

App# 25-002

Date Received 3-10-25

**PENNINGTON BOROUGH**

30 North Main Street

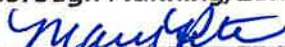
Pennington, NJ 08534

**PLANNING & ZONING BOARD APPLICATION**

To be completed by all applicants

Date: 2/17/25 Block: 706 Lot: 5  
Address: 319 Hale Stree, Pennington, NJ Zone: R-80  
Property Owner Name: CJ & Mary Peters  
Property Owner Address: Same as above  
Property Owner Phone # and Email: (732) 379-0455 ; Teachercjpeters3@gmail.com ; mcpeters06@gmail.com

*I have reviewed this application and supporting documentation and consent to the filing if the same with the Pennington Borough Planning/Zoning Board.*

Property Owner Signature: 

Applicant Name: CJ and Mary Peters

Applicant Address: Same as above

Applicant Phone Number & Email: Same as above

Contact or Agent's Name (primary point of contact for application) Jason Kliwinski, AIA, Principal Designs for Life LLC

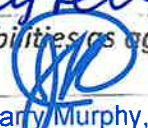
Contact or Agent's Address: 67 Bridge Street, 2nd Flr

Contact or Agent's Phone Number & Email: (908) 255-5769 ; jason@designs4life.net

*I do hereby consent to the filing of this application and appoint Jason Kliwinski to perform all duties as may be required to present this application before the Pennington Borough Planning/Zoning Board. I do further acknowledge my agent will be the sole recipient of all documentation (reports, agendas, etc.) produced by Pennington Borough with regard to this application.*

Applicant's Signature: 

*I do hereby accept the responsibilities as agent for this application.*

Contact or Agent's signature: 

Name of Preparer of Plans: Larry Murphy, PE, Principal, Greensite Engineering and Consulting LLC

Preparer Address: 526 ROUTE 206, TRENTON, NJ 08610

Preparer Phone Number & Email: C (609) 751-8479 O (609) 751-0287 ; lmurphy@greensiteec.com

Architect's Name: Jason Kliwinski, AIA, Principal, Designs for Life LLC

Architect's Address: 67 Bridge Street, Lambertville NJ

Architect's Phone Number & Email: (908) 255-5769 ; jason@designs4life.net

Attorney's Name None

Attorney's Address:

Attorney's Phone Number & Email:

Application Type-Check all that apply:

- ☐ Appeal of Zoning Officer Decision
- ☐ Request for Interpretation of Zoning Ordinance
- ☐ Sketch Site Plan Review (see Sketch Site Plan form and Borough Code 169.9 for details)
- ☐ Technical Review with Professionals
- ☐ Resubmittal Due to Incompleteness
- ☐ Extension of Time
- ☐ Conditional Use Permit
- ☒ Variance -Bulk or "C"
- ☐ Variance-Use or other "D" (please specify) \_\_\_\_\_
- ☐ General Development Plan
- ☐ Major Sub-Division
- ☐ Minor Sub-Division
- ☐ Preliminary Site Plan
- ☐ Site Plan Amendment
- ☐ Site Plan Waiver
- ☐ Final Site Plan
- ☐ Other (specify) \_\_\_\_\_

Has there been a prior application to the Planning and Zoning Board regarding this property? YES or NO If yes, please indicate date, nature and disposition of application. No

Please provide a description of the current project or the reason for an appeal.

Attach additional sheets if necessary.

The Owner is proposing to expand the house to the rear within the setback and FAR regulations.

A 2 story additon to the rear is proposed, rear deck expansion, generator and new HVAC,

dormers on both the front and rear of the existing home, and a new wrap-around porch connected

to the existing front porch. The existing front proch is within the front yard setback. Expanding it

requires a variance. The project is withing keeping with the quality and style of the neighborhood

by renovating and upgrading this existing home and will increase the aesthetic appeal of the street as well as the property values of neighbors. The proposed wrap around porch will connect the rear addition with the front porch to give this home more of the same scale and imagery of the surrounding properties. A craftsmen style blends with the character of the neighborhood and creates an often coveted amenity in the covered front porch where the community comes together.

Provide a description of any requested variances. Attach additional sheets if necessary.

Ordinance Section Cited	Description of variance requested with justification for request
215, Attachment 2, Front Yard Setback	The existing front porch is within required setback. Expansion of this to make a wrap around requires a variance. The proposed does not make the front yard setback any worse than the existing condition and improves the aesthetics of the home and property values.

### General Building/Project Information

Zone: R-80

	Existing	Proposed	Allowed in Zone*
Lot Size	12,680sf	No Change	Yes (12,000sf min.)
Lot Width	80.01ft	No Change	Yes (80' min.)
Lot Length	159.17ft	No Change	Yes
Building Height	2 story	No Change	Yes (3 story/35' max.)
Front Setback	40ft (Avg. 36')	32.9ft	No
Rear Setback	59ft	No Change	Yes (25' min.)
Distance from:			
Right property line			
Left property line	28.8ft	No Change	Yes (15' min.)
% of lot coverage	18%	27%	Yes (34%)
Height side yard ratio	NA	NA	NA
Floor area ratio	813sf	1,246sf	Yes (900sf min. 1st Flr)
Gross floor area	1,293gsf	1,935gsf	Yes

\*Refer to Pennington Code, Section 215, Attachment 2, "Schedule of Area, Yard and Building Regulations" or Attachment 3, "Schedule of Area and Bulk Regulations for MU-3 Mixed Use Zone."

**ALSO COMPLETE AND SUBMIT THE APPLICATION CHECKLIST AND ALL SUPPORTING DOCUMENTS**

1.3.2023

**PENNINGTON BOROUGH  
PLANNING/ZONING BOARD  
APPLICATION CHECKLIST**

Name of Applicant: CJ & Mary Peters Application # \_\_\_\_\_

Block: 706 Lot: 5 Date Filed \_\_\_\_\_

An Application shall not be considered complete until all of the materials and information specified below have been submitted, unless a waiver is requested. The waiver request shall be granted or denied within 45 days of receipt of said request. If an item is considered by the applicant to be "Not Applicable", a waiver request (W) should be made.

<b>ALL APPLICATIONS</b>	X=Provided W=Waiver Request	ARC Recommendation
1. Applicable fees and escrow (2 separate checks), Escrow Agreement Form, W-9 Form, Consent to Entry Form and Checklist (1 copy of each)	X	
2. Applications for certified list of property owners within 200 feet and taxes paid statement from tax collector. (\$10.00 fee, may be included in check with fees) (1 Copy)	X	
3. If the applicant is a corporation or partnership, a list of the names and address of all persons having a 10% or more interest, in accordance with NJ Statute. (1 digital and 6 hard copies for initial submission)	NA	
4. Fully completed application form (1 digital and 6 hard copies for initial submission)	X	
5. Original sealed survey showing present status of property, prepared by a NJ licensed land surveyor (1 original & 6 copies for initial submission)	X	
6. Copies of all easements, covenants & deed restrictions with metes & bounds descriptions, including right of way dedications, on or affecting the property in question. (1 digital and 6 hard copies for initial submission)	X	
7. Plans showing the following information: (1 digital and 6 hard copies for initial submission)		
A. Dimensions & lot area of existing lot and lot areas if new lot is proposed	A <u>X</u>	A _____
B. Zoning district of subject property & surrounding lots; bulk requirements applying to subject property in table form & displayed graphically	B <u>X</u>	B _____
C. The location & purpose of all easements or rights-of-way on the subject property & adjoining lots	C <u>X</u>	C _____
D. Location of adjacent streets, existing & proposed buildings, structures, driveways & parking areas on the subject property, indicating setbacks from all lot and road lines	D <u>X</u>	D _____



<p>E. Location &amp; details of all existing &amp; proposed stormwater control measures, including, but not limited to, roof drains, down spouts, dry wells, storm water inlets, manholes, piping, stormwater basins, outfalls, ditches, streams or other water courses</p>	<p>E <u>  X  </u></p>	<p>E _____</p>
<p>F. Where a basement or cellar is proposed for any building, including single family and multi-family dwellings, the applicant shall provide information regarding the depth to seasonal high water table, based on soil borings taken at the locations of the proposed structure. (n/a if no basement)</p>	<p>F <u>  NA  </u></p>	<p>F _____</p>
<p>G. Title block containing the name of the applicant, the name address &amp; telephone number of the plat preparer, license number, signature &amp; seal, existing lot and block numbers, the date prepared &amp; the date and substance of each revision.</p>	<p>G <u>  X  </u></p>	<p>G _____</p>
<p>H. IF COMMERCIAL, parking requirement calculations &amp; the location of parking, including dimensions from parking spaces to the property lines, street &amp; structures. Existing parking areas with designated spaces should be shown</p>	<p>H <u>  NA  </u></p>	<p>H _____</p>
<p>I. Plans and elevations should be accurate, true to scale and readable.</p>	<p>I <u>  X  </u></p>	<p>I _____</p>
<p>8. Copies of the following: (1 digital and 6 hard copies for initial submission)</p>	<p>A <u>  X  </u></p>	<p>A _____</p>
<p>a. A current key map with north arrow showing the subject &amp; adjacent properties &amp; structures thereon. An aerial or Google map could be used.</p>	<p>B <u>  X  </u></p>	<p>B _____</p>
<p>b. Architectural elevations</p>	<p>C <u>  X  </u></p>	<p>C _____</p>
<p>c. Floor plans</p>	<p>D <u>  X  </u></p>	<p>D _____</p>
<p>d. Photograph(s) of the subject premises that may prove useful in helping the Board make an informed decision</p>	<p>E <u>  NA  </u></p>	<p>E _____</p>
<p>e. Lot area if new lot is proposed</p>	<p></p>	<p></p>
<p><b>SKETCH PLAN</b></p>		
<p>Plans should be preliminary in form but should be true to scale. The plans should indicate the size, shape and location of existing and proposed buildings, parking areas and drives, the location of proposed plantings, utilities, fences, signs and other important features, and a key map showing the entire project, and its relation to the surrounding properties and the existing buildings thereon. Basic bulk information should be provided indicating requirements of the zone district and what is proposed.</p>	<p><u>  NA  </u></p>	<p></p>
<p><b>SITE PLAN/SUBDIVISION</b></p>		
<p>See Site Plan Review, Chapter 163 or Subdivision, Chapter 181 in the Pennington Code Book for specific submission details that are required. You can find the Code Book at <a href="http://penningtonboro.org">penningtonboro.org</a> or request a copy from the Land Use Administrator</p>	<p><u>  NA  </u></p>	<p></p>
<p>In addition to requirements above for ALL applications the plans MUST include:</p>	<p></p>	<p></p>
<p>a. Names of adjoining owners</p>	<p>a. _____</p>	<p>a. _____</p>
<p>b. Zone district and adjoining zones</p>	<p>b. _____</p>	<p>b. _____</p>

# TRANSMITTAL



## DESIGNS *for* LIFE

Sustainable Architecture, Planning & Preservation

Date: March 28, 2025  
To: Robin Tillou, Land Use Administrator, HPC Secretary, Pennington Boro  
planning@penningtonboro.org  
Address: 30 North Main Street, Pennington NJ 08534  
Phone: 609.737.0276  
  
From: Jason Kliwinski, AIA, LEED Fellow, WELLap  
Project: 319 Hale Street, Pennington NJ (Peters Residence)  
Re: Zoning Variance Application`

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<input checked="" type="checkbox"/> Herewith	<input type="checkbox"/> For your information	<input checked="" type="checkbox"/> Via Mail
<input type="checkbox"/> Under separate cover	<input type="checkbox"/> For review and approval	<input type="checkbox"/> Hand Delivered
	<input checked="" type="checkbox"/> For your use, as requested	<input type="checkbox"/> Priority Overnight delivery
		<input type="checkbox"/> Rush AM <input type="checkbox"/> Standard AM
		<input type="checkbox"/> Email

Items Enclosed:

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An electronic copy of this application is included as requested. Please find the following items included in this package:

1. 1 Zoning Application signed
2. 1 Existing Property Survey (signed and sealed copy is on file with the Town)
3. 1 copy of architectural and site drawings (signed and sealed copies are on file with the Town)

Should you have any concerns or questions please do not hesitate to contact us.

Sincerely  
Designs for Life, LLC

Jason Kliwinski, AIA, LEED Fellow/Faculty, WELLap/Faculty, BECxP  
Principal

(609) 460-4787 Office; (908) 255-5769 Cell  
[jason@designs4life.net](mailto:jason@designs4life.net) ; [www.designs4life.net](http://www.designs4life.net)

- c. Location of site structures, outside dimensions and architectural elevations
- d. Location of structures and streets surrounding site
- e. Existing natural features; existing & proposed contours
- f. Setbacks, yards and lot line dimensions
- g. Location and design of all utilities
- h. Road cross sections; design details
- i. Location and design of storm water, sewer system refuse disposal, fire prevention, etc.
- j. Landscape plan
- k. Lighting details
- l. Sign details; locations and dimensions
- m. Soil erosion and sediment control plans
- n. Names of owner and applicant
- o. Name of person or firm responsible for plan preparation
- p. Signature block

c. _____	c. _____
d. _____	d. _____
e. _____	e. _____
f. _____	f. _____
g. _____	g. _____
h. _____	h. _____
i. _____	i. _____
j. _____	j. _____
k. _____	k. _____
l. _____	l. _____
m. _____	m. _____
n. _____	n. _____
o. _____	o. _____
p. _____	p. _____

**Applicant:** Please explain why you believe each requested waiver should be granted. Refer to each specific checklist item for which you are requesting a waiver. Use a separate sheet if necessary

No Waivers are requested

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**Legend for ARC Recommendations:**

- A-ARC recommends waiver be approved
- E-Sent to Engineer
- I-ARC finds application incomplete and recommends it not be heard
- D-ARC recommends the waiver be denied
- P-Sent to Planner

1 COPY

**PENNINGTON BOROUGH  
PLANNING/ZONING BOARD**

**PENNINGTON BOROUGH CONSENT TO ENTRY**

Date: 2/17/25

The undersigned property owner hereby gives consent to entry onto the property known as 319 Hale Street and also known as Block(s) 706, Lot(s) 5, on the Tax Map of Pennington Borough by members of the Borough Joint Zoning/Planning Board, the Environmental Commission, the Historic Preservation Commission, or any Borough employees, appointed agents or appointed consultants to perform inspections / observations of the property, at reasonable times, in connection with the development application submitted. This consent permits entry onto the property only by the above-mentioned Representatives for the purpose of conducting visual inspections / observations while the application is active with the Borough. This right of entry onto the subject property is limited only to those persons listed above.

CJ & Mary Peters

732-379-0455

Property Owner (Print)

Property Owner Phone #



Property Owner (Signature)

Jason Kliwinski

Witness (Print)



Witness (Signature)

1 COPY

**PLANNING/ZONING BOARD  
PENNINGTON BOROUGH**

**ESCROW AGREEMENT**

Application #: \_\_\_\_\_

Applicant's name: CJ & Mary Peters  
(property owner)

Applicant's address: 319 Hale Street  
Pennington, NJ 08534

Application for the following property:

Block: 706 Lot(s): 5

Street address: same as above

Pursuant to Chapter 98-12 of the Pennington Borough Code, the undersigned hereby agrees to pay for the cost of professional services, including, but not limited to engineering, professional planning and legal services, necessary to review the developer's (property owner's) application as captioned above.

CJ & Mary Peters

Name (print or type legibly)

  
Property owner's signature

Date

2/17/2015



1 COPY

TO: Assessor

DATE: 2/17/25

**I hereby request a certified list of property owners within 200 feet of the property known as:**

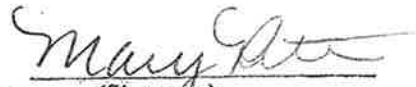
Block 706 Lot(s) 5

Address 319 Hale Street, Pennington NJ

**for purposes of notification.**

FROM: CJ & Mary Peters

**I have enclosed the required fee of \$10.00.**

  
(Signature)

**TO: Tax Collector**

**DATE:** 2/17/25

**I hereby request a certified list of property owners within 200 feet of the property known as:**

**Block** 706 **Lot(s)** 5

**Address** 319 Hale Street, Pennington NJ

**for purposes of notification.**

**FROM:** CJ & Mary Peters

**I have enclosed the required fee of \$10.00.**

**(Signature)**



**MASON, GRIFFIN & PIERSON**

A PROFESSIONAL CORPORATION  
COUNSELLORS AT LAW

**MEMORANDUM**

*via Electronic Mail*

To: Mary Mistretta, Secretary  
Pennington Borough Planning Board

From: Edwin W. Schmierer, Esq.  
Board Attorney



Date: October 8, 2020

Re: **Resolution Adopting Remote Public Meeting Procedures**

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In March 2020, the New Jersey Department of Community Affairs, Division of Local Government Services issued guidelines for conducting remote Land Use Board Meetings. The Division of Local Government Services is now in the process of codifying those guidelines and incorporating them into the New Jersey Administrative Code. We recently received a directive from the State that the remote public meeting guidelines should be formally adopted by Land Use Board to be in compliance with State guidelines.

To this end, I have prepared and enclose herewith a proposed resolution. Attached to the resolution as Exhibit A are the guidelines for the Pennington Borough Planning Board to conduct remote public meetings.

I would suggest therefore, that the Board consider adopting the enclosed resolution at its meeting on October 14, 2020.

Encl.

**BOROUGH OF PENNINGTON PLANNING BOARD**

**RESOLUTION ADOPTING REMOTE PUBLIC MEETING PROCEDURES**

WHEREAS, Section 8 of P.L.2020, c.34 provides that whenever a public health emergency, pursuant to the *Emergency Health Powers Act*, P.L.2020, c.11 (N.J.S.A. 26:13-1, *et seq.*), and/or a state of emergency pursuant to P.L.1942, c.251 (C.App.A.9-33 *et seq.*), or a state of local disaster emergency has been declared by the Governor and is in effect, a local public body may conduct a public meeting remotely by electronic means, provided that reasonable public notice and provision for public input is made under the circumstances; and

WHEREAS, P.L.2020, c.34 also provides that the Director of the Division of Local Government Services in the Department of Community Affairs ("DLGS") shall adopt rules and regulations concerning the conduct of remote public meetings during a public health emergency or state of emergency that are necessary to implement the provisions of the law, which shall include minimum procedures to be followed to provide reasonable public notice and allowance for public input; and

WHEREAS, DLGS promulgated emergency regulations codified as N.J.A.C. 5:39-1.1 through -1.7 that implement P.L.2020, c.34; and

WHEREAS, DLGS issued Local Finance Notice LFN 2020-21 on September 24, 2020 to accompany and explain the new regulations; and

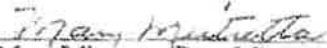
WHEREAS, N.J.A.C. 5:39-1.4(h) requires local public bodies to adopt, by resolution, standard procedures and requirements for public comment made during a remote public meeting and for public comments submitted in writing ahead of a remote public meeting; and

WHEREAS, the Pennington Borough Planning Board ("Board") desires to establish and adopt the procedures and requirements attached hereto as Exhibit A as its standard procedures and requirements for public comment during a declared public health emergency and/or state of emergency.

NOW, THEREFORE, BE IT RESOLVED by the Pennington Borough Planning Board in Mercer County, New Jersey, that the Procedures and Requirements for the Conduct of Remote Public Meetings during a Declared Public Health Emergency and/or State of Emergency, attached hereto as Exhibit A, are hereby adopted as the standard procedures and requirements for public comment during a declared public health emergency and/or state of emergency.

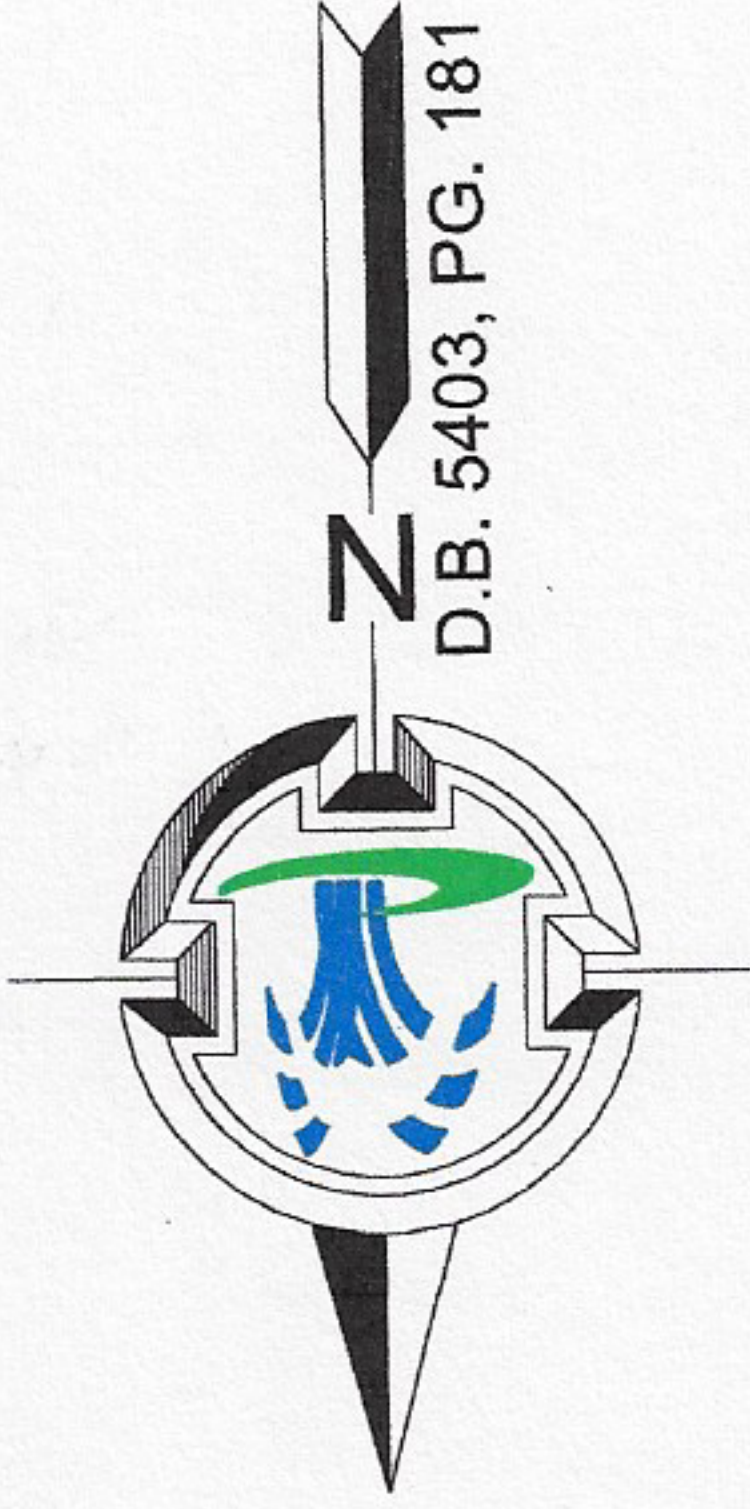
**CERTIFICATION**

**I, Mary Mistretta, do hereby certify that this Resolution was adopted by the Pennington Borough Planning Board at its meeting on October 14, 2020.**

  
Mary Mistretta, Board Secretary

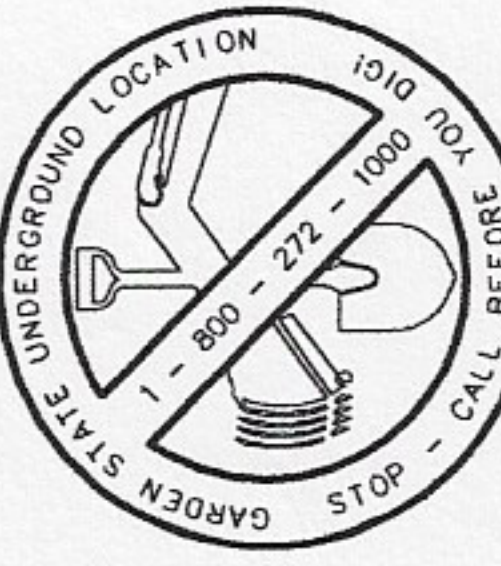


FLOOD NOTE:  
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN  
ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2%  
ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE  
RATE MAP, MAP NO. 34021C0108F, WHICH BEARS AN  
EFFECTIVE DATE OF JULY 20, 2016.  
BEFORE THE PREPARATION OF DESIGN PLANS PLEASE VISIT  
FEMA.GOV TO CONFIRM THE INFORMATION LISTED ABOVE.



D.B. 5403, PG. 181

PROTECT YOURSELF  
CAN BE YOUR INSURANCE POLICY



WHAT YOU DON'T KNOW CAN HURT YOU.  
THE STATE OF NEW JERSEY RECOMMENDS THE HIRE OF A LICENSED SURVEYOR,  
DESIGNER, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S  
SURFACE ANYWHERE IN THE STATE.  
TICKET #232822585

## LEGEND

- 210 --- CONTOUR (MAJOR/MINOR)
- 212 ---
- x 12.05 SPOT ELEVATION
- x DS=215.23 DOOR SILL ELEVATION
- COO CLEAN OUT
- WV WATER VALVE
- O PROPERTY CORNER EVIDENCE
- G --- APPROXIMATE LOCATION OF UNDERGROUND GAS LINE
- 1.0' --- OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE

## NOTES:

- PROPERTY KNOWN AS LOT 5, BLOCK 706 AS IDENTIFIED ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF PENNINGTON, MERCER COUNTY, STATE OF NEW JERSEY.
- AREA = 12,680 S.F. OR 0.291 AC.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE THE PREPARATION OF DESIGN PLANS AND/OR EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANY.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY BLUE MARSH ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. **THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT REPORT.**
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- THIS PROPERTY SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- ELEVATIONS ARE BASED UPON (NAVD 88) DATUM ESTABLISHED ONSITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTION.
- ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- CORNER MARKER WAIVER OBTAINED FROM THE ULTIMATE USER AS PROVIDED BY THE REGULATION (N.J.A.C. 13:40-5.2 OF THE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS).

## REFERENCES:

- TAX SHEET MAP #7 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF PENNINGTON, MERCER COUNTY, STATE OF NEW JERSEY.
- MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, MERCER COUNTY, NEW JERSEY (ALL JURISDICTIONS)", PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL 108 OF 276, MAP NUMBER 34021C0108F, EFFECTIVE DATE: JULY 20, 2016.

BOUNDARY & TOPOGRAPHIC SURVEY	
CHARLES J. & MARY C. PETERS	
#319 HALE STREET	
LOT 5, BLOCK 706	
BOROUGH OF PENNINGTON, MERCER COUNTY	
STATE OF NEW JERSEY	
BLUE MARSH ASSOCIATES, INC.	
LAND SURVEYORS & PLANNERS	
551 EASTON ROAD, SUITE A TOMES RIVER, NJ 08753 732-552-9641 (MAIN) 732-552-8615 (FAX) www.BlueMarshAssociates.com	
DATE: 10-26-2023	PROJECT NO.: 23-B-334
SCALE: 1" = 20'	SHEET: 1 OF 1
FIELD BK. NO: 23-00	
DRAWN BY: G.A.	
REVIEWED BY: T.D.M./J.J.W.	
REV-1: 7-10-2024	
REVISED PER CLIENT COMMENTS	
REV-2:	
REV-3:	

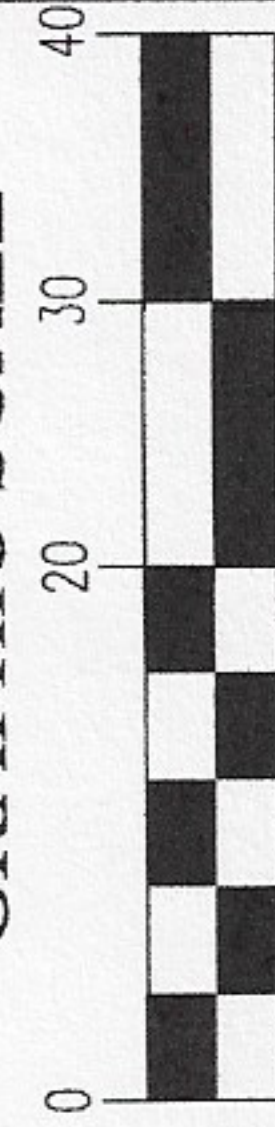
## SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THAT THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS, THAT THE PROPERTY LINES AND RELATIONSHIP OF BUILDINGS AND OTHER STRUCTURES TO THE PROPERTY LINES AND THE LAND INDICATED HEREON IS CORRECT, AND THAT THERE ARE NO ENCROACHMENTS OF BUILDINGS OR STRUCTURES ONTO SAID LAND.

NOTED: UNLESS SEALED WITH AN EMBOSSED SEAL

JOSEPH J. WRIGHT  
NEW JERSEY PROFESSIONAL LAND SURVEYOR #68-7485500  
CERTIFICATE OF AUTHORIZATION #24G503488500

GRAPHIC SCALE



SCALE: 1" = 20'

HALE STREET  
(45' WIDE R.O.W.) (PUBLIC ROADWAY)  
(ASPHALT ROADWAY)



# PETERS RESIDENCE

## 319 HALE STREET, PENNINGTON NJ

### BLOCK 706, LOT 5

## DRAWING LIST

### ARCHITECTURAL DRAWING LIST

CS	COVER SHEET
A-1	EXISTING, DEMO PLANS & ELEVATIONS
A-2	PROPOSED PLANS & ELEVATIONS
CIVIL	POLT/GRADING/SESC PLAN

## LOCATION MAP



## CODE INFORMATION

ZONE: R80    USE GROUP: R    SEISMIC ZONE: B    EXPOSURE TYPE: B  
CONSTRUCTION TYPE: 5B    DESIGN WIND SPEED: 115 mph  
RISK CATEGORY: II    DESIGN SNOW LOAD: 30 LB/SQ.FT.  
ROOF LIVE LOAD (1:1 AND GREATER): 12 LB/SQ.FT.  
ROOF LIVE LOAD (FLAT): 16 LB/SQ.FT.

### PROJECT DESCRIPTION

THIS SUBMISSION FOR ZONING APPROVAL IS FOR A 2 STORY REAR ADDITION TO THE EXISTING RESIDENCE. IT ALSO INCLUDES THE RAISING OF THE EXISTING ROOF LINE BY ADDING DORMERS ON THE FRONT AND REAR, EXPANSION OF THE EXISTING FRONT PORCH TO MAKE IT WRAP AROUND THE RIGHT SIDE, EXPANSION OF THE EXISTING REAR DECK WITH NEW ACCESS, RELOCATION OF MECHANICAL EQUIPMENT & ADDING OF NEW EQUIPMENT AND INTERIOR RENOVATIONS OF THE EXISTING HOME.

### APPLICABLE CODES

IRC 2021  
NJUCC REHAB Subchapter 6

## SYMBOLS

DRAWING TITLE	
Drawing Number	1 SECTION
Sheet Number	A 100 Scale : 1/4"=1'0"
EXTERIOR ELEVATION	
Drawing Number	2
Sheet Number	A-2
INTERIOR ELEVATION	
Drawing Number	B
Elevation	A
Sheet Number	A-2
BUILDING SECTION	
Drawing Number	3
Sheet Number	A-2
WALL SECTION	
Drawing Number	4
Sheet Number	A-2
PARTITION TYPE	COLUMN LINE
A	2
DEMO/CONST. NOTE	DOOR TYPE
1	101

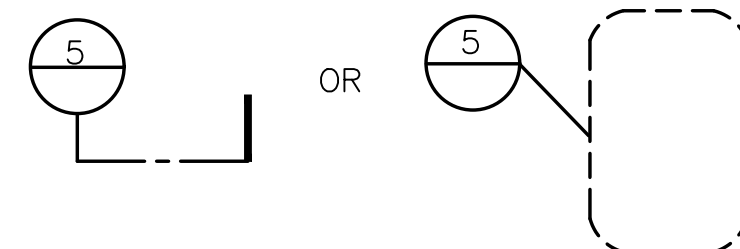
### USE LIVE LOAD

Attics with storage 20  
Attics without storage 10  
Decks 40  
Exterior balconies 60  
Fire escapes 40  
Guardrails and handrails 200  
Guardrails in-fill components 50  
Passenger vehicle garages 50  
Rooms other than sleeping rooms 40  
Sleeping rooms 30  
Stairs 40

### ALLOWABLE STRUCTURAL MEMBER DEFLECTION

Rafters having slopes greater than 3/12 with no finished ceiling attached to rafters L/180  
Interior walls and partitions H/180  
Floors and plastered ceilings L/360  
All other structural members L/240  
Exterior walls with plaster or stucco finish H/360  
Exterior walls.wind loads a with brittle finishes L/240  
Exterior walls.wind loads a with flexible finishes L/120

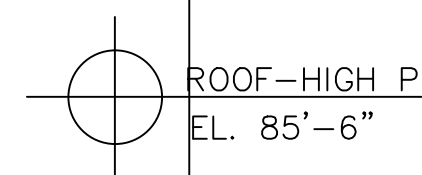
### DETAIL OR ENLARGED PLAN



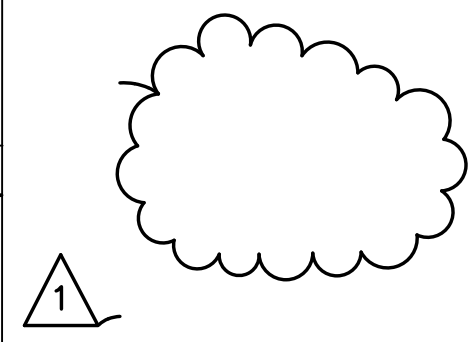
### NEW TARGET ELEVATION



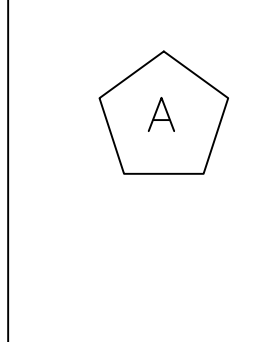
### EXISTING TARGET ELEVATION



### REVISION NUMBER

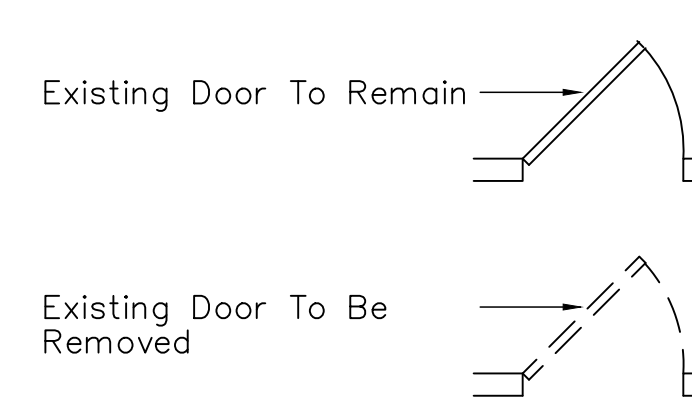


### WINDOW TYPE



Existing Construction	_____
New Construction	_____
WALLS	_____
Existing Construction	_____
To Be Removed	_____

### DOORS



## GENERAL NOTES

- ALL CONTRACTORS MUST VISIT THE SITE AND VERIFY ALL AREAS AND CONDITIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR MUST NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR OMISSIONS IN WRITING. FAILURE TO SO NOTIFY THE ARCHITECT INDICATES THAT ANY ADDITIONAL COSTS ASSOCIATED WITH THE DISCREPANCIES AND/OR OMISSIONS ARE INCLUDED IN THE CONTRACTOR'S WORK AND THAT NO CHANGE TO THE CONTRACT AMOUNT WILL BE MADE AFTER THE RECEIPT OF BIDS OR THE AWARD OF CONTRACTS. CONCEALED OR UNFORESEEN CONDITIONS THAT COULD NOT BE REASONABLY ASCERTAINED DURING VISUAL INSPECTIONS ARE NOT THE CONTRACTOR'S RESPONSIBILITY.
- ALL PLUMBING, MECHANICAL, OR ELECTRICAL WORK & DISCONNECTS SHALL BE MADE BY THE RESPECTIVE TRADES. EXISTING HVAC TO BE REUSED, MODIFY/REOLCATE AS REQUIRED.
- UNLESS NOTED OTHERWISE, ALL DEMOLITION MATERIAL SHALL BE REMOVED OFF SITE BY THE CONTRACTOR'S AT NO ADDITIONAL COST TO THE OWNER & PROVISIONS FOR RECYCLING BUILDING MATERIALS MADE TO THE FULLEST EXTENT POSSIBLE WITH A GOAL OF 95% CONSTRUCTION WASTE RECYCLING.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT ADJACENT EXISTING CONSTRUCTION AS WORK IS FINISHED. ANY DAMAGE TO ADJOINING PROPERTY SHALL BE REPAIRED AT THE CONTRACTOR'S SOLE EXPENSE.
- IF NOT OTHERWISE NOTED OR DETAILED, ALL SURFACES EXPOSED TO VIEW, SHALL BE PATCHED TO MATCH ADJACENT SURFACES AND FINISHES.
- EACH CONTRACTOR IS RESPONSIBLE FOR THE CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF THEIR OWN WORK, UNLESS SPECIFICALLY NOTED OTHERWISE AT A SPECIFIC CONDITION. EACH PRIME CONTRACTOR IS RESPONSIBLE TO PATCH, FILL, FIRESTOP/BLOCK AND REPAIR PENETRATIONS REQUIRED FOR HIS WORK IN BOTH NEW CONSTRUCTION AND EXISTING CONSTRUCTION. THIS INCLUDES AREAS NOT EXPOSED, SUCH AS AREAS ABOVE A SUSPENDED CEILING. THE ARCHITECT HAS THE RIGHT TO REJECT WORK NOT AESTHETICALLY ACCEPTABLE.
- NO WORK SHALL BEGIN UNTIL PROPER PROTECTION IS IN PLACE TO ENSURE THE SAFETY OF THE PUBLIC AND WORKMEN.
- THE CONTRACTORS SHALL COMPLY WITH ALL LAWS REGARDING THE REMOVAL AND DISPOSAL OF ALL MATERIALS AND EQUIPMENT.
- CONTRACTOR TO SUBMIT DIAGRAMMS, SKETCHED, AND/OR EQUIPMENT AND PRODUCT CUT SHEETS AS REQUIRED BY THE OWNER, ARCHITECT OR CODE OFFICIAL FOR APPROVAL FOR ALL MECHANICAL, ELECTRICAL & PLUMBING SCOPE OF WORK..
- FINISHES, PLUMBING FIXTURES AND LIGHTING TO BE PROVIDED BY THE OWNER FOR CONTRACTOR INSTALLATION. CONTRACTOR TO PROVIDE ALL OTHER MATERIALS AND LABOR NECESSARY TO MAKE A COMPLETE AND FINISHED PROJECT AS NEEDED.
- ALL INTERIOR ADHESIVES AND SEALANT TO BE GREENGUARD CERTIFIED OR EQUIVALENT TO MEET CDPH VOC MAX LEVELS. PROVIDE PRODUCT DATA OF ALL SUCH MATERIALS TO BE USED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. FAILURE TO COMPLY WILL RESULT IN REMOVAL AND REPLACEMENT OF MATERIALS AT CONTRACTORS EXPENSE.

### STRUCTURAL MEMBER ALLOWABLE DEFLECTION

Rafters having slopes greater than 3:12 with no finished ceiling attached to rafters L/180  
Interior walls and partitions H/180  
Floors and plastered ceilings L/360  
All other structural members L/240  
Exterior walls with plaster or stucco finish H/360  
Exterior walls-wind loads with brittle finishes H/240  
Exterior walls-wind loads with flexible finishes L/120d  
Lintels supporting masonry veneer wallse L/600

02	03/10/25	ZONING
01	01/06/25	ZONING
NO.	DATE	ISSUE/REVISION

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### PROJECT TITLE:

PETERS RESIDENCE  
RENOVATIONS &  
ADDITION

519 HALE STREET  
PENNINGTON NJ

### DRAWING TITLE:

COVER SHEET

PROJECT NO. 23001

DRAWN BY: JK

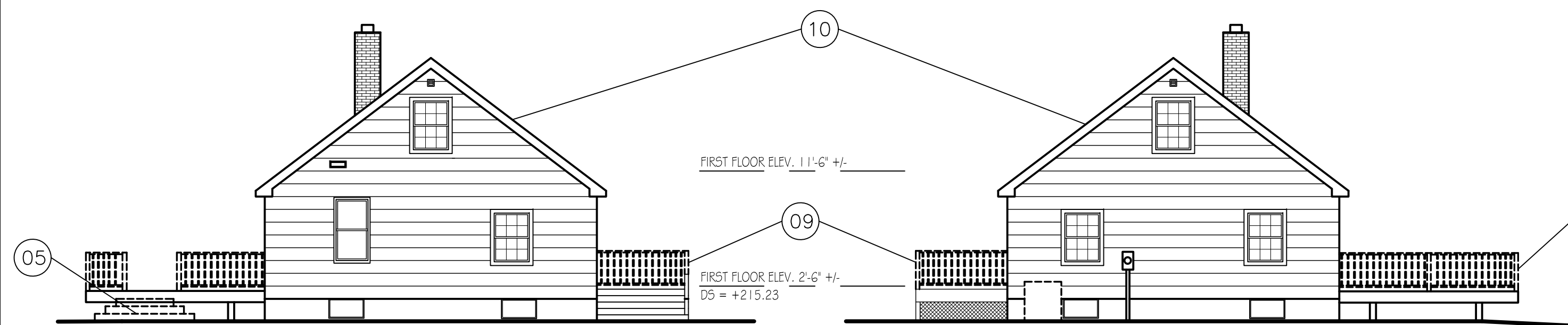
CHECKED BY: JK

SCALE: AS NOTED

DATE: 1/6/25

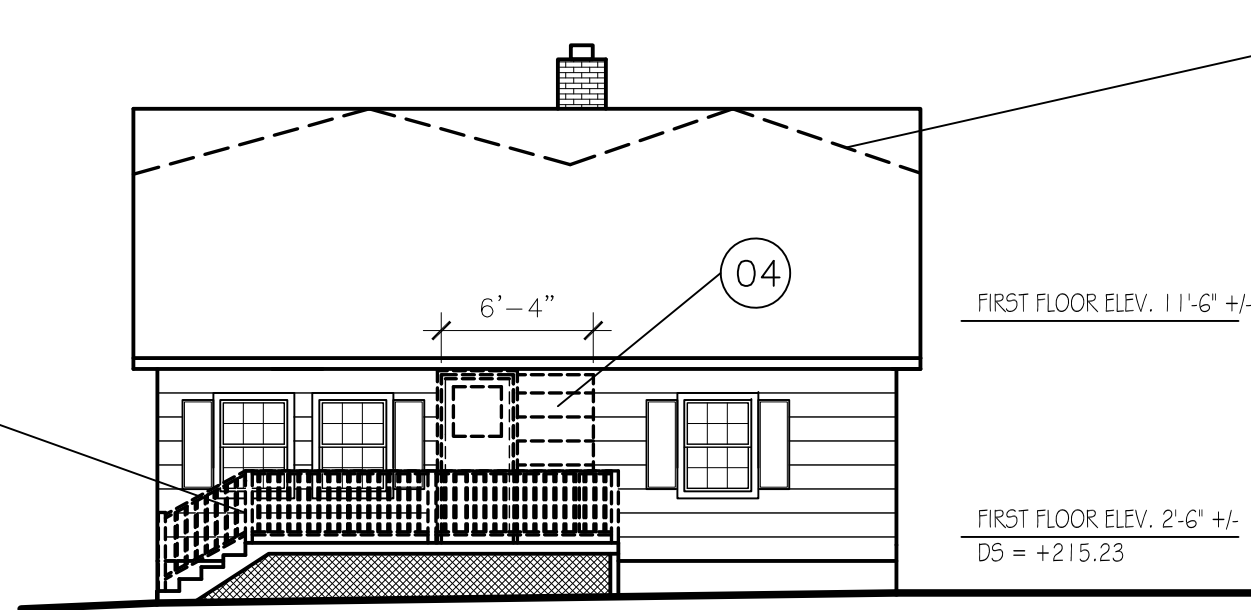
DRAWING NO. CS





**D** SIDE ELEVATION (NORTH) EXISTING/DEMO  
1/8" = 1'-0"

**C** SIDE ELEVATION (SOUTH) EXISTING/DEMO  
1/8" = 1'-0"



**B** FRONT ELEVATION (WEST) EXISTING/DEMO  
1/8" = 1'-0"

**A** REAR ELEVATION (EAST) EXISTING/DEMO  
1/8" = 1'-0"



WEST ELEVATION (FRONT VIEW - 1)



WEST ELEVATION (FRONT VIEW - 2)



NORTH ELEVATION (LEFT SIDE VIEW 1)



NORTH ELEVATION (LEFT SIDE VIEW 2)



EAST ELEVATION (REAR VIEW 1)



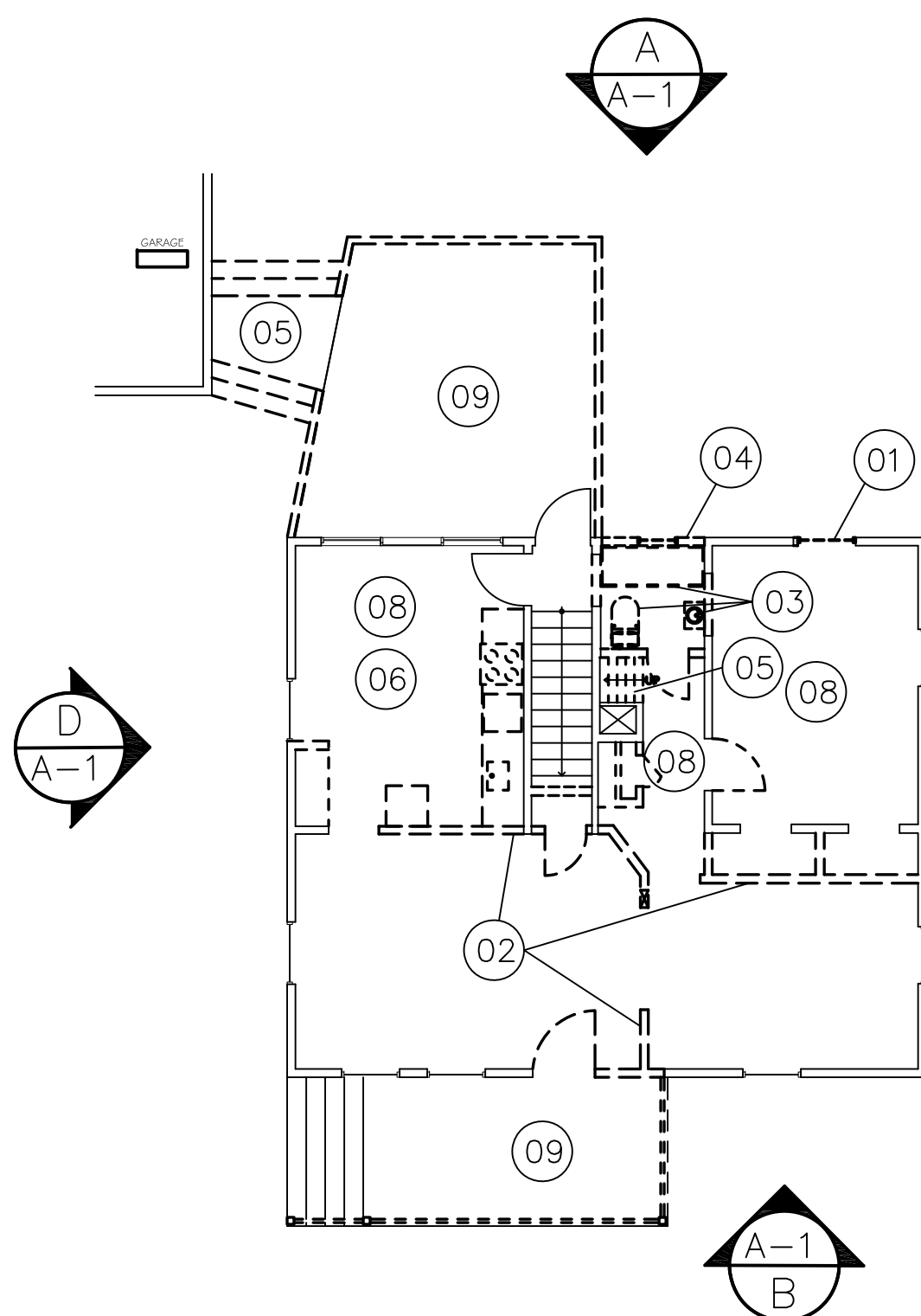
EAST ELEVATION (REAR VIEW 2)



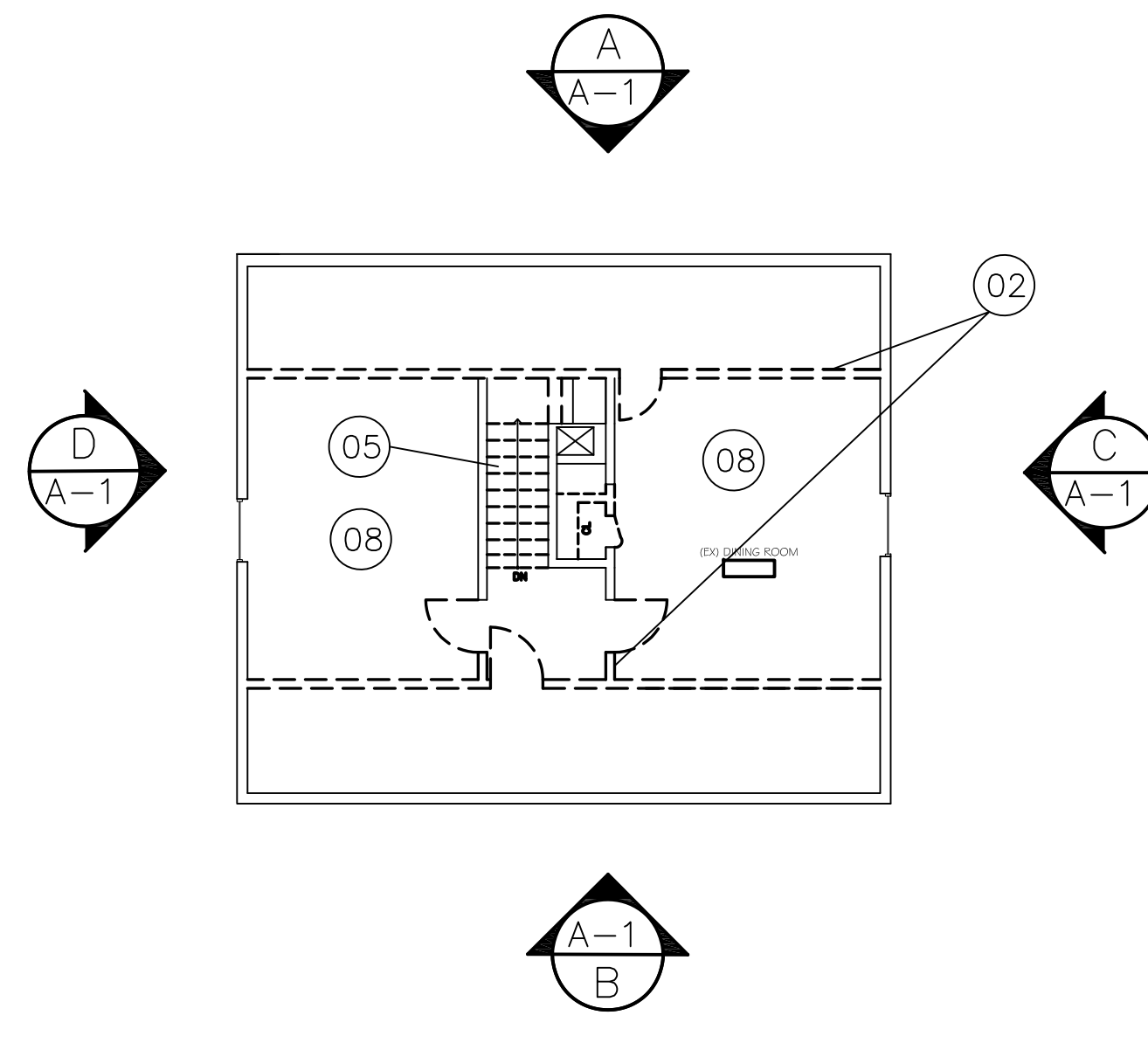
SOUTH ELEVATION (RIGHT SIDE VIEW)



STREET VIEW NORTH



**1** FIRST FLOOR EXISTING/DEMO  
1/8" = 1'-0"



**2** SECOND FLOOR EXISTING/DEMO  
1/8" = 1'-0"

## DEMOLITION NOTES

- 01 REMOVE EXISTING WINDOWS. STRUCTURAL FRAME TO REMAIN U.O.N.
- 02 REMOVE EXISTING WALLS & DOORS COMPLETELY U.O.N. PROVIDE TEMPORARY BRACING AS REQUIRED PRIOR TO AND DURING DEMOLITION.
- 03 REMOVE EXISTING PLUMBING FIXTURES WHERE INDICATED. TEMPORARILY CAP ALL LINES FOR FUTURE REUSE. SEE PROPOSED DRAWINGS FOR NEW FIXTURE LOCATIONS.
- 04 REMOVE EXISTING EXTERIOR WALL CONSTRUCTION TO ENLARGE OPENING. COORDINATINATE WITH MANUFACTURER TO CONFIRM REQUIRED ROUGH OPENING SIZES. SEE PROPOSED DRAWINGS FOR NEW WINDOWS & DOORS.
- 05 REMOVE EXISTING STEPS AND LANDING COMPLETELY.
- 06 EXISTING KITCHEN TO BE COMPLETELY GUTTED. REMOVE ALL COUNTERS, FLOORING, CABINETS, APPLIANCES, PLUMBING/LIGHTING FIXTURES, ETC.
- 07 EXISTING FLOORING TO BE REMOVED TO SUBFLOOR. INSPECT SUBFLOOR AND REPAIR/REPLACE ANY DAMAGED MATERIALS WITH SAME TO MATCH. CAREFULLY REMOVE AND SAVE TRIM FOR REUSE.
- 08 EXISTING WALL AND FLOOR TILE TO BE REMOVED TO SUBFLOOR. INSPECT SUBFLOOR AND REPAIR/REPLACE ANY DAMAGED MATERIALS WITH SAME TO MATCH. CAREFULLY REMOVE AND SAVE TRIM FOR REUSE WHERE FEASIBLE.
- 09 REMOVE EXISTING DECKING AND RAILING. INSPECT STRUCTURE AND REPAIR/REPLACE FRAMING AS REQUIRED.
- 10 REMOVE EXISTING ROOFING AND FRAMING AS REQUIRED AND PREP FOR NEW DORMERS AND ADDITION.

2	03-10-25	Zoning
NO.	DATE	ISSUE/REVISION

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PROJECT TITLE:  
PETERS RESIDENCE  
ADDITION/RENOVATION

319 HALE ST, PENNINGTON NJ

DRAWING TITLE:

EXISTING/DEMO  
PLANS &  
ELEVATIONS

PROJECT NO.	XXXXXX
DRAWN BY:	RB/JK
CHECKED BY:	JK
SCALE:	AS NOTED
DATE:	10/27/2023
DRAWING NO.	A-1







GENERAL NOTES:

- THIS PLOT PLAN REFERENCES A "BOUNDARY & TOPOGRAPHIC SURVEY, CHARLES J. & MARY C. PETERS, #319 HALE STREET, LOT 5, BLOCK 706, BOROUGH OF PENNINGTON, MERCER COUNTY, STATE OF NEW JERSEY", PREPARED BY BLUE MARSH ASSOCIATES, INC., DATED OCTOBER 26, 2023.
- THESE PLANS ARE NOT FOR CONSTRUCTION AND ARE FOR MUNICIPAL REVIEW AND APPROVAL ONLY. THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL THEY HAVE BEEN STAMPED APPROVED BY THE MUNICIPALITY AND ALL CONDITIONS HAVE BEEN SATISFIED.
- THIS PLAN MAY SHOW ITEMS NOT SPECIFICALLY INCLUDED IN THE CONTRACT BETWEEN THE CONTRACTOR AND THE HOMEOWNER. EXAMPLES OF SUCH ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE, RECHARGE SYSTEMS, RETAINING WALLS, UTILITIES, TREE REMOVAL, AND ADDITIONAL FILL OR GRADING.
- ANY DAMAGE TO PROPERTY IMPROVEMENTS OR PUBLIC IMPROVEMENTS SHALL BE REPAIRED OR REPLACED BY PROPERTY OWNER.
- NO WETLANDS OR WETLANDS BUFFER HAVE BEEN LOCATED.
- ALL ROOF LEADERS SHALL BE DIRECTED AWAY FROM THE POOL.
- POOL TO BE SECURED BY A FENCE COMPLYING WITH APPLICABLE BUILDING CODE.
- ALL ELECTRICAL WORK MUST COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED OR LANDSCAPING WHERE THE BUILDING AND OTHER IMPROVEMENTS ARE NOT LOCATED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL VERIFY THE LAYOUT AND ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE IMPROVEMENTS, IMPERVIOUS AREAS, AND WALLS SHALL BE STAKED OUT BY A PROFESSIONAL SURVEYOR. IT IS RECOMMENDED THAT THE HOMEOWNER AND CONTRACTOR STAKEOUT THE PROPOSED POOL PRIOR TO CONSTRUCTION TO ENSURE THE POOL AND CONCRETE IS NOT CONSTRUCTED WITHIN A SETBACK LINE OR EASEMENT.
- THE PROPERTY OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY ENVIRONMENTAL PERMITS, TREE CLEARING PERMITS, SOIL DISTURBANCE PERMIT, STEEP SLOPE PERMITS, ETC. PRIOR TO CONSTRUCTION.
- BY USE OF THE PLOT PLAN AND GRADING PLAN FOR MUNICIPAL APPROVAL, THE PROPERTY OWNER AND POOL CONTRACTOR AGREE AND ACCEPT THE PROPOSED POOL LOCATION AND OTHER IMPROVEMENTS AS SHOWN. ANY DEVIATION FROM THE PLANS SHALL BE THE SOLE RESPONSIBILITY OF THE HOMEOWNER FOR REGULATORY COMPLIANCE.
- CONTRACTOR SHALL COMPLY WITH ALL NOTES, DETAILS, AND SPECIFICATIONS CONTAINED WITHIN DRAWING SETS AND THE DOCUMENTS REFERENCED BELOW. ALL CONSTRUCTION AND INCIDENTAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
- CONTRACTOR SHALL VERIFY THE LAYOUT AND ALL DIMENSIONS AND MEANS AND METHODS IN ACCORDANCE WITH REQUIREMENTS, STANDARDS, SPECIFICATIONS, AND DETAILS OF SEC. 3704, CONTRACT WORK HOURS AND SAFETY STANDARDS ACT (40 U.S.C. 3701 ET AL.); SEC. 4, 6, AND 8, OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (29 U.S.C. 653, 655, 657); SECRETARY OF LABOR'S ORDER NO. 12-71 (36 FR 8754), 8-76 (41 FR 23059), 9-83 (48 FR 33736), 6-96 (62 FR 11,111), 5-2007 (72 FR 31160), 4-2010 (75 FR 55355), AS APPLICABLE; 29 CFR PART 1911 (SEQ.), THE NEW JERSEY UNDERGROUND FACILITY PROTECTION ACT (NJSA 48-2.73, ET SEQ.) AS AMENDED, AMERICANS WITH DISABILITIES ACT (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.) OR THE LOCAL REQUIREMENTS WHEREVER THERE IS MORE RESTRICTIVE APPLICABLE MUNICIPALITY, COUNTY, NJDOT, UTILITY AUTHORITY, AND OTHER APPLICABLE AGENCIES.
- PRIOR TO AND DURING CONSTRUCTION CONTRACTOR SHALL AT A MINIMUM; CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD CONTRACTOR FIND A CONFLICT WITHIN THE CONSTRUCTION DOCUMENTS RELATIVE TO ITSELF OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY CONSTRUCTION DOCUMENTS AND FULL COMPLIANCE WITH LOCAL AND STATE REGULATIONS AND CODES. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION. NOTIFY THE MUNICIPAL ENGINEER, ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT 72 HOURS PRIOR TO THE START OF WORK CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR OTHER APPLICABLE NOTIFICATION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION. UTILITIES SHOWN ARE APPROXIMATE BASED ON PRIOR MARK-OUTS. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE. COORDINATE WITH APPLICABLE UTILITY COMPANY TO DISCONNECT, MAINTAIN, AND/OR REROUTE ANY UTILITY SERVICE REQUIRED TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THEIR APPLICABLE RULES AND REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND ANY ADDITIONAL PRECAUTIONS NECESSARY TO ENSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES. PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS ARE TO REMAIN ON OR OFF-SITE, BE RESPONSIBLE FOR JOB SAFETY INCLUDING, BUT NOT LIMITED, TO INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY. PROCEED WITH ALL CONSTRUCTION IN A SYSTEMATIC AND SAFE MANNER. SAFEGUARD SITE AS NECESSARY TO PERFORM THE CONSTRUCTION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME. RETAIN COPIES OF ALL PERMITS AND APPROVALS ONSITE FOR REVIEW. MAINTAIN ON-SITE SOIL EROSION CONTROL MEASURES WHERE MORE THAN 5,000 SF OF SOIL IS DISTURBED BY CONSTRUCTION ACTIVITIES OR SHALL MAINTAIN THE MEASURES WITHIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA
- REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES, MAINTAIN AND CLEAN ADJACENT STREETS AND PROPERTIES OF CONSTRUCTION DEBRIS AND DUST DURING THE CONSTRUCTION PROJECT. REVIEW ALL PLANS AND IDENTIFY ANY CONSTRUCTION ISSUES PRIOR TO INITIATING CONSTRUCTION. THEN NOTIFY ENGINEER IN WRITING OF ANY CONSTRUCTION ISSUES AND WORK TO RESOLVE THOSE ISSUES, NOTIFY ENGINEER IN WRITING OF ANY PLAN

ZONING INFORMATION

THIS PLOT PLAN REFERENCES THE FOLLOWING DOCUMENTS:

PARCEL INFORMATION

OWNER: CHARLES J & MARY PETERS  
APPLICANT: CHARLES J & MARY PETERS  
ZONE: R-80  
PRINCIPAL USES ALLOWED: SINGLE FAMILY RESIDENCE  
PRINCIPAL USE PROPOSED: SINGLE FAMILY RESIDENCE  
FLOOD ZONE: ZONE X PER FIRM MAP NUMBER 34021C0108F, EFFECTIVE DATE JULY 20, 2016

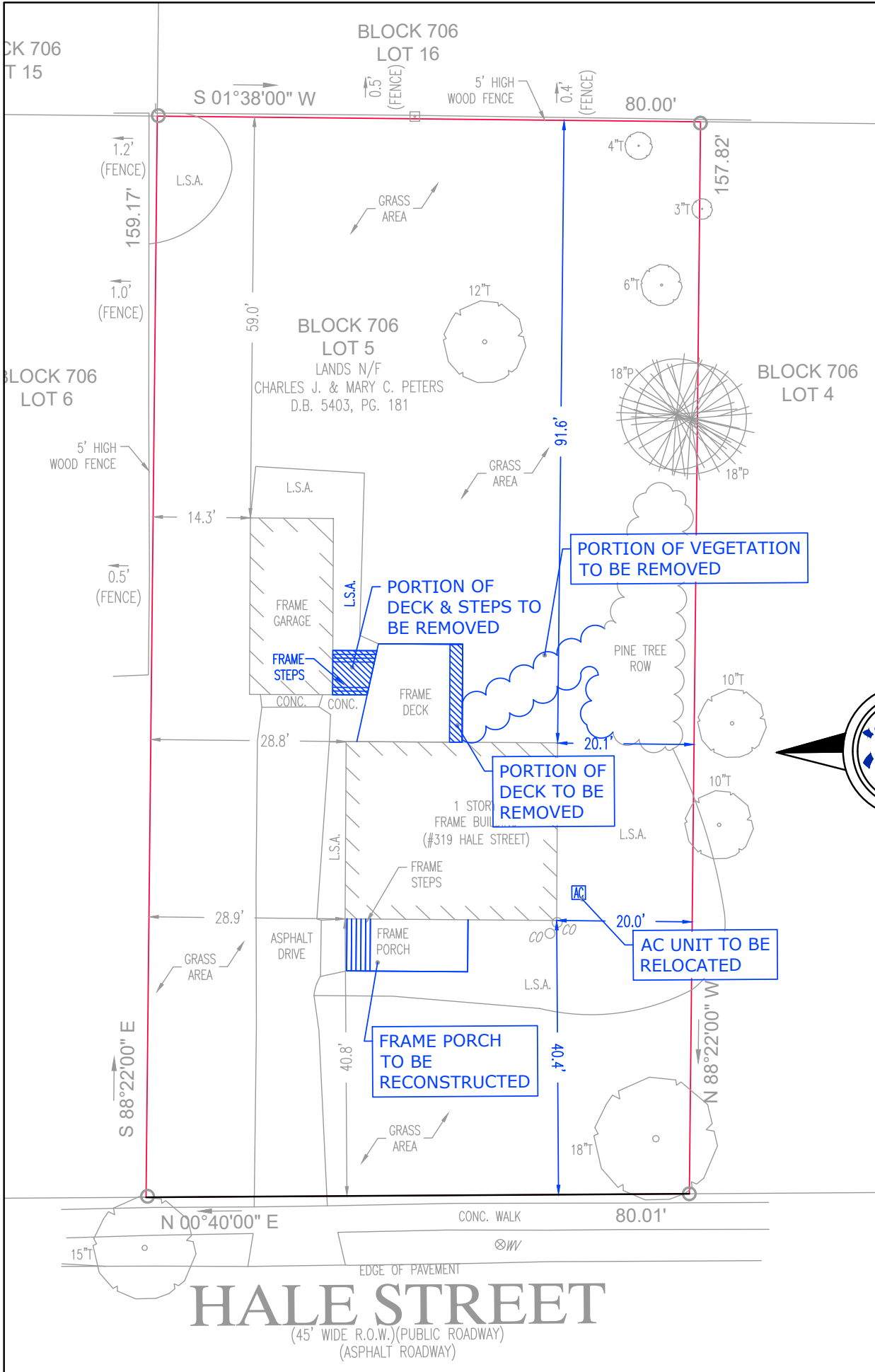
"BOUNDARY & TOPOGRAPHIC SURVEY, CHARLES J. & MARY C. PETERS, #319 HALE STREET, LOT 5, BLOCK 706, BOROUGH OF PENNINGTON, MERCER COUNTY, STATE OF NEW JERSEY", PREPARED BY BLUE MARSH ASSOCIATES, INC., DATED OCTOBER 26, 2023.  
BLOCK 706, LOT 5  
CHARLES J & MARY PETERS  
CHARLES J & MARY PETERS  
R-80  
SINGLE FAMILY RESIDENCE  
SINGLE FAMILY RESIDENCE  
ZONE X PER FIRM MAP NUMBER 34021C0108F, EFFECTIVE DATE JULY 20, 2016

BULK TABLE	REQUIREMENT	EXISTING	PROPOSED
MIN. LOT AREA	12,000 SF	12,680 SF	12,680 SF
MIN. LOT WIDTH	80 FT	80.01 FT	80.01 FT
MIN. FRONT YARD SETBACK	40 FT (AVG 36 FT +/-)	32.9 FT (EN)	33.00 FT (EN)
MIN. SIDE YARD SETBACK	15 FT	20.0 FT	15.0 FT
MIN. COMBINED YARD SIDE SETBACK	30 FT	38.8 FT	43.8 FT
MIN. REAR YARD SETBACK	25 FT	59 FT	60.0 FT
MAX. LOT COVERAGE	4,036 SF	2,293 SF	3,431 SF
MAX. BUILDING HEIGHT	3 STORIES/35 FT	1 STORY/COMPLIES	2 STORIES/21.08 FT
MIN. FLOOR AREA FIRST FLOOR MULTISTORY	900 SF	813 SF (EN)	1,246 SF
TOTAL FLOOR AREA FIRST FLOOR MULTISTORY	1,200 SF	-	2,492 SF

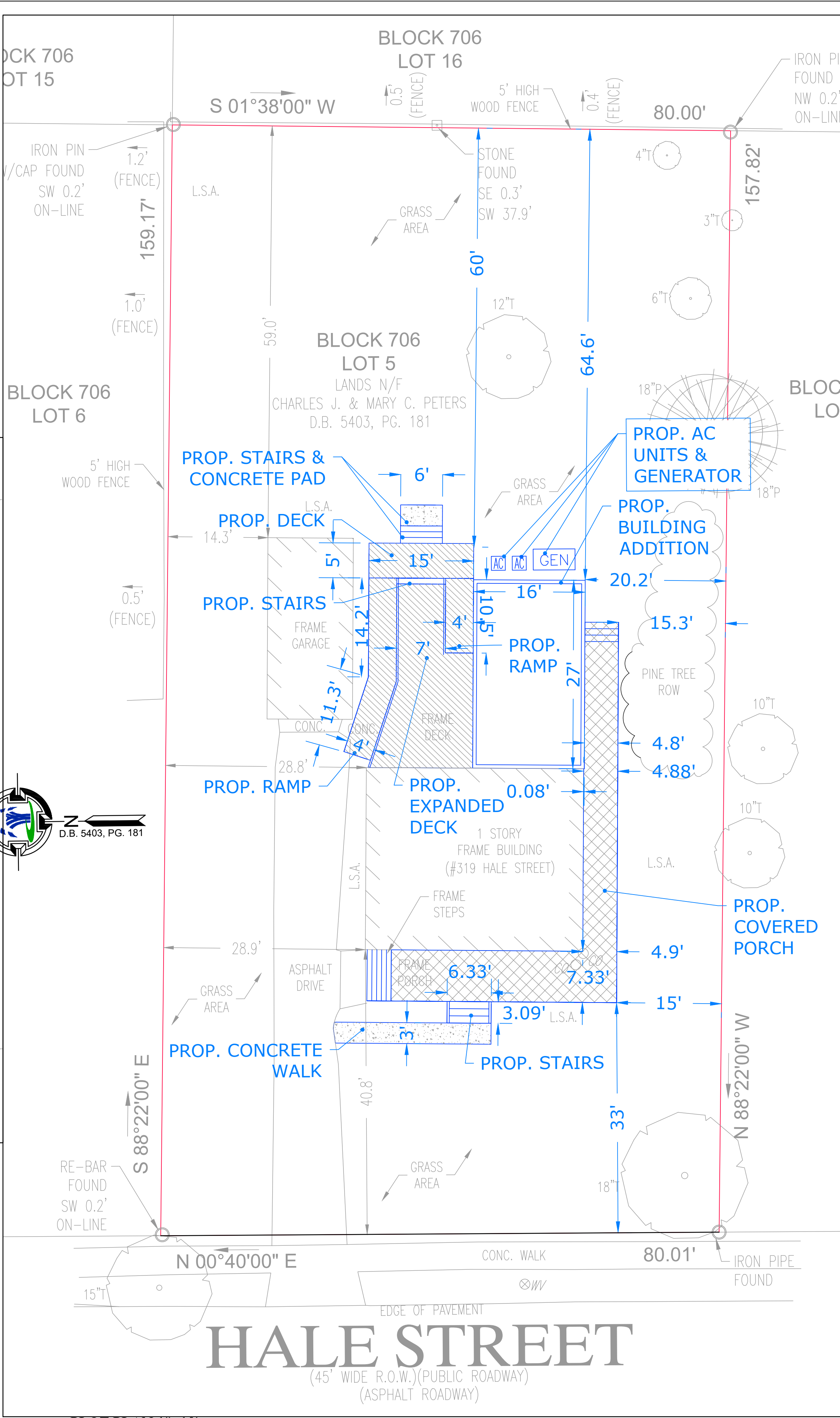
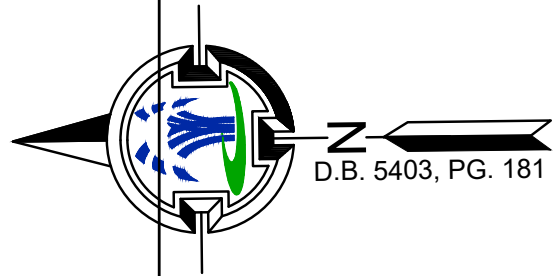
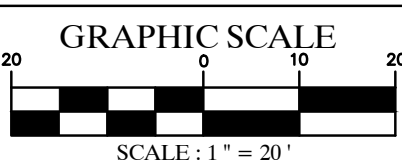
EXISTING NON-CONFORMITY (EN)

MODIFICATIONS THAT WILL BE REQUIRED BASED ON SUBMITTALS OR ANY OTHER REASON, DISPOSE OF ALL CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL GOVERNING MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. DEBRIS SHALL NOT BE BURIED ON-SITE AND SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION OR CONSTRUCTION. STOCKPILING OF DEBRIS IS PROHIBITED.

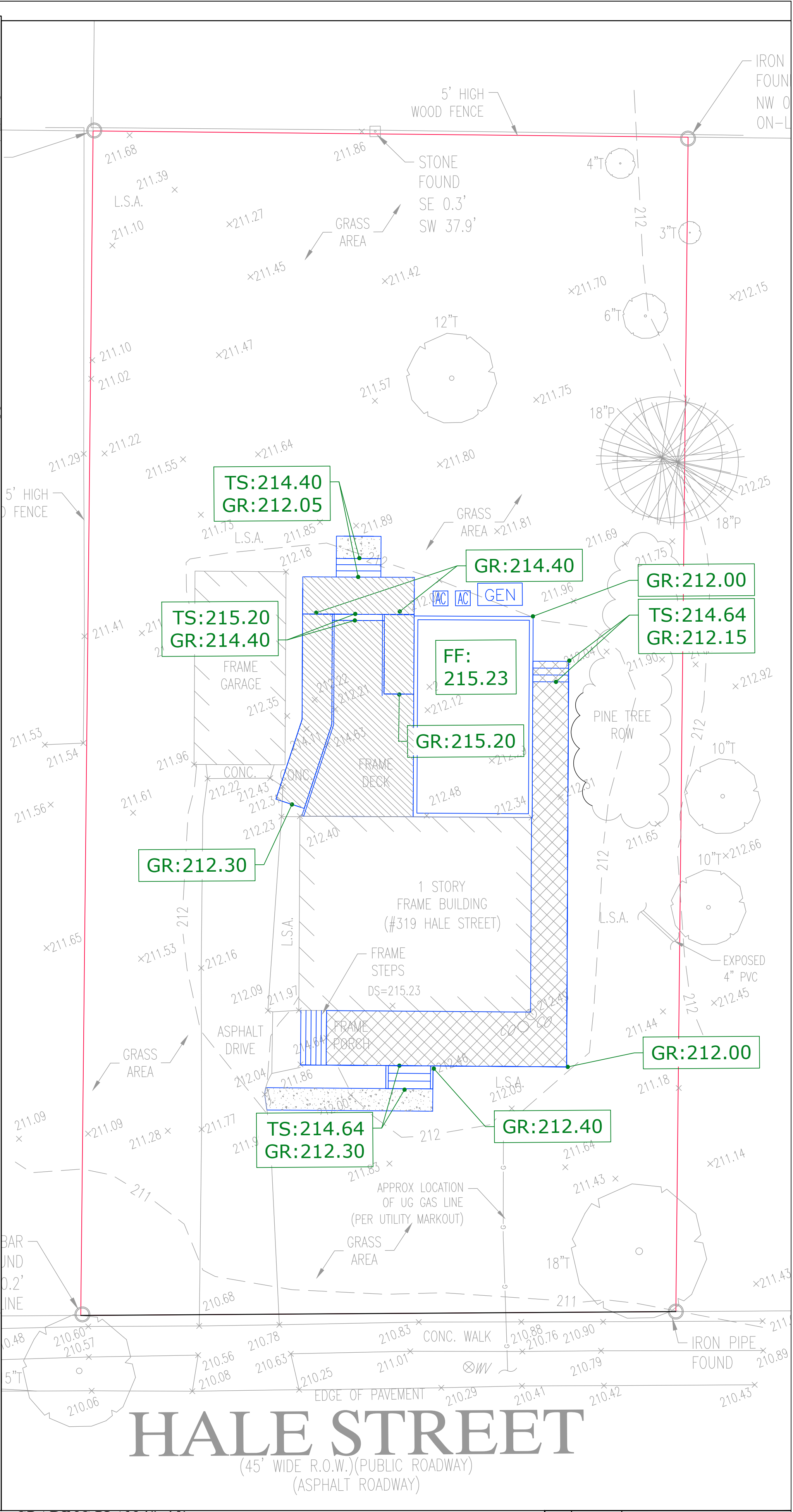
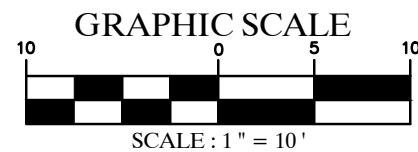
- CONCRETE SHALL HAVE A MIN SLOPE OF 0.50%. MAX CROSS SLOPE OF 2% FOR SIDEWALKS.
- VEGETATIVE COVER SHALL HAVE A MIN SLOPE OF 1.00% AND MAX SLOPE OF 3 TO 1.
- GRADE FINISHED SURFACES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TOWARDS DRAINAGE FEATURES WITH A POSITIVE OUTLET OR AN APPROVED RETENTION SYSTEM.
- UTILITIES - CONTRACTOR SHALL COMMENCE CONSTRUCTION AT THE LOWEST INVERT AND/OR POINT OF CONNECTION TO STREET AND PROGRESS UP GRADIENT. INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES. PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY. ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS SHALL BE REPAIRED IN ACCORDANCE WITH APPLICABLE UTILITY COMPANY, MUNICIPAL, COUNTY AND/OR NJDOT DETAILS. CONSTRUCT ALL NEW UTILITIES/SERVICES UNDERGROUND UNLESS OTHERWISE NOTED.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
- THESE CONSTRUCTION DOCUMENTS ARE BASED ON INFORMATION PROVIDED AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF CURRENT SITE CONDITIONS VARY FROM CONSTRUCTION DOCUMENTS OR PROPOSED WORK CONFLICTS WITH ANY SITE FEATURES.
- ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THE CONSTRUCTION DOCUMENTS NOR FOR ANY REVISIONS RESULTING FROM SEQUENCING.



DEMOLITION PLAN 1"=20'



PLOT PLAN 1"=10'



GRADING PLAN 1"=10'

REV.	DATE	COMMENTS
8/7/24	ISSUED	
7/1/24	ISSUED	

GREENSITE ENGINEERING & CONSULTING, LLC  
526 ROUTE 206, TRENTON, NJ 08610  
C (609) 751-8479 O (609) 751-0287 F (609) 228-8319  
CERT. OF AUTHORIZATION 24643819690

DRAWN BY: LGM | SCALE: PLAN

PLOT/GRADING/SESC PLAN

PREPARED FOR  
LOT 5, BLOCK 706  
#319 HALE STREET  
BOROUGH OF PENNINGTON  
MERCER COUNTY, NJ

LAURENCE G. MURPHY  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE # 44495