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# Belcheff & Associates, Inc.

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Municipal Engineering & Management  
TBPE Reg. No. F-368

1660 Keller Pkwy., Ste. 103  
Keller, Texas 76248

June 16, 2021

*Via e-mail to cfarmer@pondertx.com*

Matthew Poole, Mayor  
Chairperson Planning & Zoning Commission  
Town of Ponder  
102 W Bailey St  
Ponder, TX 76259

**Re: Site Plan – Lot 1 Block A Tieszen Industrial Park Addition (Ferti Technologies Plant Renovation)**

Dear Mayor Poole:

The Town has received a Site Plan submittal from KAZ Surveying, Denton, Texas, representing Ferti Management Corp., of Phoenix, Arizona. The application is requesting to perform certain renovations to the industrial site located at 100 E. FM 2449 within the Town.

This letter provides review comments on the submittal “Ferti Technologies – Plant Renovation, which includes certain sheets culled from a construction plan set dated 03/22/2021, as amended, namely those sheets that provide the Town with data required for a Site Plan as required by the Town’s Zoning Ordinance. Those sheets have been attached with comments included by the Town Engineer.

**Location** – south side of FM 2449 approx. east of FM 156, within Ponder Corporate Limits (City)

**Comprehensive Plan** – Proposed Use - Industrial

1. Future Land Use Plan – Industrial
2. Thoroughfare Plan –
  - a) P5U at north boundary (FM 2449) – *no additional ROW proposed or required*
3. Sewer Master Plan –
  - a) service to be provided via existing 8” collector at east boundary
4. Water Master Plan –
  - a) existing 8” waterline at northeast boundary of lot (south side FM 2449)
  - b) required 8” extension at north side of lot (12” oversizing by Town)
  - c) required 8” crossing extension to west side of FM 156 existing 12” (12” oversizing by Town)
  - d) required 8” waterline loop around building for fire hydrant coverage

- e) required 8” extension to south boundary of lot for fire flow capability (10” at Robinson Rd Pump Station)

**Zoning**

- a) M1 (Manufacturing/Industrial District - Light) - *proposed use should certify as compliant with current zoning*

<u>Height, Area and Setback Regulations</u>	<i>SF-3 (ad-joins)</i>	<i>C-1 (ad-joins)</i>	<i>M-1</i>	<i>Compliance?</i>
Maximum height (feet)			<b>50</b>	<b>No – towers at 70’ (SUP condition)</b>
Minimum lot area (square feet)	6,000	B	B	Yes
Minimum front yard setback (feet)	25	B	B	Yes
Minimum side yard setback (feet) <sup>D</sup>	5	B	B	Yes
Minimum rear yard setback (feet)	10	B	B	Yes
Minimum lot width (feet)	60	B	B	Yes
Minimum lot depth (feet)	100	B	B	Yes
Maximum lot coverage (%)	50	B	B	Yes
Minimum living area (square feet)	1,200	NA	NA	NA

- A. Total lot area shall not be less than 9,000 SF, or 1,500 SF per dwelling unit, whichever is greater. A maximum of 25 units may be constructed per acre.
- B. None required, except where **nonresidential use abuts a residential** or agricultural lot, in which case the requirements shall be the same as the adjoining residential zone and shall comply with visibility and parking requirements as provided within this chapter. **(SUP condition)**
- C. At the most extruding point of the outside wall excluding the overhang only.
- D. If the lot size is greater than 15,000 square feet, then the side yard adjacent to the street setback will be 25 feet. If the lot size is less than 15,000 square feet, then the side yard adjacent to the street setback will be 15 feet. Key lot setbacks will be 25 feet with 2 front yards.

**Submittal Analysis**

The referenced site was reportedly occupied by Southwest Molding, a non-conforming use with respect to site requirements of the Town’s development regulations. Southwest Molding ceased operations (use) in excess of six months; and as such is no longer grandfathered. Any reoccupation of the property is therefore required to be compliant with the Town’s regulations. This analysis is therefore provided with the intent of evaluating the applicant’s submittal package with respect to the Town’s current development ordinances, more specifically, Zoning and Subdivision requirements.

Submittal information suggests that the proposed use is allowed in an M1 district subject to certain clarifications. The applicant has provide certification from a corporate representative stating that “the proposed uses do not emit dust, smoke, odor, gas, fumes, or present a possible hazard beyond the bounding property lines of the lot or tract upon which the use or uses are located, and which do not generate noise or vibration at the boundary of the lot or tract which is generally perceptible in frequency or pressure above the ambient level of noise or vibration in the adjacent area.” (Ref. letter dated May 11, 2021 by Hugo Provencher, Vice President)

Current data indicates that the Town does not have adequate water distribution capacity to serve projected demands (potable uses and fire flows) of the proposed redevelopment. To

meet such demands, certain water system extensions are necessary, both onsite and off. The development proposes to install an 8" waterline along the east side of the lot and around the building, connecting two existing lines north and south of the lot; and an 8" along the northwest side of the lot, connecting to an existing 12" line on the west side of FM 156.

The Town's Water Master Plan recommends this northwest extension as a 12" in which the Town should participate in oversizing, as well as providing the 12" extension under FM 156 and RR property. Additional easements are necessary and are shown on the comment mark-up plans.

Additional onsite fire hydrants/fire department connections/emergency vehicle (fire lanes) access routing will also be necessary, subject to Fire Marshal concurrence. Such provisions have been shown in the Site Plan packet. [3500 gpm; 4 hydrants; 210' coverage]

The submittal drawings reference a proposed fire suppression (sprinkler) system which is to include a booster pump. Such pumps can cause the Town's water system to violate TCEQ operating requirements and will need additional study once the distribution system improvements are available. The Site Plan provides an agreement to resolve.

The existing 8" sewer line at the east side of the lot should have sufficient capacity for typical wastewater generators shown in the Site Plans but is subject to periodic overcharging. This line is funded by the Town for replacement with a larger sewer line to assure capacity for this and other properties. Additional easement space will be necessary and is shown on the comment mark-ups. No special pre-treatment requirements are evident from the submittal.

The submitted Site Plan information does not provide sufficient drainage study/planning information to ensure that stormwater will be appropriately managed. While the lot appears to be within a designated flood plain, no information has been provided to allow for proper review and permitting under the Town's Floodplain Development regulations.

Access to the site is via an existing single drive to FM 2449. The applicant has submitted a preliminary vehicle trip report indicating that the drive should be sufficient for the proposed use; therefore, no further Traffic Impact Analysis should be required.

Two separate entrances are usually required to meet the Town's Fire code requirements. The applicant has proposed to maintain the existing single drive in which case the Town's Fire Marshal was consulted to verify adequacy due to certain allowances in the Fire Code since the applicant will be installing a full fire sprinkler system.

An ongoing TxDOT FM 2449 Feasibility Study does not suggest that this development accommodate future ROW expansion to the south of the current limits.

The proposed parking areas (111 spaces) do not meet space counts as required for this project; however, the applicant has provided additional information to justify a reduction to 75 spaces as proposed in the Site Plan.

The submittal packet includes a Landscaping Plan, which appears to generally comply with the Town's Screening and Landscaping requirements for the existing developed portion of

the Lot. The applicant has requested via their SUP to defer future expansion of their screening until the remaining southern portion of the Lot is developed.as noted on the attached mark-up.

The Site Plan includes a Photometric Analysis demonstrating that proposed lighting within the Site Plan should meet the limitations of this zoning district.

Please note that a Development Agreement is required for proposed public improvements.

**Town Engineer's Recommendation –**

If the Town is inclined to approve the requested SUP with Site Plan, it is recommended that the following conditions be included:

1. Acceptance of certain structure heights in excess of the allowed 50' to a maximum of 70' as shown in the Site Plan
2. Acceptance of phased Landscaping Plan as shown in the Site Plan
3. Approval of reduced parking to 75 spaces as shown in the Site Plan
4. Resolution of construction plan comments to the satisfaction of the Town Engineer and Public Works Director
5. Authorizing the Mayor to enter the Town into a Development Agreement to include provisions for:
  - a. Developer design/installation and funding of onsite 8" public water lines
  - b. Developer funding of onsite 8" portion with Town design/installation and funding of oversizing to 12" as shown on the Site Plan
  - c. Town design/installation and funding of offsite 12" FM 156/BNSF RR water line crossing
6. Dedication of all necessary water/sewer utility easements by separate instrument

Sincerely,



George Belcheff, P.E.  
Town Engineer for Ponder

Attached: Ferti Technologies Plant Renovation [Site Plan] dated 03/22/2021 as amended Review Mark-up

cc: Planning & Zoning Commission/Town Council Members *via meeting packets*  
Sheri Clearman, Town Secretary *via e-mail*  
Gary Morris, Director of Public Works *via e-mail*

Mayor Mathew Poole  
June 16, 2021  
Page 5 of 5

Carolyn Farmer, Planning & Zoning Director *via e-mail*  
Applicant/Engineer/Surveyor



Town of Ponder Planning & Zoning  
102 W. Bailey Street  
Ponder, TX 76259

May 11, 2021

Re: Ferti Technologies Specific Use Permit

Dear Sir/Madame,

Ferti Technologies is requesting a Specific Use Permit for deviations from the Town of Ponder Code of Ordinances for the following items:

- 1) A deviation from Appendix B, Table 2: Height, Area and Setback Regulations. The current allowable height for a M-1 district is 50-feet. We request a deviation to allow the two proposed receiving elevators to be 70-feet tall and the two proposed unloading elevators with hoppers to be 60-feet tall. This equipment at the requested height is essential to the efficient operation of the plant.
- 2) A deviation from section 154.38 Off-Street Parking and Loading Requirements division (F) items 20, 25 & 36. Per the current guidelines a total of 111 parking spaces is required. We request a reduction in the requirement for a total of 75 parking spaces. Our average daily use for number of employees will be 20 during non-peak. At a peak time, our maximum parking needs would be 30 which would include employee parking as well as visitors to the facility.
- 3) A deviation from section 154.41 Landscape and Buffer Requirements division (M) item 5. The current requirement is to install an 8-foot high solid block wall from the start of the SF-3 development along the east property line down to the south property line, approximately 1,970 liner foot of wall. We request a deviation for an Alternative Landscape Plan per 154.41 division (I) to substitute the solid wall with evergreen trees to create the screening requirement. We also request a reduction in the length of the screening requirement to screen the current developed part of the site, 845 liner foot. We agree to continue the screening for any future development on the site. The current site sheet flows from the west to the east into the existing drainage swale along the east property line. An evergreen tree screening wall would allow for the site to continue sheet drainage into the swale.

We appreciate your consideration of these requests.

Very truly yours,

A handwritten signature in black ink, appearing to read "Hugo Provencher", written over a horizontal line.

Hugo Provencher  
Vice President  
Ferti Technologies



Town of Ponder Planning & Zoning  
102 W. Bailey Street  
Ponder, TX 76259

May 11, 2021

Re: Ferti Technologies Specific Use Permit

Dear Sir/Madame,

As you are aware, Ferti Technologies is applying for a special use permit for our new facility in Ponder. This is confirmation that the proposed use of the facility shall not emit dust, smoke, odor, gas, fumes, or present a possible hazard beyond the bounding property lines of Lot 1 Block A, Tieszen Industrial Park, and shall not generate noise or vibration at the boundary of the lot which is generally perceptible in frequency or pressure above the ambient level of noise or vibration in the adjacent area. The facility is self-contained and will have no environmental impact on the surrounding area.

Very truly yours,

A handwritten signature in black ink, appearing to read "Hugo Provencher", with a long horizontal flourish extending to the right.

Hugo Provencher  
Vice President  
Ferti Technologies

May 20, 2021

Mr. Todd Eppenbach  
Inventure Design  
3118 Richmond Avenue, Suite 200  
Houston, Texas 77098

**RE: Trip Generation Estimate, Ferti Technologies  
100 East FM 2449, Ponder, Texas 76259**

Dear Mr. Eppenbach:

Per the City of Ponder's request, this brief letter report documents the anticipated trip generation for Ferti Technologies redevelopment of the existing industrial building located at 100 East FM 2449. Ferti Technologies provides granular fertilizer products and is planning to repurpose the existing 98,000 SF industrial building on 23.2 acres to a fertilizer manufacturing facility. Access to the site is via one 56' wide driveway located on FM 2449 about 360' east of FM 156. Exhibit A1 (attached in Appendix A) shows the project location. Exhibit A2 shows the site layout.

To estimate trip generation of the fertilizer manufacturing facility, the Institute of Transportation Engineers' *Trip Generation Manual (10<sup>th</sup> Edition)* was used to estimate trips to the site using Land Use #140 – Manufacturing. Information from Ferti Technologies indicates that the site will employ 30 persons and will have fewer than 20 truck trips (ten in and ten out) during the typical weekday.

Based on using the most relevant independent variable of *employees* for the proposed facility, the manufacturing land use generates trips at the following trip rates:

- Total Daily Trips: 2.47 trips/employee
- Weekday AM Peak Hour Trips (of trip generator): 0.43 trips/employee
- Weekday PM Peak Hour Trips (of trip generator): 0.45 trips/employee.

Based on *trip rates*, with 30 employees, the site is expected to generate the following number of trips:

- Total Daily Trips: 74 (37 entering and 37 exiting)
- Weekday AM Peak Hour: Total: 13 trips; Entering: 10 vehicles; Exiting: 3 vehicles
- Weekday PM Peak Hour: Total: 14 trips; Entering: 6 vehicles; Exiting: 8 vehicles.

The *Trip Generation Manual* also provides the option to generate trip estimates based on regression analysis and fitted curves. Based on these *fitted curves*, with 30 employees, the site is expected to generate the following number of trips:

- Total Daily Trips: 112 (56 entering and 56 exiting)
- Weekday AM Peak Hour: Total: 49 trips; Entering: 40 vehicles; Exiting: 9 vehicles
- Weekday PM Peak Hour: Total: 36 trips; Entering: 16 vehicles; Exiting: 20 vehicles.

Per Section 153.118 (Traffic Impact Analysis Required) of the Ponder city ordinances, a traffic impact analysis may be required if a site generates more than 250 trips per peak hour. Since



# Voigt Associates, Inc.

Professional Traffic Engineers  
Texas Registered Firm F-5333

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Mr. Todd Eppenbach

May 20, 2021

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this development would be expected to generate less than 250 trips per hour (with peak hour trip estimates ranging from 13 to 49 trips per hour), a formal traffic impact analysis should not be required.

Voigt Associates appreciates the opportunity to assist you with this project. If you have any questions about the analysis or the results of this report, please feel free to contact me at 832-264-0429.

Sincerely,



Anthony Voigt, P.E., PTOE  
Principal

Attachments:

Appendix A. Exhibits





**Exhibit A1. Site Location Map.**

North to top of page. Not to scale.

CONSULTANTS

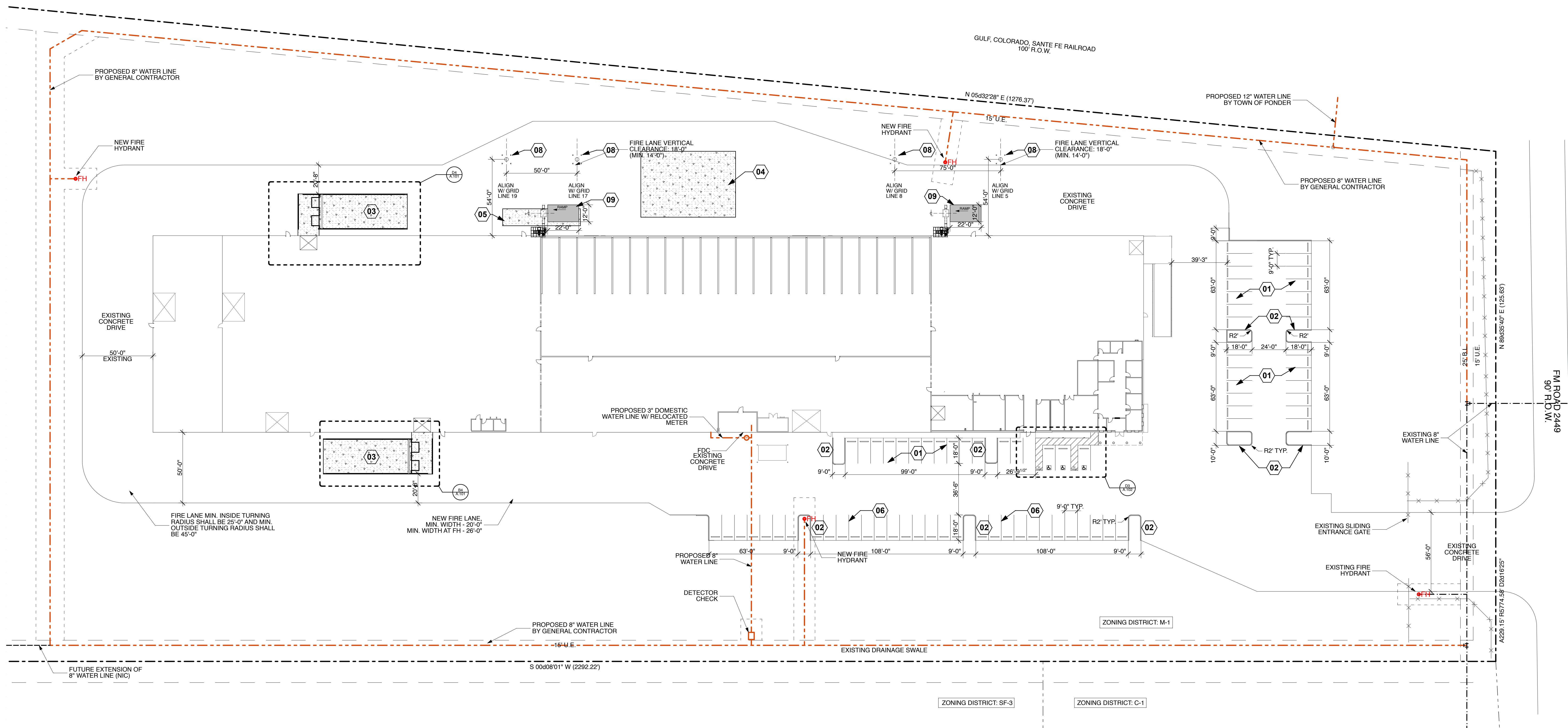


PROJECT NAME

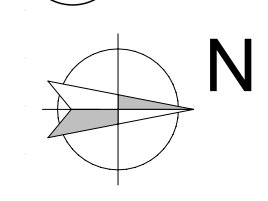


Ferti Technologies  
100 E. FM 2449  
Ponder, Texas 76259

#	date	issue name
01	3/22/21	ISSUED FOR PERMIT & PRICING
	5/12/21	SPECIFIC USE PERMIT



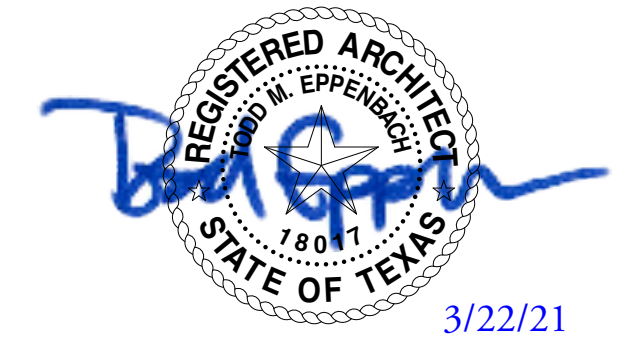
B6 Site Plan  
SCALE: 1/32" = 1'-0"



### Site Plan Notes

#	Note
01	RE-STRIPE EXISTING PARKING LOT AS SHOWN AND INSTALL CONCRETE WHEEL STOPS AT EACH PARKING STALL; 4' STRIPES PAINTED WHITE
02	NEW LANDSCAPE ISLAND WITH 6" CONCRETE CURB
03	NEW DEPRESSED TRUCK LOADING DOCK
04	NEW CONCRETE PAVING WHERE ELEVATED CONCRETE PADS WERE REMOVED; RE: CIVIL DRAWINGS
05	NEW CONCRETE PAVING WHERE DEPRESSED LOADING DOCK WAS REMOVED; RE: CIVIL DRAWINGS
06	STRIPES EXISTING CONCRETE PAVING AS SHOWN; 4' STRIPES PAINTED WHITE
08	NEW STRUCTURAL SUPPORT FOR UNLOADING ELEVATORS; RE: STRUCTURAL DRAWINGS. PROVIDE FOUR PIPE BOLLARDS AT EACH SUPPORT; RE: DETAIL B1/A.102
09	NEW CONCRETE RAMP FOR TRUCK UNLOADING, 22' LONG, 12' WIDE, 1" HIGH AT TOP OF RAMP; RE: CIVIL DRAWINGS

154.38 OFF-STREET PARKING AND LOADING REQUIREMENTS  
DIV. F 20. MANUFACTURING, PROCESSING OR REPAIRING  
ONE PARKING SPACE FOR EACH 2 EMPLOYEES ON THE MAXIMUM WORKING SHIFT, PLUS SPACE TO ACCOMMODATE ALL VEHICLES USED IN CONNECTION THEREWITH, BUT NOT LESS THAN 1 SPACE FOR EACH 1,000 SQUARE FEET OF FLOOR AREA, WHICHEVER IS GREATER.  
54,670 SQ. FT. / 1,000 = 55 PARKING SPACES  
DIV. F 20. OFFICE, GENERAL:  
ONE SPACE FOR EACH 300 SQUARE FEET OF TOTAL FLOOR AREA.  
4,851 SQ. FT. / 300 = 17 PARKING SPACES  
DIV. F 36. STORAGE OR WAREHOUSING:  
ONE SPACE FOR EACH 2 EMPLOYEES, OR 1 SPACE FOR EACH 1,000 SQUARE FEET OF TOTAL FLOOR AREA, WHICHEVER IS GREATER.  
38,371 SQ. FT. / 1,000 = 39 PARKING SPACES  
REQUIRED: 55+17+39 = 111 PARKING SPACES  
TOTAL PARKING SPACES PROVIDED = 106  
REQUIRED ACCESSIBLE PARKING SPACES = 5 (1 VAN);  
TOTAL ACCESSIBLE PARKING SPACES PROVIDED = 5  
TOTAL PROVIDED = 111  
**NOTE - A SPECIFIC USE PERMIT HAS BEEN SUBMITTED FOR APPROVAL TO REDUCE THE REDUCE THE PARKING FROM 111 SPACE DOWN TO 75 SPACES**

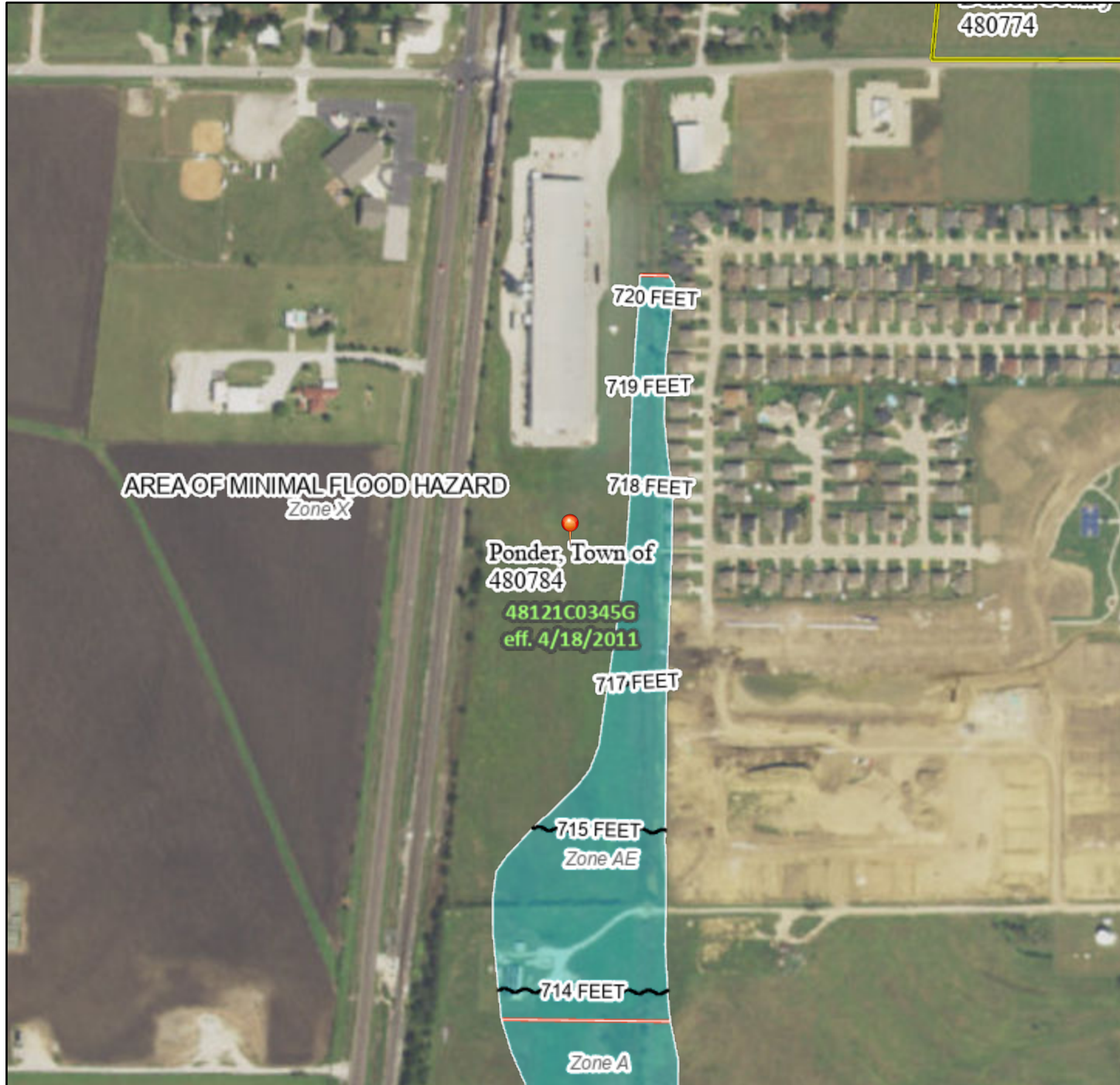


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PROJECT NUMBER  
**20.175.00**  
DRAWING NAME  
Site Plan  
DRAWING NUMBER

# National Flood Hazard Layer FIRMMette



97°17'31"W 33°10'49"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
OTHER FEATURES		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/21/2021 at 8:59 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

# Ferti Technologies

## Plant Renovation

100 E. FM 2449 Ponder, Texas 76259

**Architectural Design:**

**Inventure**

Inventure  
 3118 Richmond Ave  
 Suite 200  
 Houston, TX 77098  
 T 409.889.2713  
 inventure@inventure.com  
 inventure.com

**Civil / Structural Design:**

**GeislerPender**  
 Consulting Engineers + Inc.

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 Dallas, TX 75243  
 469.406.2408  
 k@geislerpendertx.com

**MEP Design:**

**\*DBR**

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 15011 Spectrum Drive  
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 214.217.8000  
 k@dbrengr.com

**Inventure**

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 inventure-design.com

CONSULTANTS

**GeislerPender**  
 Consulting Engineers + Inc.

**\*DBR**

PROJECT NAME



Ferti  
 Technologies  
 100 E. FM 2449  
 Ponder, Texas 76259

# Date Issue Name

01 3/22/21 ISSUED FOR PERMIT & PRICING



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PROJECT NUMBER

20.175.00

DRAWING NAME

Cover Sheet

DRAWING NUMBER

**G.000**

Architectural Abbreviations

Table of architectural abbreviations from A to H, including terms like AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

Table of architectural abbreviations from H to S, including terms like HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

Table of architectural abbreviations from H to S, including terms like HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

Architectural Symbol Legend

Table of architectural symbols and their meanings, including Area of Work, Existing Building Core, True North, Room Name & Number, Revision Number, Revision Cloud, New Point Elevation, Existing Point Elevation, Sheet Note, Break Line, Property Line, Match Line, Reference on Level Line, Column Reference Grids, Building Section Detail, Interior Section, Interior Elevation, Detail Reference, Plan Detail, Align, Center Line.

General Notes

- 1. ALL WORK NOT SHOWN ON THESE DRAWINGS IS TO BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE PROJECT.
2. ALL REQUESTS FOR SUBSTITUTIONS OF ALL ITEMS SPECIFIED SHALL BE SUBMITTED BY THE BIDDER TO THE ARCHITECT AND APPROVED BY THE ARCHITECT BEFORE THE COMMENCEMENT OF WORK.
3. THE BIDDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
4. ALL MATERIALS, FINISHES, METHODS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE PROJECT.
5. THE BIDDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

Project Jobsite

- 1. THE BIDDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
2. THE BIDDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
3. THE BIDDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

Fire Information

- 1. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 3-A WITH FLOOR TOWELS ATTACHED TO ALL CORNERS OF THE BUILDING ON EACH FLOOR OF EACH DEPARTMENT OR OFFICE.
2. PROVIDE ALL BARRIERS WITH EXIT DOOR REQUIREMENTS SHOWN ON DRAWINGS AND LISTED IN THESE NOTES.
3. PROVIDE EMERGENCY LIGHTING OF ONE FOOT CANDLE AT FLOOR LEVEL.

Project Information

Table with project details: Project Name, Project Address, Number of Stories, Score of Work.

Code Analysis

Table with columns: Code, Section, Description. Lists codes like IBC, IRC, etc.

Actual Area Building Details

Table with columns: Area, Building Details, etc.

Unlimited Area Buildings

Table with columns: Area, Building Details, etc.

Wall and Ceiling

Table with columns: Area, Building Details, etc.

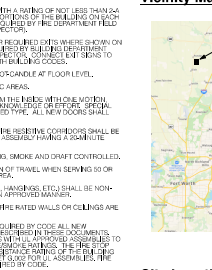
Occupant Loads

Table with columns: Area, Building Details, etc.

Planishing Requirements

Table with columns: Area, Building Details, etc.

Vicinity Map



Site Location Map

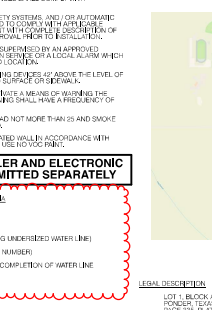


Table with columns: Occupancy, Use, etc. for building details.

Table with columns: Code, Section, Description for code analysis.

Table with columns: Area, Building Details for unlimited area buildings.

Table with columns: Area, Building Details for wall and ceiling.

Table with columns: Area, Building Details for planishing requirements.

Drawing Index

Table of drawing index with columns: Issue, Sheet #, Name. Lists drawings from G.000 to G.001.

Project branding and contact information. Includes Geisler Pender Consulting Engineers & Architects logo, DBR logo, ferti TECHNOLOGIES logo, and contact details for Ferti Technologies at 100 E. FM 2449 Ponder, Texas 76259.

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Ferti Technologies  
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# 059 Issue Name  
3/1/2021 ISSUED FOR PRICING

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PROJECT NUMBER

20175.00

DRAWING NAME

FERTI TECHNOLOGIES SURVEY

DRAWING NUMBER

CO1.01

0 20 40 80  
(FEET)  
1 Inch = 40 ft.

VICINITY MAP  
NOT TO SCALE

**LEGEND**

--- PROPERTY LINE	--- FENCED FENCE	--- REMINGTON PARK, PHASE 2 CAB. V. PG. 130 P.R.D.C.T.	<p><b>UNDERGROUND UTILITIES THAT ARE SHOWN ON THE SURVEY, IF ANY, ARE BASED ON AVAILABLE RECORDS AND PLAN DRAWINGS. UNDERGROUND UTILITIES MAY NOT BE SHOWN IN THEIR ENTIRETY OR IN THEIR EXACT LOCATION. CONTACT TEXAS 811 AT 1-800-344-8377 BEFORE EXCAVATION OR DIGGING.</b></p> <p><b>BASES OF BEARINGS: CONTROLLING MONUMENTS: THIS TOPOGRAPHIC SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY. THE BOUNDARY SHOWN IS BASED ON RECORD INFORMATION AND MAY NOT BE SHOWN IN ITS TRUE LOCATION.</b></p> <p><b>PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED ON VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.</b></p> <p><b>BENCHMARKS: BM#1: SQUARE CUT FOUND ON THE CORNER OF THE EXISTING NEARWALL SOUTH OF FM2449. THE DISTANCE FROM FM2449 CENTERLINE IS APPROXIMATELY 20' TO THE SOUTH AND APPROXIMATELY 400' EAST OF FM 156. EL=725.44' BM#2: A RED CAPPED IRON ROD WAS SET APPROXIMATELY 16' EAST OF THE FENCE ALONG GULF, COLORADO, SANTE FE RAILROAD. EL=723.66'</b></p>
--- EASEMENT LINE	--- SW LINE	--- REMINGTON PARK, PHASE 1 CAB. P. PG. 132 P.R.D.C.T.	
--- DRAINAGE	--- FENCE LINE	--- LOT 1, BLOCK 1 TIESZEN BUSINESS PARK CAB. P. PG. 122 P.R.D.C.T.	
--- CONDUIT	--- UTILITY EASEMENT		
--- LIGHT STANDOFF	--- CONCRETE SIGN		
--- LAND BOUNDARY	--- CONCRETE SIGN FOUND		
--- METAL BUILDING	--- CONCRETE SIGN FOUND		
--- PIPE	--- CONCRETE SIGN FOUND		
--- PIPE	--- CONCRETE SIGN FOUND		
--- PIPE	--- CONCRETE SIGN FOUND		
--- PIPE	--- CONCRETE SIGN FOUND		

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**TIESZEN INDUSTRIAL PARK**  
**FIELD DAVIS SURVEY, ABSTRACT NO. 371**  
OF THE  
**TOWN OF PONDER, DENTON COUNTY, TEXAS**

SCALE: 1" = 40'    DATE: 3/4/2021    SHEET 1 OF 1  
JOB NO: 2113.003    E-FILE: 2113.003TP    DWG NO: -

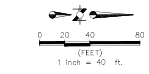
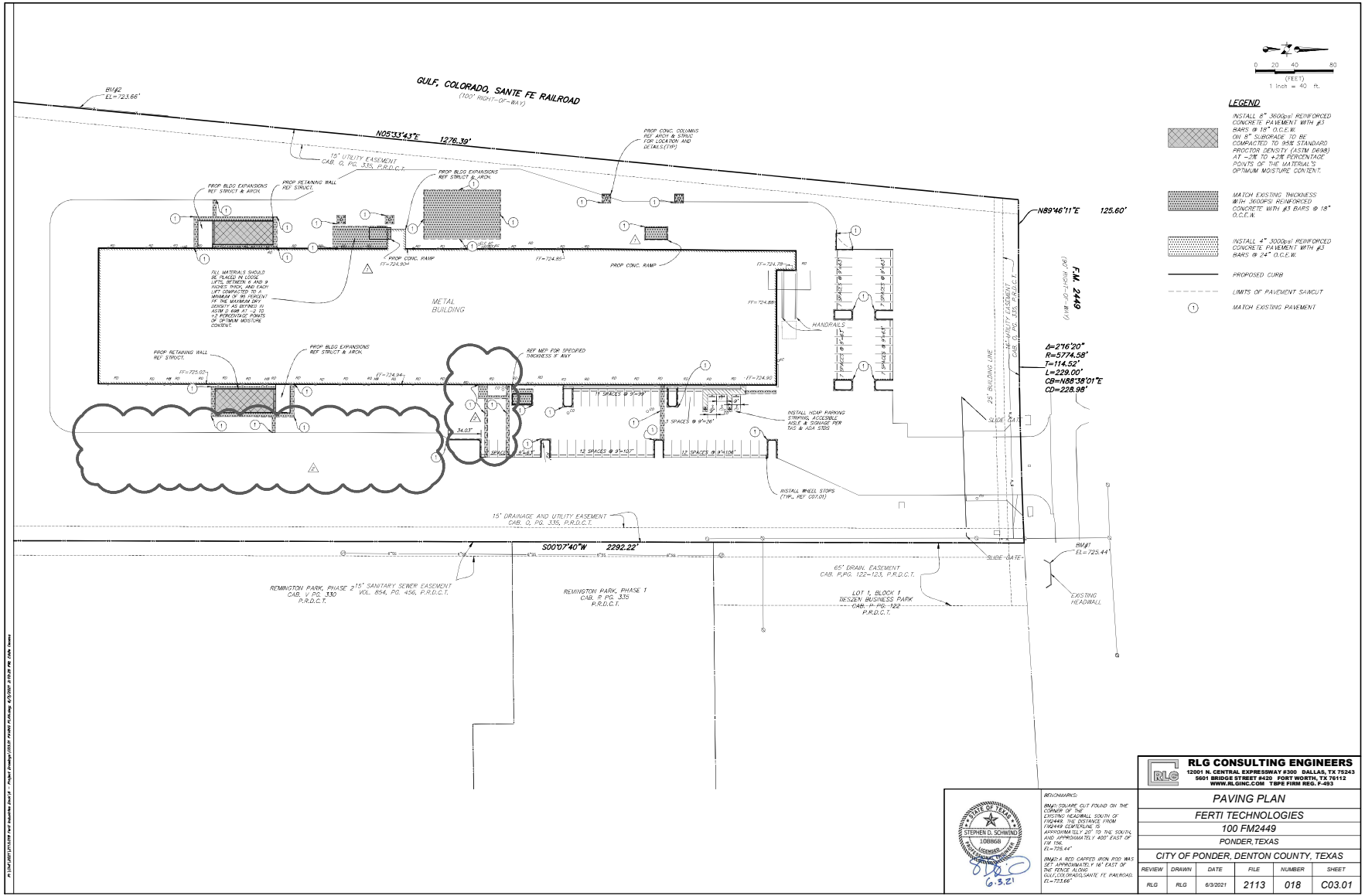
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Ferti  
Technologies  
100 E. FM 2449  
Ponder, Texas  
76259

#	Date	Issue Name
E	3/21/2021	ISSUED FOR PRICING
A	3/21/2021	ADDENDUM 1
A	6/15/2021	PERMIT REMODS



- LEGEND**
- INSTALL 8" 3000# REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 8" SUBGRADE TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY (ASTM D698) AT -2% TO +2% PERCENTAGE POINTS OF THE MATERIAL'S OPTIMUM MOISTURE CONTENT.
  - MATCH EXISTING THICKNESS 8" 3000# REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W.
  - INSTALL 4" 3000# REINFORCED CONCRETE PAVEMENT WITH #2 BARS @ 24" O.C.E.W.
  - PROPOSED CURB
  - LIMITS OF PAVEMENT SAYOUT
  - MATCH EXISTING PAVEMENT

FM 2449  
(700' WIDE - CIP - 18")  
A=276.20'  
R=5774.58'  
T=114.52'  
L=229.00'  
CB=N88°38'01"E  
CD=228.98'



REMARKS:  
SMALL SQUARE CUT FOUND ON THE CORNER OF THE EXISTING HEADWALL SOUTH OF THE HIGHWAY OVERPASS FROM APPROXIMATE ELY OF TO THE SOUTH AND APPROXIMATELY 4' EAST OF THE CURB.  
VERIFY A RED CEMENT SIGN POST HAS NOT BEEN INSTALLED BY EAST OF THE BRICK ALONG THE CURB ALONG GULF COAST/STATE FE PARKWAY. ELY=725.64'

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8001 BRIDGE STREET #400, FORT WORTH, TX 76114  
WWW.RLGINC.COM TEL# 972.788.7493

**PAVING PLAN**  
**FERTI TECHNOLOGIES**  
**100 FM2449**  
**PONDER TEXAS**  
**CITY OF PONDER, DENTON COUNTY, TEXAS**

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	6/9/2021	2113	018	CO3.01

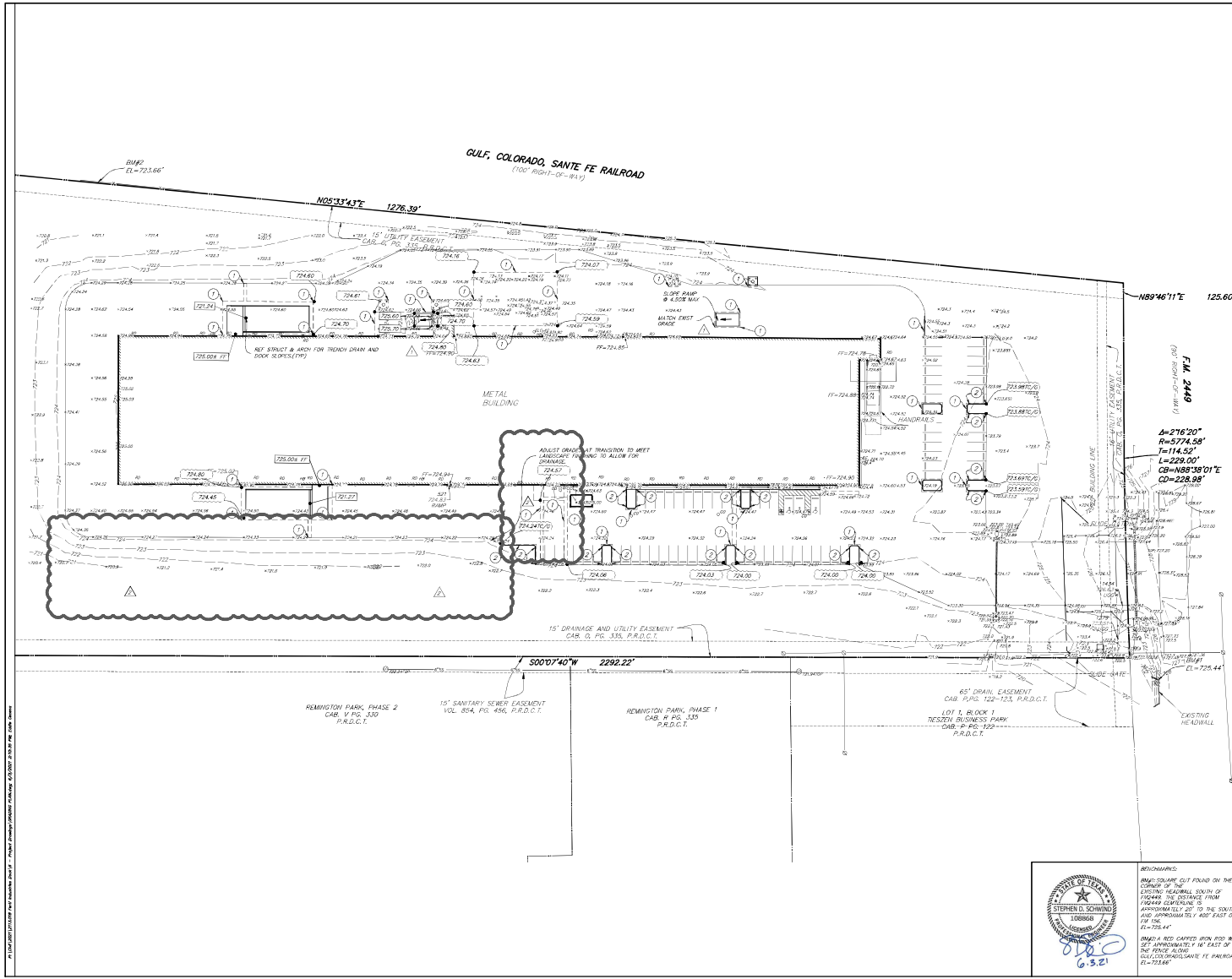
PROJECT NUMBER  
20.175.00  
DRAWING NAME  
PAVING PLAN



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### LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAVEMENT SAIKUT
- ① MATCH EXISTING PAVEMENT GRADE
- ② 16" W.A.C. 0"-6"

### FERTI TECHNOLOGIES



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Technologies  
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Ponder, Texas  
76259

#	Date	Issue Name
1	3/21/2021	ISSUED FOR PRICING
2	3/21/2021	ADDendum 1
3	6/2/2021	PERMIT REMOVALS

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**GRADING PLAN**

**FERTI TECHNOLOGIES**

**100 FM2449**

**PONDER TEXAS**

**CITY OF PONDER, DENTON COUNTY, TEXAS**

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	6/3/2021	2113	018	C04.01



REVISIONS:  
1. SMALL SQUARE CUT FOUND ON THE CORNER OF THE EXISTING HEADWALL SOUTH OF HIGHWAY OVERPASS. THIS DISTANCE FROM APPROXIMATELY 40' TO THE SOUTH AND APPROXIMATELY 40' EAST OF THE CUT.  
2. MAKE A RED CANYON W/OV. 100' W/OV. SET APPROXIMATELY 40' EAST OF THE CUT. ALSO VOL. COT. OVERPASS. FE PARKING. EL=725.66'

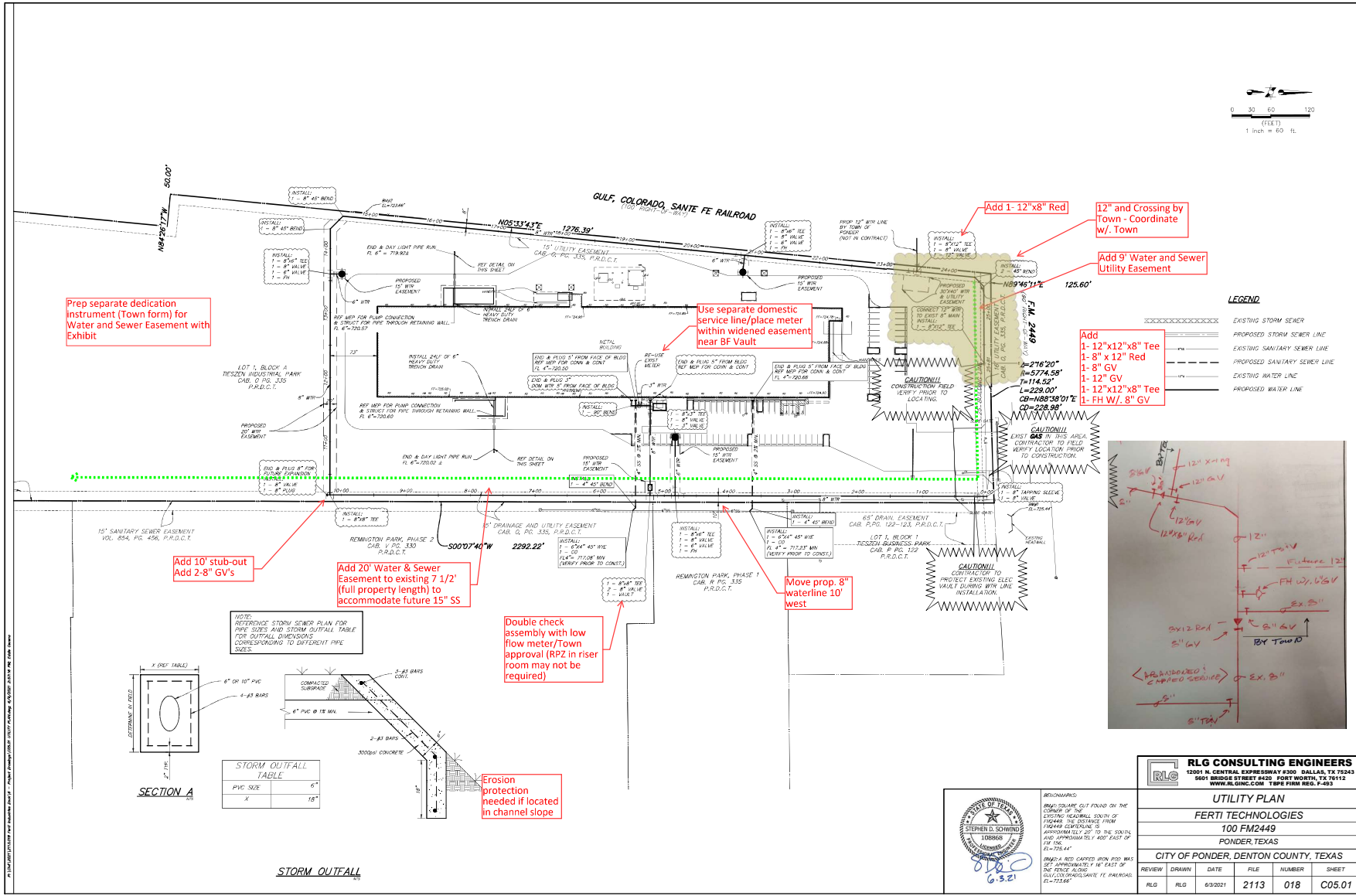
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PROJECT NUMBER  
20.175.00  
DRAWING NAME  
GRADING PLAN

DRAWING NUMBER  
C04.01

T 4852.13.0070  
 2001 N. Lamar St.  
 Dallas, TX 75202  
 invature.design

CONSULTANTS  
 Consultant Ponder  
 Soils/Ponding Calculations  
 Engineer: R&S  
 Project Number: 20020  
 10001 N Central Expressway, Suite 101  
 Dallas, Texas 75243  
 972.466.1200  
 972.466.1205  
 972.466.1206  
 972.466.1207  
 www.getponder.com



Prep separate dedication instrument (Town form) for Water and Sewer Easement with Exhibit

Use separate domestic service line/place meter within widened easement near BF Vault

Add 1-12"x8" Red

12" and Crossing by Town - Coordinate w/ Town

Add 9' Water and Sewer Utility Easement

Add  
 1-12"x12"x8" Tee  
 1-8" x 12" Red  
 1-12" GV  
 1-12"x12"x8" Tee  
 1-FH W/ 8" GV

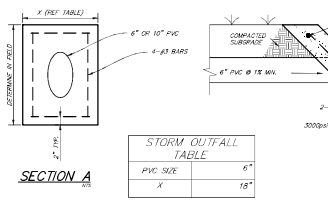
Add 10' stub-out  
 Add 2-8" GV's

Add 20' Water & Sewer Easement to existing 7 1/2' (full property length) to accommodate future 15" SS

Double check assembly with low flow meter/Town approval (RPZ in riser room may not be required)

Move prop. 8" waterline 10' west

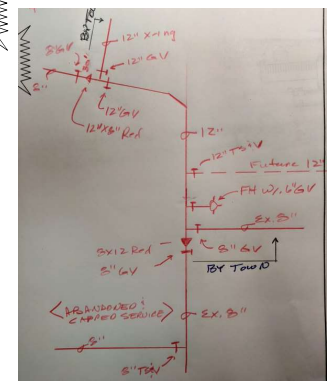
NOTE: REFER TO STORM SEWER PLAN FOR PIPE SIZES AND STORM OUTFALL TABLE FOR OUTFALL DIMENSIONS CORRESPONDING TO DIFFERENT PIPE SIZES.



PVC SIZE	6"
X	18"

STORM OUTFALL

Erosion protection needed if located in channel slope



FERTI TECHNOLOGIES  
**ferti**  
 TECHNOLOGIES  
 Ferti Technologies  
 100 E. FM 2449  
 Ponder, Texas  
 76259

#	DATE	ISSUE NUMBER
1	3/21/2021	ISSUED FOR PRICING
2	6/15/2021	PERMIT REVISIONS



REVISIONS:  
 SMALL SQUARE CUT FOUND ON THE CORNER OF THE EXISTING NEARLY SOUTHWEST CORNER OF THE PROPERTY FROM HIGHWAY 67. DISTANCE FROM HIGHWAY CLIPLINE IS APPROXIMATELY 20' TO THE SOUTH AND APPROXIMATELY 400' EAST OF 100.00'  
 6.3.21

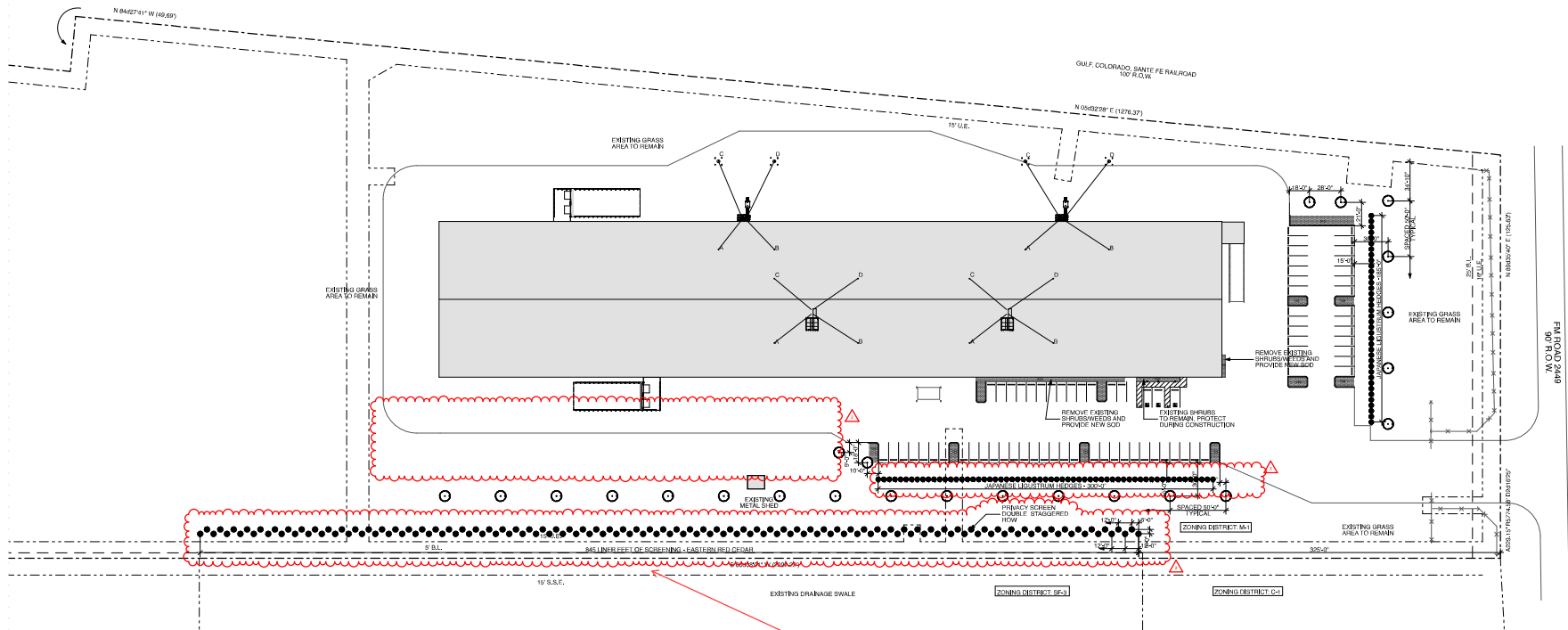
**RLG CONSULTING ENGINEERS**  
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243  
 9401 BRIDGE STREET #400, FORT WORTH, TX 76114  
 WWW.RLGINC.COM T&E PERM REG. P-493

**UTILITY PLAN**  
 FERTI TECHNOLOGIES  
 100 FM2449  
 PONDER, TEXAS  
 CITY OF PONDER, DENTON COUNTY, TEXAS

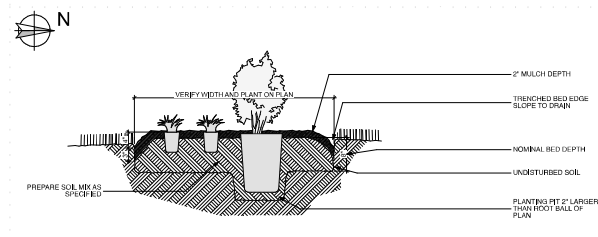
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	6/3/2021	2113	018	C05.01

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PROJECT NUMBER  
 20175.00  
 DRAWING NAME  
**UTILITY PLAN**  
 DRAWING NUMBER  
 C05.01



**C6** Landscape Plan  
SCALE: 1" = 40'



**B6** Typical Planting Bed  
SCALE: 1" = 12"

- Legend**
- 1 1/4" OAK QUERCUS VIRGINIANA MINIMUM CALIBRENESS WHEN MEASURED 6 INCHES ABOVE GROUND AND TO HAVE AVERAGE SPREAD OF CROWN OF GREATER THAN 15 FEET AT MATURITY.
  - JAPANESE LIGULOSTRUM OAK (LEAF PRUNED) SHALL BE PLANTED AND MAINTAINED SO AS TO FORM A CONTINUOUS UNBROKEN SOLID VISUAL SCREEN THAT IS 10 FEET TALL AT MATURITY.
  - EASTERN RED CEDAR (LORNERIES VIRGINIANA) MINIMUM TREE HEIGHT AT PLANTING: 60 FT 300 CONTAINER.
  - SEEDING GRASS (LORNERIES VIRGINIANA) SOLID SOIL, NEED TREE.

- Landscaping Requirements**
- CODE OF ORDINANCES SECTION 194.41 REVISION:
- 10% OF PARKING AREA NEEDS TO BE LANDSCAPE AREA. 15,910 SF OF PARKING. 2,500 SF OF LANDSCAPING REQUIRED.
  - 2,500 SF OF LANDSCAPING PROVIDED 8000 GAL OR LITERE PLANTED FOR EACH 400 SF OF REQUIRED INTERIOR LANDSCAPE AREA.
  - 1,800' 400' x 500'
  - 4 INTERIOR TREES REQUIRED
- PERIMETER-
- ALL PARKING LOTS AND VEHICLE USE AREAS SHALL BE SCREENED FROM ALL ADJACENT PROPERTIES AND/OR PUBLIC RIGHTS-OF-WAY WITH WALL, FENCE, HEDGE, BERRM OR OTHER DURABLE BARRIER.
  - PERIMETER LANDSCAPE AREAS SHALL CONTAIN AT LEAST ONE TREE FOR EACH 50 LINEAL FOOT OR FRACTION THEREOF PERIMETER AREA.
  - PERIMETER AREA - 880 LINEAR FEET 90' TO 120'
  - 30 PERIMETER TREES REQUIRED
  - TOTAL TREES REQUIRED 24 TREES PROVIDED

**B4** Tree Bi-Staking And Guy Wire  
SCALE: 1/2" = 10'

- Tree Bi-Staking And Guy Wire**
- BUFFER YARDS-
- THERE SHALL BE CONSTRUCTED A SCREENING WALL OF NOT LESS THAN 8 FEET ALONG ANY PORTION OF INDUSTRIAL USE (S.A. 100) WHEN ADJOINING ANY PORTION OF A SINGLE-FAMILY DETACHED OR ATTACHED RESIDENTIAL MULTIFAMILY RESIDENTIAL, MOBILE HOME PARK OR MOBILE HOME SUBDIVISION ZONING DISTRICT.
  - NOTE: A SPECIFIC TREE PERMIT HAS BEEN SUBMITTED FOR APPROVAL TO CHANGE FROM A SOLID SCREEN WALL TO EVERGREEN TREES AND TO REDUCE THE OVERALL LENGTH.

- Landscape Notes**
- CONTRACTOR TO SOO ALL DISTURBED AREAS. AREAS SHOWN ON LANDSCAPE PLAN ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY DISTURBED AREAS AND ENSURE ALL AREAS ARE SOOED.
  - ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION. ROOTS SHALL BE REPAIRED FROM DAMAGE TO THE SPECIES. PLANTS SHALL COMPLY WITH APPLICABLE SPECIFICATIONS AND ACCEPTABLE STANDARDS AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK OF PLANTS AND ARCHITECT MUST SIGNIFY THE RIGHT TO REJECT AT ANY TIME OR IN PLACE PRIOR TO FINAL ACCEPTANCE OF WORK AND ALL PLANTS WHICH IN THEIR OPINION FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.
  - PLANTS OF BIENNETTE CHARACTER (SHOWERS) SHALL BE PLANTED IN POTS. CARE OR BONES FOR A MINIMUM OF SIX MONTHS AND A MAXIMUM OF TWO YEARS. PLANTS SHALL BE REPAIRED FROM DAMAGE TO THE SPECIES. PLANTING PLANTS THAT APPEAR ROOT-SOUND SHALL BE ROOT PRUNED THROUGH THE USE OF A VERTICAL SLICING METHOD PRIOR TO PLANTING.
  - ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND SOIL AND SURFACE OF BALL TO THE PROPOSED SOIL DEPTH OF BALL. THE THOROUGHLY SOAKED WITH WATER TO A LOW SETTLEMENT. ALL WIRE SHALL BE SECURED AND LINGER SHALL BE AROUND BASE OF TRUNK SHALL BE REMOVED AT THE TIME. REMAINDER OF WIRE SHALL THEN BE BACKFILLED. ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
  - BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL. EXCAVATED FROM PLANTING PIT MIXES WITH COMPOST AND WELL-SOFTED MANURE AT A RATIO OF 1:1 PARTS SOIL TO ONE (1) PART COMPOST AND WELL-SOFTED MANURE.
  - THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN PLANT HEALTHY CONDITION.

Locate screening beyond widened Water/sewer easement (further west)

- STL 1/2" X 1/2" X 10' LOGS USE SELF-DRAINING SWALE AND DRAW TO VERTICAL POSITION WITH GRILES. SET PARALLEL TO PARKWAY WHEN APPLICABLE.
- ALL STAKES TO BE AT EQUAL HEIGHT.
- PLANT TREE AT SAME LOCATION AS SPECIFIC TRANSPLANT.
- 36" INTO NATIVE SOIL.
- BACKFILL WITH 50% EXCAVATED SOIL/PROPOSED SOIL.

- AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS OCCUR. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR BARKED TWIGS AND BRANCHES. PRUNING IN SUCH MANNER AS TO NOT DISRUPT NATURAL HABIT OR SHAPE OF PLANT. MAJOR CUTS (FLORA) LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE TREES, SHRUBS, GROUND COVER PLANTS FOR ONE CALENDAR YEAR FOLLOWING PROVISIONAL ACCEPTANCE OF THE OVERALL PROJECT. GROUND COVER PLANTS THAT DIE DUE TO NATURAL CAUSES OR THAT ARE UNHEALTHY OR UNDESIRABLE IN CHARACTER SHALL BE REPLACED BY THE CONTRACTOR. PLANTS SPECIFIED FOR THE AGREEMENT SHALL BE PLANTED AT THE APPROPRIATE PLANTING TIMES.
- LANDSCAPE CONTRACTOR SHALL REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE CALENDAR YEAR AFTER PROVISIONAL ACCEPTANCE.
- CALL BEFORE DIG IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO CALL FOR UTILITY MARKINGS PRIOR TO EXCAVATION.

ALTERNATIVE LANDSCAPE PLAN

1469.889.3710  
3185 Robinson Ave  
Suite 200  
Houston, TX 77058  
inventure-design

CONSULTANTS

**GeislerPender**  
Consulting Engineers + Inc.

**\*DBR**

PROJECT NAME

**ferti**  
TECHNOLOGIES

Ferti  
Technologies  
100 E. FM 2449  
Ponder, Texas 76259

# Date Issue Name

01 10/22/21 ISSUED FOR PERMIT & PRICING

02 5/26/22 PERMIT REVISIONS



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PROJ. SECT NUMBER

20.175.00

DRAWING NAME

Landscape Plan

DRAWING NUMBER

**L.100**

CONSULTANTS



PROJECT NAME



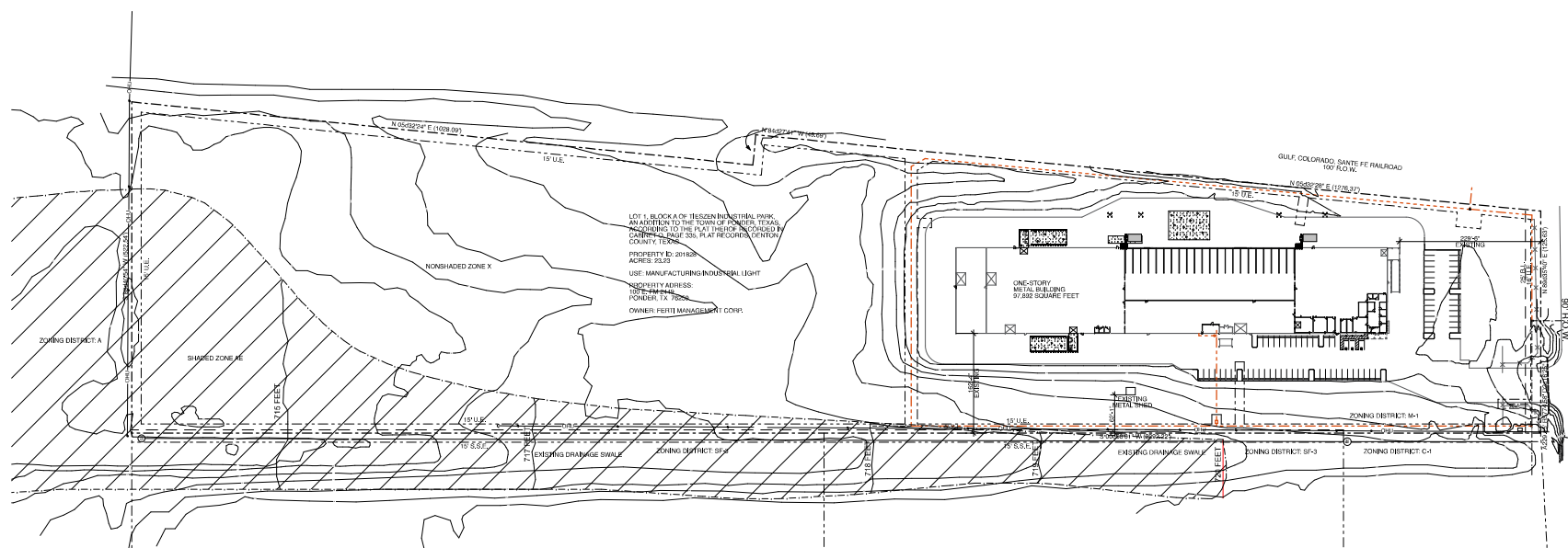
Ferti  
 Technologies  
 100 E. FM 2449  
 Ponder, Texas 76259

# Site Issue Name

02 5/26/22 PERMIT REVISIONS

### SITE IMPROVEMENTS

SITE TOTAL SQUARE FOOTAGE - 1,012,079 SF  
 EXISTING SITE IMPERVIOUS SURFACE AREA - 234,545 SF (23.24%)  
 PROPOSED SITE IMPERVIOUS SURFACE AREA - 233,433 SF (23.16%)  
 THE PROPOSED SITE WORK DECREASES THE IMPERVIOUS SURFACE AREA BY 1,112 SF OR 0.2%



C6 Site Plan

SCALE: 1" = 40'



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PROJECT NUMBER

20,175,00

DRAWING NAME

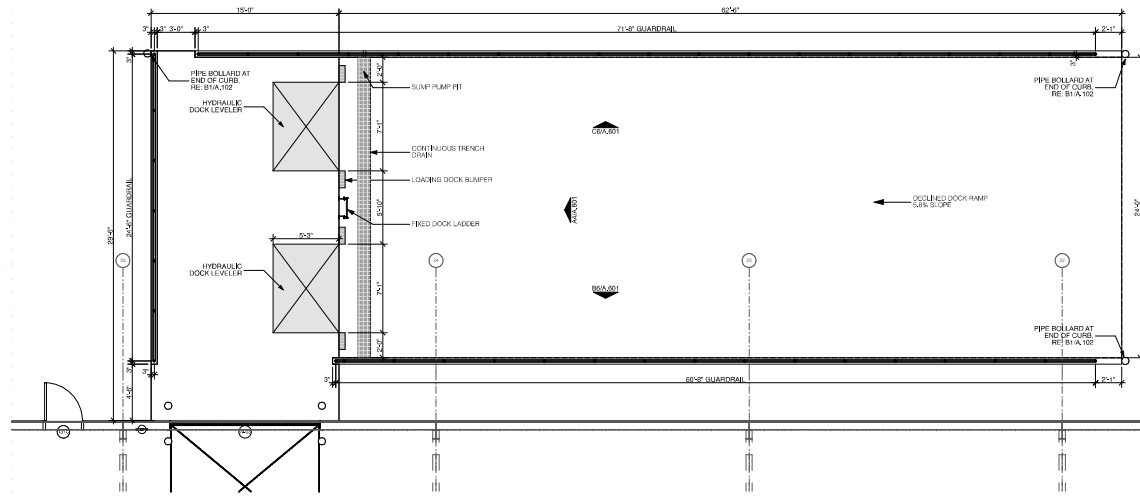
Site Plan

DRAWING NUMBER

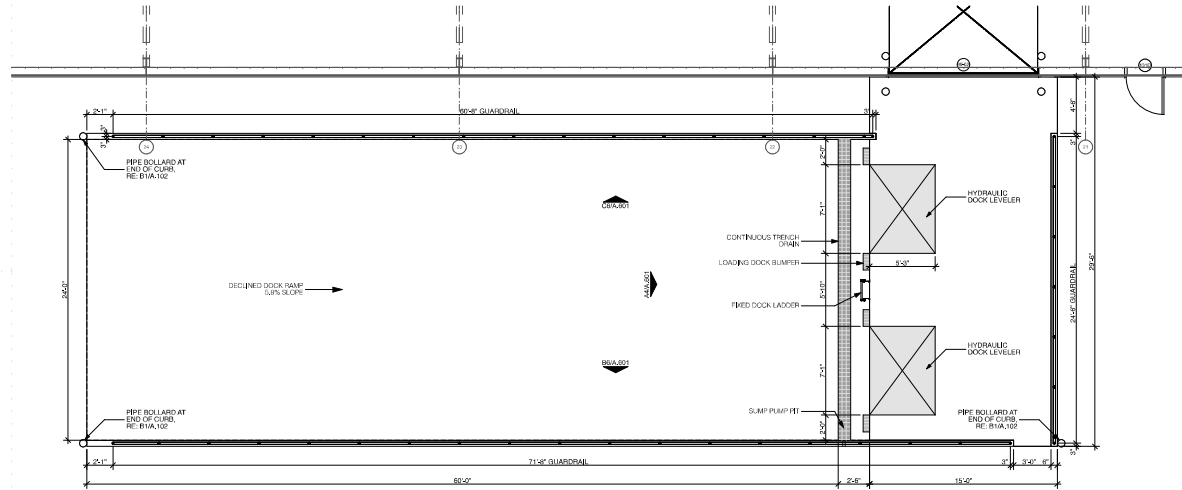
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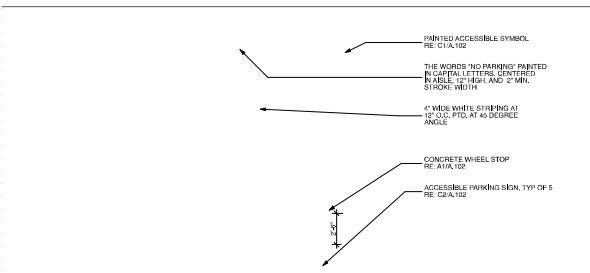
**D4** Loading Dock 2  
SCALE: 1/4" = 1'-0"



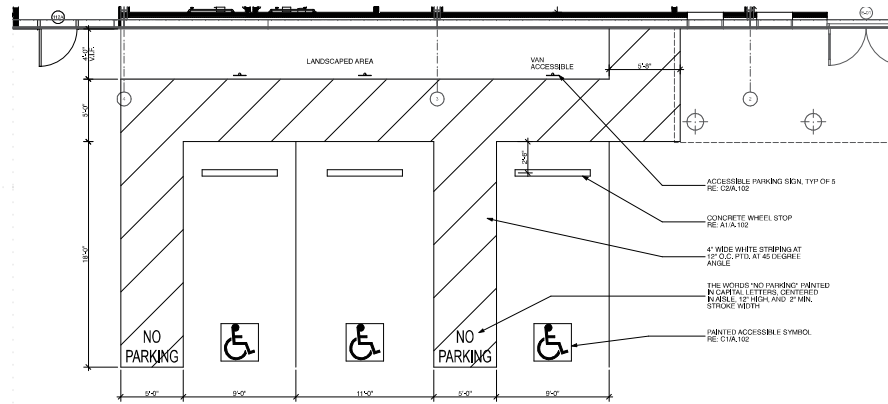
**B4** Loading Dock 1  
SCALE: 1/4" = 1'-0"

#	Site	Issue Name
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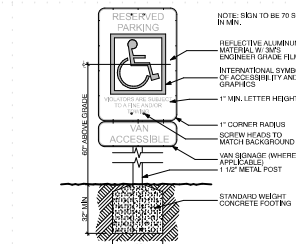




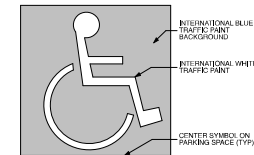
**D6** Accessible Parking  
SCALE: 1/4" = 1'-0"



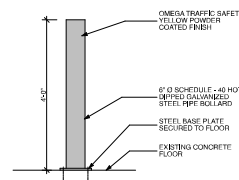
**D3** Accessible Parking  
SCALE: 1/4" = 1'-0"



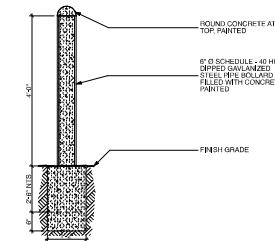
**C2** Reserved Parking Indicator  
SCALE: 1/2" = 1'-0"



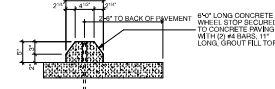
**C1** Accessible Symbol  
SCALE: 3/4" = 1'-0"



**B2** Surface Mounted Bollard Detail  
SCALE: 3/4" = 1'-0"

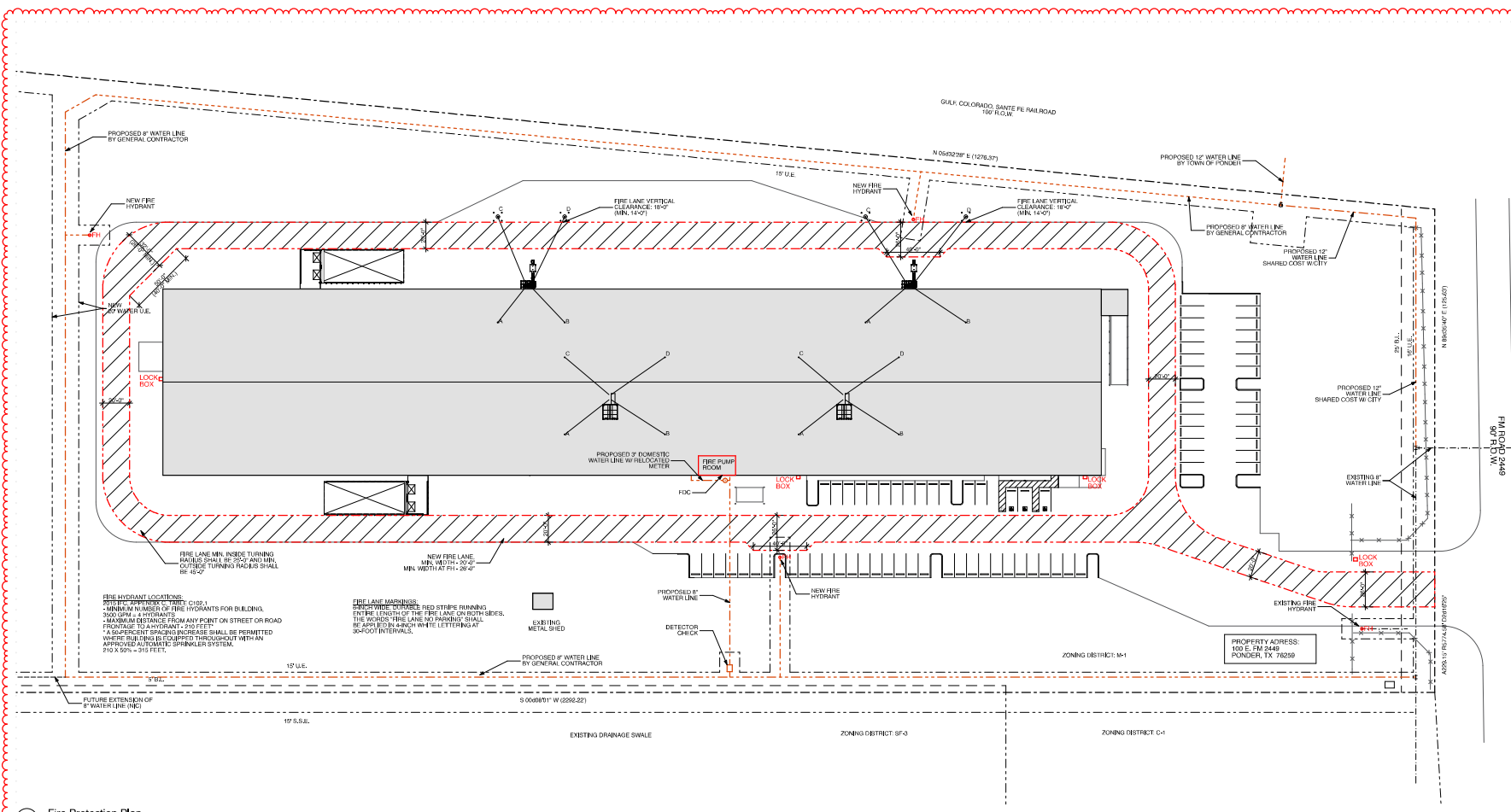


**B1** Exterior Bollard Detail  
SCALE: 3/4" = 1'-0"



**A1** Concrete Wheel Stop  
SCALE: 1" = 1'-0"





**FIRE HYDRANT LOCATIONS:**  
 - SPECIFIC APPROVAL OF DBR REQUIRED.  
 - MINIMUM NUMBER OF FIRE HYDRANTS FOR BUILDING: 200 GPM x 4 HYDRANTS.  
 - MINIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO HYDRANT - 210 FEET.  
 - ASSESSMENT OF SPECIFIC INCREASE SHALL BE PERMITTED WHERE FIRE LANE IS COMPLETED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM WITH A 250' x 215 FEET.

**FIRE LANE MARKINGS:**  
 - PINK STRIPES: RED STRIPES RUNNING ENTIRE LENGTH OF THE FIRE LANE ON BOTH SIDES. THE WORDS "FIRE LANE NO PARKING" SHALL BE APPLIED IN LARGE WHITE LETTERING AT 36-FOOT INTERVALS.

EXISTING METAL SHED

DETECTOR CHECK

PROPERTY ADDRESS  
100 E. FM 2449  
PONDER, TX 76259

**B6** Fire Protection Plan  
SCALE: 1/8" = 1'-0"



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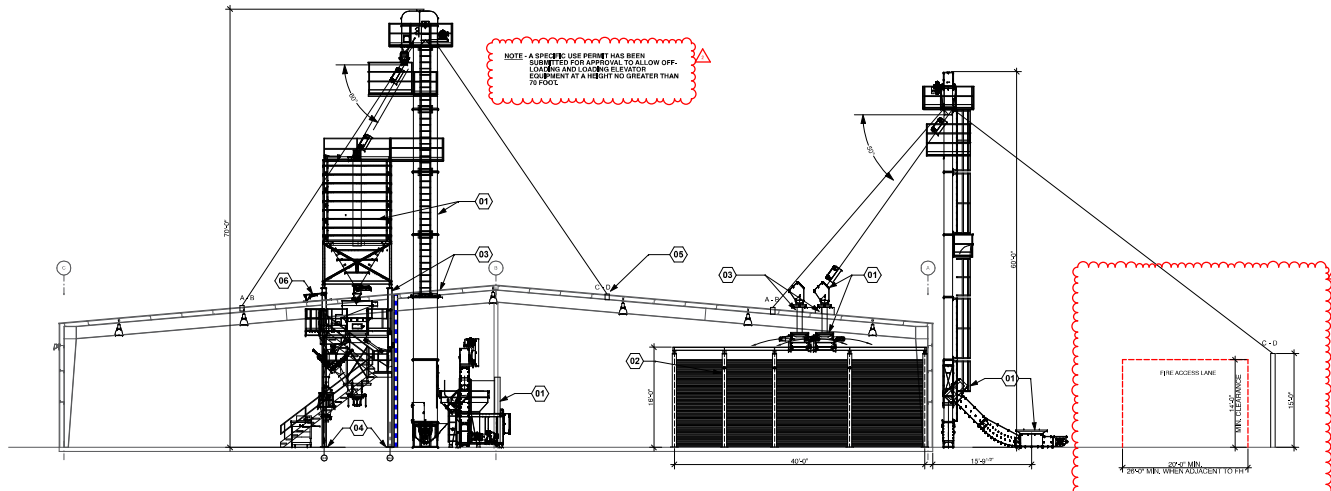
PROJECT NUMBER  
20.175.00

DRAWING NAME  
Fire Protection Site Plan

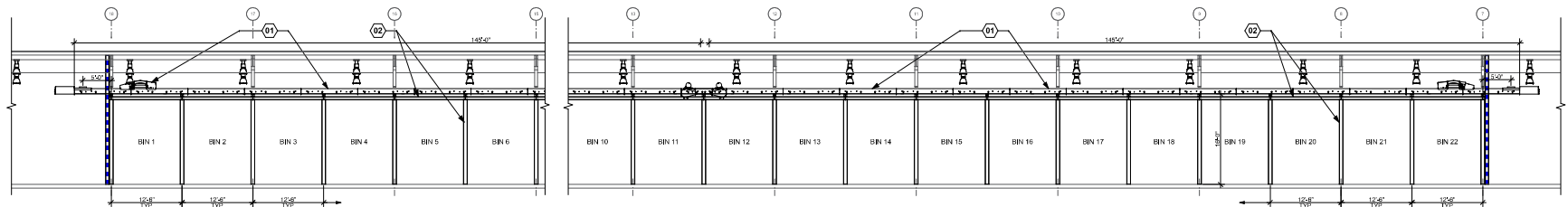
DRAWING NUMBER

**A.103**

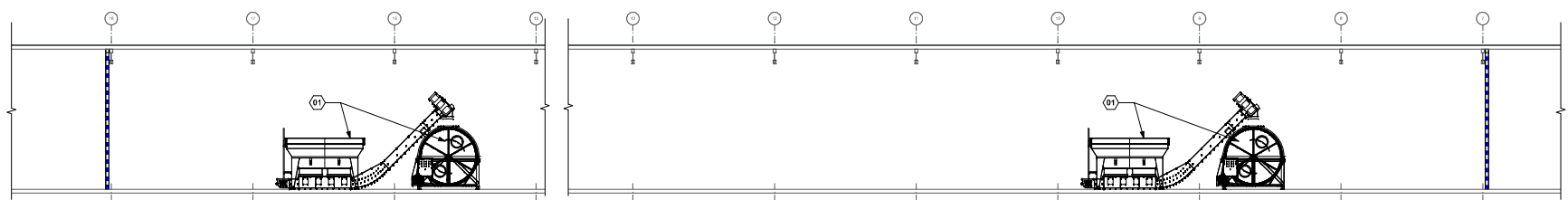




D5 Building Section A  
SCALE: 1/8" = 1'-0"



C6 Building Section B  
SCALE: 1/8" = 1'-0"



B6 Building Section C  
SCALE: 1/8" = 1'-0"

#	Building Section Notes	Note
01	OWNER HAS CONTRACTED WITH LARABOND/PHO, INC. (LAWYERS) TO SUBMIT AND STORE OF EQUIPMENT. OWNER WILL CONTRACT WITH THIRD PARTY CONTRACTOR TO INSTALL EQUIPMENT.	01/20/2021
02	GO TO CONCRETE MENSURERS MEASUREMENT WINDOW FOR STORAGE BIN TO CORRELATE ROOM CUT LENGTH BETWEEN STEEL SUPPORTS PROVIDED BY OWNER.	02/22/21
03	FOR EQUIPMENT PENETRATIONS, GO TO CLOSE UP OPENINGS TO PROVIDE NEAR PERFECT FINISH.	
04	GO TO PROVIDE FOUNDATIONS FOR EQUIPMENT REFER TO STRUCTURAL DRAWINGS.	
05	GO TO PROVIDE STRUCTURAL SUPPORT FOR SPLY WIRE, REFER TO STRUCTURAL DRAWINGS. CONCRETE MENSURERS MEASUREMENT WINDOW FOR STORAGE BIN TO CORRELATE ROOM CUT LENGTH BETWEEN STEEL SUPPORTS PROVIDED BY OWNER.	
06	REFER TO LARABOND/PHO EQUIPMENT PLATFORM, RE: DETAIL CSAL130	

**Inventure**

1469.889.3713  
2188 Boardwalk Ave  
Suite 200  
Houston, TX 77056  
inventure-design

CONSULTANTS

**GeislerPender**  
Consulting Engineers + Inc.

**\*DBR**

PROJECT NAME

**ferti**  
TECHNOLOGIES

Ferti  
Technologies  
100 E. FM 2449  
Ponder, Texas 76259

# Date Issue Name

01	5/22/21	ISSUED FOR PERMIT & PRICING
	5/22/21	SPECIFIC USE PERMIT
02	5/26/21	PERMIT REVISIONS



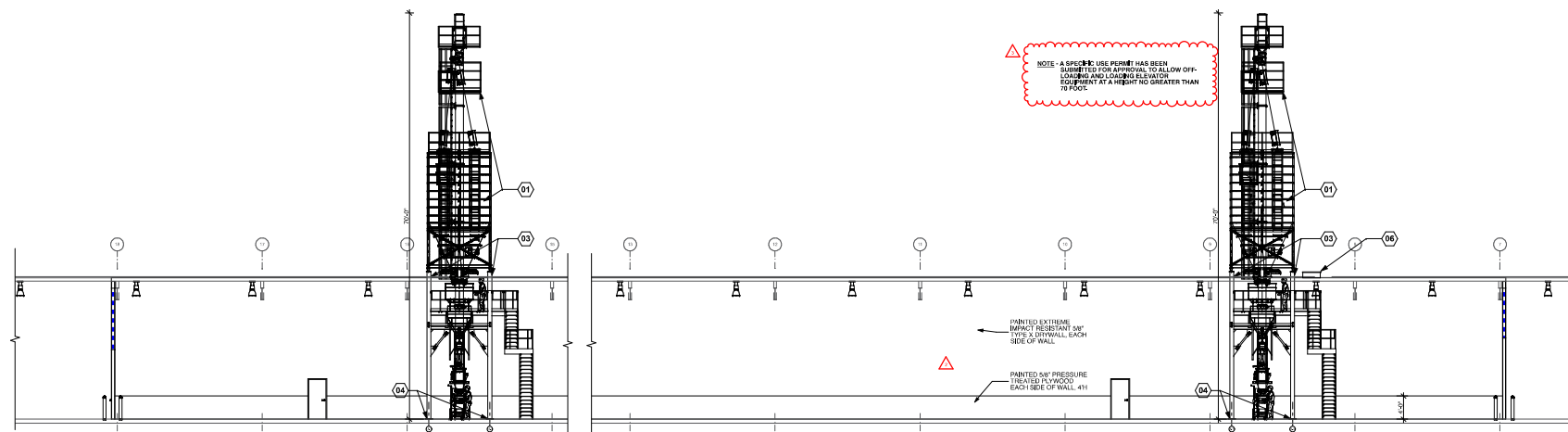
PROJECT NUMBER  
**20.175.00**

Building Sections

DRAWING NUMBER

**A.600**

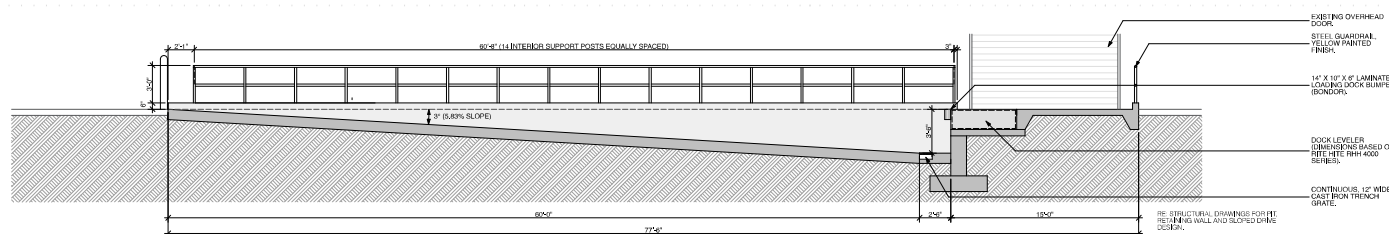
#	Date	Issue Name
01	5/22/21	ISSUED FOR PERMIT & PRICING
02	4/1/21	ADDENDUM 1
03	5/22/21	SPECIFIC USE PERMIT
05	5/26/21	PERMIT REVISIONS



NOTE: A SPECIFIC USE PERMIT HAS BEEN SUBMITTED FOR APPROVAL TO ALLOW OFF-LOADING AND LOADING ELEVATOR EQUIPMENT AT A HEIGHT NO GREATER THAN 70 FEET.

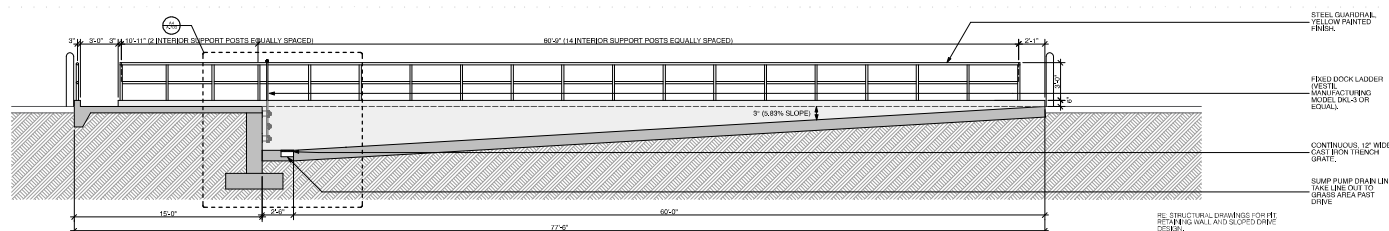
PAINTED EXTERIOR IMPACT RESISTANT 2x4 TYPE X DRYWALL EACH SIDE OF WALL.  
PAINTED 3/4" PRESSURE TREATED POLYWOOD EACH SIDE OF WALL #11

**D6** Building Section D  
SCALE: 1/4" = 1'-0"



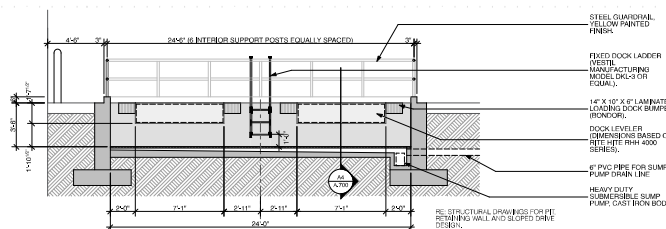
EXISTING OVERHEAD DOOR  
STEEL GUARDRAIL, YELLOW PAINTED FINISH  
14" X 10" X 8" LAMINATED LOADING DOCK BUMPER BOUNDARY  
DOCK LEVELER (DIMENSIONS BASED ON SITE METE RHH 4000 SERIES)  
CONTINUOUS 12" WIDE CAST IRON TRENCH GRATE  
RE: STRUCTURAL DRAWINGS FOR THE RETAINING WALL AND SLOPED DRIVE CURB.

**C6** Loading Dock Section A  
SCALE: 1/4" = 1'-0"



STEEL GUARDRAIL, YELLOW PAINTED FINISH  
FIXED DOCK LADDER (METAL MANUFACTURING MODEL DKL-3 OR EQUIV.)  
CONTINUOUS 12" WIDE CAST IRON TRENCH GRATE  
SLUMP PUMP DRAIN LINE, TAKE LINE OUT TO GRADES AREA PAST DRIVE  
RE: STRUCTURAL DRAWINGS FOR THE RETAINING WALL AND SLOPED DRIVE DESIGN.

**B6** Loading Dock Section B  
SCALE: 1/4" = 1'-0"



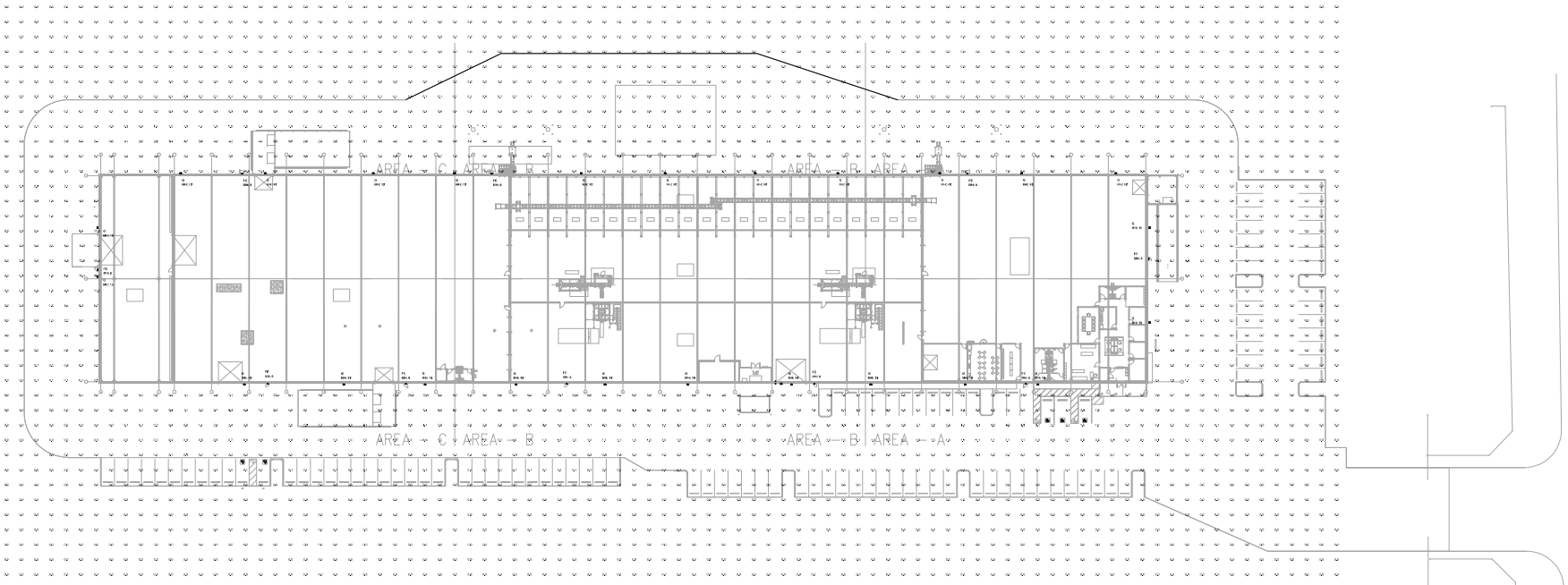
STEEL GUARDRAIL, YELLOW PAINTED FINISH  
FIXED DOCK LADDER (METAL MANUFACTURING MODEL DKL-3 OR EQUIV.)  
14" X 10" X 8" LAMINATED LOADING DOCK BUMPER BOUNDARY  
DOCK LEVELER (DIMENSIONS BASED ON SITE METE RHH 4000 SERIES)  
#2 REINFOR FOR SLUMP PUMP DRAIN LINE  
HEAVY DUTY SUMMERIBLE SLUMP PUMP, CAST IRON BODY  
RE: STRUCTURAL DRAWINGS FOR THE RETAINING WALL AND SLOPED DRIVE DESIGN.

Building Section Notes	
#	Note
01	OWNER HAS CONTRACTED WITH LAMARCO ENGINEERING, INC. TO SUBMIT AND OBTAIN THE SPECIFIC USE PERMIT. OWNER WILL CONTRACT WITH THIRD PARTY MECHANICAL CONTRACTOR TO INSTALL THE PERMIT.
02	ALL DIMENSIONS UNLESS OTHERWISE NOTED SHALL BE IN FEET AND INCHES. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
03	PROVIDE AND INSTALL STEEL SUPPORTS AND ANCHORS FOR STORAGE (BNC, GC) TO BE INSTALLED IN ROOM OUT LINDER BETWEEN STEEL SUPPORTS PROVIDED BY NEAREST EXISTING WALL.
04	GO TO PROVIDE FOUNDATIONS FOR EQUIPMENT. REFER TO STRUCTURAL DRAWINGS.
05	GO TO PROVIDE STRUCTURAL SUPPORT FOR GUY WIRES. REFER TO STRUCTURAL DRAWINGS. CONCRETE FLOOR SHALL BE 12" THICK.
06	FIELD IS BEING RECONSTRUCTED. CONCRETE SHALL LOCATED WITH DIMENSIONS VENDOR TO ALIGN WITH EQUIPMENT PLATFORM. SEE DETAIL C-10.10.



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PROJECT NUMBER: 20.175.00  
DRAWING NAME: Building Sections  
DRAWING NUMBER: A.601

**A4** Loading Dock Section C  
SCALE: 1/4" = 1'-0"





**MEP SITE PLAN - PHOTOMETRICS**  
 1"=30'-0"

# Inventure

1 480.210.3370  
 2001 N. Lamar St.  
 Dallas, TX 75207  
 inventure.design

CONSULTANTS



PROJECT NAME



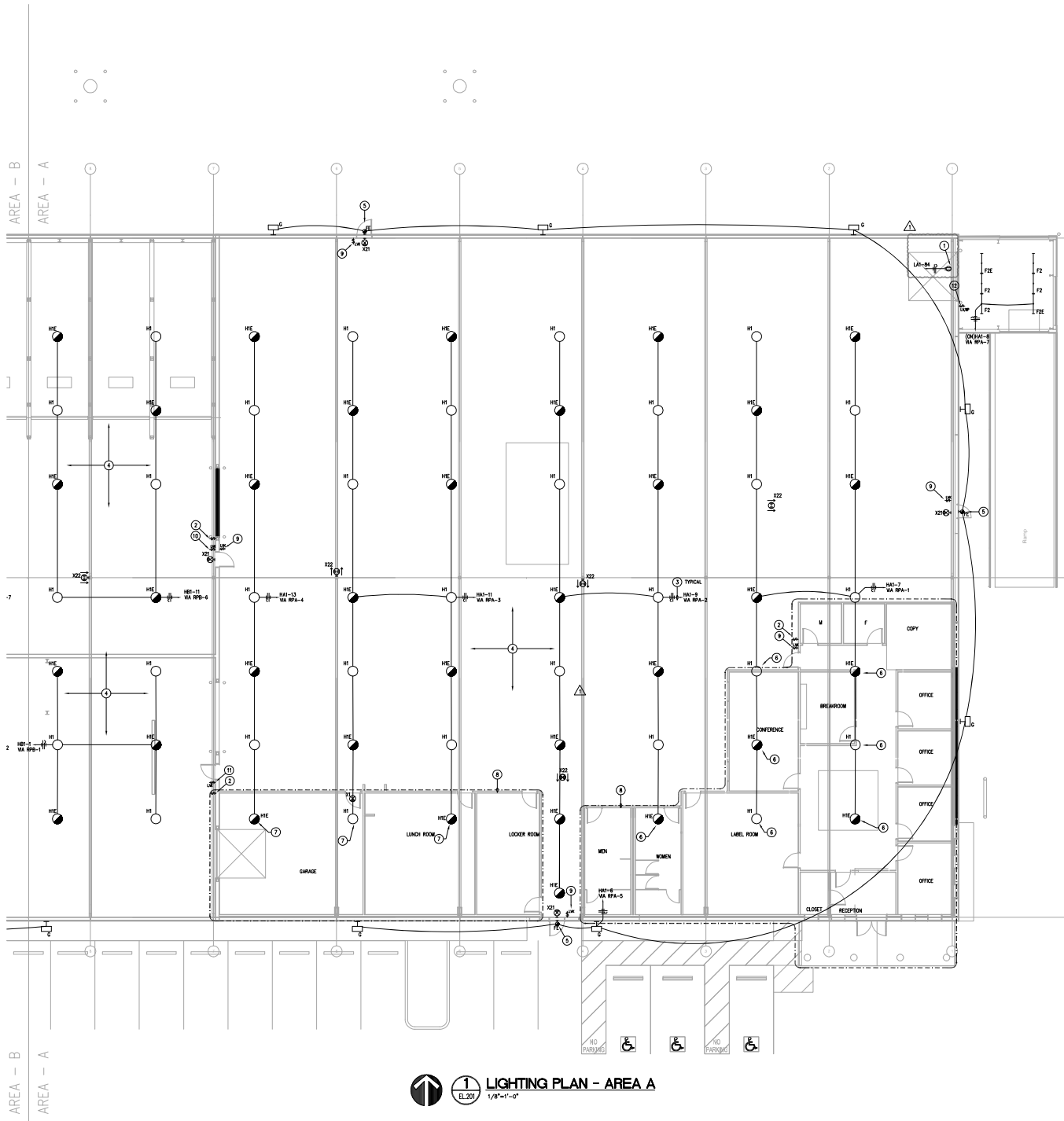
**Ferti Technologies**  
 100 E. FM 2449  
 Ponder, Texas 76259

#	ISSUE	ISSUE NAME
03.22.21	ISSUED FOR PERMITS & PENDING	
03.29.21	ADDENDUM 1	
05.20.21	PERMIT REVISIONS	

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PROJECT NUMBER  
**20.175.00**  
 DRAWING NAME  
**MEP SITE PLAN - PHOTOMETRICS**  
 DRAWING NUMBER

**MEP.202**



**ELECTRICAL GENERAL NOTES:**

- A. REFER TO E-402 FOR LIGHT FIXTURE SCHEDULE.
- B. ALL HIGH BAY FIXTURES SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.
- C. REFER TO E-402 FOR LIGHTING CONTROLS DEVICE SCHEDULE. PROVIDE POWER PAKS, DIMMER SWITCHES, ROOM CONTROLLERS, CEILING WIRING AND ADDITIONAL EQUIPMENT AS REQUIRED FOR CONTROLS INDICATED.
- D. LOCATE ULTRASONIC OCCUPANCY SENSORS A MINIMUM OF 3 FEET FROM MECHANICAL DIFFUSERS AND OTHER NOISE PRODUCING EQUIPMENT.
- E. LONGHORN LETTERING NEXT TO LIGHT SWITCHES AND LIGHT FIXTURES INDICATES SWITCHING SCHEME.
- F. ALL CEILING MOUNTED DEVICES LOCATED IN LAY-IN CEILING SHALL BE COVERED BY THE CEILING TIE-BAR.
- G. MULTIPLE SWITCHES SHOWN TOGETHER SHALL BE GANGED TOGETHER UNDER A COMMON COVER PLATE.
- H. CONTRACTOR SHALL PROVIDE LIGHTING CIRCUIT CONTROLLED BY EACH SWITCH BY PROVIDING THE SWITCH LAMINA LOCATED ON INSIDE FACE OF EACH SWITCH COVER PLATE.
- I. SPRINKLER CONTRACTOR SHALL COORDINATE SPRINKLER HEAD LOCATIONS WITH CEILING MOUNTED LIGHTING FIXTURES.
- J. ALL MATERIALS/EQUIPMENT/DEVICES INSTALLED IN PLenum SPACES SHALL BE PLenum RATED MATERIALS/EQUIPMENT/DEVICES.
- K. ROUTE AN UNSWITCHED HOT LEG, AS DEFINED IN NEC 700.2, TO ALL LIGHT FIXTURES DESIGNATED AS EMERGENCY FIXTURES. HOT LEGS SHALL ORIGINATE FROM CIRCUIT SERVING NORMAL LIGHTING FIXTURES IN THAT SPACE. UNSWITCHED HOT LEGS SHALL CONNECT TO THE NORMAL POWER SENSING LUG ON THE GFD DEVICE.
- L. REFER TO LIGHTING RELAY PANE SCHEDULE ON SHEET E-402.
- M. ALL EXIT SIGNS WITH AREA A SHALL BE CONNECTED UN-SWITCHED TO CIRCUIT HI-4. AREAS NOTED OTHERWISE.
- N. ALL EXTERIOR WALL PACKS SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.

**ELECTRICAL KEYED NOTES:**

1. PROVIDE REE-USE FLEX NECK LED DOCK LIGHT TO SERVE DOCKS. FIELD COORDINATE EXACT LOCATION PRIOR TO ROUGH-IN. REFER TO E-402/E-403 FOR COORDINATING INFORMATION AND CAD FOR FIXTURE INFORMATION. COORDINATE WITH MANUFACTURER MANUAL FOR PREPARE INSTALLATION. COORDINATE EXACT SPECIFICATION PRIOR TO ORDERING.
2. PROVIDE MULTI-BUTTON SWITCH TO SERVE IN-WHOUSE. COORDINATE ALL PROGRAMMING, SETTINGS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, TIME DELAYS, TIMECUTS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
3. ROUTE LIGHTING CIRCUIT THROUGH DESIGNATED DIGITAL LIGHTING CONTROLS RELAY. COORDINATE ALL PROGRAMMING, SETTINGS, TIME DELAYS, TIMECUTS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, TIME DELAYS, TIMECUTS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
4. PROVIDE EXIT SIGNS ON ALL THE COLUMNS LEADING TO IT'S NEAREST EXIT. TOP SECTION OF BARRICADE SHALL LEAD TO TOP EXITS AND LOWER SECTION OF BARRICADE SHALL LEAD TO LOWER EXITS. ALL EXIT SIGNS LOCATION SHALL BE VISIBLE.
5. NEW EXTERIOR FIXTURE IN NEW LOCATION ABOVE OFFICE SPACE AREA.
6. NEW HIGH BAY FIXTURE IN NEW LOCATION ABOVE OFFICE SPACE AREA.
7. NEW HIGH BAY FIXTURE ABOVE OFFICE SPACE AREA.
8. REFER TO DRAWING #E-403 FOR LIGHTING LAYOUT WITHIN THIS AREA.
9. PROVIDE KEYS LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR AREA A MANUAL OVERRIDE.
10. PROVIDE KEYS LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR AREA B MANUAL OVERRIDE.
11. PROVIDE KEYS LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR PARKING AREA MANUAL OVERRIDE.
12. PROVIDE LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR LOADING DOOR AREA MANUAL OVERRIDE. PROVIDE WEATHERPROOF BOX AND COVER.

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# 030 Issue Name

03/20/21 ISSUED FOR PERMITS & PENDING

03/20/21 ADDENDUM 1

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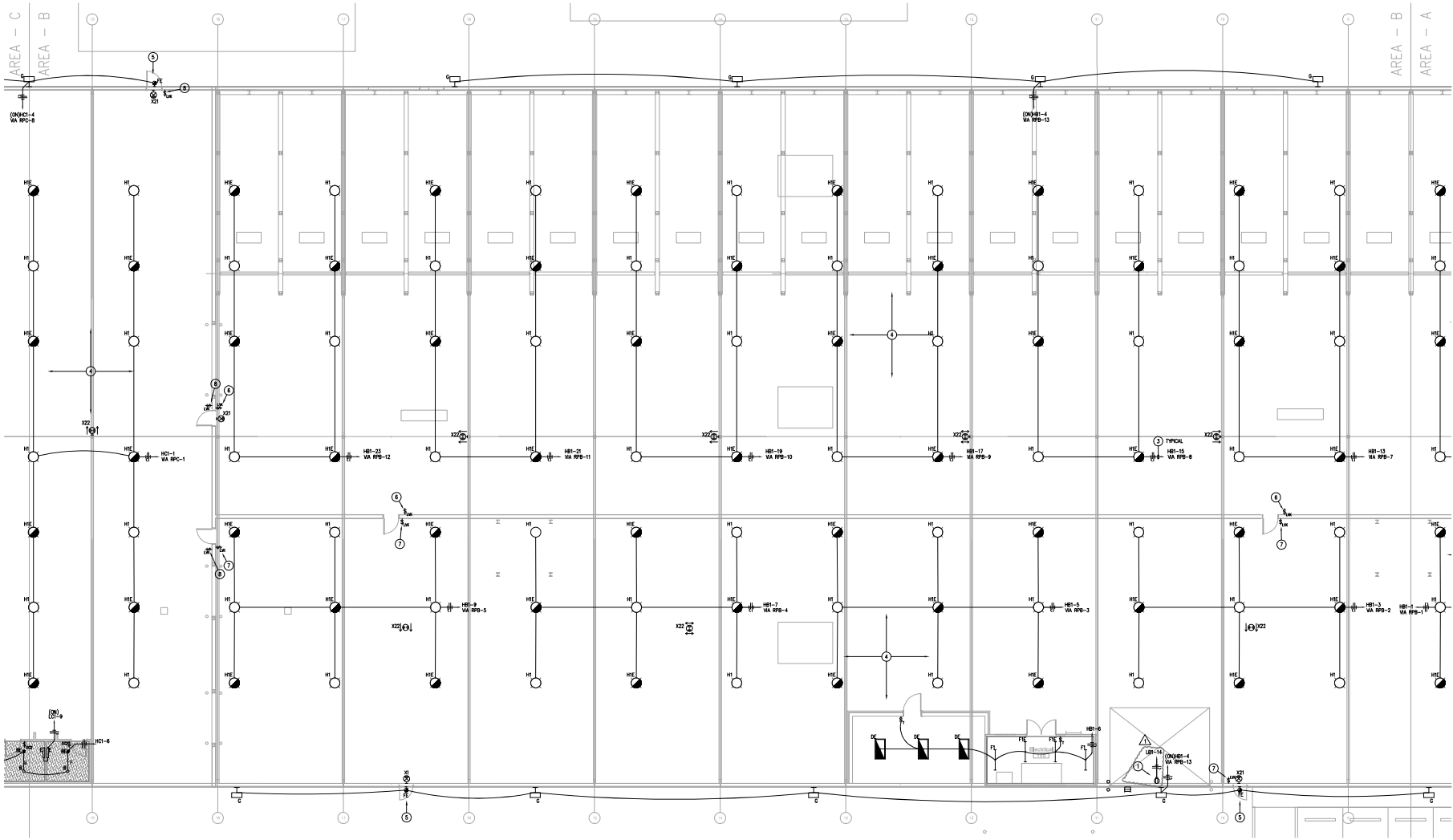
20.175.00

DRAWING NAME

LIGHTING PLAN - AREA A

DRAWING NUMBER

EL.201



**1 LIGHTING PLAN - AREA B**  
1/8"=1'-0"

**ELECTRICAL GENERAL NOTES:**

- A. REFER TO E-402 FOR LIGHT FIXTURE SCHEDULE.
- B. ALL HIGH BAY FIXTURES SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.
- C. REFER TO E-402 FOR LIGHTING CONTROLS DEVICE SCHEDULE. PROVIDE POWER PACKS, CEILING SENSORS, ROOM CONTROLLERS, CABLEING/WIRING AND AUXILIARY EQUIPMENT AS REQUIRED FOR CONTROL/INSTALLED.
- D. LOCATE ULTRASONIC OCCUPANCY SENSORS A MINIMUM OF 3 FEET FROM MECHANICAL DIFFUSERS AND OTHER NOISE PRODUCING EQUIPMENT.
- E. LONGPULSE LETTERING NEXT TO LIGHT SWITCHES AND LIGHT FIXTURES IDENTIFY SWITCHING SCHEME.
- F. ALL CEILING MOUNTED DEVICES LOCATED IN LAY-IN CEILING SHALL BE COVERED IN THE CEILING TILE.
- G. MULTIPLE SWITCHES SHOWN TOGETHER SHALL BE GANGED TOGETHER UNDER A COMMON COVER PLATE.
- H. CONTRACTOR SHALL INDICATE LIGHTING CIRCUIT CONTROLLED BY EACH SWITCH BY PROVIDING TYPE LETTERS LOCATED ON REAR FACE OF EACH SWITCH COVER PLATE.
- I. SPRINKLER CONTRACTOR SHALL COORDINATE SPRINKLER HEAD LOCATIONS WITH CEILING MOUNTED LIGHTING FIXTURES.
- J. ALL MATERIALS/EQUIPMENT/DEVICES INSTALLED IN PLENUM SPACES SHALL BE PLENUM RATED MATERIALS/EQUIPMENT/DEVICES.
- K. ROUTE AN UNSWITCHED HOT LUG, AS DEFINED IN NEC 708.10, TO ALL LIGHT FIXTURES DESIGNATED AS EMERGENCY FIXTURES. HOT LUG SHALL ORIGINATE FROM DISCREET SERVING NORMAL LIGHTING FIXTURES IN THAT SPACE. UNSWITCHED HOT LUG SHALL CONNECT TO THE NORMAL POWER SENSING LUG ON THE CRO DEVICE.
- L. REFER TO LIGHTING RELAY PANEL SCHEDULE ON SHEET E-402.
- M. ALL DET SENS WITHIN AREA B SHALL BE CONNECTED IN-SWITCHED TO CIRCUIT HEB-2 UNLESS NOTED OTHERWISE.
- N. ALL EXTERIOR WALL PROFILES SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.

**ELECTRICAL KEYED NOTES:**

1. PROVIDE RITE-LITE FLEX NEW LED DOCK LIGHT TO SERVE DOCKS. FIELD COORDINATE EXACT LOCATION PRIOR TO INSTALLATION. REFER TO E-402 FOR CIRCUITING INFORMATION AND C-402 FOR FIXTURE INFORMATION. COORDINATE WITH MANUFACTURER MARKING FOR PROPER INSTALLATION. COORDINATE EXACT SPECIFICATION PRIOR TO ORDERING.
2. PROVIDE WITH-BUTTON SWITCH TO SERVE BARRICADE. COORDINATE ALL PROGRAMMING, SETTINGS, SCHEDULES AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, THE DELAYS, TIMERS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
3. ROUTE LIGHTING CIRCUIT THROUGH DEDICATED DIGITAL LIGHTING CONTROLS RELAY. COORDINATE ALL PROGRAMMING, SETTINGS, THE DELAYS, TIMERS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, THE DELAYS, TIMERS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
4. PROVIDE DET SENS ON ALL THE COLUMNS LEADING TO ITS NEAREST EXIT. TOP SECTION OF BARRICADE SHALL LEAD TO TOP EXITS AND LOWER SECTION OF BARRICADE SHALL LEAD TO LOWER EXITS. ALL DET SENS LOCATION SHALL BE VISIBLE.
5. NEW EXTERIOR FIXTURE IN NEW LOCATION ABOVE DOOR.
6. PROVIDE KEVED LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR AREA B MANUAL OVERRIDE.
7. PROVIDE KEVED LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR PACKING AREA MANUAL OVERRIDE.
8. PROVIDE KEVED LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR AREA C MANUAL OVERRIDE.

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03.2021 ADDENDUM 1

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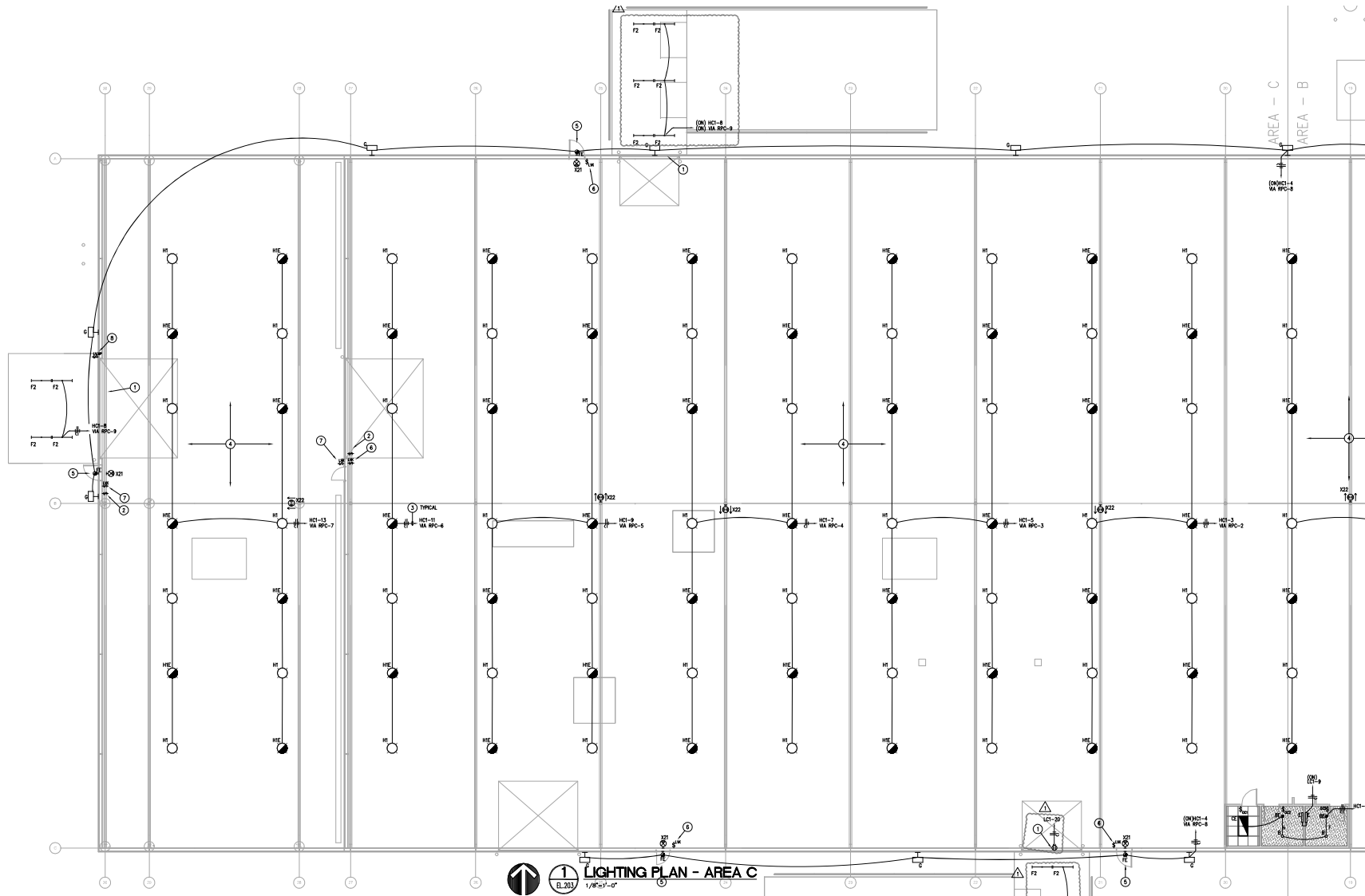
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DRAWING NAME

LIGHTING PLAN - AREA B

DRAWING NUMBER

**EL.202**



**ELECTRICAL KEYED NOTES:**

1. PROVIDE WET-LITE FLEX NECK LED BAY LIGHT TO SERVE DOORS. FIELD COORDINATE EXACT LOCATION PRIOR TO BIDDING. REFER TO E402/E403 FOR CIRCUIT INFORMATION AND E404 FOR FIXTURE INFORMATION. COORDINATE WITH MANUFACTURER MANUAL FOR PROPER INSTALLATION. COORDINATE EXACT SPECIFICATION PRIOR TO BIDDING.
2. PROVIDE MULTI-BUTTON SWITCH TO SERVE WAREHOUSE. COORDINATE ALL PROGRAMMING, SETTINGS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
3. ROUTE LIGHTING CIRCUIT THROUGH DESIGNATED DIGITAL LIGHTING CONTROLS RELAY. COORDINATE ALL PROGRAMMING, SETTINGS, THE DELAYS, TIMEOUTS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER PRIOR TO INSTALLATION. CONFIRM ALL PROGRAMMING, SETTINGS, SCHEDULING, AND ANY OTHER FEATURES AND/OR FUNCTIONS WITH OWNER ONCE SYSTEM IS OPERATIONAL.
4. PROVIDE EXIT SIGNS ON ALL THE COLUMNS LEADING TO ITS NEAREST EXIT. TOP SECTION OF WAREHOUSE SHALL LEAD TO TOP EXITS AND LOWER SECTION OF WAREHOUSE SHALL LEAD TO LOWER EXITS. ALL EXIT SIGNS LOCATION SHALL BE VERIFIED.
5. NEW EXTERIOR FIXTURE IN NEW LOCATION ABOVE DOOR.
6. PROVIDE KEVED LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR AREA C MANUAL OVERRIDE.
7. PROVIDE KEVED LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR MANUAL OVERRIDE TO LIGHTING FIXTURES CONTROLLED BY RELAY RPC-7.
8. PROVIDE LOW VOLTAGE SWITCH ROUTED TO RELAY PANEL FOR LOADING DOOR AREA MANUAL OVERRIDE. PROVIDE WEATHERPROOF BOX AND COVER.

**ELECTRICAL GENERAL NOTES:**

- A. REFER TO E402 FOR LIGHT FIXTURE SCHEDULE.
- B. ALL HIGH BAY FIXTURES SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.
- C. REFER TO E403 FOR LIGHTING CONTROLS DEVICE SCHEDULE. PROVIDE POINT PACKS, DIMMER SWITCHES, ROOM CONTROLLERS, CABLE/WIRING AND ADDITIONAL EQUIPMENT AS REQUIRED FOR CONTROL, MOUNTING.
- D. LOCATE ULTRASONIC COFFINANCY SENSORS A MINIMUM OF 3 FEET FROM MECHANICAL DIFFUSERS AND OTHER NOISE PRODUCING EQUIPMENT.
- E. LOWERCASE LETTERING NEXT TO LIGHT SWITCHES AND LIGHT FIXTURES INDICATES SWITCHING SCHEME.
- F. ALL CEILING MOUNTED DEVICES LOCATED IN LAY-IN CEILING SHALL BE CENTERED IN THE CEILING TILE.
- G. WALL MOUNT SWITCHES SHOWN TOGETHER SHALL BE GANGED TOGETHER UNDER A COMMON COVER PLATE.
- H. CONTRACTOR SHALL INDICATE LIGHTING CIRCUIT CONTROLLED BY EACH SWITCH BY PROVIDING TYPE WRITTEN LABELING LOCATED ON INSET FACE OF EACH SWITCH COVER PLATE.
- I. SPRINKLER CONTRACTOR SHALL COORDINATE SPRINKLER HEAD LOCATIONS WITH CEILING MOUNTED LIGHTING FIXTURES.
- J. ALL MATERIALS/EQUIPMENT/DEVICES INSTALLED IN PLENUM SPACES SHALL BE PLENUM RATED MATERIALS/EQUIPMENT/DEVICES.
- K. ROUTE AN UNIDENTIFIED HOT LEG, AS DEFINED IN NEC 700.12, TO ALL LIGHT FIXTURES EQUIPPED WITH EMERGENCY FIXTURES. HOT LEG SHALL OPERATE FROM CIRCUIT SERVING NORMAL LIGHTING FIXTURES IN THAT SPACE. UNIDENTIFIED HOT LEG SHALL CONNECT TO THE NORMAL POWER SENSING LUG ON THE ETO DEVICE.
- L. REFER TO LIGHTING CONTRACTOR SCHEDULE ON SHEET E.402.
- M. ALL EXIT SIGNS WITHIN AREA C SHALL BE CONNECTED UN-SWITCHED TO CIRCUIT H2-10, UNLESS NOTED OTHERWISE.
- N. ALL EXTERIOR WALL PACKS SHALL BE INSTALLED IN THE SAME LOCATION AS FIXTURES PRIOR TO DEMOLITION UNLESS NOTED OTHERWISE.

**1 LIGHTING PLAN - AREA C**  
1/8"=1'-0"

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KR NB AS NB



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**# 030 ISSUE NUMBER**

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03/2021 ADDENDUM 1

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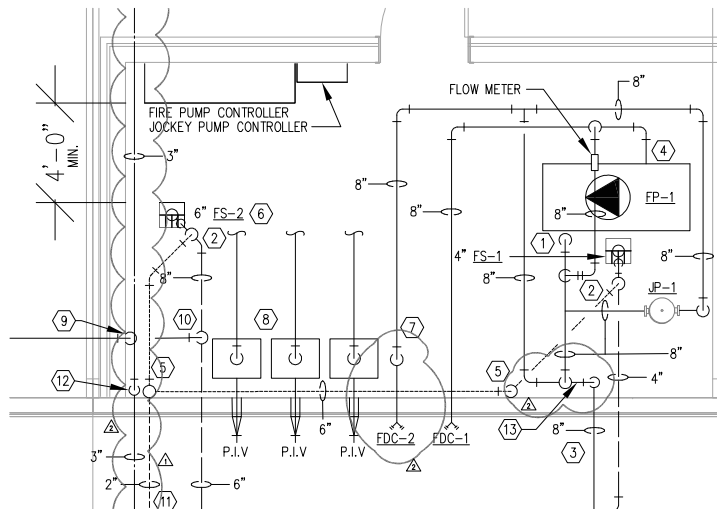
20.175.00

**DRAWING NAME**

LIGHTING PLAN - AREA C

**DRAWING NUMBER**

EL.203



**1**  
P.301  
**ENLARGED FIRE PUMP ROOM**  
1/2"=1'-0"

**PLUMBING GENERAL NOTES**

1. REFER TO P.300 FOR PLUMBING GENERAL NOTES.
2. REFER TO 1/P.301 FOR FIRE PROTECTION SCHEMATIC DIAGRAM.

**PLUMBING KEYED NOTES**

- ① 8" FIRE CONNECTED TO SUCTION SIDE OF FIRE PUMP. CONNECT PER MANUFACTURERS RECOMMENDATIONS.
- ② 2" SANITARY VENT OFF TOP OF DRAIN LINE BELOW FLOOR WITH SLOPING VENT BELOW FLOOR TO RISE AS SHOWN.
- ③ 8" FIRE WATER MAIN, REFER TO MEP-SITE PLAN FOR CONTINUATION.
- ④ 8" FIRE WATER CONNECTION TO FIRE PUMP ON DISCHARGE SIDE; CONNECT PER MANUFACTURERS RECOMMENDATIONS.
- ⑤ 2" SANITARY VENT UP FROM BELOW FLOOR, SIZE AS NOTED; PROVIDE WALL CLEANOUT ABOVE GRADE 42" A.F.F.
- ⑥ FLOOR SINK TO BE POURED IN A CONCRETE CURB AND PROVIDE FIELD FABRICATED STAINLESS STEEL METAL HOOD; REFER TO 12/P.401.
- ⑦ 8" FIRE WATER DOWN TO FIRE SPRINKLER HEADER; REFER TO 12/P.401.
- ⑧ FIRE SPRINKLER ZONE VALVE ASSEMBLY PIPING, REFER TO SPRINKLER CONTRACTOR DRAWINGS FOR PIPING CONTINUATION, HEAD LOCATIONS AND HYDRAULIC CALCULATIONS.
- ⑨ 2" SANITARY LINE DOWN IN WALL ROUTED UNDERGROUND AS SHOWN.
- ⑩ CONNECT 2" LINE FROM SUMP PUMP TO TOP OF 8" SANITARY LINE.
- ⑪ 2" VENT-ROOTED UNDERGROUND FROM FLOOR SINK ON SITE. ROUTE VENT UP THRU FLOOR IN PUMP ROOM AND CONNECT TO BOTTOM OF VENT RISER, REF: MEP-201 FOR CONTINUATION, CONTRACTOR SHALL NOTE THIS ONLY APPLIES IF THE ALTERNATE IS ACCEPTED.
- △ NEW 8" DOMESTIC WATER SERVICE UP IN PUMP ROOM, REFER TO P.302 FOR CONTINUATION, RE: 18/P.301
- ⑬ PROVIDE WATTS NO. 400055 REDUCED PRESSURE ZONE ASSEMBLY FOR THE NEW 8" FIRE SERVICE ENTRY.

Add note to verify design flow availability determined after installation of water lines

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△ 03/29/21	ADDENDUM 1	
△ 05/20/21	PERMIT REVISIONS	

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ENLARGED PLUMBING PLAN

DRAWING NUMBER

P.301