

GENERAL NOTES: COORDINATION W/ ARCH. DWGS.

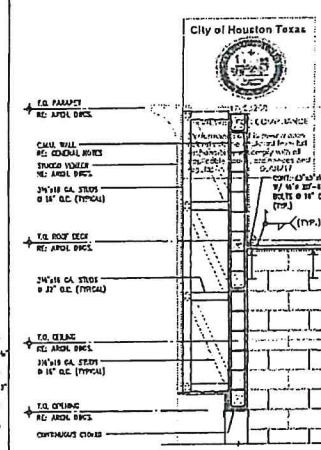
- CONTRACTOR SHALL REVIEW ARCHITECTURAL AND STRUCTURAL DRAWINGS CAREFULLY TO INSURE COORDINATION OF ALL PARTS OF CONSTRUCTION SHOWN IN THESE DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BOTH ARCHITECT AND ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION WORK.
- THE FOLLOWING ITEMS, IN PARTICULAR, HAVE TO BE CLOSELY COORDINATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS:
 - ALL FINISHES;
 - SLAB AND FLOOR ELEVATIONS, RISERS, LOCATIONS AND DIMENSIONS OF JNT REINFORCING;
 - PLUMBING, GAS, VENT & ELECTRICAL, OUTLETS, ETC.;
 - WALLS AND ROOF LOADS;
 - CEILING HEIGHTS AND CEILING CONDITIONS;
 - ROOF GEOMETRY AND SLOPES.
- CONTRACTOR IS ADVISED THAT IN ALL ITEMS LISTED UNDER PARAGRAPHS 1 ABOVE, ARCHITECTURAL DRAWINGS WILL CONSIDER THE PRECEDENCE OVER STRUCTURAL DRAWINGS.



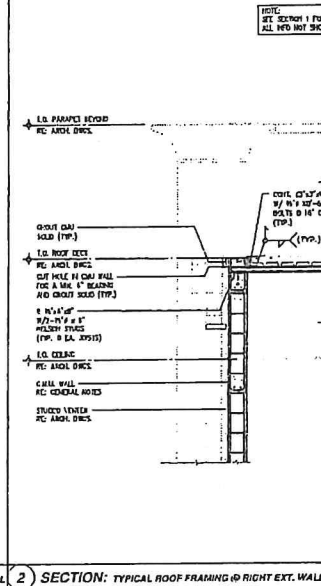
3 SECTION: TYPICAL ROOF FRAMING @ REAR EXT. WALL



4 SECTION: TYP. ROOF FRAMING @ INT. LOAD-BEARING WALL



1 SECTION: TYPICAL ROOF FRAMING @ REAR EXT. WALL



2 SECTION: TYPICAL ROOF FRAMING @ RIGHT EXT. WALL

REVISIONS		ISSUE HISTORY	
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	12/17/18	WFO
2	FOR CONSTRUCTION		
3	FOR CONSTRUCTION		
4	FOR CONSTRUCTION		

INTERFIELD
engineering
1401 MONDRIES AVENUE, SUITE 200
HOUSTON, TEXAS 77055
TEL: (713) 785-0023
WWW.INTERFIELD.NET TX REG. NO. F-5511

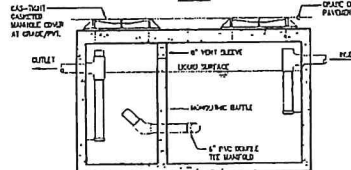
GRAPHIC SCALE
SCALE: 1/4" = 1'-0"
LANDMARK INDUSTRIES, LTD.
PROPOSED C-STREET
CARWASH/SERVICE STATION
1401 MONDRIES AVENUE
HOUSTON, TX 77055
CARWASH ROOF
FRAMING PLAN

PROJECT NO: 13041.00
DATE: 12/07/18
DRAWN BY: WFO
CHECKED BY: WFO

SHEET: CW6.1 of 10

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS & SHALL NOTIFY ENGINEER PRIOR TO INSTALLATION OF ANY DISCREPANCIES THAT MAY AFFECT THE WORK DESCRIBED HEREON.
2. FIELD EXCAVATION & PREPARATION SHALL BE COMPLETED PRIOR TO DELIVERY OF PUMP/STATION.
3. CONTRACTOR SHALL SUBMIT REQUIRED COPIES OF MANUFACTURER'S COMPLAINT FOR ENGINEER'S REVIEW. SHOP DRAWINGS SHALL BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.



CONSTRUCTION
INTERCEPTOR DESIGN & CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE
UNIFORM PLUMBING CODE, LATEST EDITION, INTERNATIONAL PLUMBING CODE, LATEST EDITION, ASTM C914,
C91, AND ALL OTHER LOCAL CODE REQUIREMENTS.

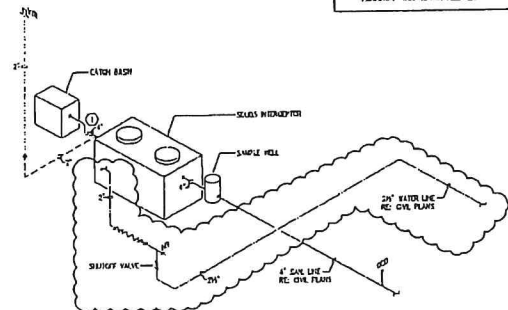
CONCRETE: MIN. 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI
CEMENT: TYPE I PORTLAND CEMENT, CONFORMING TO ASTM C150
REINFORCEMENT: ASTM A60 WITH STEEL REBAR
ASTM A153 FOR DEFORMED BARS
ASTM A153 FOR WELDED-WIRE FABRIC
MINIMUM AREA OF REINFORCEMENT = 0.0018 TIMES THE
GROSS SECTIONAL AREA OF CONCRETE SECTION IN EACH DETECTION
FRAMES & COVERS SHALL BE MANUFACTURED OF GRAY CAST IRON,
CONFORMING TO ASTM A48-78 CLASS 30 PLATING CAST
MANHOLE SHALL HAVE 24" INSIDE DIAMETER AND BE PLACED AT
GRADE USING DETECTION PINS IN 2' R/S

DESIGNS/STRENGTHS
DESIGNED FOR TOP SLAB & MANHOLE COVER SHALL BE DESIGNED BY MANUFACTURER FOR THE FOLLOWING:
A. 500 PSF EARTH LOAD, AND
B. AASHTO H20-44 TRUCK LOAD, IF TRAP IS INSTALLED IN A TRAFFIC AREA.
C. SATURATED SOIL PRESSURES, AS APPLICABLE, FOR DESIGN OF RIGIDS (NUMBER 50 P.S.F.)

APPROVED MANUFACTURERS
PARK EQUIPMENT COMPANY, HUNTSVILLE, TX (713) 831-7502, OR APPROVED EQUAL.
ENTIREMENT
INTERPRETER SHALL BE PERMANENTLY MARKED WITH MANUFACTURERS NAME & STOCK NO.
QUALITY CRITERIA
1. SUPPLIER SHALL SUBMIT TO INSPECTOR PREPARED WORKSHEET TESTS & CALCULATIONS
CONFIRMING THE GRADE PROTECTION CAPACITY & STRUCTURAL STABILITY SHALL BE PROVIDED
2. AFTER INSTALLING ALL PROPOSED IMPROVEMENTS, GENERAL CONTRACTOR SHALL PICTURE ALL
COMPLETED AREAS TO ITS ORIGINAL CONDITION.

INTERCEPTION MODEL: PARK USA 950-150
CAPACITY: 750 GALLONS

① GULJET END OF P-TRAP MUST BE LOWER THAN INLET.
PLUING P-TRAP IS NOT ALLOWED.

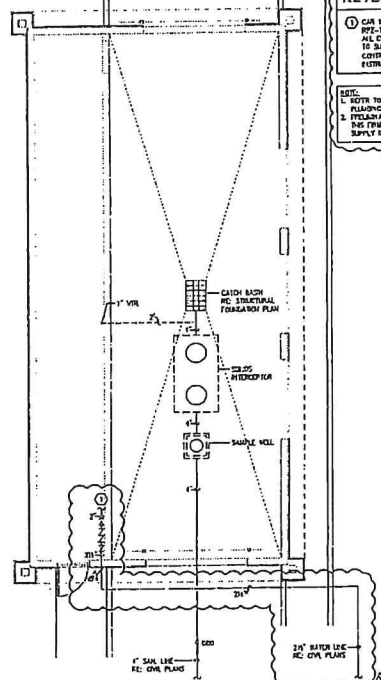


#	DESCRIPTION	QTY	UNIT
1	FLUOR POLYMER SUPPLY	1	LOT
2	7" RIGID SUPPLY	1	LOT
3	1" RIGID SUPPLY	1	LOT
4	1" RIGID SUPPLY	1	LOT
5	1" RIGID SUPPLY	1	LOT
6	1" RIGID SUPPLY	1	LOT
7	1" RIGID SUPPLY	1	LOT
8	1" RIGID SUPPLY	1	LOT
9	1" RIGID SUPPLY	1	LOT
10	1" RIGID SUPPLY	1	LOT
11	1" RIGID SUPPLY	1	LOT
12	1" RIGID SUPPLY	1	LOT
13	1" RIGID SUPPLY	1	LOT
14	1" RIGID SUPPLY	1	LOT
15	1" RIGID SUPPLY	1	LOT
16	1" RIGID SUPPLY	1	LOT
17	1" RIGID SUPPLY	1	LOT
18	1" RIGID SUPPLY	1	LOT
19	1" RIGID SUPPLY	1	LOT
20	1" RIGID SUPPLY	1	LOT
21	1" RIGID SUPPLY	1	LOT
22	1" RIGID SUPPLY	1	LOT
23	1" RIGID SUPPLY	1	LOT
24	1" RIGID SUPPLY	1	LOT
25	1" RIGID SUPPLY	1	LOT
26	1" RIGID SUPPLY	1	LOT
27	1" RIGID SUPPLY	1	LOT
28	1" RIGID SUPPLY	1	LOT
29	1" RIGID SUPPLY	1	LOT
30	1" RIGID SUPPLY	1	LOT
31	1" RIGID SUPPLY	1	LOT
32	1" RIGID SUPPLY	1	LOT
33	1" RIGID SUPPLY	1	LOT
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36	1" RIGID SUPPLY	1	LOT
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84	1" RIGID SUPPLY	1	LOT
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89	1" RIGID SUPPLY	1	LOT
90	1" RIGID SUPPLY	1	LOT
91	1" RIGID SUPPLY	1	LOT
92	1" RIGID SUPPLY	1	LOT
93	1" RIGID SUPPLY	1	LOT
94	1" RIGID SUPPLY	1	LOT
95	1" RIGID SUPPLY	1	LOT
96	1" RIGID SUPPLY	1	LOT
97	1" RIGID SUPPLY</		

NOT TO SCALE

NOT TO SCALE

① CAR WASH FACILITY EQUIPMENT BY OWNER. PROVIDE 3" RPT-TYPE, BACKFLOW PREVENTER AS SHOWN UPSTREAM OF ALL CONNECTIONS TO CAR WASH EQUIPMENT. CONNECTIONS TO SUCH EQUIPMENT SHALL BE MADE BY FOLLOWING CONTRACTOR ACCORDING TO ALL MANUFACTURER'S INSTRUCTIONS.



ISSUE HISTORY		REVISIONS	
DATE	ISSUED FOR	DATE	DESCRIPTION
	CURRENT REVIEW	12/13/17	⚠️ COR REVISIONS DATED 01/27/18
12/13/16	PERMIT		
	DODGING		
	CONSTRUCTION		
	FINAL REVIEW		

THE INTERFIELD GROUP
ARCHITECTURE • PLANNING • ENGINEERING
681 STARBUCK, SUITE 333
HOUSTON, TEXAS 77040
TEL. 773/759-0471
TELE. REC. MGR. 773/759-0472
FAX 773/759-0473

LANDMARK INDUSTRIES, LTD.
PROPOSED C-STORE & CARWASH SERVICE STATION ADDITION
14101 NORTHWEST FREEWAY (STORE NO. 03009)
HOUSTON, TEXAS 77040

N	CARWASH PLUMBING PLAN, RISER, & DETAILS		
	DRAWN BY: DLK	DATE: 10/09/13	SHEET:
A	CHECKED BY: WFO	PROJ. NO.: 13041.00	CW8.1 of 1

