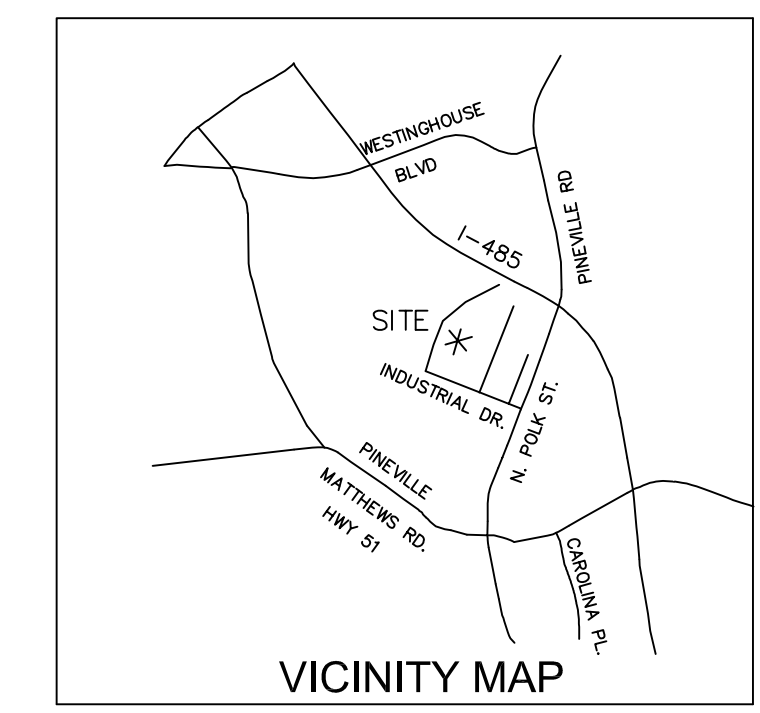
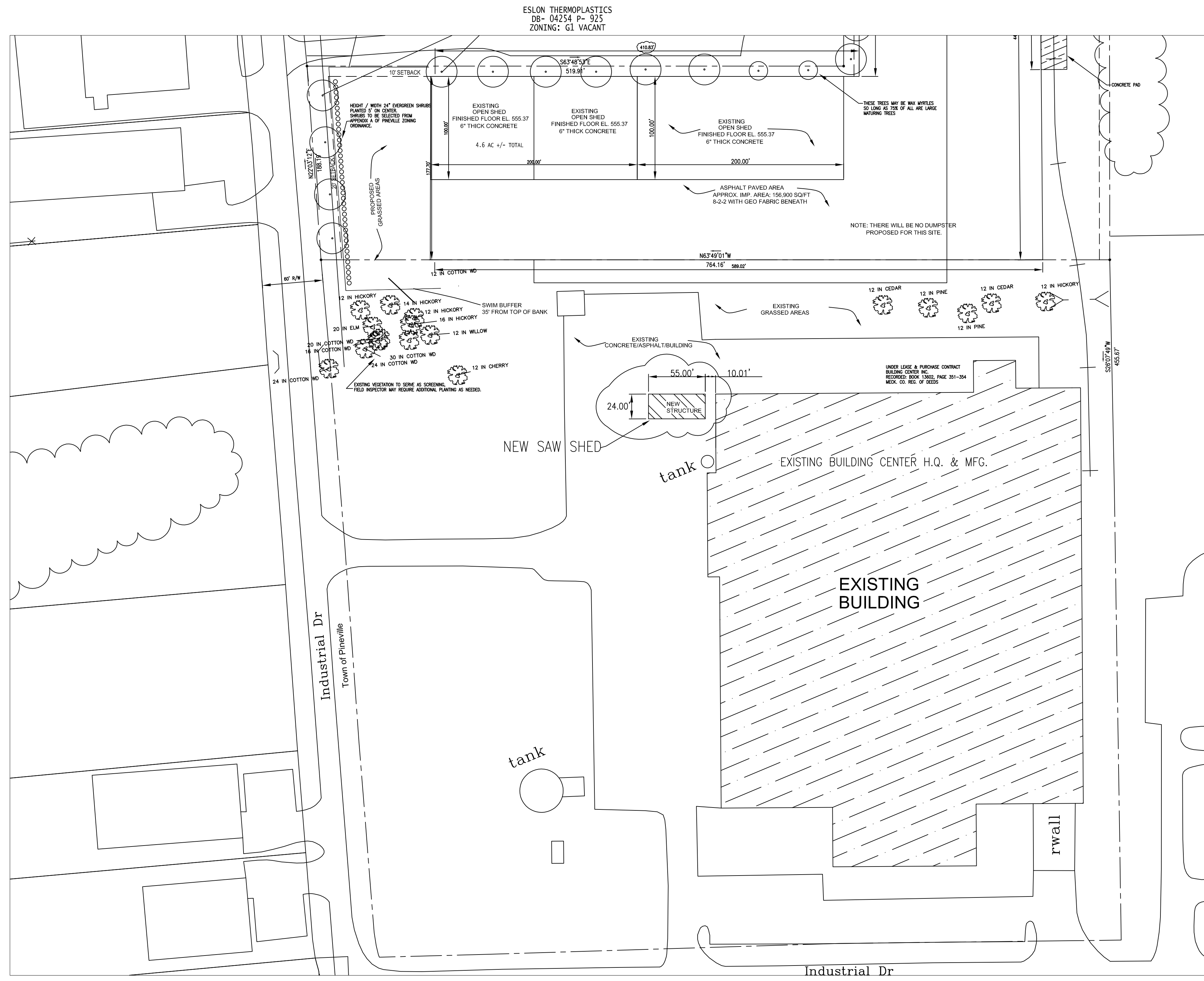


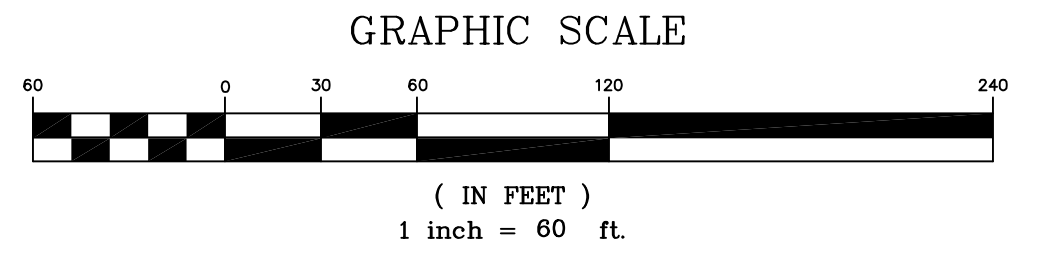
PLANTING SCHEDULE					
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	ROOT/CONTAINER	HEIGHT/SIZE
RM	20	ACER RUBRA 'OCTOBER GLORY'	'OCTOBER GLORY' RED MAPLE	B & B	3'-3.5" CAL., MIN. 12' TALL



**SITE TABULATION**

TAX PARCEL #: 205-093-31 DEVELOPER:  
 ZONING: GI EDGAR L. NORRIS JR.  
 FRONT SETBACK: 20' P.O. BOX 357  
 SIDE SETBACKS: 10' PINEVILLE, NC 28134  
 REAR SETBACK: 10' PHONE # 704-552-8182  
 TOTAL SITE AREA: 4.6 AC

NOTE:  
 ALL AREAS WHICH AREA NOT LABELED AS ASPHALT, BUILDINGS,  
 OR CONCRETE ARE TO BE SEEDED WITH GRASS OR MULCHED  
 EXCEPT FOR THE EXISTING RAIL ROAD BALLIST



**PERMANENT SEEDING SPEC'S.**

- 3:1 SLOPES OR FLATTER
- APPLY AGRICULTURAL LIME AT A RATE OF 90 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
  - APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
  - SEED AT A RATE OF 6 LBS/1000 S.F.
- | DATE              | TYPE                                       |
|-------------------|--|
| NOV. 1 TO MAY 1   | ANNUAL RYE GRASS AND TURF TYPE TALL FESCUE |
| MAY 1 TO AUG. 15  | TURF TYPE TALL FESCUE                      |
| AUG. 15 TO NOV. 1 | TURF TYPE TALL FESCUE                      |
- MULCH WITH UNCHOPPED, UNWEATHERED SMALL GRAIN STRAW FREE OF SEEDS APPLIED AT THE RATE OF 1 TO 2 TONS/ACRE.
    - \* HEAVILY MULCHED DURING JANUARY - MARCH PERIOD.
  - THE CONTRACTOR SHALL MAINTAIN THE PERMANENT VEGETATIVE COVER BY MOWING, IRRIGATION, REPAIR OR PLANTING FAILURES OR OTHER METHODS FOR THE DURATION OF THE PROJECT AND UNTIL THE PROJECT IS ACCEPTED BY THE OWNER.

**SEEDBED PREPARATION**

- AREAS TO BE SEEDED SHALL BE RIPPED OR TILLED AND SPREAD WITH AVAILABLE TOPSOIL 4" DEEP. TOTAL SEEDBED PREPARED DEPTH SHALL BE 6".
- ROCKS, ROOTS AND OTHER OBSTRUCTIONS AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE SEEDBED. SURFACE OF COMPLETED PREPARED SEEDBED SHALL BE LOOSE SMOOTH AND UNIFORM. CONTRACTOR SHALL TILL, DISC AND/OR HARRON IF NECESSARY TO ACHIEVE THIS.
- IF NO SOIL TEST IS TAKEN, FERTILIZER AND LIME SHALL BE APPLIED ACCORDING TO THE SEEDING SPECIFICATIONS.
- IF SOIL TEST IS TAKEN, APPLY FERTILIZER AND LIME IN ACCORDANCE W/SOIL TEST RECOMMENDATIONS.
- LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.
- IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH A THIN DENSE LAYER OF CLEAN WHEAT STRAW.
- INSTALLATION OF TREES AND SHRUBS TO BE IN ACCORDANCE WITH CHARLOTTE-MECKLENBURGLAND DEVELOPMENT MANUAL.

**TEMP SEEDING SPECS**

- 2:1 SLOPES OR FLATTER
- APPLY AGRICULTURAL LIME AT A RATE OF 90 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
  - APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS/1000 S.F. UNLESS SOIL TEST INDICATES OTHERWISE.
  - SEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND APPLICATION RATES.
- | DATE              | TYPE                                       | PLANTING RATE |
|-------------------|--|---------------|
| NOV. 1 TO MAY 1   | ANNUAL RYE GRASS AND TURF TYPE TALL FESCUE | 150 LBS/ACRE  |
| MAY 1 TO AUG. 15  | GERMAN MILLET AND TURF TYPE TALL FESCUE    | 60 LBS/ACRE   |
| AUG. 15 TO NOV. 1 | TURF TYPE TALL FESCUE                      | 250 LBS/ACRE  |
- MULCH WITH STRAW APPLIED AT THE RATE OF 75 - 100 LBS/1000 S.F. \* HEAVILY MULCHED DURING JANUARY - MARCH PERIOD.
  - IF GERMAN MILLET IS USED FOR TEMPORARY COVER DURING SUMMER MONTHS, CONTRACTOR MUST KEEP TEMPORARY MILLET MOVED AND CONTRACTOR MUST OVERSEED WITH THE SPECIFIED RATE OF TURF TYPE TALL FESCUE AFTER THE HEAT OF SUMMER IS PAST BUT NOT BEFORE SEPT. 15 NOR LATER THAN NOV. 1.

NOTE:  
 - THIS SITE PLAN IS ONLY TO SHOW THE PROPOSED 65 FT X 24 FT NEW STRUCTURE TO BE BUILT ON THE EXISTING OPEN ASPHALT STOCK YARD.  
 - THE IMPERVIOUS AREA WILL REMAIN UNCHANGED. ALL OTHER LABELS AND DATA IS FROM PREVIOUSLY APPROVED DEVELOPMENT

ZONING: G1 WAREHOUSE/INDUSTRIAL

Project: <b>THE BUILDING CENTER 10049 INDUSTRIAL DRIVE PINEVILLE, NC</b>		
Drawing Title: <b>SITE PLAN</b>		
Owner: Ed Norris		
Consultant: <b>JONATHAN H. SOSSAMON JR., P.E.</b>		
9815 DUSTY CEDAR CT. CHARLOTTE, N.C. 28269 Phone : 704-609-7290		
Seal	Date: 1/13/2020	Drawn By:
		Drawn No. <b>C-1</b>



**SANCTUARY BUILDING  
2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)  
(Reproduce the following data on the building plans sheet 1 or 2)**

Name of Project: THE BUILDING CENTER  
Address: 10201 INDUSTRIAL DRIVE, PINEVILLE, N.C. Zip Code 27406  
Owner/Authorized Agent: SCOTT WESTMORELAND Phone # (704) 819-6415 E-Mail SCOTT@SOLIDROCKSTRUCTURAL.COM  
Owned By:  City/County  Private  State  
Code Enforcement Jurisdiction:  City  County  State

**CONTACT:** Scott Westmoreland P.E. - Solid Rock Structural PLLC  
DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL  
Architectural Type SOLID ROCK STRUCTURAL PLLC SCOTT WESTMORELAND 27444 (704) 819-6415 SCOTT@SOLIDROCKSTRUCTURAL.COM  
Civil JONATHAN H. SOSSAMAN JR., P.E. JONATHAN H. SOSSAMAN JR. 24391 (704) 659-7290 JSS@SOLIDROCKSTRUCTURAL.COM  
Electrical SAGER ENGINEERING RICHARD MORRISON 25969 (704) 373-0068 HM@SAGERENGINEERING.COM  
Fire Alarm \_\_\_\_\_  
Plumbing \_\_\_\_\_  
Mechanical \_\_\_\_\_  
Sprinkler-Standpipe \_\_\_\_\_  
Structural SOLID ROCK STRUCTURAL PLLC SCOTT WESTMORELAND 27444 (704) 819-6415 SCOTT@SOLIDROCKSTRUCTURAL.COM  
Retaining Walls >5' High \_\_\_\_\_  
Other \_\_\_\_\_  
("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

**2018 NC BUILDING CODE:**  New Building  Addition  Renovation  
 1<sup>st</sup> Time Interior Completion  
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements.  
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements.

**2018 NC EXISTING BUILDING CODE:** EXISTING:  Prescriptive  Repair  Chapter 14  
Alteration:  Level I  Level II  Level III  
 Historic Property  Change of Use

**CONSTRUCTED:** (date) \_\_\_\_\_ **CURRENT OCCUPANCY(S)** (Ch. 3): \_\_\_\_\_  
**RENOVATED:** (date) \_\_\_\_\_ **PROPOSED OCCUPANCY(S)** (Ch. 3): \_\_\_\_\_

**OCCUPANCY CATEGORY** (Table 1604.5): **Current:**  I  II  III  IV  
**Proposed:**  I  II  III  IV

**BASIC BUILDING DATA**  
**Construction Type:**  I-A  II-A  III-A  IV  V-A  
(check all that apply)  I-B  II-B  III-B  V-B  
**Sprinklers:**  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
**Standpipes:**  No  Yes Class  I  II  III  Wet  Dry  
**Fire District:**  No  Yes **Flood Hazard Area:**  No  Yes  
**Special Inspections Required:**  No  Yes

2018 NC Administrative Code and Policies

Gross Building Area Table			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 <sup>rd</sup> Floor			
2 <sup>nd</sup> Floor			
Mezzanine			
1 <sup>st</sup> Floor		1,332	1,332
Basement			
<b>TOTAL</b>			1,332

**ALLOWABLE AREA**

**Primary Occupancy Classification(s):**  
 Assembly  A-1  A-2  A-3  A-4  A-5  
 Business   
 Educational   
 Factory  F-1 Moderate  F-2 Low  
 Hazardous  H-1 Detonate  H-2 Deflagrate  H-3 Combust  H-4 Health  H-5 HPM  
 Institutional  I-1 Condition  1  2  
 I-2 Condition  1  2  
 I-3 Condition  1  2  3  4  5  
 I-4  
 Mercantile   
 Residential  R-1  R-2  R-3  R-4  
 Storage  S-1 Moderate  S-2 Low  High-piled  
 Parking Garage  Open  Enclosed  Repair Garage  
 Utility and Miscellaneous

**Accessory Occupancy Classification(s):** \_\_\_\_\_  
**Incidental Uses** (Table 509): \_\_\_\_\_  
**Special Uses (Chapter 4 - List Code Sections):** \_\_\_\_\_  
**Special Provisions: (Chapter 5 - List Code Sections) :** \_\_\_\_\_

**Mixed Occupancy:**  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_  
 Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.  

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$
 \_\_\_\_\_ + \_\_\_\_\_ + ... = \_\_\_\_\_ ≤ 1.00

2018 NC Administrative Code and Policies

ACCESSIBLE DWELLING UNITS (SECTION 1107)							
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)						
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
SEE SITE PLAN						
<b>TOTAL</b>						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)										
USE	WATERCLOSETS			URNALS			LAVATORIES			SHOWERS /TUBS
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE		
SPACE	EXIST'G	5	5	2	2	2			2	
	NEW	0	0	0	0	0			0	
	REQ'D	2	2	0	2	2			1	

PLUMBING CALCULATIONS INCLUDE AREA AND PLUMBING FIXTURES FOR MAIN BUILDING  
 151,364 SF / 500 = 304 OCC.  
 WATERCLOSETS: 304 TOTAL OCCUPANTS / 2 = 152 MALE 1 PER 100 = 2 152 FEMALE 1 PER 100 = 2  
 LAVATORIES: 1 PER 100 = 2 1 PER 100 = 2

**LIFE SAFETY SYSTEM REQUIREMENTS**  
 Emergency Lighting:  No  Yes  
 Exit Signs:  No  Yes  
 Fire Alarm:  No  Yes  
 Smoke Detection Systems:  No  Yes  Partial \_\_\_\_\_  
 Panic Hardware:  No  Yes

**LIFE SAFETY PLAN REQUIREMENTS**  
 Life Safety Plan Sheet #: \_\_\_\_\_  
 Fire and/or smoke rated wall locations (Chapter 7)  
 Assumed and real property line locations (if not on the site plan)  
 Exterior wall opening area with respect to distance to assumed property lines (705.8)  
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)  
 Occupant loads for each area  
 Exit access travel distances (1017)  
 Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))  
 Dead end lengths (1020.4)  
 Clear exit widths for each exit door  
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.5)  
 Actual occupant load for each exit door  
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation  
 Location of doors with panic hardware (1010.1.10)  
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)  
 Location of doors with electromagnetic egress locks (1010.1.9.9)  
 Location of doors equipped with hold-open devices  
 Location of emergency escape windows (1030)  
 The square footage of each fire area (202)  
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)  
 Note any code exceptions or table notes that may have been utilized regarding the items above

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE <sup>1,5</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup>
ONE	S-1	1,332	9,000	NOT CALCULATED	9,000

<sup>1</sup> Frontage area increases from Section 506.2 are computed thus:  
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
 b. Total Building Perimeter = \_\_\_\_\_ (P)  
 c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
 d. W = Minimum width of public way = \_\_\_\_\_ (W)  
 e. Percent of frontage increase  $I_f = 100(F/P - 0.25) \times W/30 = \_\_\_\_\_\_ (\%)$   
<sup>2</sup> Unlimited area applicable under conditions of Section 507.  
<sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).  
<sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.  
<sup>5</sup> Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	40'	30'-0"	
Building Height in Stories (Table 504.4)	1	1	

<sup>1</sup> Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

2018 NC Administrative Code and Policies

**ENERGY REQUIREMENTS:**  
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

**Climate Zone:**  3A  4A  5A  
**Method of Compliance:** Energy Code  Performance  Prescriptive  
 ASHRAE 90.1  Performance  Prescriptive  
 (If "Other" specify source here) \_\_\_\_\_

**THERMAL ENVELOPE** (Prescriptive method only)

**Roof/ceiling Assembly** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Skylights in each assembly:  
 U-Value of skylight: \_\_\_\_\_  
 total square footage of skylights in each assembly: \_\_\_\_\_

**Exterior Walls** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Openings (windows or doors with glazing)  
 U-Value of assembly: \_\_\_\_\_  
 Solar heat gain coefficient: \_\_\_\_\_  
 projection factor: \_\_\_\_\_  
 Door R-Values: \_\_\_\_\_

**Walls below grade** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_

**Floors over unconditioned space** (each assembly)  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_

**Floors slab on grade**  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Horizontal/vertical requirement: \_\_\_\_\_  
 slab heated: \_\_\_\_\_

FIRE PROTECTION REQUIREMENTS							
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED * (w/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses		0	0				
Bearing Walls							
Exterior							
North	>10'	0	0				
East	>10'	0	0				
West	>10'	0	0				
South	>10'	0	0				
Interior		0	0				
Nonbearing Walls and Partitions							
Exterior walls							
North	>10'	0	0				
East	>10'	0	0				
West	>10'	0	0				
South	>10'	0	0				
Interior walls and partitions		0	0				
Floor Construction							
Including supporting beams and joists		0	0				
Floor Ceiling Assembly		0	0				
Columns Supporting Floors		0	0				
Roof Construction, including supporting beams and joists		0	0				
Roof Ceiling Assembly		0	0				
Columns Supporting Roof		0	0				
Shaft Enclosures - Exit		0	0				
Shaft Enclosures - Other		0	0				
Corridor Separation		0	0				
Occupancy/Fire Barrier Separation		0	0				
Party/Fire Wall Separation		0	0				
Smoke Barrier Separation		0	0				
Smoke Partition		0	0				
Tenant/Dwelling Unit/ Sleeping Unit Separation		0	0				
Incidental Use Separation		0	0				

\* Indicate section number permitting reduction

2018 NC Administrative Code and Policies

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
STRUCTURAL DESIGN  
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)**

**DESIGN LOADS:**

**Importance Factors:** Snow (I<sub>s</sub>) 1.0  
Seismic (I<sub>e</sub>) 1.0

**Live Loads:** Roof 20 psf  
Mezzanine \_\_\_\_\_ psf  
Floor 100 psf

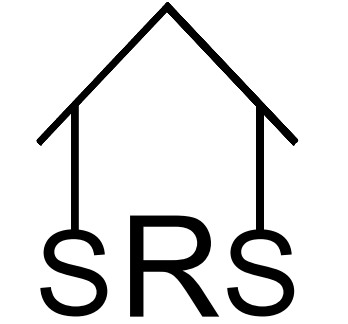
**Ground Snow Load:** 10 psf

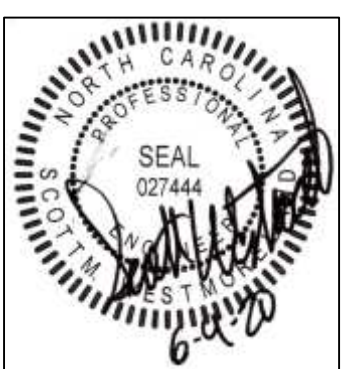
**Wind Load:** Basic Wind Speed 115 mph (ASCE-7)  
Exposure Category C

**SEISMIC DESIGN CATEGORY:**  A  B  C  D  
 Provide the following Seismic Design Parameters:  
**Risk Category** (Table 1604.5)  I  II  III  IV  
**Spectral Response Acceleration** S<sub>s</sub> 2% %g S<sub>1</sub> .06 %g  
**Site Classification** (ASCE 7)  A  B  C  D  E  F  
 Data Source:  Field Test  Presumptive  Historical Data  
**Basic structural system**  Bearing Wall  Dual w/Special Moment Frame  
 Building Frame  Dual w/Intermediate R/C or Special Steel  
 Moment Frame  Inverted Pendulum  
**Analysis Procedure:**  Simplified  Equivalent Lateral Force  Dynamic  
**Architectural, Mechanical, Components anchored?**  Yes  No  
**LATERAL DESIGN CONTROL:** Earthquake  Wind

**SOIL BEARING CAPACITIES:**  
 Field Test (provide copy of test report) \_\_\_\_\_ psf  
 Presumptive Bearing capacity 2,000 psf  
 Pile size, type, and capacity \_\_\_\_\_

REVISED  
ENTIRE  
SHEET

  
**SOLID ROCK STRUCTURAL PLLC**  
 SCOTT WESTMORELAND, P.E.  
 71 GLENN HILL LANE HIDDENITE, N.C. 28636  
 PHONE: 704-819-6415  
 FAX: 704-585-6529  
 SCOTT@SOLIDROCKSTRUCTURAL.COM  
 NC FIRM LICENSE NO. P-0390



**THE BUILDING  
CENTER  
SAW SHED**

10201 INDUSTRIAL DRIVE  
PINEVILLE, NC

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**DRAWING DATA**

DRAWN BY: SMW  
 PROJECT NUMBER: 19-161  
 FILE NUMBER: 19-161-CS1.0  
 DATE: 6-9-20

**REVISION DATA**

1	6-1-20	SMW	ADDED ELECTRICAL ENGINEER'S INFO
2	6-9-20	SMW	REVISED ENTIRE SHEET

SHEET TITLE

**COVER SHEET  
PAGE 1**

SHEET NUMBER

**CS1.0**



**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
MECHANICAL DESIGN  
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)**

**MECHANICAL SUMMARY**

**MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT**

**Thermal Zone**

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_

**Interior design conditions**

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_  
relative humidity: \_\_\_\_\_

**Building heating load:** \_\_\_\_\_

**Building cooling load:** \_\_\_\_\_

**Mechanical Spacing Conditioning System**

Unitary  
description of unit: \_\_\_\_\_  
heating efficiency: \_\_\_\_\_  
cooling efficiency: \_\_\_\_\_  
size category of unit: \_\_\_\_\_

Boiler  
Size category. If oversized, state reason.: \_\_\_\_\_

Chiller  
Size category. If oversized, state reason.: \_\_\_\_\_

List equipment efficiencies: \_\_\_\_\_

**NO MECHANICAL  
EQUIPMENT**

2018 NC Administrative Code and Policies

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
ELECTRICAL DESIGN  
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)**

**ELECTRICAL SUMMARY**

**ELECTRICAL SYSTEM AND EQUIPMENT**

**Method of Compliance:** Energy Code  Performance  Prescriptive  
ASHRAE 90.1  Performance  Prescriptive

**Lighting schedule** (each fixture type)

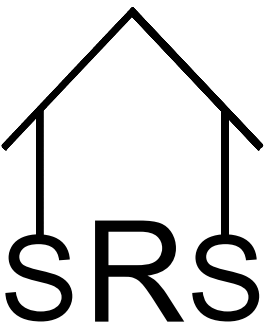
lamp type required in fixture  
number of lamps in fixture  
ballast type used in the fixture  
number of ballasts in fixture  
total wattage per fixture  
total interior wattage specified vs. allowed (whole building or space by space)  
total exterior wattage specified vs. allowed

**SEE ELECTRICAL  
DRAWINGS**

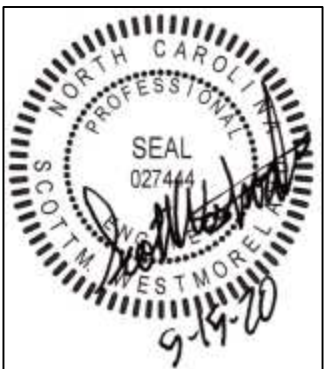
**Additional Efficiency Package Options  
(When using the 2018 NCECC; not required for ASHRAE 90.1)**

- C406.2 More Efficient HVAC Equipment Performance
- C406.3 Reduced Lighting Power Density
- C406.4 Enhanced Digital Lighting Controls
- C406.5 On-Site Renewable Energy
- C406.6 Dedicated Outdoor Air System
- C406.7 Reduced Energy Use in Service Water Heating

2018 NC Administrative Code and Policies



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NC FIRM LICENSE NO. P-0390



**THE BUILDING  
CENTER  
SAW SHED**

10201 INDUSTRIAL DRIVE  
PINEVILLE, NC

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**DRAWING DATA**

DRAWN BY: SMW  
PROJECT NUMBER: 19-161  
FILE NUMBER: 19-161-CS1.1  
DATE: 5-15-20

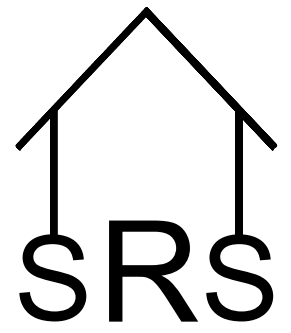
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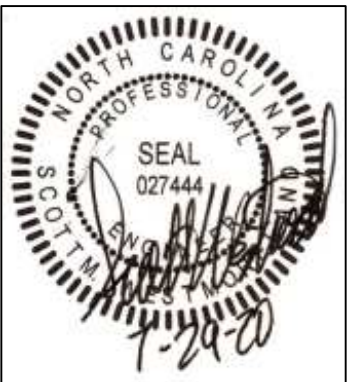
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PAGE 2**

**SHEET NUMBER**

**CS1.1**



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 SCOTT@SOLIDROCKSTRUCTURAL.COM  
 NC FIRM LICENSE NO. P-0390



**THE BUILDING CENTER  
 SAW SHED**

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**DRAWING DATA**

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 PROJECT NUMBER: 19-161  
 FILE NUMBER: 19-161-S1.0  
 DATE: 7-29-20

**REVISION DATA**

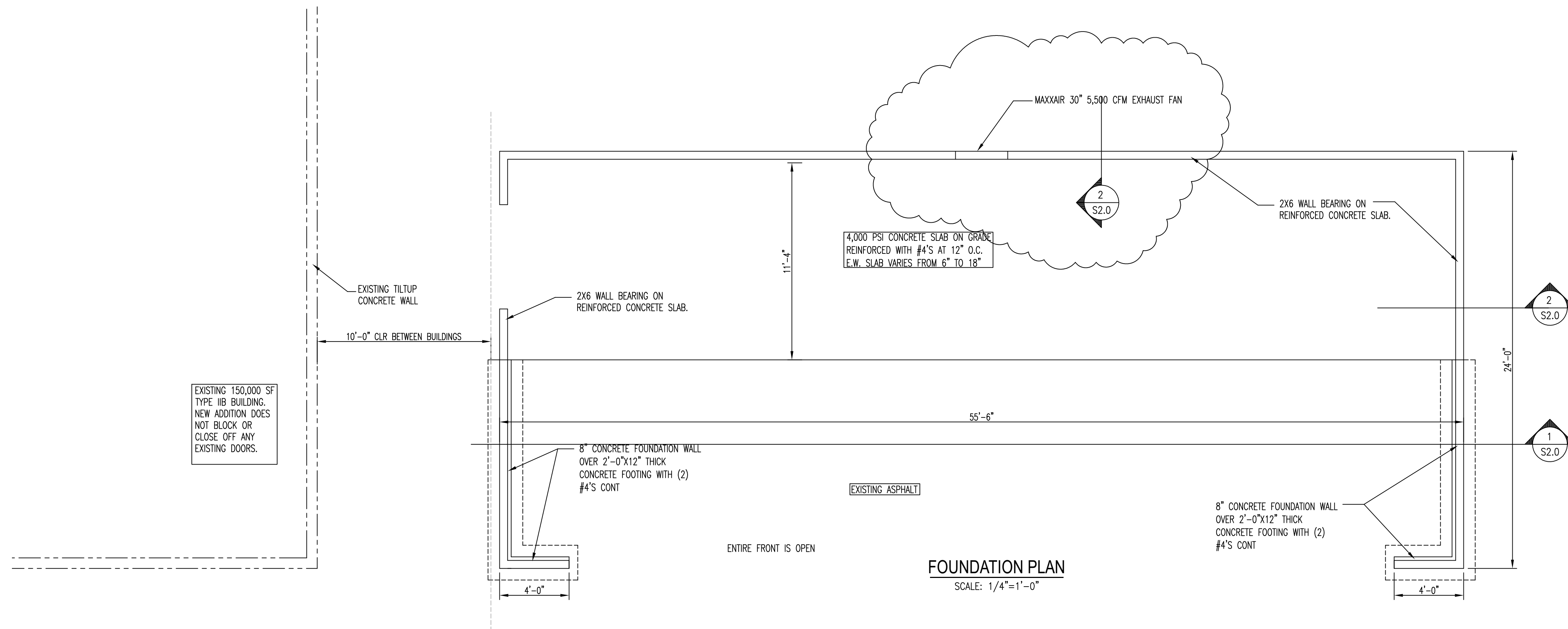
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B	7-29-20	SMW	ADDED EXHAUST FAN

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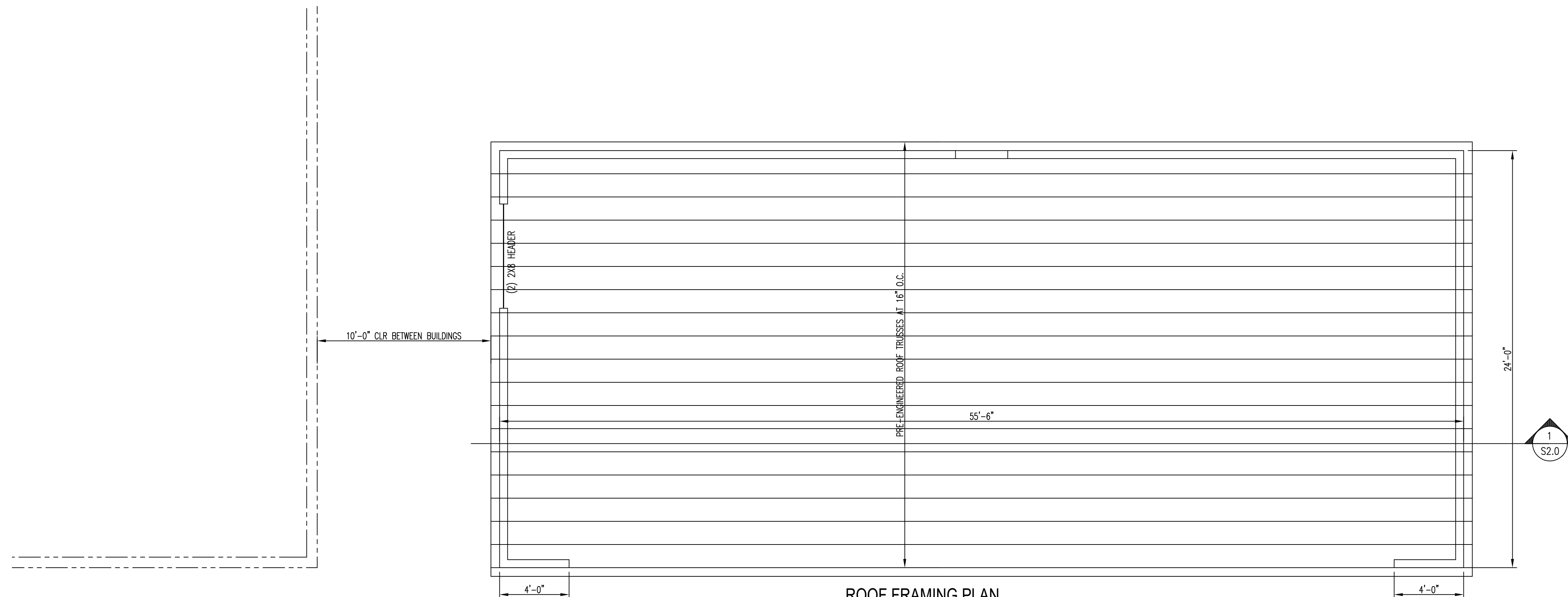
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**SHEET NUMBER**

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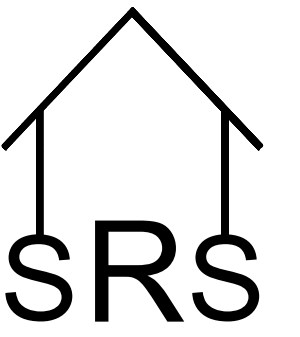


**FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0"



**ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0"

EXISTING 150,000 SF  
 TYPE IIB BUILDING.  
 NEW ADDITION DOES  
 NOT BLOCK OR  
 CLOSE OFF ANY  
 EXISTING DOORS.



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### DRAWING DATA

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 PROJECT NUMBER: 19-161  
 FILE NUMBER: 19-161-S1.1  
 DATE: 7-29-20

### REVISION DATA

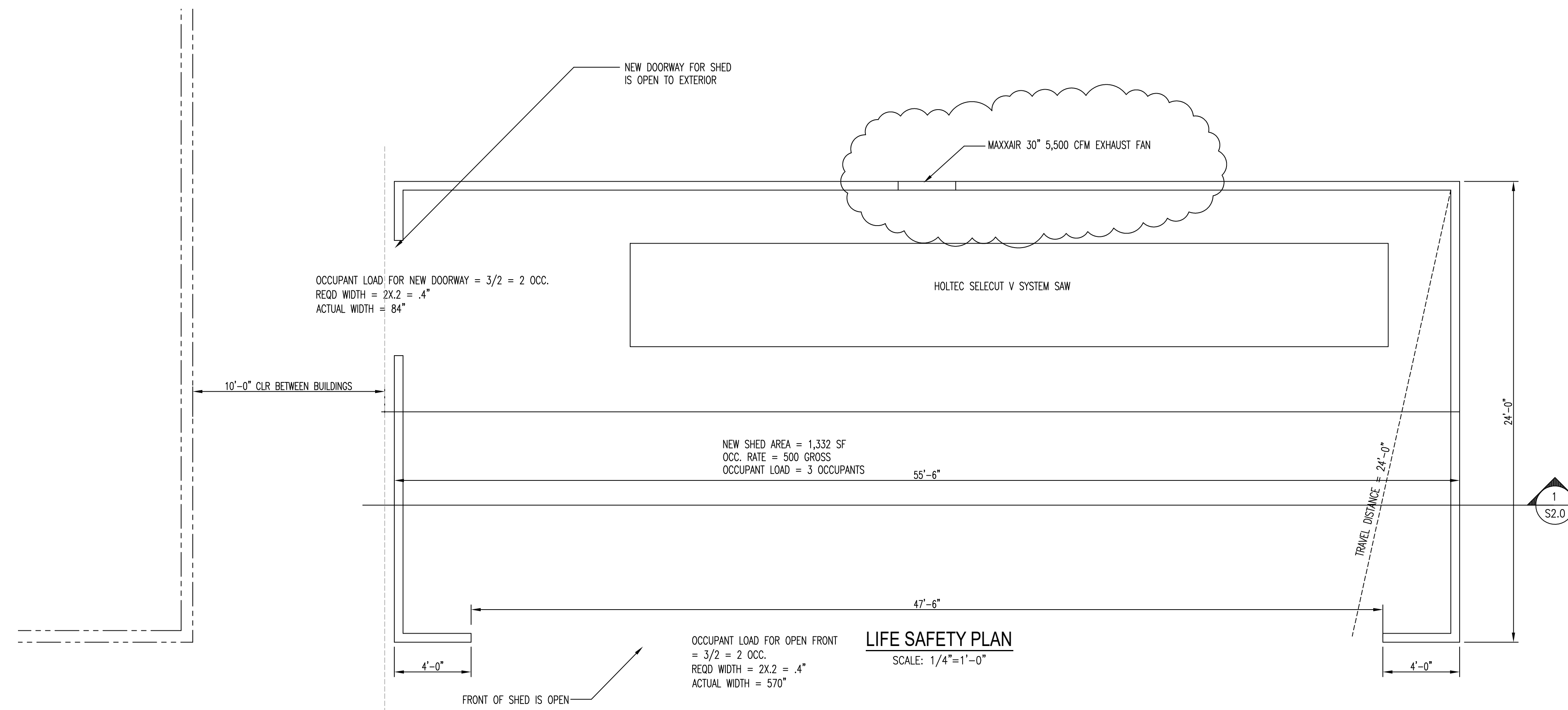
NO.	DATE	BY	REVISION
A	6-9-20	SMW	REVISED PER COUNTY COMMENTS
B	7-29-20	SMW	ADDED EXHAUST FAN

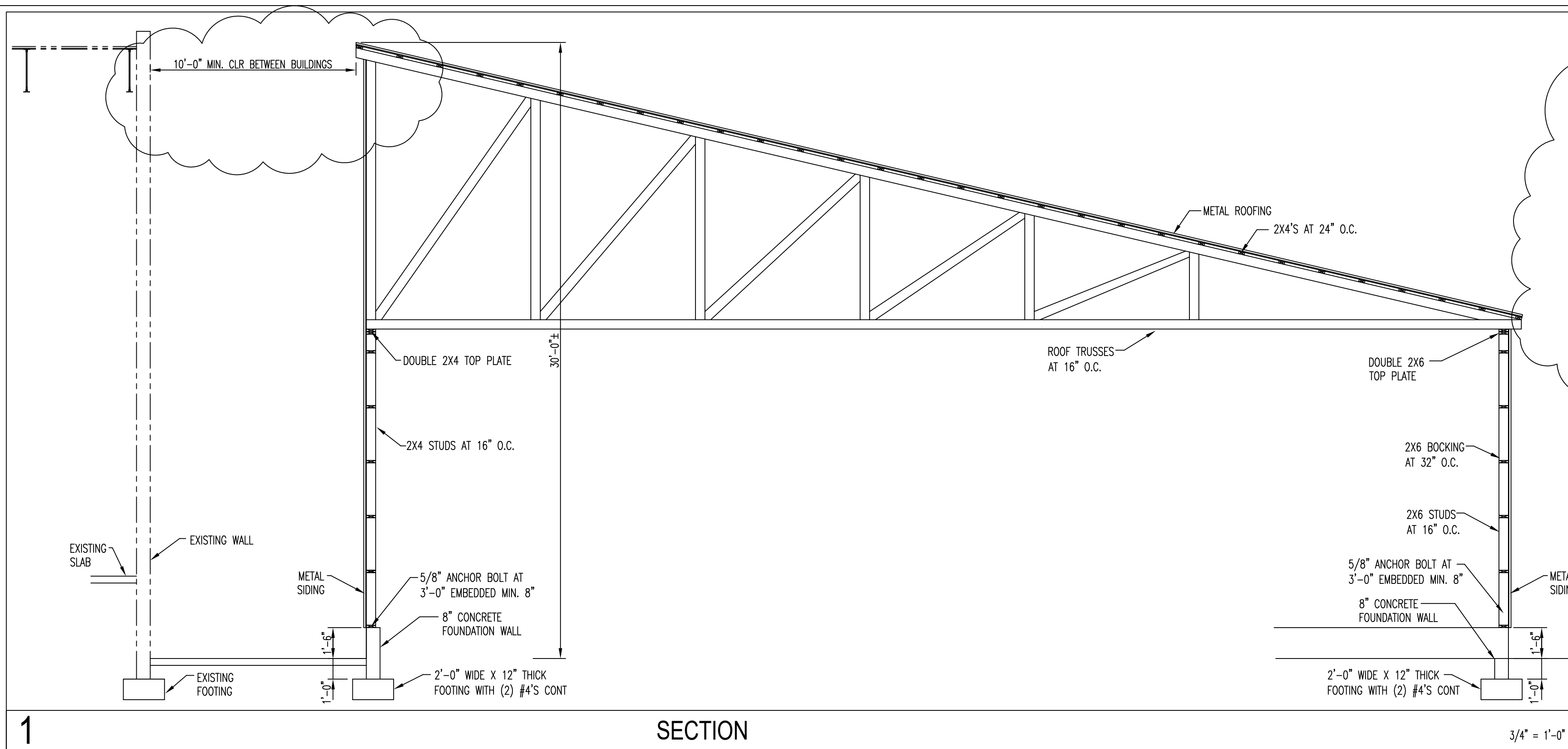
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### SHEET NUMBER

**S1.1**

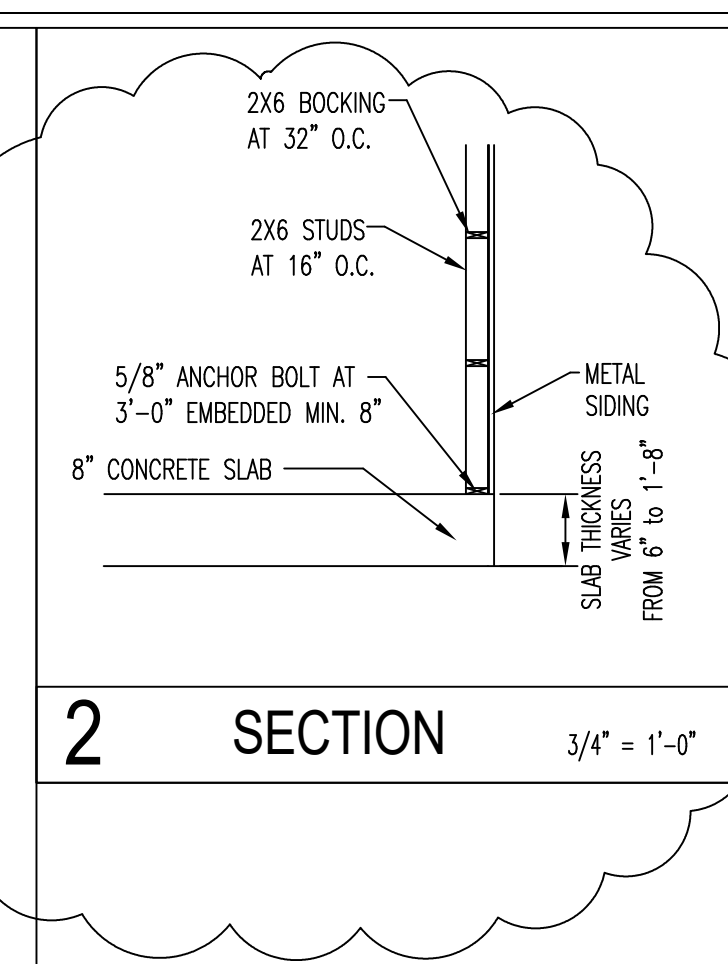




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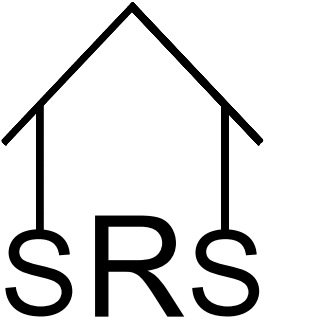
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3/4" = 1'-0"

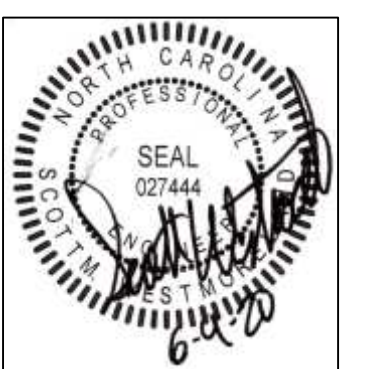


2 SECTION

3/4" = 1'-0"



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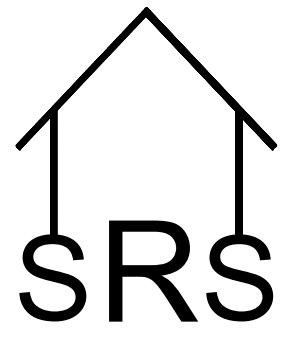
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PROJECT NUMBER:	19-161
FILE NUMBER:	19-161-S2.0
DATE:	6-9-20

REVISION DATA	
A	6-9-20 SMW REVISED PER COUNTY COMMENTS

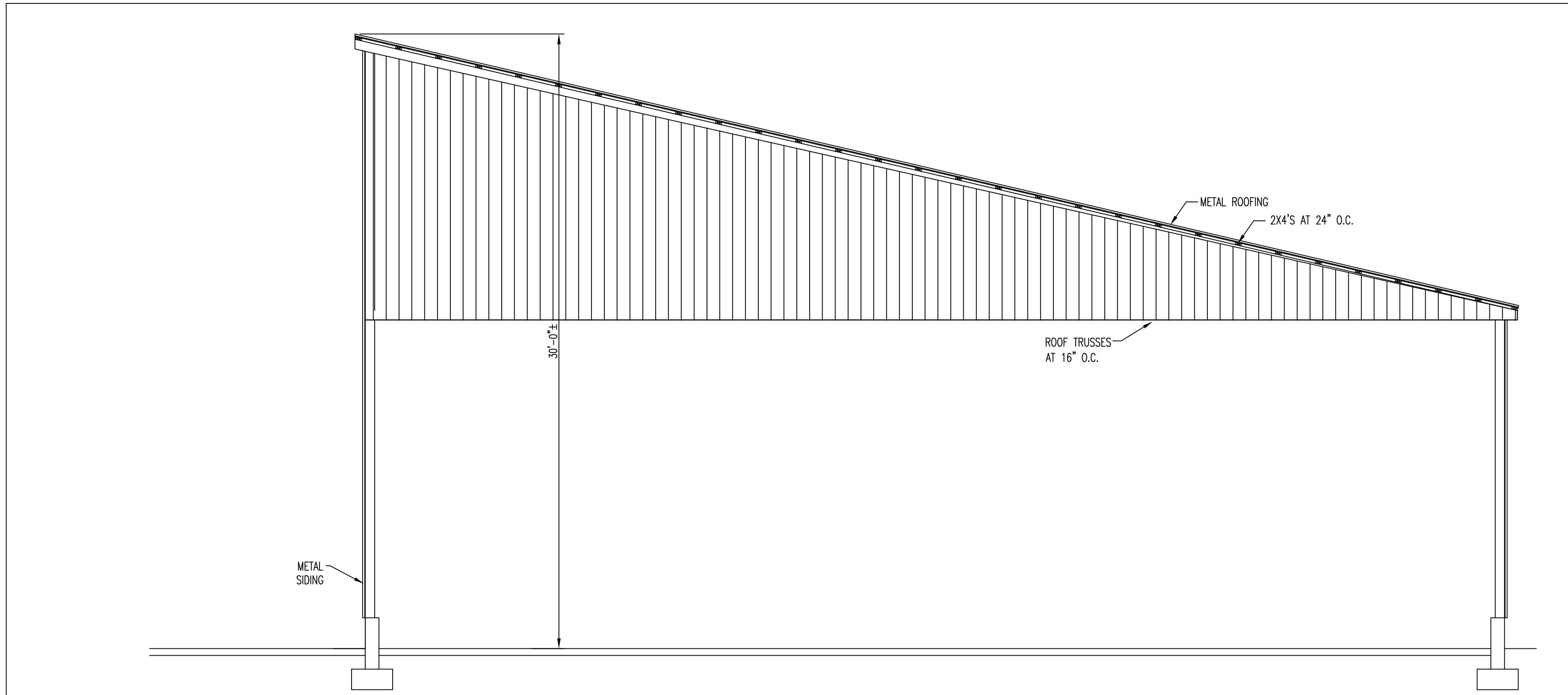
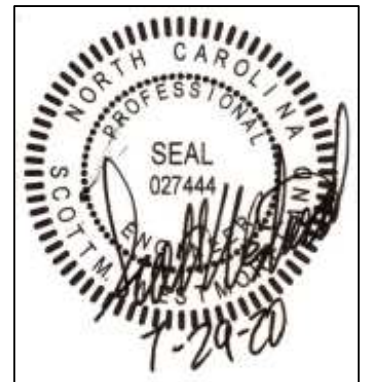
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SHEET NUMBER  
**S2.0**

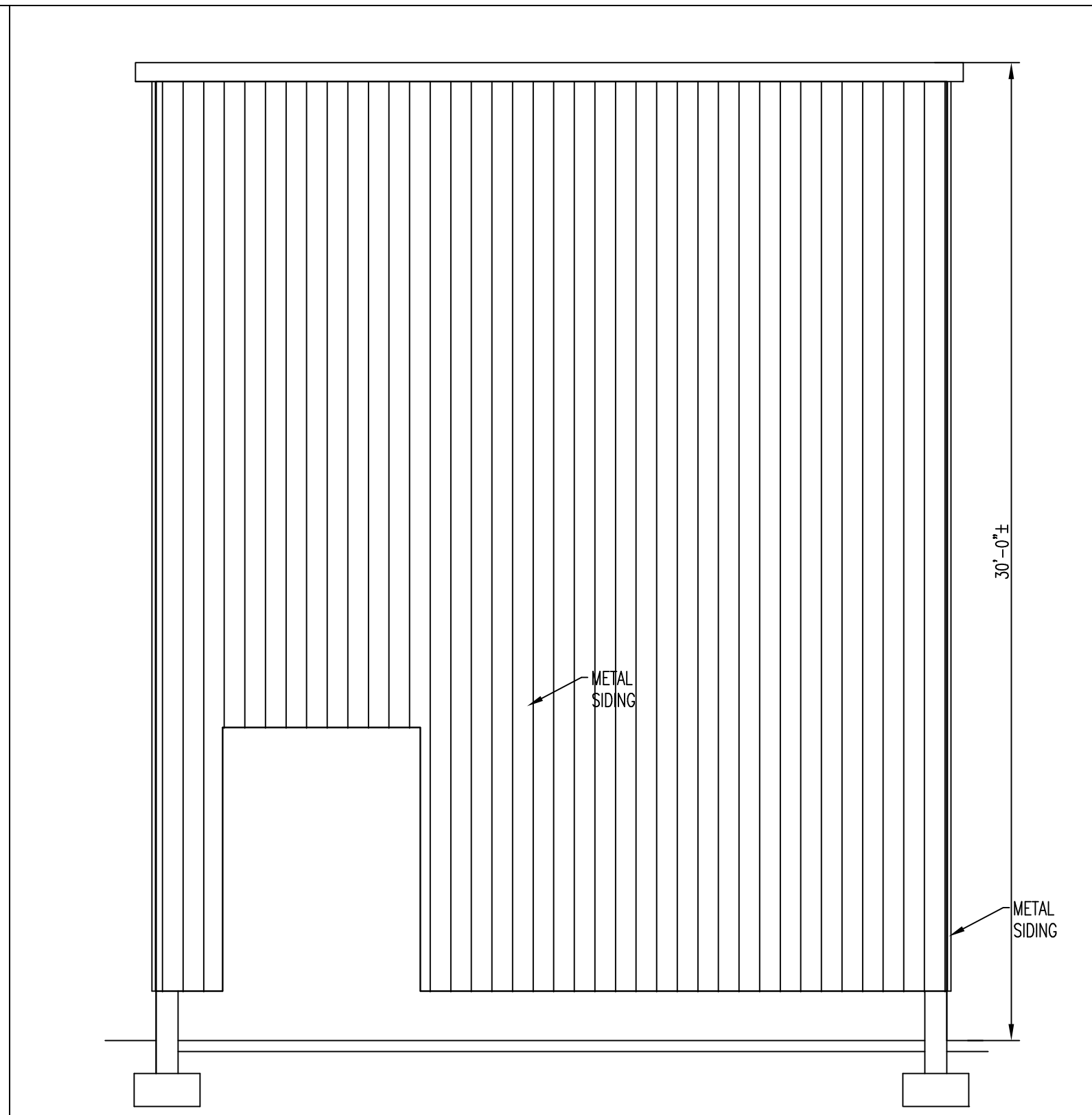




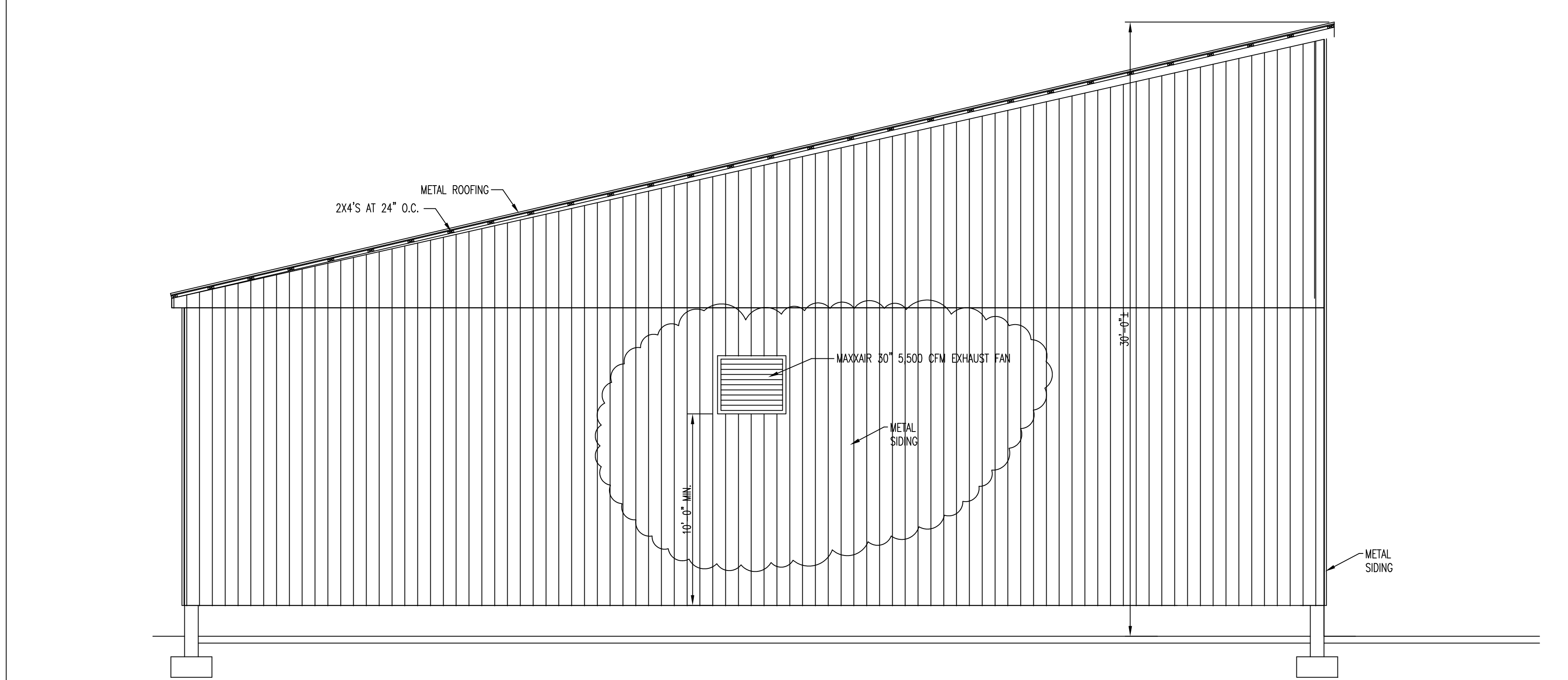
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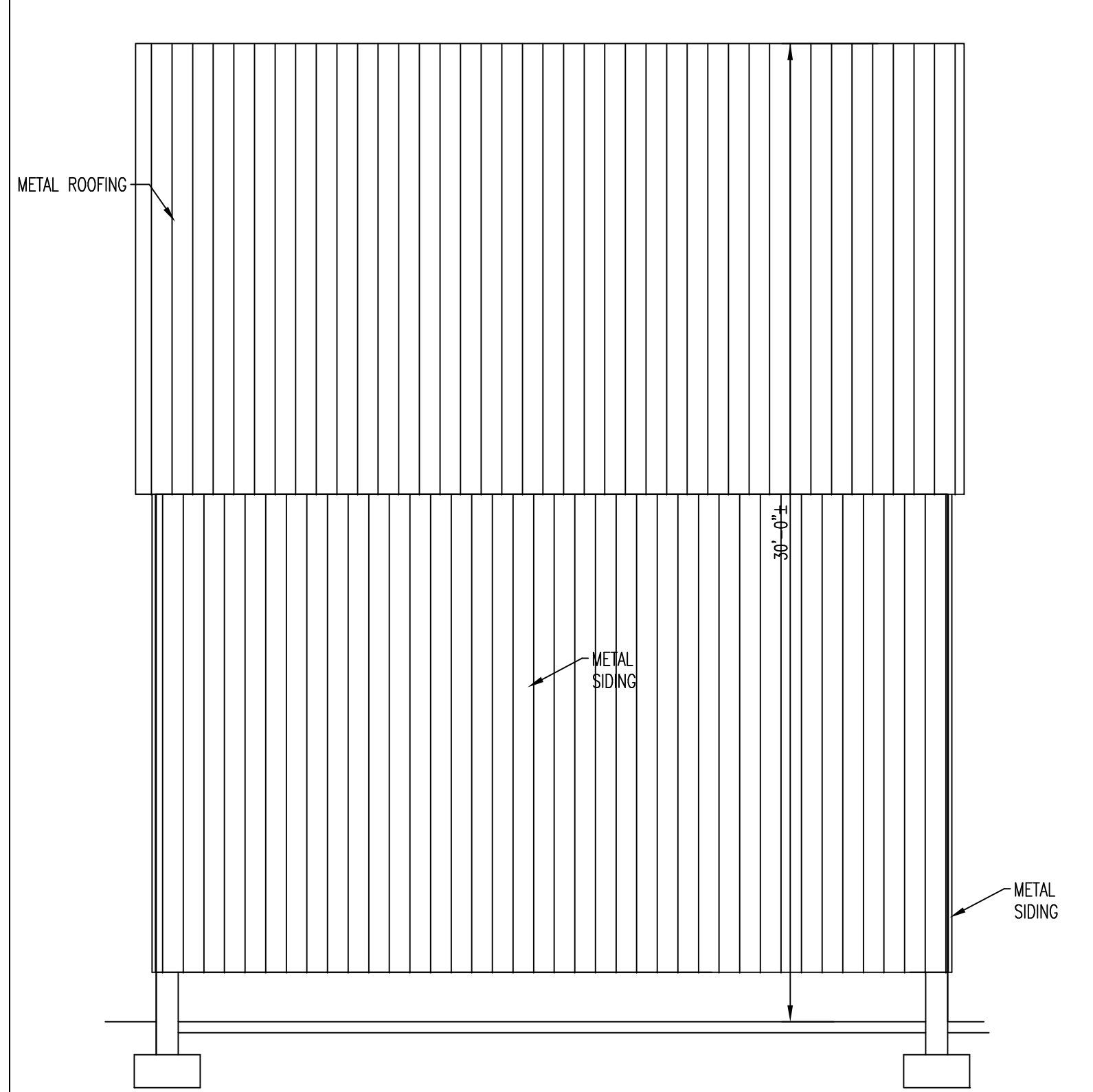
**1** FRONT ELEVATION 3/4" = 1'-0"



**3** LEFT ELEVATION 3/4" = 1'-0"



**2** REAR ELEVATION 3/4" = 1'-0"



**4** RIGHT ELEVATION 3/4" = 1'-0"

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**DRAWING DATA**

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 PROJECT NUMBER: 19-161  
 FILE NUMBER: 19-161-S2.1  
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**REVISION DATA**

A	6-9-20	SMW	REVISED PER COUNTY COMMENTS
B	7-29-20	SMW	ADDED EXHAUST FAN

**SHEET TITLE**

**ELEVATIONS**

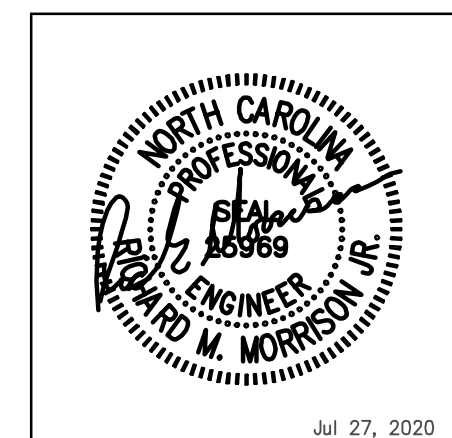
**SHEET NUMBER**

**S2.1**



2923 South Tryon Street Suite 280  
Charlotte, North Carolina 28203  
tel 704.373.0068

MECHANICAL ELECTRICAL PLUMBING



FIRM NUMBER = C-2130



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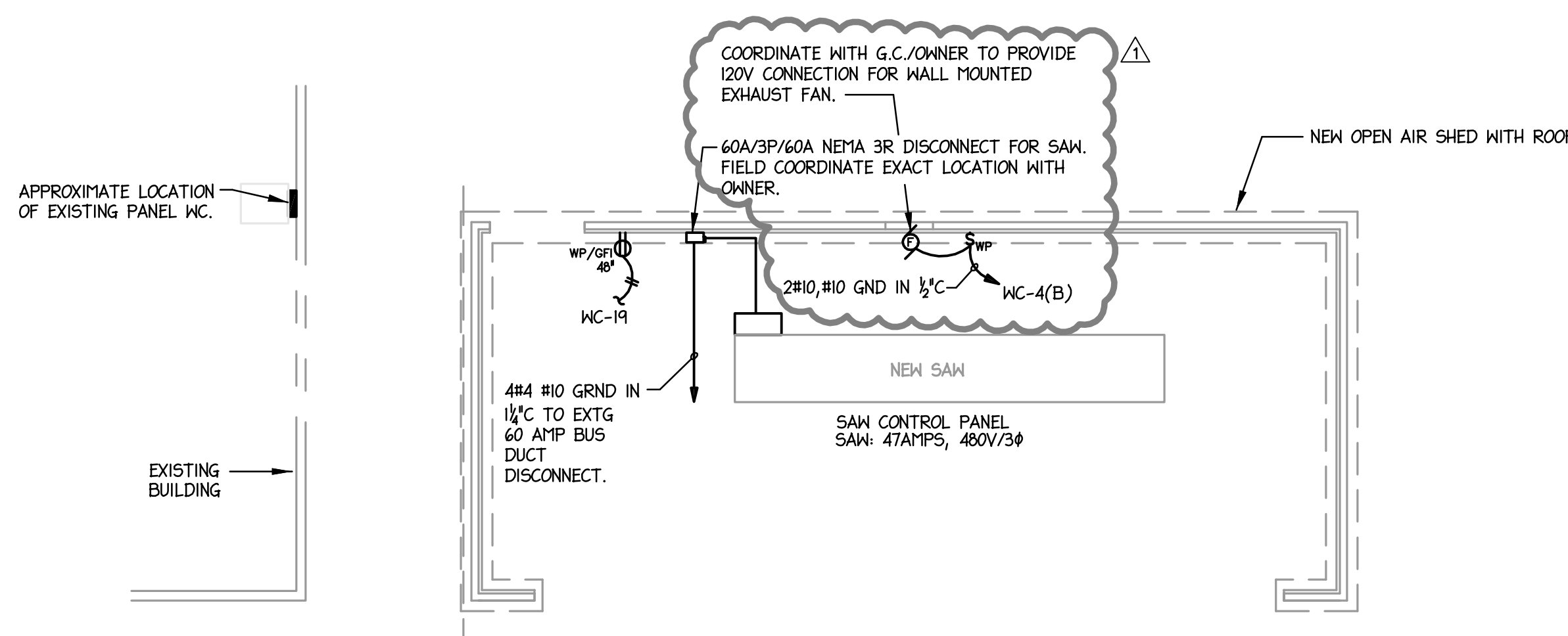
### FEEDER SCHEDULE - CU

STD. FUSE OR C/B TRIP SIZE	# OF SETS	BUILDING WIRE QUANTITY & SIZE, TYPE THHN - DRY TYPE THWN - WET	MINIMUM CONDUIT SIZE
(60)	1	4 #4, #10 G	1 1/4"
(100)	1	4 #2, #8 G	1 1/4"
(110)	1	4 #2, #8 G	1 1/2"
(125)	1	4 #1, #6 G	1 1/2"
(150)	1	4 #1/0, #6 G	2"
(175)	1	4 #2/0, #6 G	2"
(200)	1	4 #3/0, #6 G	2"
(225)	1	4 #4/0, #4 G	2 1/2"
(250)	1	4 - 250MCM, #4 G	2 1/2"
(300)	1	4 - 350MCM, #4 G	2 1/2"
(350)	2	4 #2/0, #3 G	2"
(400)	1	4 - 600MCM, #3 G	4"
(450)	2	4 #4/0, #2 G	2 1/2"
(500)	2	4 - 250MCM, #2 G	2 1/2"
(600)	2	4 - 350MCM, #1 G	3"
(1200)	4	4 - 350MCM, #3/0 G	3"

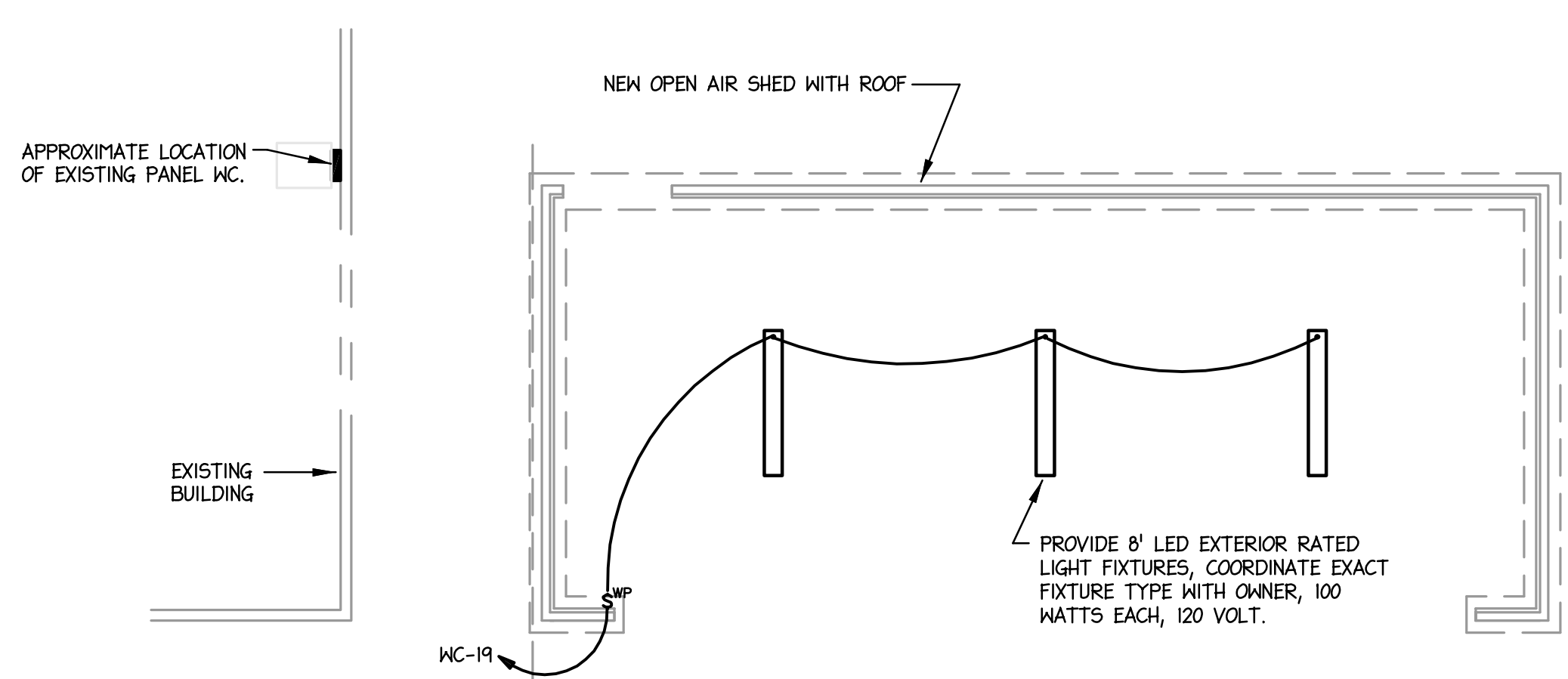
**NOTES:**  
1. ALL FEEDER SIZES LISTED MAY NOT BE USED IN PROJECT RISER DIAGRAM.  
2. ELECTRICAL CONTRACTOR TO VERIFY CONDUIT SIZE REQUIRED IF WIRE TYPES OTHER THAN THOSE LISTED ABOVE ARE USED.  
3. REFER TO LATEST EDITION OF NEC FOR CONDUIT TYPES REQUIRED PER THEIR LOCATION. IF CONDUIT OTHER THAN "EMT" IS REQUIRED USE SIZE PER MAXIMUM FILL TABLES.  
4. FEEDER SIZES SHOWN IN PROJECT RISER WITH A DELTA SYMBOL  $\Delta$  ARE 3 $\phi$ , 3 WIRE FEEDERS, A NEUTRAL WIRE IS NOT REQUIRED.  
5. FEEDER SIZES SHOWN IN PROJECT RISER WITH A DELTA FEEDERS ARE SIZED FOR NEC DEMAND ONLY. EC TO ADJUST FEEDER SIZES AS REQUIRED TO MAINTAIN 3% MAX VOLTAGE DROP FROM SERVICE ENTRANCE

### ELECTRICAL SYMBOL LEGEND

	CIRCUIT CONDUCTORS CONCEALED IN FLOOR, WALL OR CEILING.
	ARROWHEAD INDICATES HOMERUN TO PANEL NOTED.
	INDICATES HOT LEG OF CIRCUIT TO BE CARRIED OVER TO NEXT DEVICE. SEE PLANS FOR CONTROL SCHEME.
	JUNCTION BOX WALL MOUNTED AT HEIGHT INDICATED ON DRAWINGS.
	SINGLE POLE SWITCH, 20A, 120/277 VOLT, 48" A.F.F. TO CENTER. *WP* INDICATES WEATHERPROOF ENCLOSURE. *M* INDICATES 120V, 20A MOTOR RATED TOGGLE SWITCH.
	DUPLEX RECEPTACLE, 15 AMP, 120 VOLT, 18" A.F.F. TO CENTER. *GFI* INDICATES GROUND FAULT CIRCUIT INTERRUPTER TYPE *WP* INDICATES WEATHERPROOF
	HEAVY DUTY FUSIBLE/NON-FUSIBLE DISCONNECT SWITCH. NUMBERS INDICATE FRAME SIZE, NUMBER OF POLES AND FUSING. PROVIDE NEMA 1 ENCLOSURE INSIDE. PROVIDE NEMA 3 ENCLOSURE FOR ALL SWITCHES LOCATED OUTSIDE. *FPN* INDICATES FUSE PER EQUIPMENT NAMEPLATE *NF* INDICATES NON-FUSED.
	208Y/120V PANEL, SURFACE OR RECESS MOUNTED, SEE SCHEDULE FOR DETAILS.
	480Y/277V PANEL, SURFACE OR RECESS MOUNTED, SEE SCHEDULE FOR DETAILS.
	SURFACE MOUNTED LED STRIP, UL WET LABEL, 100 WATTS, 120 VOLT.
	SPECIAL EQUIPMENT CONNECTION. FIELD COORDINATE EXACT REQUIREMENTS.



**1 POWER PLAN**  
1/8"=1'-0"



**2 LIGHTING PLAN**  
1/8"=1'-0"

VOLTAGE: 208Y/120V  
AMPS: 100 - MLO\*

### EXISTING PANEL: WC

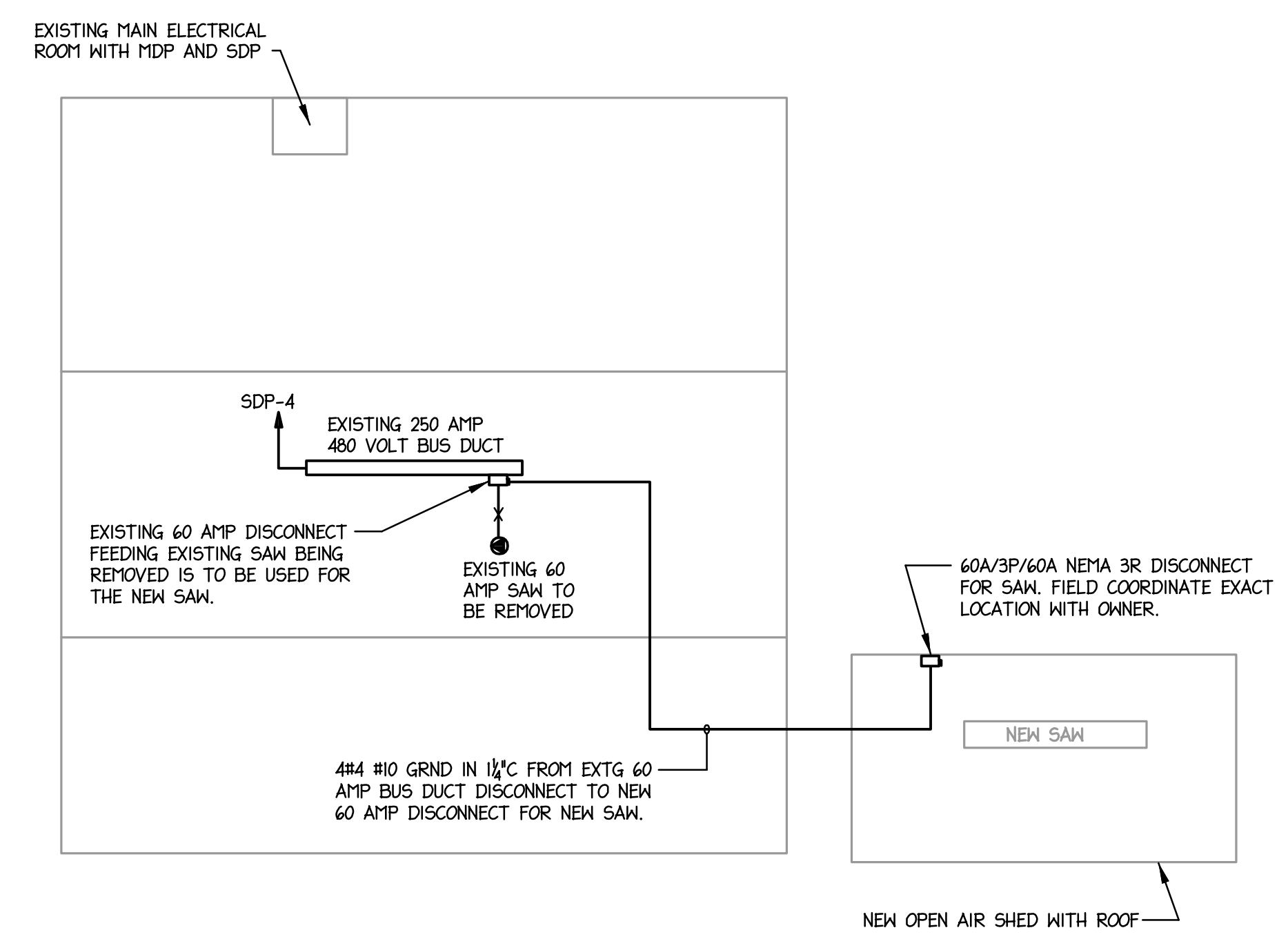
3 PHASE 4 WIRE SURFACE MOUNTED NEMA 1

- DESCRIPTION -	LOAD PER PHASE												- DESCRIPTION -				
	1	2	3	4	5	6	7	8	9	10	11	12					
EXTG LIGHTS	1	12	20	1	0.9	0.4							2	20	12	1	EXTG SUPERIOR LT
EXTG RECEP'S	1	12	20	3			11	1.6					4	20	12	1	EXTG EXH. LIT.
EXTG RECEP'S	1	12	20	6									6	20	12	1	EXTG OVERHEAD DOOR
EXTG COMPUTER RECEP'S	1	12	20	7	0.7	1.5							8	20	12	2	EXTG AIR HANDLER
EXTG TRUCK HEATER	1	12	20	9			1.5	1.5					10	20	12	2	EXTG HEAT PUMP
EXTG TRUCK HEATER	1	12	20	11					1.5	0.8			12	20	12	2	EXTG TRUCK HEATER
EXTG TRUCK HEATER	1	12	20	14			1.5	0.8					14	20	12	1	EXTG TRUCK HEATER
EXTG AC UNIT	2	12	20	15			1.0	1.5					16	20	12	1	EXTG TRUCK HEATER
EXTG AC UNIT	2	12	20	17					1.0	1.5			18	20	12	1	EXTG TRUCK HEATER
NEW SAW SHED LTS/REC	1	12	20	18	0.5	0.8							20	20	12	1	EXTG RECEP'S
EXTG AC UNIT	2	12	20	21			1.0	0.5					22	20	12	1	EXTR CHARGER RECEP'S
EXTG AC UNIT	2	12	20	23			1.0	0.5					24	20	12	1	EXTR CHARGER RECEP'S
<b>7.0 9.7 8.4</b>																	

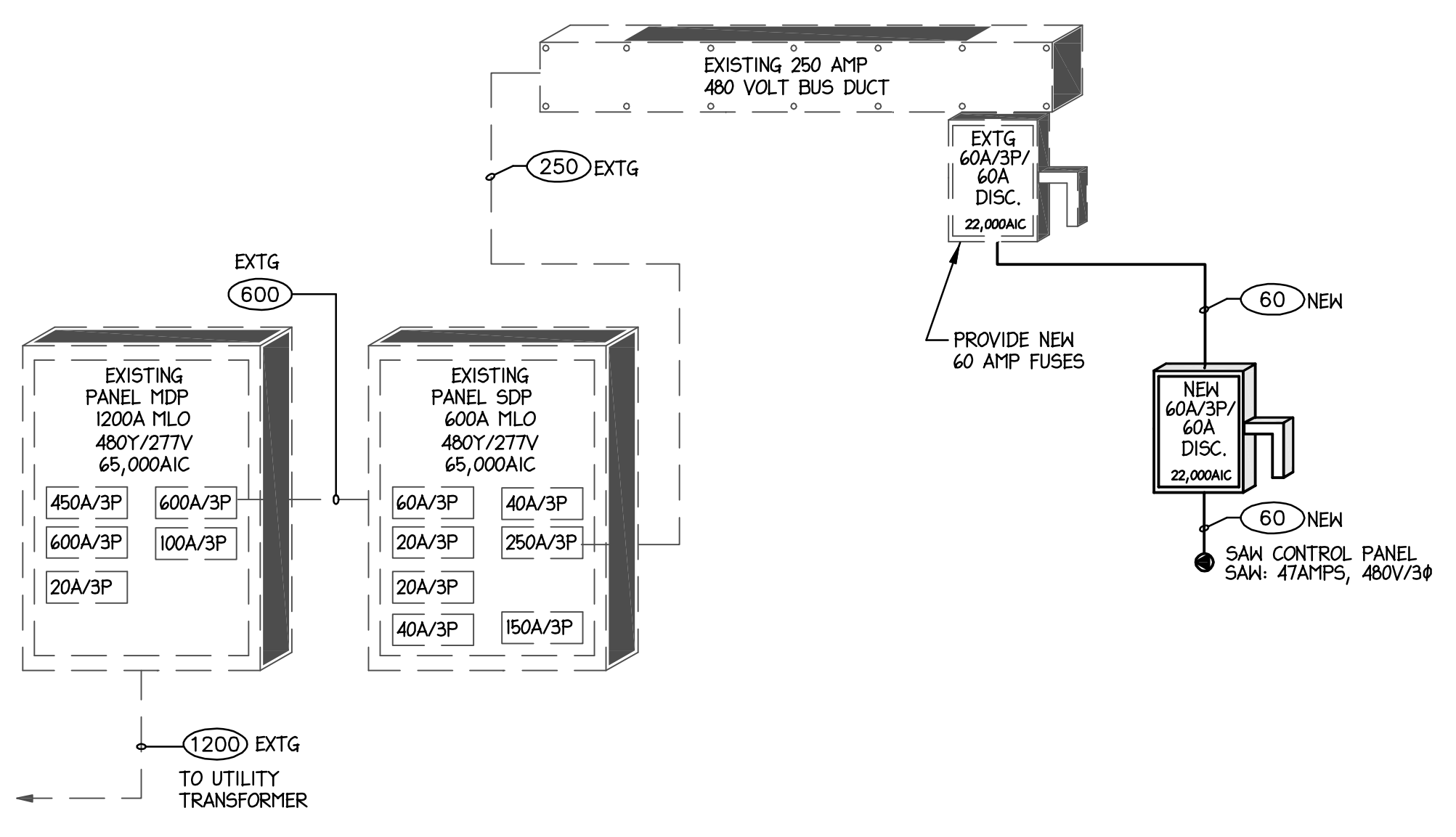
**DEMAND SUMMARY**  
RATED: 36.0 KVA  
EXIST: 23.1 KVA  
REMOVED: 0.0 KVA  
REMAINING: 23.1 KVA  
125% EXIST: 28.9 KVA  
ADDED: 2.0 KVA  
NEW TOTAL: 30.9 KVA

TOTAL CONNECTED KVA: 30.9  
DEMAND KVA: 30.9\*  
PANEL RMS SYM. AMPS: SEE RISER  
DEMAND AMPS: 86\*

EXISTING LOADS ARE SHOWN FAINT NEW AND/OR REVISED LOADS ARE SHOWN BOLD.  
1. PANEL WC IS EXISTING TO REMAIN.  
2. \* EXISTING PANEL IS FED WITH 100 AMP, 3 POLE BREAKER FROM DISTRIBUTION PANEL.



**3 OVERALL BUILDING PLAN**  
DIAGRAMMATIC



**4 PARTIAL EXISTING POWER RISER DIAGRAM**  
DIAGRAMMATIC

**NOTES:**  
ALL ELECTRICAL WORK INDICATED LIGHT AND DASHED IS EXISTING TO REMAIN.  
ALL ELECTRICAL WORK INDICATED DARK AND SOLID IS NEW.

- ### GENERAL ELECTRICAL NOTES
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL AND STATE CODES.
  - ALL MATERIAL, DEVICES, APPLIANCES, AND EQUIPMENT SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS OF THE UNDERWRITER'S LABORATORIES, INC., AND THE NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION.
  - ALL ELECTRICAL PERMITS AND INSPECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE ELECTRICAL CONTRACTOR. DRAWINGS ARE DIAGRAMMATIC ONLY AND INDICATE ONLY THE GENERAL ARRANGEMENT. SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS.
  - ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR ONE YEAR EFFECTIVE THE DAY THE PROJECT IS ACCEPTED BY THE OWNER.
  - ELECTRICAL CONTRACTOR SHALL MAKE ALL ELECTRICAL POWER CONNECTIONS TO HVAC, PLUMBING AND OTHER EQUIPMENT AS REQUIRED.
  - A COMPLETE GROUNDING SYSTEM SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF THE NEC, AND AS SHOWN ON THE DRAWINGS.
  - ALL CUTTING AND PATCHING OF WALLS AND FLOORS FOR ELECTRICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
  - CONDUCTORS SHALL BE COPPER RATED AT NOT LESS THAN 600 VOLTS. MINIMUM SIZE SHALL BE #12 AWG UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL WIRE #8 AWG AND LARGER SHALL BE STRANDED. ALL CONDUCTORS #10 AND SMALLER SHALL BE SOLID, UNLESS OTHERWISE NOTED. BRANCH CIRCUIT CONDUCTORS SHALL BE TYPE THHN OR THWN AS REQ'D.
  - ALL WIRING SHALL BE INSTALLED IN GALVANIZED RIGID CONDUIT, INTERMEDIATE METAL CONDUIT, OR EMT. EMT SHALL NOT BE USED IN OR UNDER CONCRETE SLABS, OR IN MASONRY WALLS. USE SCHEDULE 40 PVC OUTDOORS WHERE NOT SUBJECT TO PHYSICAL DAMAGE OR BELOW FLOOR SLAB. MINIMUM CONDUIT SIZE TO BE 1/2". TYPE MC AND AC CABLE MAY BE USED WHERE PERMISSIBLE BY NEC.
  - PROVIDE A TYPED DIRECTORY IN ALL PANELBOARDS CLEARLY DESCRIBING THE LOCATION OF AND TYPE OF LOAD BEING SERVED FOR ALL CIRCUITS. PROVIDE ENGRAVED PHENOLIC NAMEPLATES FOR ALL PANELBOARDS AND DISCONNECT SWITCHES, WHITE LETTERS ON BLACK BACKGROUND.
  - FUSES 0 - 600 AMPS SHALL BE UL CLASS "RK-1" LOW PEAK DUAL ELEMENT TIME DELAY WITH 200,000 AMPERE INTERRUPTING RATING AS MANUFACTURED BY BUSSMANN, UNLESS NOTED OTHERWISE.
  - ALL TERMINALS/LUGS SHALL BE 60/75" RATED. ALL TERMINALS, SPlicing CONNECTORS, LUGS, ETC SHALL BE IDENTIFIED FOR USE WITH THE MATERIAL (CU/AL) OF THE CONDUCTOR AND SHALL BE PROPERLY INSTALLED.
  - THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ELECTRICAL EQUIPMENT FROM FOREIGN MATERIAL DURING CONSTRUCTION (PAINT, SPACKLE, ETC.).
  - PENETRATIONS OF REQUIRED SMOKE PARTITIONS SHALL BE SEALED USING METHODS APPROVED UNDER THE STATE BUILDING CODE. COORDINATION WITH THE GENERAL CONTRACTOR SHALL BE MAINTAINED TO INSURE THAT THIS SMOKE STOPPING IS ACCOMPLISHED.
  - WHERE PENETRATIONS ARE MADE THROUGH A REQUIRED FIRE-RESISTIVE WALL, FLOOR, OR PARTITION FOR THE PURPOSE OF RUNNING RACEWAY CARRYING ELECTRICAL, TELEPHONE, TELEVISION, OR LOCAL COMMUNICATION AND/OR SIGNALING CIRCUITS, THE OPENING AROUND THE RACEWAY SHALL BE FIRE STOPPED PER THE STATE BUILDING CODE. COORDINATION WITH THE GENERAL CONTRACTOR SHALL BE MAINTAINED TO INSURE THAT THIS FIRE STOPPING IS ACCOMPLISHED. USE APPROVED U.L. OR EQUIVALENT ASSEMBLIES.
  - WHERE A HOME RUN IS SHOWN THE CIRCUIT SHALL BE INSTALLED IN A DEDICATED CONDUIT, DO NOT COMBINE WITH OTHER CIRCUITS. WHERE A CIRCUIT HOMERUN IS NOT SHOWN, THE CONTRACTOR SHALL COMBINE CIRCUITS AS FOLLOWS: A MAXIMUM OF THREE 20A BRANCH CIRCUITS MAY BE COMBINED IN A COMMON HOMERUN WITH SEPARATE NEUTRALS FOR A MAXIMUM TOTAL OF SIX CURRENT CARRYING CONDUCTORS. ALL BRANCH CIRCUITS LARGER THAN 20A SHALL BE SEPARATELY HOMERUN TO THE PANEL.
  - RECEPTACLES SHALL BE SPECIFICATION GRADE EQUAL TO HUBBELL 5300 SERIES, GROUND FAULT RECEPTACLES SHALL BE HUBBELL GF-5362. LIGHTING SWITCHES SHALL BE SPECIFICATION GRADE EQUAL TO HUBBELL 1200 SERIES.
  - ELECTRICAL CONTRACTOR TO COORDINATE THE EXACT MC/MCP REQUIREMENTS OF ALL EQUIPMENT WITH ALL OTHER TRADES PRIOR TO PRICING, ORDERING, OR INSTALLING ANY ELECTRICAL GEAR. THIS SHALL INCLUDE BUT NOT LIMITED TO ALL HVAC, PLUMBING, KITCHEN, OWNER PROVIDED EQUIPMENT, ETC.

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### DRAWING DATA

DRAWN BY:	SMW
PROJECT NUMBER:	19-161
FILE NUMBER:	
DATE:	05-26-20

### REVISION DATA

ADDED EX FAN	07-27-2020
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SHEET TITLE  
ELECTRICAL PLAN

SHEET NUMBER

E1