

**CODE BLOCK**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE, 2018 EDITION
- INTERNATIONAL PLUMBING CODE, 2018 EDITION
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION
- INTERNATIONAL FIRE CODE, 2018 EDITION
- NATIONAL ELECTRIC CODE, 2017 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION
- ICC ANSI 117.1 ACCESSIBILITY CODE, 2010 EDITION

**ACCESSIBILITY REQUIREMENTS:**  
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2018 IBC BUILDING CODE.

CALL NORTH CAROLINA  
ONE CALL  
(800) 632-4949  
CALL 3 WORKING DAYS  
BEFORE YOU DIG!

**SITE NAME:**  
**SUGAR CREEK**

**SITE NUMBER:**  
**NC-091**

**SITE ADDRESS:**  
**13451 DORMAN ROAD  
PINEVILLE, NC 28134**

**PROJECT SUMMARY**

**SITE NAME:** SUGAR CREEK  
**SITE NUMBER:** NC-091  
**SITE ADDRESS:** 13451 DORMAN ROAD PINEVILLE, NC 28134  
**SITE COORDINATES:** LATITUDE (N): 35° 03' 34.8" (35.059667) LONGITUDE (W): 80° 53' 09.4" (80.885944)  
**COUNTY:** MECKLENBURG COUNTY  
**JURISDICTION:** PINEVILLE TOWNSHIP  
**ZONING:** RMX  
**MAP PARCEL:** 221111112 & 221111110  
**PROP. OWNER NAME:** CAROLINA SPORTSPLEX, LLC  
**PROP. OWNER ADDRESS:** 13501 DORMAN ROAD PINEVILLE, NC 28134  
**APPLICANT:** VOGUE TOWER PARTNERS VII, LLC 430 CHESTNUT STREET SUITE 101-B CHATTANOOGA, TN 37402

**CONSULTANTS**

**ENGINEERING CONSULTANT:**  
FRENCH & PARRELLO ASSOCIATES  
100 N. POINT CENTER E. SUITE 125  
ALPHARETTA, GA 30022  
CONTACT: MICHAEL SANDIFER  
PHONE: 770 309-2031  
EMAIL: MICHAEL.SANDIFER@FPAENGINEERS.COM  
FPA JOB NO: 15228.035

**CLIENT CONTACT:**  
VOGUE TOWERS  
430 CHESTNUT STREET, SUITE 101-B  
CHATTANOOGA, TN 37402

**CONSTRUCTION MANAGER:**  
TBD

**POWER:**  
DUKE ENERGY  
800-777-9898

**TELCO:**  
AT&T  
844-723-0252

**SHEET INDEX**

SHEET	DESCRIPTION
T-1	COVER SHEET
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C-1	OVERALL SITE PLAN
C-2.1	ENLARGED SITE PLAN
C-2.2	PROPOSED SIDEWALK PLAN
C-3	SIDEWALK ELEVATION
C-4	SIDEWALK DETAILS
C-5	SITE DETAILS

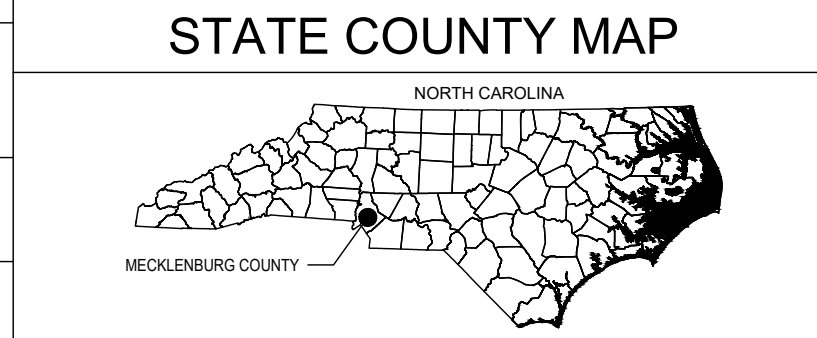
**ZONING APPROVAL**

**PROJECT SCOPE**

THE PROPOSED SCOPE OF WORK WILL CONSIST OF DEVELOPING AND CONSTRUCTING A NEW UNOCCUPIED TELECOMMUNICATIONS FACILITY. THE PROPOSED TOWER SITE WILL LATER INCLUDE NEW TELECOMMUNICATIONS EQUIPMENT ON A PROPOSED CONCRETE PAD PER LESSEE (OR TELECOMMUNICATION CARRIER.) THE PROPOSED CONSTRUCTION WILL INCLUDE THE INSTALLATION OF ANTENNA(S), CABLE(S) AND ANCILLARY EQUIPMENT ON THE TOWER AND THE ANCILLARY EQUIPMENT ON THE GROUND.

**UTILITY S.O.W. RESPONSIBILITIES**

SCOPE OF WORK	BY UTILITY	BY GC
INSTALL NEW SIDEWALK PER NCDOT SPECS		X
NEW SIDEWALKS SHALL AT MIN MEET NCDOT STANDARDS		X
NEW CONCRETE CATCH BASINS ARE TO HAVE GRATES 2" OR LESS		X
CURB TERMINATION TO BE TAPERED FLUSH WITH GUTTER ELEVATIONS.		X



430 CHESTNUT STREET  
SUITE 101-B  
CHATTANOOGA, TN 37402

100 N Point Center E. Suite 125, Alpharetta, GA 30022  
470.318.6119

DATE	RECORD OF ISSUE	BY
02/09/2023	ZONING	KAC EB

NOT VALID FOR CONSTRUCTION  
UNLESS SIGNED AND STAMPED

**SITE NAME:**  
SUGAR CREEK  
**SITE NUMBER:**  
NC-091  
**SITE ADDRESS:**  
13451 DORMAN ROAD  
PINEVILLE, NC 28134

**DRAWN BY:** KAC  
**CHECKED BY:** EB  
**PROJECT MANAGER:** MAS  
**SHEET NUMBER:** T-1

**GENERAL NOTES:**

1. Topographic Survey only. Any property boundary information shown hereon is a composite of information gathered from current or previous Surveys, Plat & Deed Description and/or Assessor's Tax Maps as may be referenced hereon. This Survey is not a Boundary Survey of any Tax Parcels or Deed Tracts, and does not create, combine, or divide any existing properties.
2. Survey shown hereon was performed under the supervision of a state-registered Land Surveyor and conforms to all applicable State Board Requirements.
3. Instruments Used: One or more of: Topcon Total Station, Topcon Hiperlite Plus GPS, Carlson Surveyor Data Collector, DJI UAV.
4. Where shown, improvements (utilities, buildings, trees, fences, etc.) are based on field Survey and/or aerial mapping.
5. No underground utilities were marked at time of survey. It is the responsibility of design and construction personnel to determine the locations of underground utilities prior to land disturbance activities.
6. Survey as published is not intended to be suitable for recording as a Subdivision Plat.
7. This survey may have been reduced or enlarged in size due to subsequent reproduction. This should be taken into consideration when obtaining scaled data.
8. Any Flood Zone information presented hereon is according to current FEMA Flood Map information as may be referenced hereon. No Flood Elevation Survey of Certification performed.
9. This survey is not valid without the original signature seal of a State-Licensed Land Surveyor, and is not complete without the total of sheets as specified in Survey Title Blocks.

**SURVEYOR'S CERTIFICATION**

To: Vogue Towers Partners VII, LLC  
 I, Donald Cordell, certify that this project was completed under my direct and responsible charge from an actual Ground Survey made under my supervision, and meets the requirements of a Class B Survey, and meets other requirements as may be specified in notes upon this Survey.



Donald Cordell  
 North Carolina PLS  
 License No. 3037

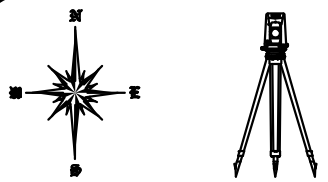
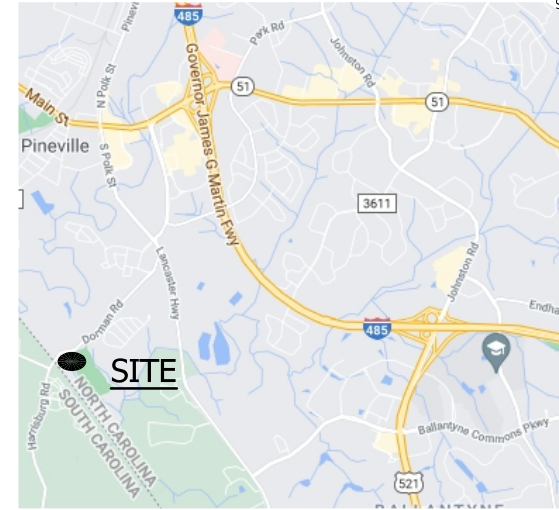
**NORTH ORIENTATION**

NORTH CAROLINA STATE PLANE COORDINATE SYSTEM  
 Based on GPS Survey relative to NGS CORS Network, NAD83 (2011)  
 ELEVATION DATUM: NAVD88, GEOID 12B  
 DATE OF SURVEY: [FieldDate]  
 Method: RTK (CORS); Confidence Level: 95%  
 Positional Accuracy: HZ ± 0.10'  
 EPOCH 2010.0000

**FLOOD DATA**

FEMA FLOOD MAP PANEL: 371043800L, Effective Date: 09-02-2015  
 Surveyed Area appears to lie within: ZONE X (Areas of Minimal Flood Hazard)

**LOCATION MAP**  
 NOT TO SCALE



**DONALD L. CORDELL**  
 Professional Land Surveyor  
 2857 Camp Creek Road  
 Murphy, NC 28906  
 (828) 494-7058  
 NC License No: L-3037

PREPARED FOR



**VOGUE TOWERS**  
 PARTNERS VII, LLC

**LEGEND**

- ⊙ IRON PIPE FOUND
- UTILITY POLE
- ⌋ GUY ANCHOR
- ⊗ LIGHT POLE
- ⊞ TELECOM JUNCTION
- ⊞ TELECOM PULLBOX
- FIRE HYDRANT
- ⊗ WATER VALVE
- ⊙ SITE BENCHMARK

- R/W RIGHT-OF-WAY
- C/L CENTER LINE

- ▬ PAVEMENT EDGE
- ▬ GRAVEL EDGE
- ▬ CHAINLINK FENCE
- ▬ SIDEWALK
- OHU — OHU — OVERHEAD UTILITY LINES
- ▬ 5' CONTOURS
- ▬ 1' CONTOURS
- ▬ RW ▬ RW ▬ PUBLIC R/W
- ▬ TAX PARCEL BOUNDARY
- ▬ PLAT TRACT/DEED LINE

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)  
**TOPOGRAPHIC SURVEY**  
**A PORTION OF TAX PARCEL 22111110**  
 Dorman Road, Pineville, NC 28134  
 Pineville Township  
 Mecklenburg County, North Carolina

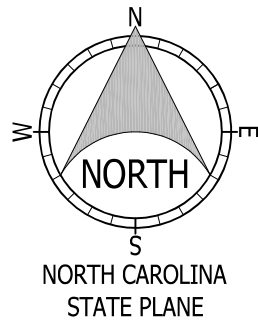
**COVER SHEET**

DWG#: 22337  
 ISSUE #: 0  
 ISSUE DATE: 01-05-2023  
 SEE SHEET #1

SHEET  
**1**  
 OF  
 2

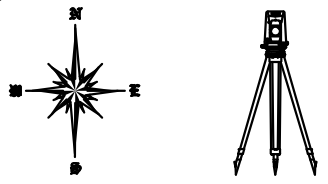
**SURVEY ISSUE DATA**

#	DETAILS	DATE	DRAWN	APP
0	Original Survey Issue	01-05-2023	NB	DLC



# DORMAN ROAD

60' Public R/W (Ref: Map Book 57, Page 458)

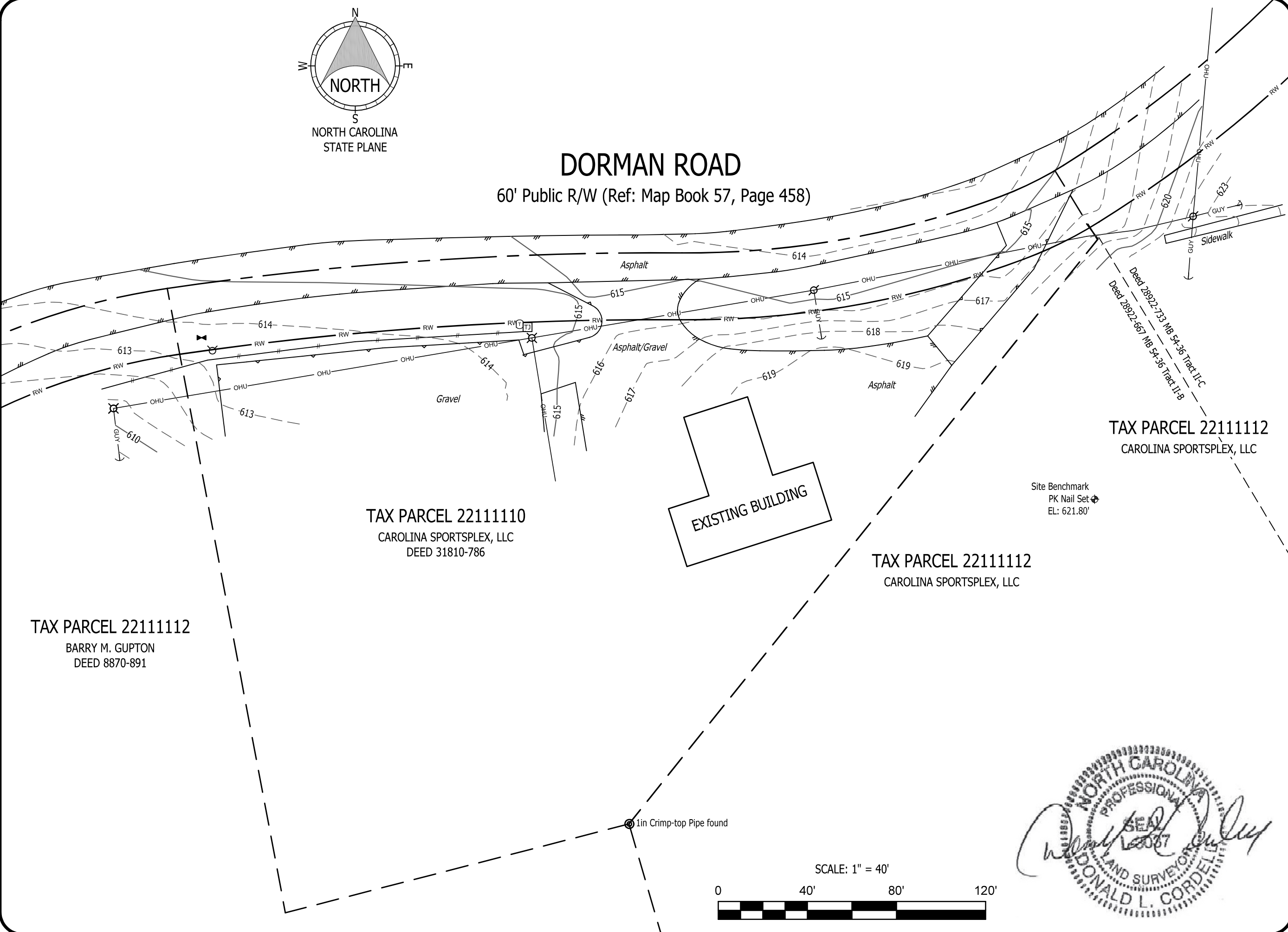


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NC License No: L-3037

PREPARED FOR



**VOGUE TOWERS**  
PARTNERS VII, LLC



TAX PARCEL 22111112  
BARRY M. GUPTON  
DEED 8870-891

TAX PARCEL 22111110  
CAROLINA SPORTSPLEX, LLC  
DEED 31810-786

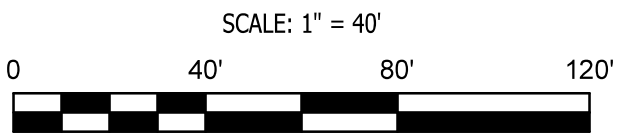
EXISTING BUILDING

TAX PARCEL 22111112  
CAROLINA SPORTSPLEX, LLC

TAX PARCEL 22111112  
CAROLINA SPORTSPLEX, LLC

Site Benchmark  
PK Nail Set  
EL: 621.80'

1in Crimp-top Pipe found



(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

## TOPOGRAPHIC SURVEY

### A PORTION OF TAX PARCEL 22111110

Dorman Road, Pineville, NC 28134  
Pineville Township  
Mecklenburg County, North Carolina

## SITE SURVEY

DWG#: 22337  
ISSUE #: 0  
ISSUE DATE: 01-05-2023  
SEE SHEET #1

SHEET  
**2**  
OF  
2

## GENERAL NOTES

- THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
- IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
- THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THIS SCOPE OF WORK.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- GROUNDING SYSTEM MODIFICATION SHALL COMPLY WITH CARRIER'S GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH TOWER OWNER'S GROUNDING REQUIREMENTS, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE INSTALLED AND READY FOR CONNECTIONS PRIOR TO NEW EQUIPMENT BEING INSTALLED ON SITE.
- ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE LOCATED AS REQUIRED PRIOR TO EXCAVATION.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
- ANY DAMAGE TO THE ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE LANDOWNER, ENGINEER, CONSTRUCTION MANAGER, OR OWNER.
- THE CONTRACTOR SHALL CONTACT UTILITIES AND LOCATOR SERVICE A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION. (CALL BEFORE YOU DIG 811).
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN 20' HORIZONTAL CLEARANCE FROM CENTERLINE OF EXISTING POWER LINES OR AS REQUESTED BY THE POWER COMPANY.
- ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES.
- SEEDING AND MULCHING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE GRADING.
- PERMITS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC.
- CONTRACTOR TO PROVIDE RED LINE AS BUILT CONSTRUCTION DRAWINGS TO TOWER OWNER AT COMPLETION OF JOB.
- THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR EXISTING UTILITIES BELIEVED TO BE IN THE WORKING AREA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITIES. WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
- ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE AND IN COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL STATE AND LOCAL LAWS AND ORDINANCES, THE REGULATIONS OF THE STATE AND LOCAL AUTHORITIES HAVING JURISDICTION, AND ALL REQUIREMENTS OF THE CARRIER'S SPECIFICATIONS AND PRACTICES.
- ALL ELECTRICAL EQUIPMENT, MATERIALS, AND DEVICES SHALL BE NEW, STANDARD FIRST GRADE THROUGHOUT AND CONFORM TO THE LATEST APPLICABLE STANDARDS ESTABLISHED BY IEEE, ANSI, ASTM, ETC. ELECTRICAL EQUIPMENT SHALL MEET STANDARDS OF UNDERWRITER'S LABORATORIES, INC., AND SHALL BE SO LABELED.
- ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT AND MECHANICAL APPEARANCE UPON COMPLETION.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, HARDWARE, LABOR AND SERVICES REQUIRED FOR THE INSTALLATION OF COMPLETE AND PROPERLY WORKING INSTALLATIONS AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- CONTRACTOR SHALL VERIFY EXACT TYPE OF EQUIPMENT TO BE INSTALLED AND THE DIMENSIONS WHICH MAY EFFECT THE EXACT PLACEMENT OF ELECTRICAL WORK.
- ALL RIGID GALVANIZED STEEL (RGS) CONDUIT COUPLINGS AND CONNECTORS SHALL BE STANDARD THREADED TYPE. FLEXIBLE METAL CONDUIT SHALL BE SEALTIGHT, CONSISTING OF FLEXIBLE GALVANIZED STEEL TUBING WITH A LIQUIDTIGHT JACKET OF PVC.
- WHERE RIGID CONDUITS ENTER BOXES THEY SHALL BE SECURED IN PLACE BY APPROVED LOCKNUTS AND BUSHINGS AND SHALL BE PROVIDED WITH A BURNDY GROUNDING CLAMP OR EQUAL. ALL CONDUIT CONNECTIONS TO SHEET METAL BY USE OF CABINETS OR ENCLOSURES SUBJECT TO THE ELEMENTS SHALL TERMINATE WITH RAIN-TIGHT HUBS.
- ALL PVC CONDUIT SHALL BE MINIMUM SCHEDULE 40.
- ALL CONDUCTOR INSULATION SHALL BE MINIMUM 600 VOLT RATED. ALL CABLE SHALL BE NYLON JACKETED, TYPE THHN/THWN UNLESS NOTED OTHERWISE.

## PINEVILLE TOWNSHIP GENERAL NOTES

- THESE CONSTRUCTION/SITE PLANS ARE PROVIDED TO THE PINEVILLE TOWNSHIP PUBLIC WORKS DEPARTMENT FOR ROADWAY/PARKING LOT/DRIVE AISLES, GRADING AND DRAINAGE PLAN REVIEW AND APPROVAL. UTILITIES SHOWN WITHIN ARE PROVIDED FOR INFORMATION ONLY. CONTACT THE APPROPRIATE UTILITY AGENCY FOR UTILITY PLAN APPROVAL.
- EROSION CONTROL PLANS AND DETAILS ARE PROVIDED FOR INFORMATION ONLY. PRIOR TO ANY GRADING ACTIVITIES A LAND DISTURBANCE PERMIT MUST BE OBTAINED. CONTACT 704-651-3339 FOR THE PINEVILLE TOWNSHIP PUBLIC WORKS DEPARTMENT TO OBTAIN A PERMIT APPLICATION.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE PINEVILLE TOWNSHIP SUBDIVISION REGULATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO ADVISE FUTURE BUILDERS AND/OR LOT OWNER'S THAT ALL DRIVEWAYS, SIDEWALKS, AND ACCESSIBLE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL REGULATIONS, TDOT SPECIFICATIONS, AND PINEVILLE TOWNSHIP SUBDIVISION REGULATIONS AND ZONING ORDINANCES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PINEVILLE TOWNSHIP, DEPARTMENT OF PUBLIC WORKS, A MINIMUM OF 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS. INSPECTIONS ARE REQUIRED BEFORE STORM WATER PIPES ARE BACKFILLED OR ANY CONCRETE IS POURED, INCLUDING INSPECTION OF SIDEWALK FORMS. CONTACT THE PINEVILLE TOWNSHIP, DEPARTMENT OF PUBLIC WORKS AT 704-651-3339 TO ARRANGE INSPECTION TIMES.
- PRIOR TO THE ISSUANCE OF A FINAL USE AND OCCUPANCY PERMIT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL MAINTENANCE, RESHAPING AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS.
- DEVELOPER IS RESPONSIBLE FOR PROVIDING STREET LIGHTING:
  - STREET LIGHTS ARE TO BE INSTALLED PER NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL SAFETY CODE, AND LOCAL ELECTRIC UTILITY DISTRICT SPECIFICATIONS.
  - STREET LIGHT FIXTURES AND POLE TYPES SHALL BE APPROVED BY THE PINEVILLE TOWNSHIP PUBLIC WORKS DEPARTMENT.
- SIDEWALK NOTES:
  - FOR ALL PUBLIC SIDEWALKS, THE STREET SIDE OF THE SIDEWALK SHALL BE 1" ABOVE THE CURB AND SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2 PERCENT. IF SIDEWALKS CANNOT BE CONSTRUCTED WITHIN THESE PARAMETERS, CONTACT THE PUBLIC WORKS DEPARTMENT.
  - WHERE DRIVEWAYS AND/OR PEDESTRIAN WAYS MEET THE SIDEWALK, THE SIDEWALK SHALL REMAIN CONTINUOUS AND CONSISTENT WITH BROOM FINISHED CONCRETE.
  - EXPANSION JOINTS SHALL BE INSTALLED ON THE FOUR SIDES OF THE SIDEWALK WHERE IT PASSES THROUGH DRIVEWAYS AND/OR PEDESTRIAN WAYS.
  - SIDEWALKS AND CURB RAMPS SHALL BE ADA COMPLIANT.
- ALL TRAFFIC CONTROL SIGNS ARE TO BE HIGH INTENSITY GRADE.
- FOR ALL RETAINING WALLS WITH A HEIGHT OF 3 FOOT ABOVE GRADE OR MORE, SUBMIT A DESIGN STAMPED BY A LICENSED NORTH CAROLINA ENGINEER TO THE PINEVILLE TOWNSHIP PUBLIC WORKS DEPARTMENT, IF NOT ALREADY INCLUDED IN THIS PLAN SET.
- DRIVEWAY NOTES:
  - DRIVEWAYS SHALL BE PLACED TO AVOID CONFLICT WITH DRAINAGE STRUCTURES UNLESS APPROVED BY THE CITY ENGINEER.
  - DRIVEWAYS SHOULD HAVE A MAXIMUM SLOPE OF 8% FOR THE FIRST 15' FROM THE BACK OF SIDEWALK AND SHALL NEVER EXCEED 10% IN THE FIRST 15' FROM THE STREET.

### PROPOSED LEGEND

---	PROPERTY LINE
— <b>OHW</b> —	OVERHEAD UTILITIES
— RW —	RIGHT - OF - WAY
—	PROPOSED DRIVE
— — — — —	ROAD CENTERLINE
—	PAVEMENT EDGE
— X —	EXISTING FENCE
— — — — —	PROPOSED CONTOURS
— — — — —	EXISTING CONTOURS
— LOD —	LIMITS OF DISTURBANCE
— SF —	SILT FENCE
— X —	PROPOSED FENCE
— GR —	GUARD RAIL
TW=555.0 BW=552.0	TOP / BOTTOM WALL ELEVATIONS
x 555.0	FINISHED GRADE ELEVATIONS

### SURVEY LEGEND

	IRON ROD FOUND (AS NOTED)		EDGE OF PAVEMENT
	UTILITY POLE		GRAVEL EDGE
	LIGHT POLE		TRAIL CENTERLINE
	TELECOM JUNCTION		CHAINLINK FENCE
	SITE BENCHMARK		GATE
	PROPOSED TOWER CENTER		TREE LINE
	MANHOLE		DITCH
	TREE (SEE TABLE, SHEET)		STORMWATER PIPE
			5' CONTOURS
R/W	RIGHT-OF-WAY		1' CONTOURS
C/L	CENTER LINE		PUBLIC R/W
AU	ACCESS & UTILITY		TAX PARCEL BOUNDARY
ESMT	EASEMENT		TIE LINE
P.O.C.	POINT OF COMMENCEMENT		EXISTING EASEMENT
P.O.B.	POINT OF BEGINNING		LESSEE'S PREMISES
Sq Ft	SQAURE FEET		LESSEE'S EASEMENTS



VOGUE  
TOWERS

430 CHESTNUT STREET  
SUITE 101-B  
CHATTANOOGA, TN 37402



100 N Point Center E, Suite 125, Alpharetta, GA 30022  
470.318.6119

DATE	RECORD OF ISSUE	BY
02/09/2023	ZONING	KAC CHK EB



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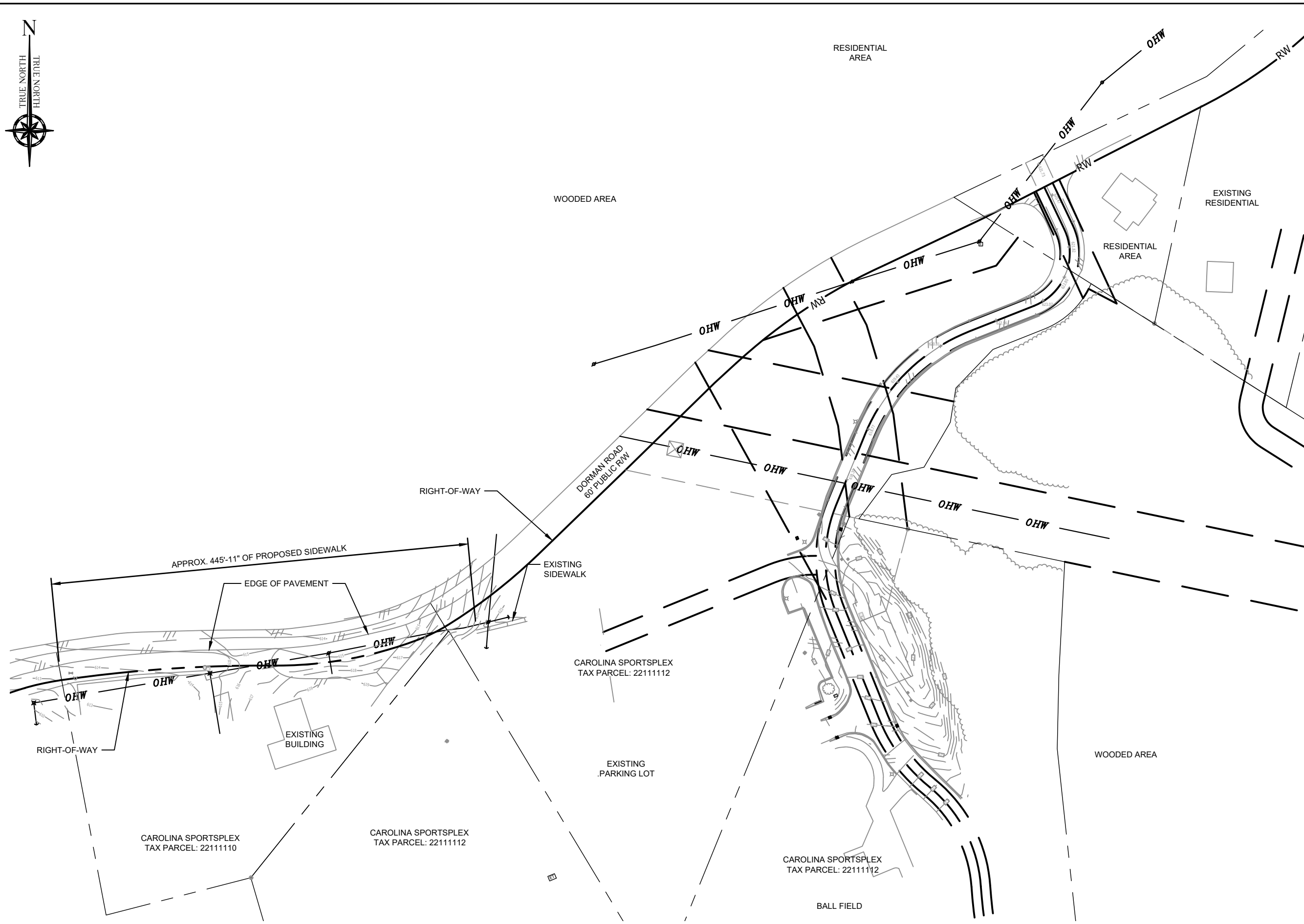
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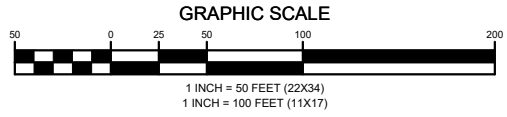
## GENERAL NOTES

DRAWN BY:	KAC
CHECKED BY:	EB
PROJECT MANAGER:	MAS
SHEET NUMBER:	GN-1



**UTILITY NOTE:**  
 PROPOSED UTILITIES SHOWN  
 ARE SUBJECT TO REVIEW AND  
 APPROVAL BY THE UTILITY  
 COMPANY HAVING JURISDICTION

**1 OVERALL SITE PLAN**  
 C-1 SCALE: 1" = 50' (22X34)  
 SCALE: 1" = 100' (11X17)



**VOGUE  
TOWERS**

430 CHESTNUT STREET  
 SUITE 101-B  
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**FRENCH & PARRELLO  
ASSOCIATES**  
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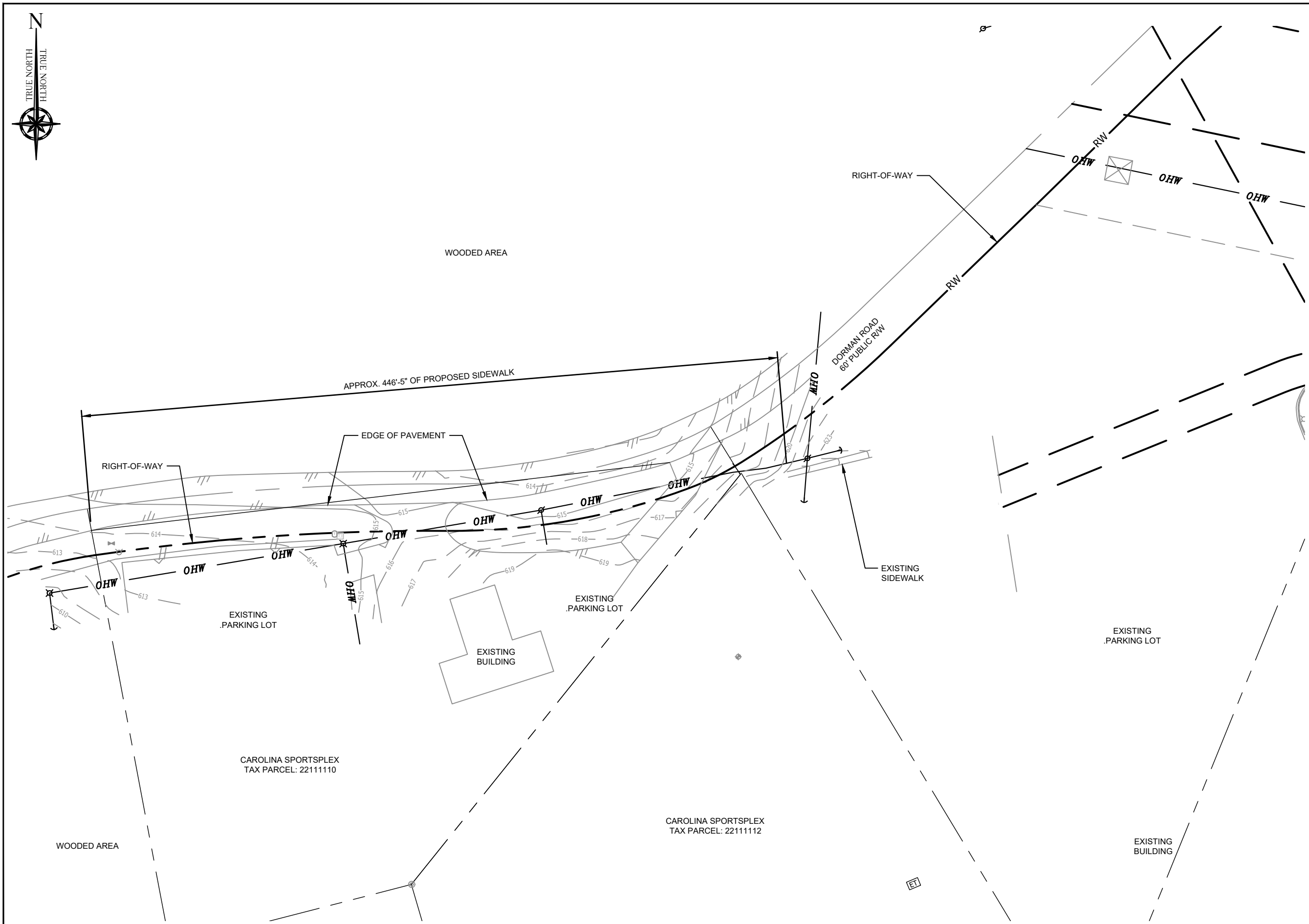
**OVERALL  
SITE PLAN**

**DRAWN BY:** KAC

**CHECKED BY:** EB

**PROJECT MANAGER:** MAS

**SHEET NUMBER:** C-1



**VOGUE  
TOWERS**

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PINEVILLE, NC 28134

**ENLARGED SITE PLAN**

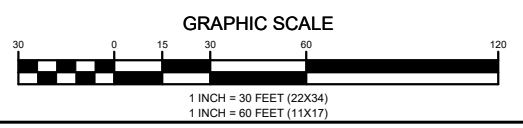
**DRAWN BY:** KAC

**CHECKED BY:** EB

**PROJECT MANAGER:** MAS

**SHEET NUMBER:** C-2.1

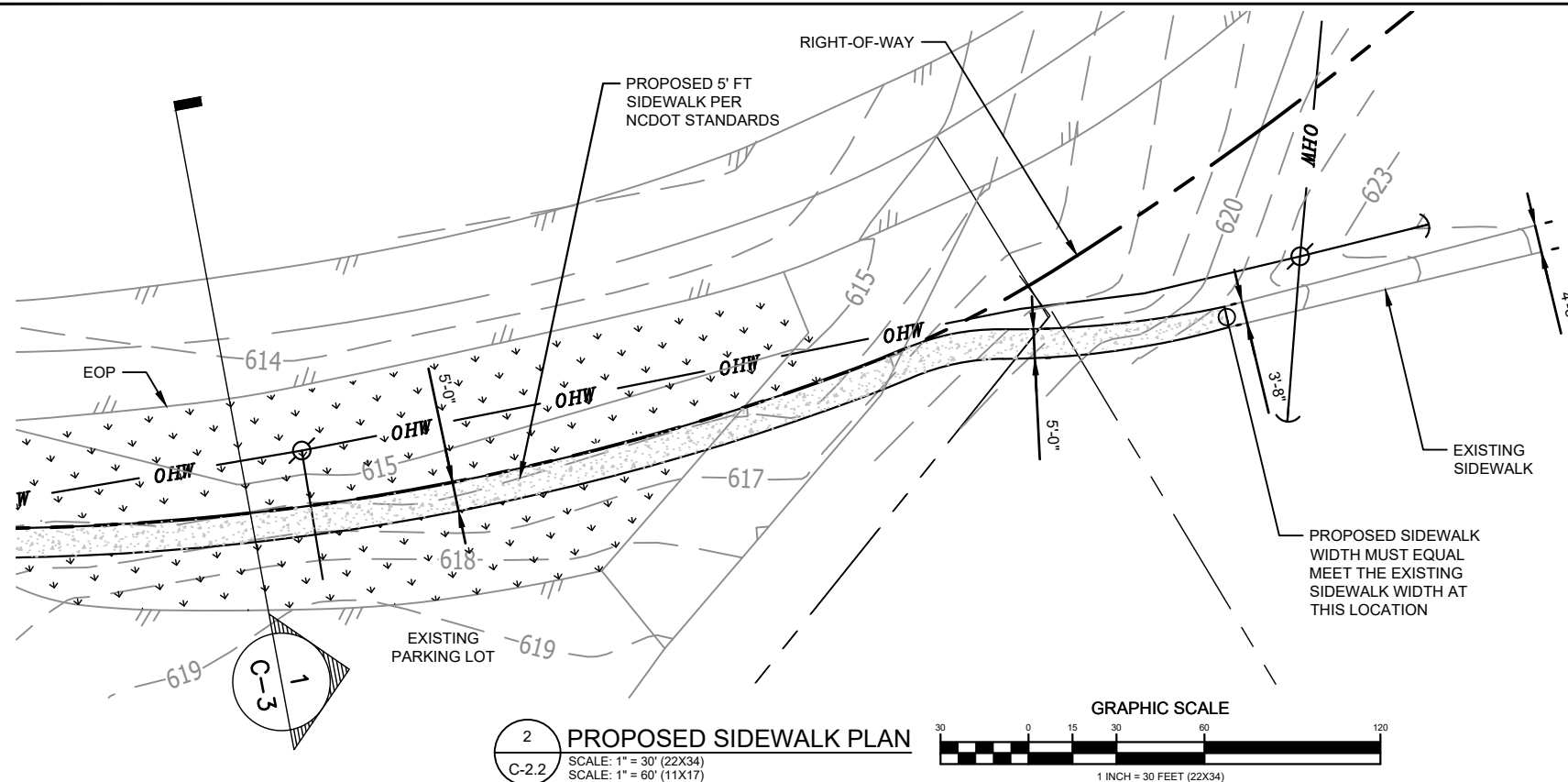
**1 ENLARGED SITE PLAN**  
SCALE: 1" = 30' (22X34)  
SCALE: 1" = 60' (11X17)



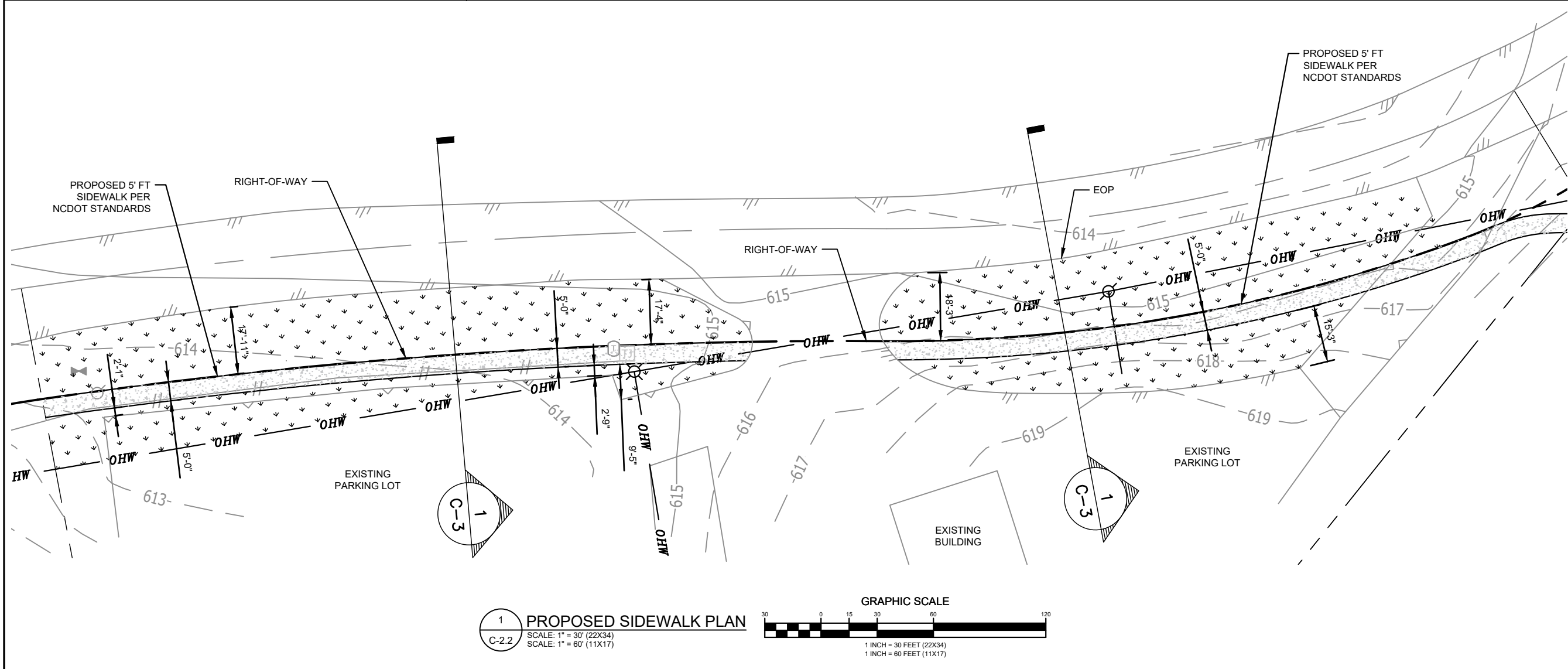
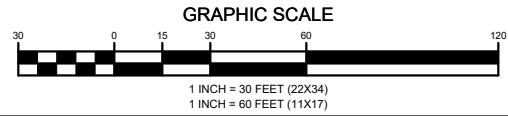


**GENERAL NOTES:**

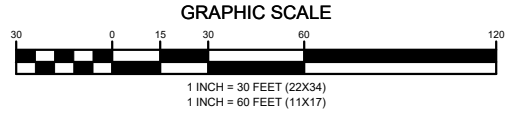
1. CONTRACTOR TO MEET NCDOT CLEAR ZONE REQUIREMENTS FOR SIGN PLACEMENT.
2. DRIVEWAYS ARE TO BE CONSTRUCTED PER NCDOT DETAIL 848.02 UNLESS OTHERWISE NOTED. DRIVEWAY WIDTHS ARE TO BE THE SAME AS EXISTING AND/OR A MINIMUM 15' FT WIDE. SAW CUT EXISTING DRWAYS AT RIGHT-OF-WAY. SEE DETAIL 848.02.
3. ALL NEW SIDEWALKS SHALL AT MINIMUM MEET NCDOT STANDARDS. ADDITIONALLY, SIDEWALKS SHALL BE 6" THICK AT ALL RESIDENTIAL DRIVEWAYS, AND 6" THICK AT ALL NON-RESIDENTIAL DRIVEWAYS.
4. ALL CONCRETE CATCH BASINS, MODIFIED OR NEW ARE TO HAVE GRATES OF 2" OR LESS (SMALL DIAMETER OPENING). SEE DETAIL 840.03.
5. FIELD VERIFY ALL EXISTING STORM DRAINAGE PIPE SIZES AND MATERIAL TYPES.
6. FIELD VERIFY INLETS IN SAGS ARE CONSTRUCTED AT LOW POINTS. FOR INLETS IN SAGS, A TYPE E GRATE IS REQUIRED. SEE DETAIL 840.03.
7. ALL CURB TERMINATIONS TO BE TAPERED FLUSH WITH GUTTER ELEVATIONS.
8. MINIMUM DRIVEWAY WIDTH IS 15' FT. EXISTING DRIVEWAYS LESS THAN 15' FT. CURB AND GUTTER TURNOUTS WILL BE CENTERED WITH EXISTING DRIVEWAYS.



**2 PROPOSED SIDEWALK PLAN**  
 SCALE: 1" = 30' (22X34)  
 SCALE: 1" = 60' (11X17)



**1 PROPOSED SIDEWALK PLAN**  
 SCALE: 1" = 30' (22X34)  
 SCALE: 1" = 60' (11X17)



**VOGUE TOWERS**

430 CHESTNUT STREET  
 SUITE 101-B  
 CHATTANOOGA, TN 37402



100 N Point Center E, Suite 125, Alpharetta, GA 30022  
 470.318.6119

DATE	RECORD OF ISSUE	BY
02/09/2023	ZONING	KAC EB



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND STAMPED

**SITE NAME:**

SUGAR CREEK

**SITE NUMBER:**

NC-091

**SITE ADDRESS:**

13451 DORMAN ROAD  
 PINEVILLE, NC 28134

**PROPOSED SIDEWALK PLAN**

**DRAWN BY:** KAC

**CHECKED BY:** EB

**PROJECT MANAGER:** MAS

**SHEET NUMBER:** C-2.2



VOGUE  
TOWERS

430 CHESTNUT STREET  
SUITE 101-B  
CHATTANOOGA, TN 37402



**FRENCH & PARRELLO  
ASSOCIATES**

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470.318.6119

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SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

13451 DORMAN ROAD  
PINEVILLE, NC 28134

**SIDEWALK ELEVATION**

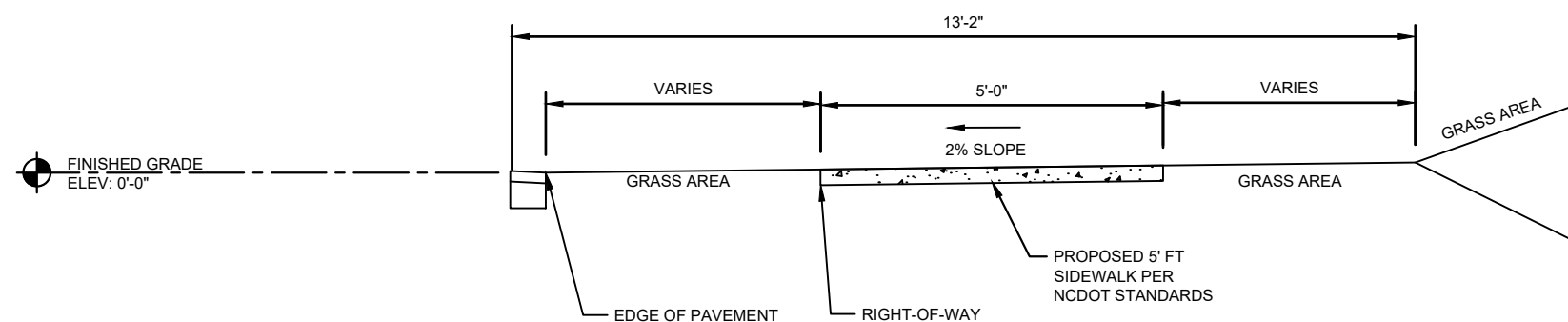
DRAWN BY: KAC

CHECKED BY: EB

PROJECT MANAGER: MAS

SHEET NUMBER: C-3

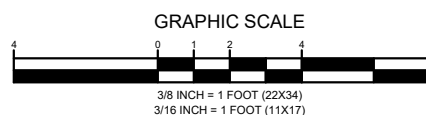
REFERENCE SHEET C-2.2 FOR LOCATION OF USE



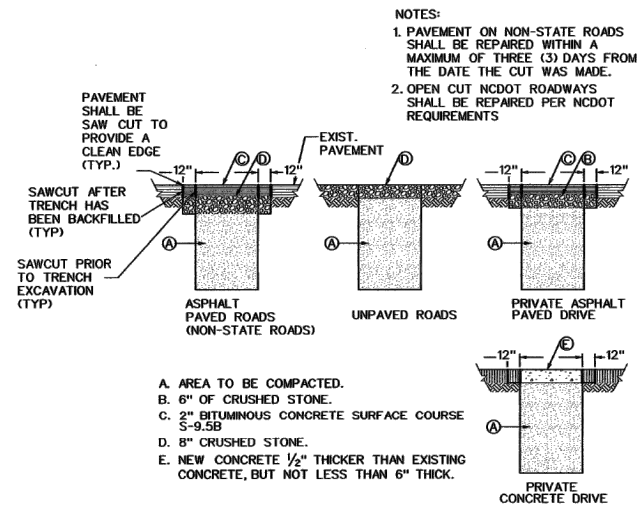
1  
C-3

**SIDEWALK ELEVATION (NCDOT STANDARD, SEE C-4)**

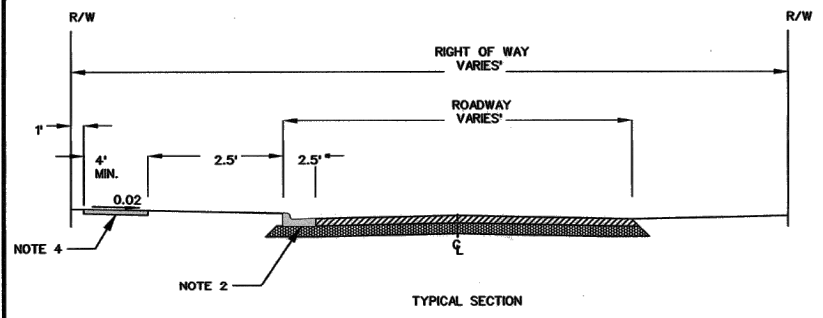
SCALE: 3/8" = 1' (22X34)  
SCALE: 3/16" = 1' (11X17)



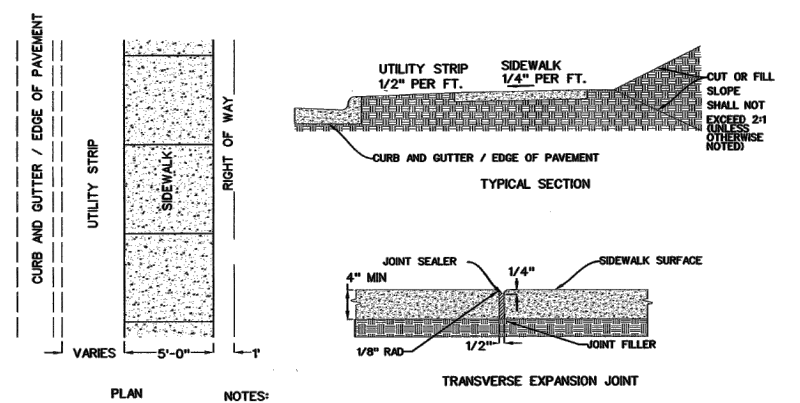




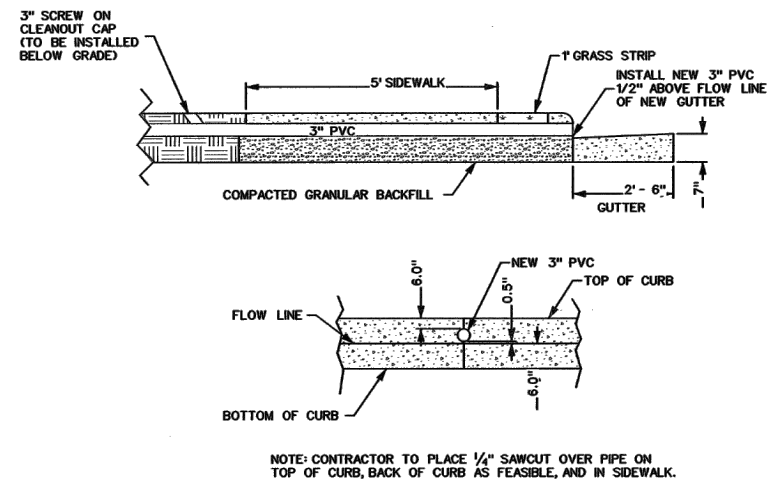
**1 PAVEMENT REPLACEMENT**  
 C.4.1 NOT TO SCALE



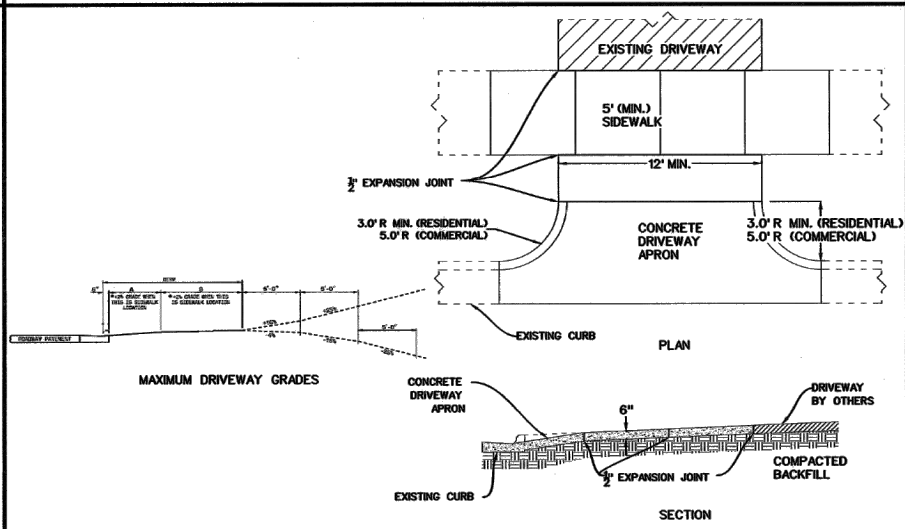
**2 TYPICAL STREET SECTION**  
 C.4.1 NOT TO SCALE



**3 CONCRETE SIDEWALK**  
 C.4.1 NOT TO SCALE



**4 CURB/DOWNSPOUT DRAIN**  
 C.4.1 NOT TO SCALE



**5 TYPICAL DRIVEWAY APRON (CURB AND GUTTER)**  
 C.4.1 NOT TO SCALE

- GENERAL NOTES:**
- CONTRACTOR TO MEET N.C.D.O.T. CLEAR ZONE REQUIREMENTS FOR SIGN PLACEMENT.
  - DRIVEWAYS ARE TO BE CONSTRUCTED PER N.C.D.O.T. DETAIL 848.02 UNLESS OTHERWISE NOTED. DRIVEWAY WIDTHS ARE TO BE THE SAME AS EXISTING AND/OR A MINIMUM OF 15 FT WIDE. SAW CUT EXISTING DRIVEWAY AT R/W. SEE DETAIL 848.02.
  - ALL NEW SIDEWALKS SHALL AT A MINIMUM MEET N.C.D.O.T. STANDARDS. ADDITIONALLY, SIDEWALKS SHALL BE 6" THICK AT ALL RESIDENTIAL DRIVEWAYS, AND 8" THICK AT ALL NON - RESIDENTIAL DRIVEWAYS.
  - ALL CONCRETE CATCH BASINS, MODIFIED OR NEW, ARE TO HAVE GRATES OF 2" OR LESS (SMALL DIAMETER OPENING). SEE DETAIL 840.03
  - FIELD VERIFY ALL EXISTING STORM DRAINAGE PIPE SIZES AND MATERIAL TYPES.
  - FIELD VERIFY INLETS IN SAGS ARE CONSTRUCTED AT LOW POINTS. FOR INLETS IN SAGS, A TYPE E GRATE IS REQUIRED. SEE DETAIL 840.03.
  - ALL CURB TERMINATIONS TO BE TAPERED FLUSH WITH GUTTER ELEVATIONS.
  - MINIMUM DRIVEWAY WIDTH IS 15'. EXISTING DRIVEWAYS LESS THAN 15', CURB AND GUTTER TURNOUTS WILL BE CENTERED WITH EXISTING DRIVEWAYS.

**1 SIDEWALK DETAILS (FOR REFERENCE PURPOSES ONLY)**  
 C-4 NOT TO SCALE



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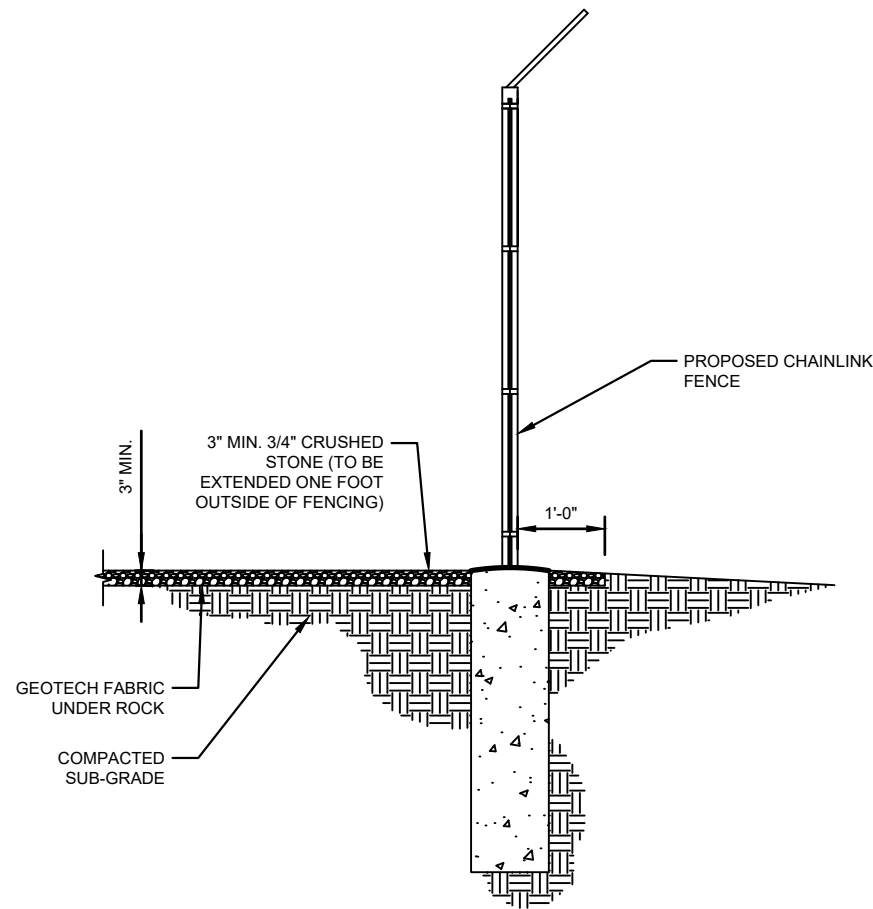
**SIDEWALK DETAILS**

DRAWN BY: KAC

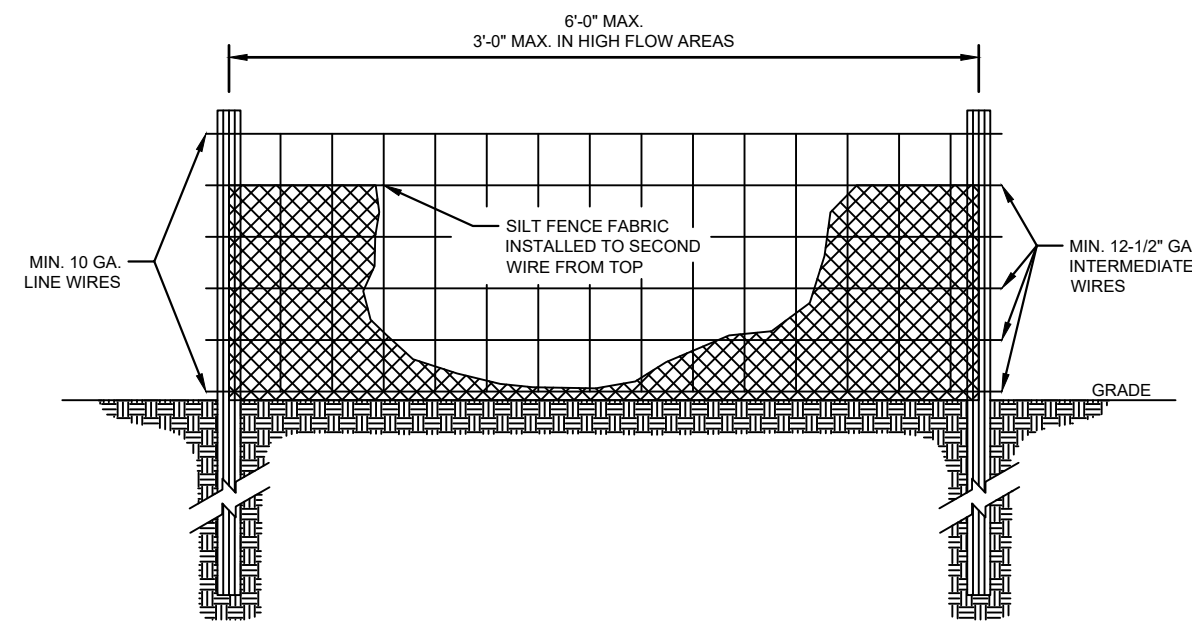
CHECKED BY: EB

PROJECT MANAGER: MAS

SHEET NUMBER: C-4

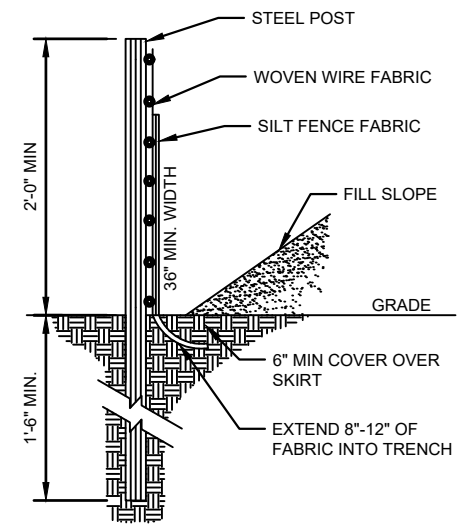


1 COMPOUND SURFACING DETAIL  
C-5 NOT TO SCALE



FRONT VIEW

2 SILT FENCE DETAIL  
C-5 NOT TO SCALE



SIDE VIEW

- ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSTALLED PRIOR TO ANY GRADING AND ARE TO BE MAINTAINED IN PLACE THROUGHOUT THE COURSE OF CONSTRUCTION. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED ON ALL GRADED AND OR DISTURBED AREAS UNTIL SUCH AREAS HAVE BEEN STABILIZED WITH VEGETATIVE COVER.
- CONTRACTOR SHALL OBTAIN APPLICABLE EROSION AND SEDIMENT CONTROL PERMIT(S) AND COMPLY WITH ALL LOCAL AND STATE LAWS. SEDIMENT SHALL NOT BE ALLOWED TO WASH INTO STORM DRAINS OR ONTO ADJACENT PROPERTIES. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR CLEANUP OF ANY AND ALL DAMAGES RESULTING FROM SILTATION FROM THE CONSTRUCTION SITE.
- SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS ARE CONSIDERED MINIMUM. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONTROL AS NECESSARY TO PREVENT EROSION RUNOFF. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- IF FINES OR PENALTIES ARE LEVIED AGAINST THE PROPERTY OR PROPERTY OWNER BECAUSE OF LACK OF EROSION AND/OR SEDIMENTATION CONTROL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH FINES OR PENALTIES.

3 EROSION CONTROL NOTES  
C-5 NOT TO SCALE



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NC-091

SITE ADDRESS:

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PINEVILLE, NC 28134

SITE DETAILS

DRAWN BY: KAC

CHECKED BY: EB

PROJECT MANAGER: MAS

SHEET NUMBER: C-5