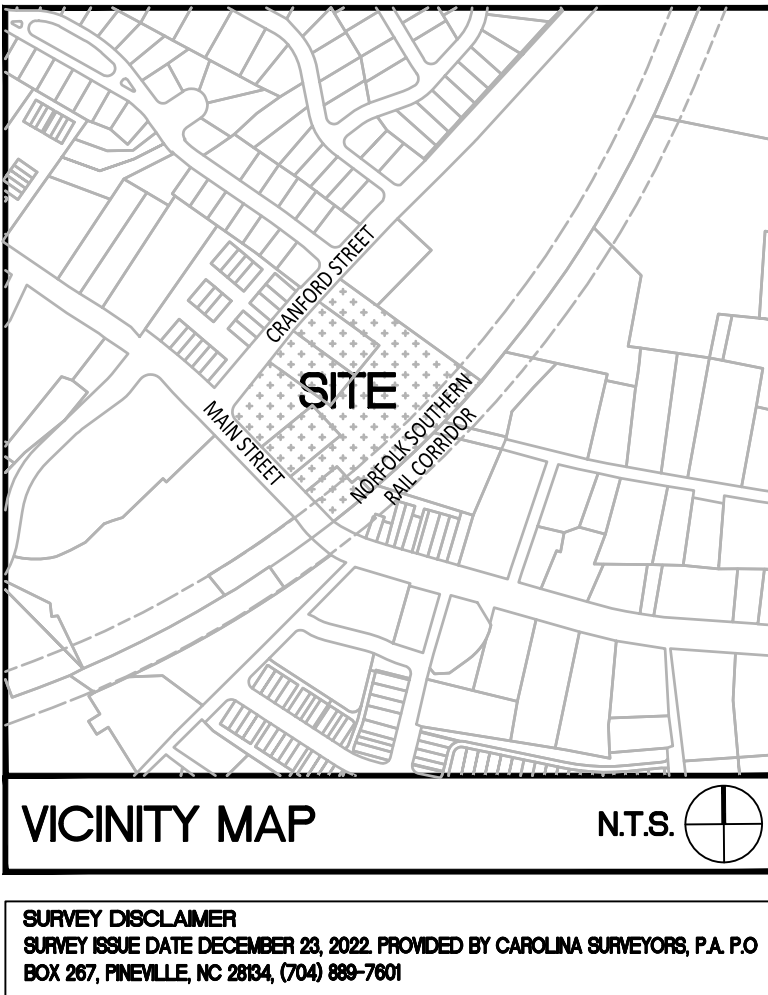
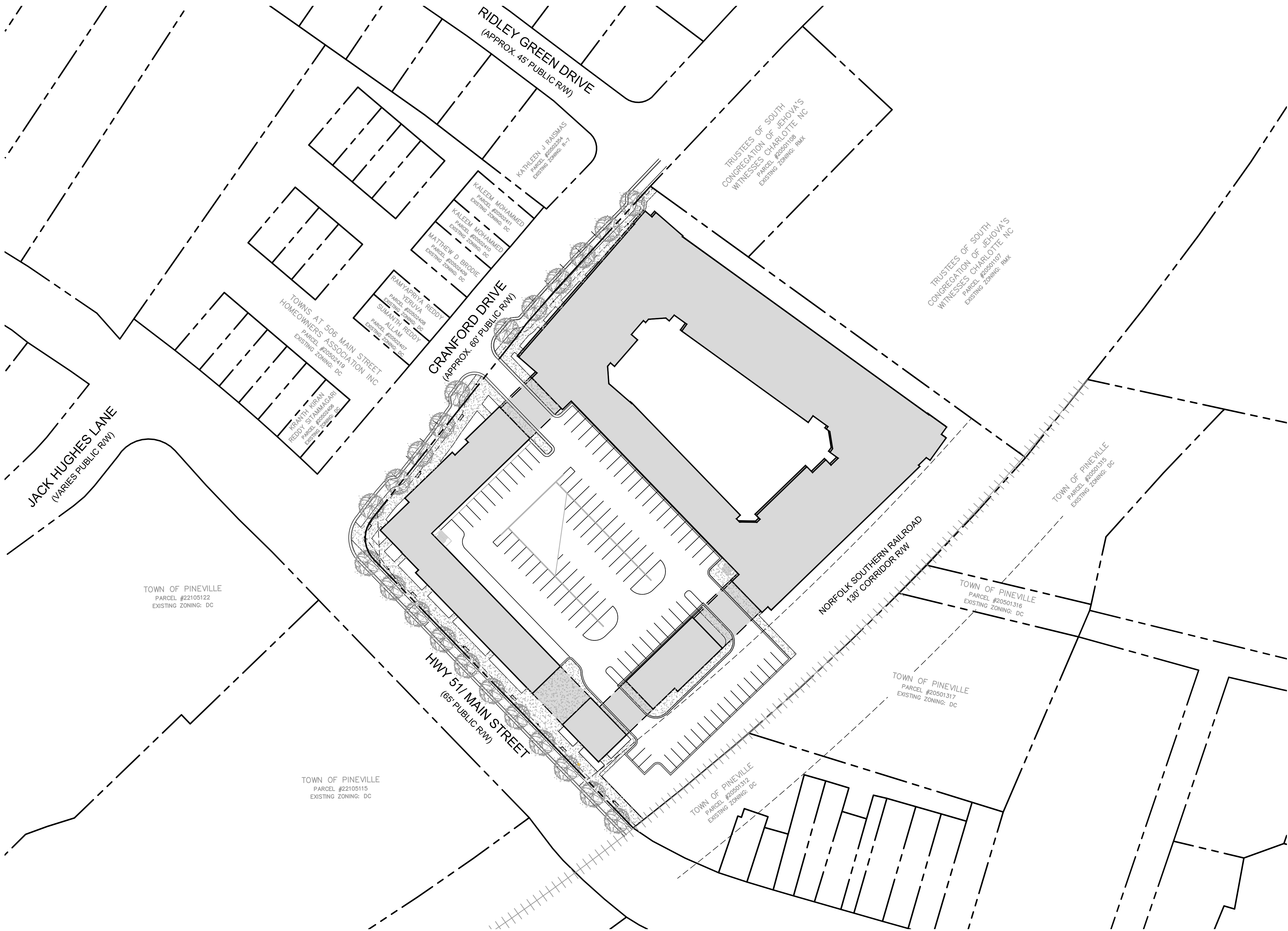


404 MAIN

CONDITIONAL REZONING

TOWN OF PINEVILLE, MECKLENBURG COUNTY
PINEVILLE, NORTH CAROLINA



REZONING PLAN SHEETS

RZ-000	COVER SHEET
RZ-100	EXISTING CONDITIONS
RZ-200	REZONING PLAN
RZ-201	STREETSCAPE PLAN
RZ-300	DEVELOPMENT NOTES
V-100	SURVEY

REZONING SUMMARY:

PETITIONER:	BH4 ACQUISITIONS LLC
PROPERTY OWNER:	PAUL BROCK GROSS AND MICHAEL GROSS
REZONING SITE AREA:	4.80 ± AC
TAX PARCEL#:	20501102, 20501103, 20501104, 20501105, 20501106
EXISTING ZONING:	DC (DOWNTOWN CORE DISTRICT – DOWNTOWN OVERLAY DISTRICT)
PROPOSED ZONING:	DC-C (DOWNTOWN CORE DISTRICT – DOWNTOWN OVERLAY DISTRICT)
EXISTING USE:	RESIDENTIAL

PROJECT TEAM:

APPLICANT:	BH4 ACQUISITIONS LLC 1111 HAYNES STREET, SUITE 203 RALEIGH, NC 27604-1454
APPLICANT CONTACT:	PATRICK WADE 919-270-2516 PATRICK.WADE@BLUEHERONFUND.COM
ARCHITECT:	FINLEY DESIGN PA ARCHITECTURE + INTERIORS 7806 NC HWY 751, SUITE 110 DURHAM, NC 27713
ARCHITECT CONTACT:	KERRY FINLEY, AIA 919-425-5467 KERRY@FINLEYDESIGNARCH.COM
LAND PLANNER:	BOLTON & MENK, INC. dba COLEJENEST & STONE 200 S. TRYON STREET, SUITE 1400 CHARLOTTE, NC 28202
ARCHITECT CONTACT:	SEAN PAONE, PLA 704-376-1555 SEAN.PAONE@BOLTON-MENK.COM

TOWN OF PINEVILLE:

PLANNING DIRECTOR:	TRAVIS MORGAN 505 MAIN STREET PINEVILLE, NC 28134 704-889-2202 TMORGAN@PINEVILLENC.GOV
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- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
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CHARLOTTE, NORTH CAROLINA 28202
Phone: (704) 376-1555
Email: info@colejeneststone.com
www.bolton-menk.com

BH4
ACQUISITIONS LLC

1111 HAYNES STREET
SUITE 203
RALEIGH, NC 27604

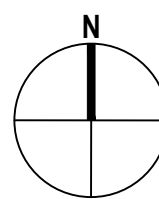
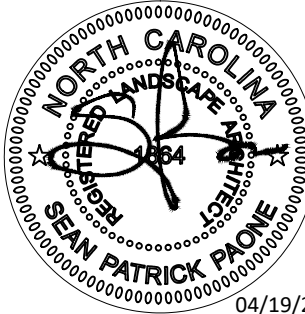
404 MAIN
CONDITIONAL
REZONING

404 MAIN STREET
PINEVILLE, NC 28134

COVER
SHEET

PROJECT NO:
4909.01

REVISIONS:

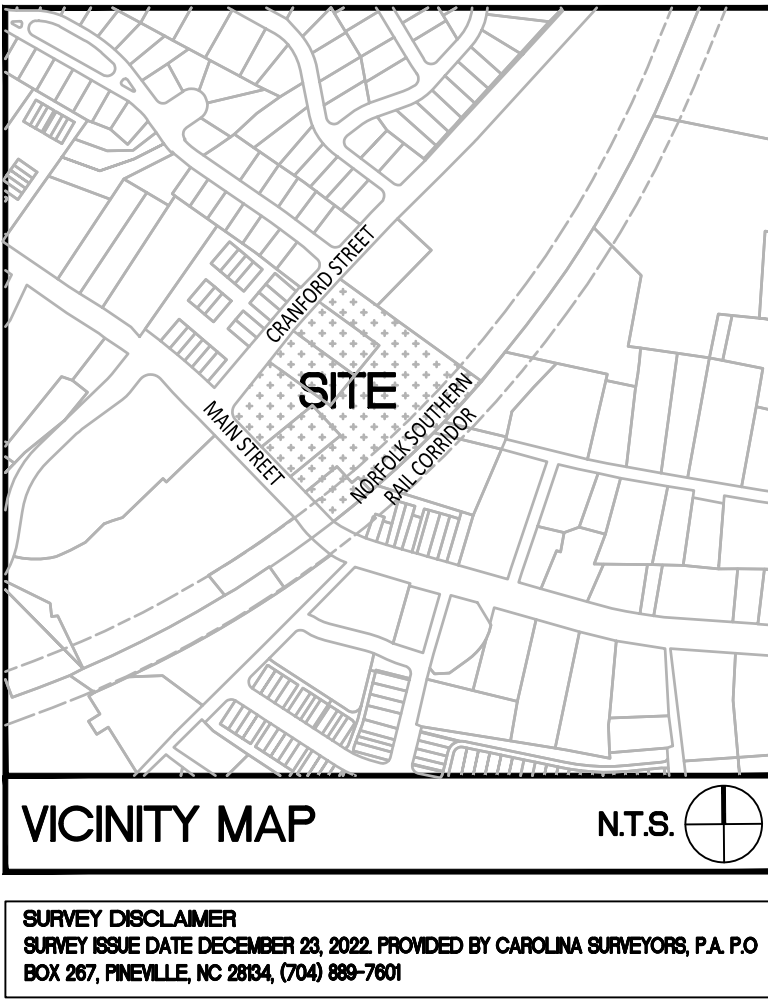
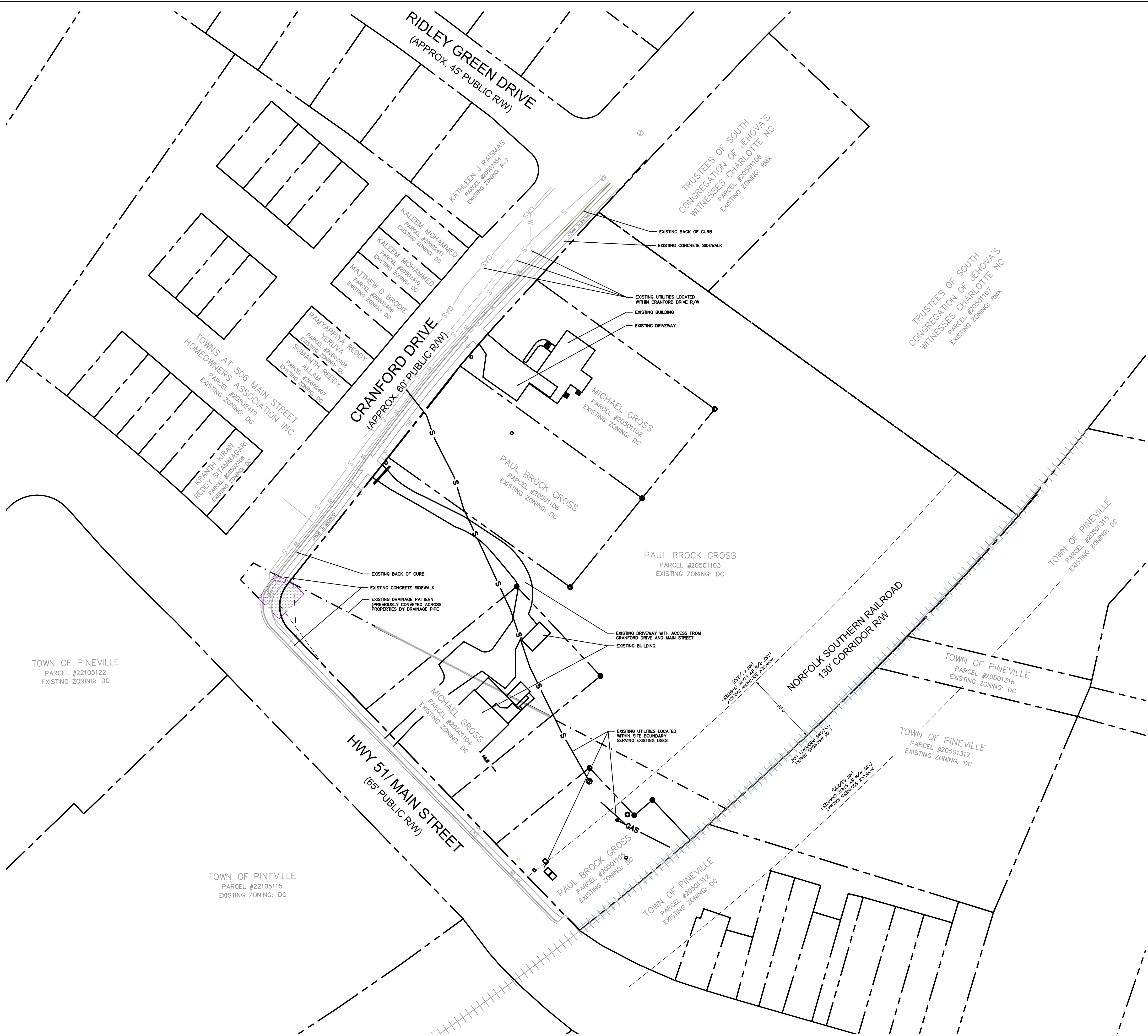


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DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	

RZ - 000

FILE NO.:



LEGEND

SYMBOL	
	PROPERTY LINE/RIGHT-OF-WAY
	INTERIOR PROPERTY LINES
	NORFOLK SOUTHERN RAILROAD RIGHT-OF-WAY
	EXISTING BUILDING

REZONING SUMMARY:

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PROPERTY OWNER:	PAUL BROCK GROSS AND MICHAEL GROSS
REZONING SITE AREA:	4.80 ± AC
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EXISTING ZONING:	DC (DOWNTOWN CORE DISTRICT - DOWNTOWN OVERLAY DISTRICT)
EXISTING USE:	RESIDENTIAL



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BH4
ACQUISITIONS LLC

1111 HAYNES STREET
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RALEIGH, NC 27604

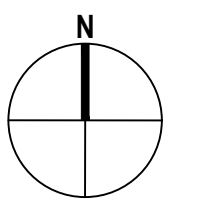
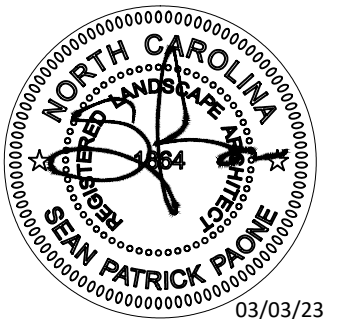
404 MAIN STREET
CONDITIONAL
REZONING

404 MAIN STREET
PINEVILLE, NC 28134

EXISTING
CONDITIONS

PROJECT NO:
4909.01

REVISIONS:

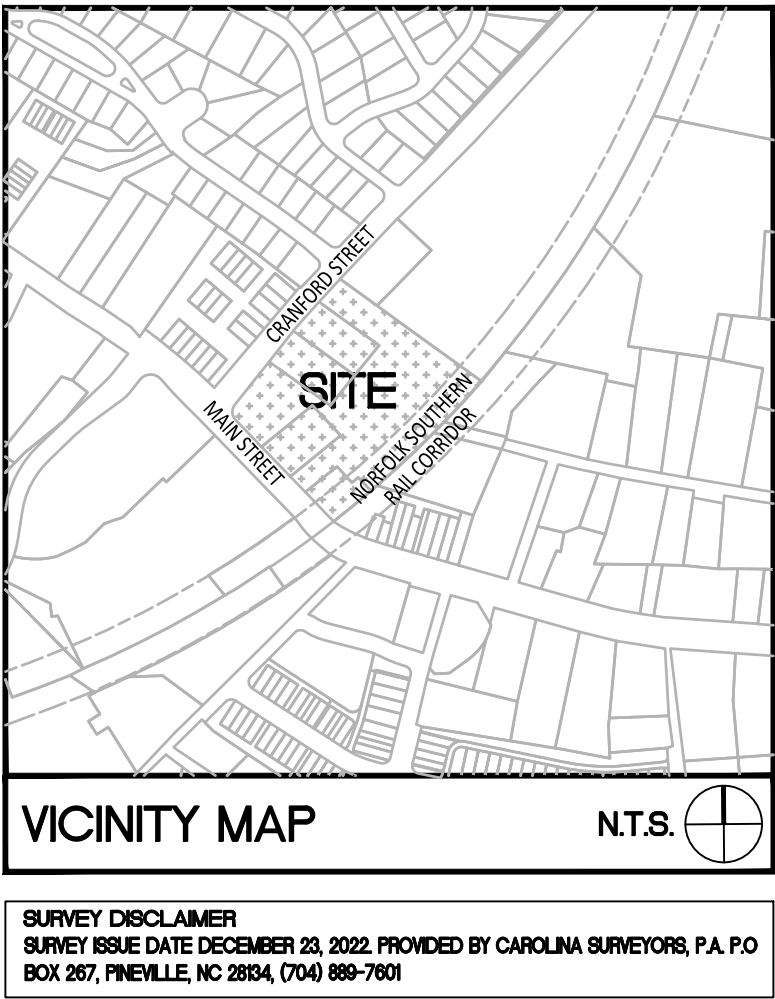
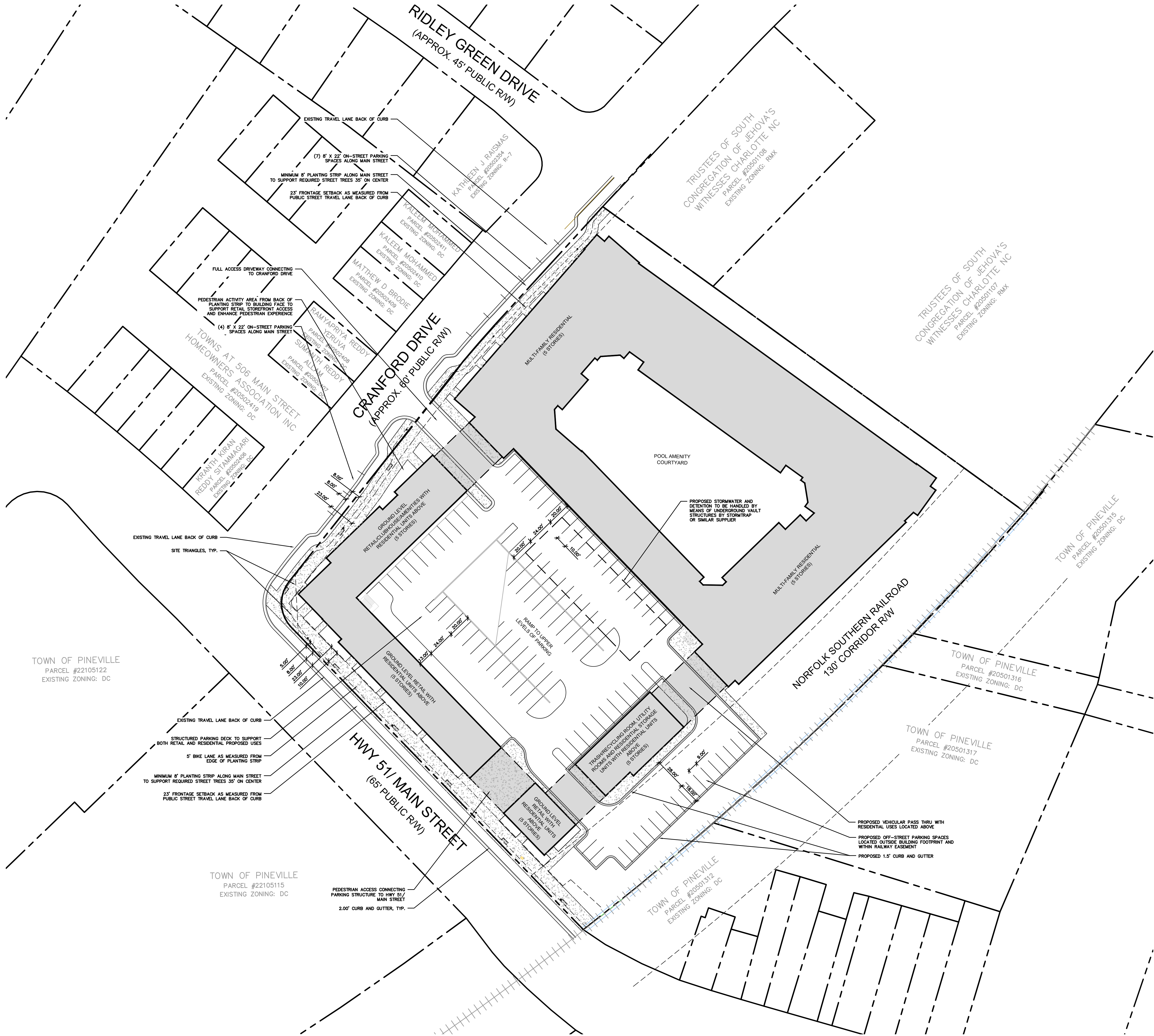


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DATE:	03/03/23
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	

RZ - 100

FILE NO.:



LEGEND

SYMBOL	
	PROPERTY LINE/RIGHT-OF-WAY
	NORFOLK SOUTHERN RAILROAD RIGHT-OF-WAY/ SETBACK
	PROPOSED BUILDING

REZONING SUMMARY:

PETITIONER:	BH4 ACQUISITIONS LLC
PROPERTY OWNER:	PAUL BROCK GROSS AND MICHAEL GROSS
REZONING SITE AREA:	4.80 ± AC
TAX PARCEL#:	20501102, 20501103, 20501104, 20501105, 20501106
EXISTING ZONING:	DC (DOWNTOWN CORE DISTRICT – DOWNTOWN OVERLAY DISTRICT)
EXISTING USE:	RESIDENTIAL
PROPOSED ZONING:	DC-C (DOWNTOWN CORE DISTRICT CONDITIONAL – DOWNTOWN OVERLAY DISTRICT)
PROPOSED USE:	MULTI-FAMILY, RETAIL, ACCESSORY AMENITY, PARKING FACILITY AND UTILITY USES
MAXIMUM DEVELOPMENT:	294 MULTI-FAMILY RESIDENTIAL UNITS, 8,500 SQUARE FEET OF RETAIL/ COMMERCIAL
BUILDING SETBACK:	23 FEET MINIMUM FROM BACK OF CURB
MULTIFAMILY BEDROOMS:	159 – 1 BEDROOM UNITS 119 – 2 BEDROOM UNITS 16 – 3 BEDROOM UNITS
MIN. SIDE YARD:	NONE
MIN. REAR YARD:	NONE
MAX. HEIGHT:	5 STORIES
PROPOSED PARKING:	514 SPACES 503 OFF-STREET/STRUCTURED PARKING 11 ON-STREET PARKING
PROPOSED PARKING RATIOS:	RESIDENTIAL = 460 SPACES 1 SPACE/ BEDROOM OR 1.56 SPACES/ DWELLING UNIT RETAIL/COMMERCIAL = 43 SPACES OR 1 SPACE/200 SF ON-STREET = 11 SPACES (NOT APPLIED TO A USE)
OPEN SPACE REQUIRED:	AS REQUIRED BY CODE
*REQUIRED OPEN SPACE MAY BE LOCATED WITHIN INTERIOR COURTYARDS	
LANDSCAPING REQUIRED:	35' O.C. STREET TREES ALONG HWY 51/MAIN STREET AND CRANFORD DRIVE PARKING LOT SCREENING FROM ADJACENT PROPERTIES AND PUBLIC RIGHT OF WAYS



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Phone: (704) 376-1555
Email: info@colejeneststone.com
www.bolton-menk.com

BH4 ACQUISITIONS LLC

1111 HAYNES STREET
SUITE 203
RALEIGH, NC 27604

404 MAIN CONDITIONAL REZONING

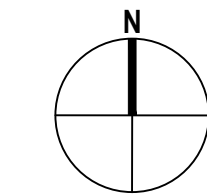
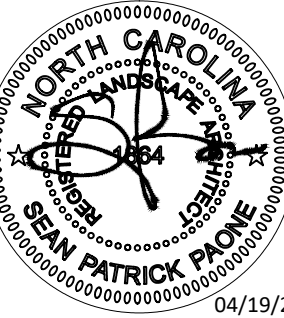
404 MAIN STREET
PINEVILLE, NC 28134

REZONING SKETCH PLAN

PROJECT NO:

4909.01

REVISIONS:



SCALE: 1"=40'
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SCALE:

DATE: 03/03/23

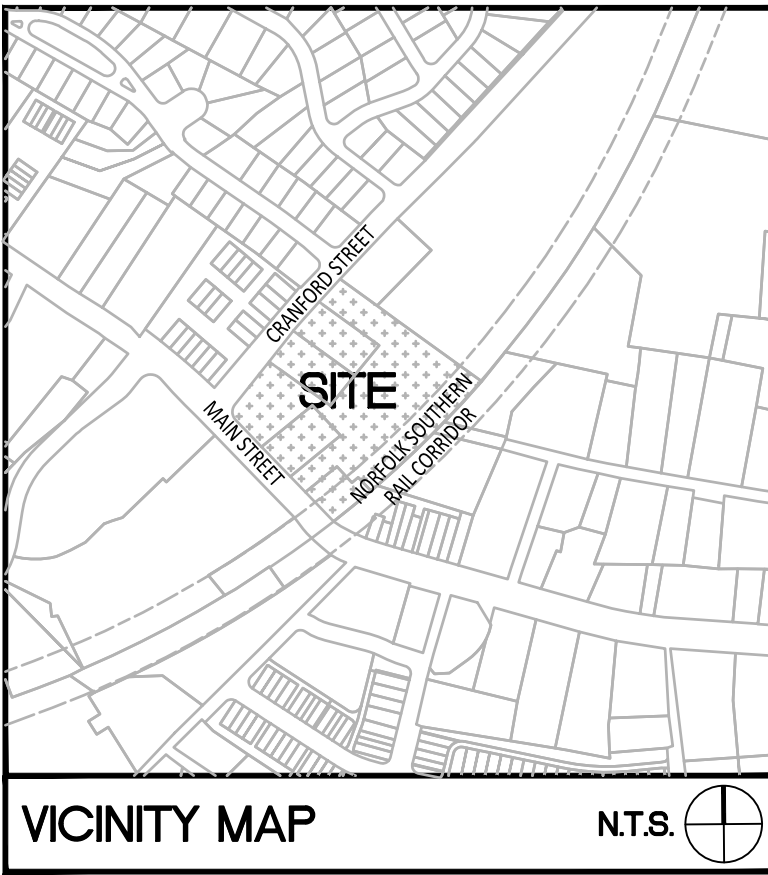
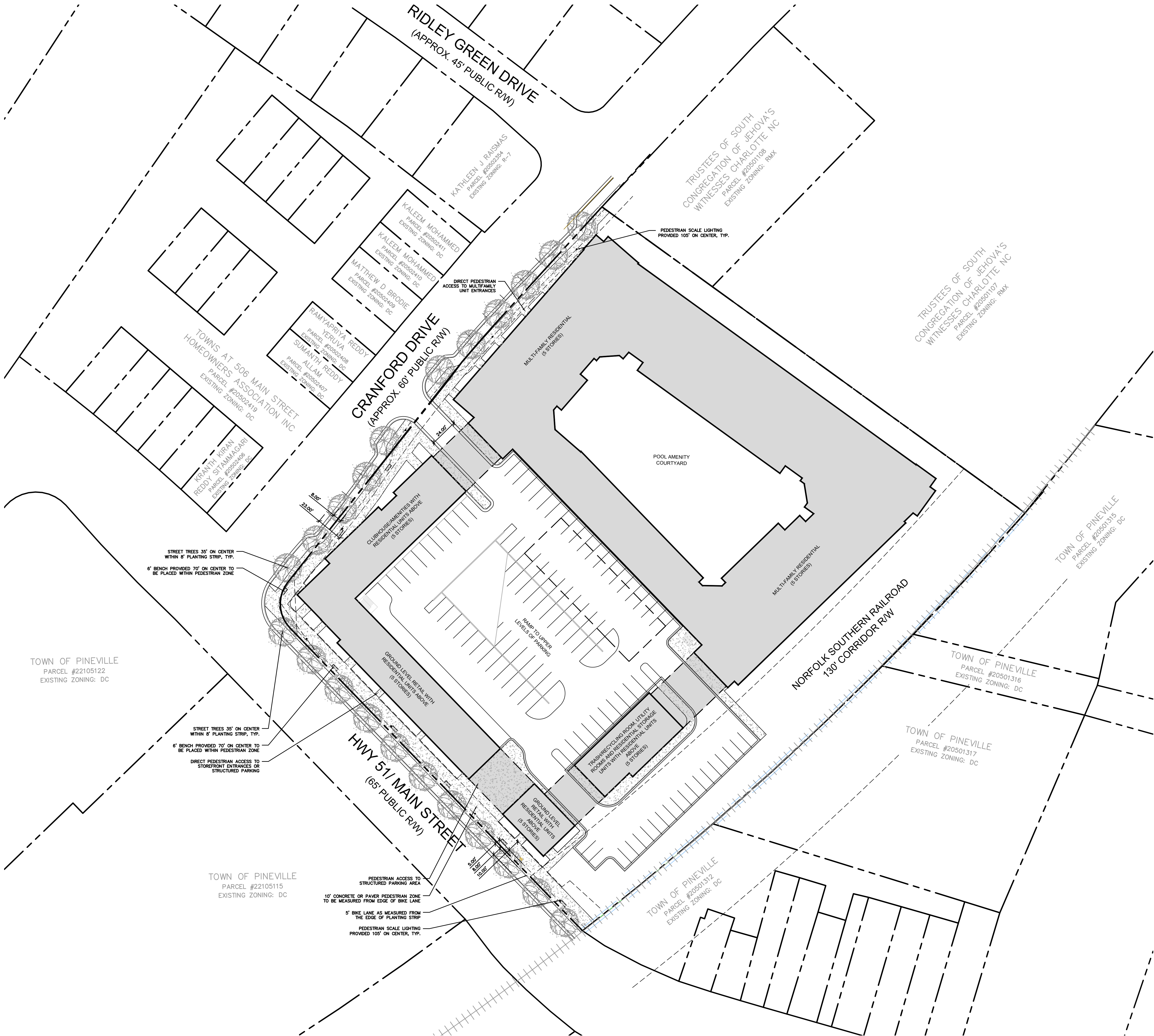
DESIGNED BY:

DRAWN BY:

CHECKED BY:

RZ - 200

FILE NO.:



SURVEY DISCLAIMER
SURVEY ISSUE DATE: DECEMBER 21, 2022. PROVIDED BY CAROLINA SURVEYORS, P.A. P.O. BOX 267, PINEVILLE, NC 28134, (704) 889-7601

LEGEND

SYMBOL	
	PROPERTY LINE/RIGHT-OF-WAY
	PROPOSED BUILDING
	PROPOSED STREET TREE
	PROPOSED SITE FURNISHING
	PROPOSED SITE LIGHTING

DOWNTOWN OVERLAY STREETScape:

PETITIONER:	BH4 ACQUISITIONS LLC
PROPERTY OWNER:	PAUL BROCK GROSS AND MICHAEL GROSS
REZONING SITE AREA:	4.80 ± AC
TAX PARCEL#:	20501102, 20501103, 20501104, 20501105, 20501106
PROPOSED ZONING:	DC-C (DOWNTOWN CORE DISTRICT CONDITIONAL – DOWNTOWN OVERLAY DISTRICT)
PROPOSED USE:	MULTI-FAMILY, RETAIL, ACCESSORY AMENITY, PARKING FACILITY AND UTILITY USES
STREETScape COMPONENTS:	8' PLANTING STRIP AS MEASURED FROM THE BACK OF CURB
MAIN STREET	5' BIKE LANE AS MEASURED FROM EDGE OF PLANTING STRIP
	10' PEDESTRIAN ZONE TO INCLUDE SITE LIGHTING AND SITE FURNISHINGS PER BELOW
CRANFORD DRIVE	8' PLANTING STRIP AS MEASURED FROM THE BACK OF CURB
	5' BIKE LANE AS MEASURED FROM EDGE OF PLANTING STRIP
	5' PEDESTRIAN ZONE TO INCLUDE SITE LIGHTING
SITE LIGHTING:	PEDESTRIAN SCALE LIGHTING TO BE PROVIDED EVERY 105' ON CENTER
SITE LIGHTING PROVIDED:	4 LIGHTS (MAIN STREET)
	4 LIGHTS (CRANFORD DRIVE)
LANDSCAPING:	STREET TREES TO BE PROVIDED 35' ON CENTER
LANDSCAPING PROVIDED:	11 STREET TREES (VARIETY TO BE CONSISTENT WITH ADJACENT STREET TREES ALONG MAIN STREET)
	10 STREET TREES (VARIETY TO BE CONSISTENT WITH ADJACENT STREET TREES ALONG CRANFORD DRIVE)
SITE FURNISHINGS:	6' MIN. BENCH TO BE PROVIDED EVERY 70' ON CENTER
SITE FURNISHING PROVIDED:	5 BENCHES (MAIN STREET)
	3 BENCHES (CRANFORD DRIVE)
SITE ACCESS:	STOREFRONT ENTRANCES OR UNITS FACING A PUBLIC RIGHT-OF-WAY TO PROVIDE DIRECT ACCESS TO THE REQUIRED STREETScape



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ColeJenest&Stone
BOLTON & MENK, INC.

1111 HAYNES STREET
SUITE 203
RALEIGH, NC 27604

404 MAIN
CONDITIONAL
REZONING

404 MAIN STREET
PINEVILLE, NC 28134

PROJECT NO:
4909.01

REVISIONS:

SCALE: 1"=40'

0 20' 40' 80'

SCALE:

DATE: 03/03/23

DESIGNED BY:

DRAWN BY:

CHECKED BY:

RZ - 200

FILE NO.:

404 MAIN STREET
DEVELOPMENT STANDARDS
Petitioner: BH4 Acquisitions LLC
Rezoning Petition No. 2023-xxx
04/20/2023

Site Development Data:

- Acreage: ± 4.80 acres
--Tax Parcels: 20501102, 20501103, 20501104, 20501105, 20501106
--Existing Zoning: DC - Downtown Core District within the Downtown Overlay District
--Proposed Zoning: DC-C
--Existing Uses: Residential/Vacant
--Proposed Uses: Uses permitted by right and under prescribed conditions together with accessory uses, as allowed in the DC zoning district within the Downtown Overlay District not otherwise limited in the Rezoning Plan.
--Maximum Development: 294 multi-family residential units and 8,500 square feet retail/commercial uses
--Maximum Building Height: 5 Stories, as measured per the Ordinance, as further restricted below
--Parking: Residential (Min. 1.5 spaces per unit) and Retail/Commercial (1 spaces per 200 SF)

I. General Provisions:

- a. **Site Description.** These Development Standards and the Rezoning Sketch Plan form the rezoning plan (hereafter collectively referred to as the "Rezoning Plan") associated with the Rezoning Petition filed by BH4 Acquisitions LLC ("Petitioner") to accommodate development of a new mixed-use development on the approximately 4.80-acre site located at 404 Main Street, more particularly described as Mecklenburg County Tax Parcel Numbers 20501102, 20501103, 20501104, 20501105, 20501106 (the "Site").
- b. **Zoning Districts/Ordinance.** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the Town of Pineville Zoning Ordinance (the "Ordinance"). Unless the Rezoning Plan establishes more stringent standards, or as otherwise provided in the optional provisions below, the regulations established under the Ordinance for the DC zoning district shall govern all development taking place on the Site.

II. Conditional Provisions:

- The following Conditional Provisions are provided to accommodate deviations from the DC - Downtown Overlay District standards:
- a. The Site shall be developed to a maximum height of five stories as measured from the front grade to top floor structural roof per the Ordinance requirements.
- b. Parking ratios will required per the Rezoning Plan which illustrates a reduction in the parking requirements as identified in the Ordinance to Residential Uses shall be parked at a min. of 1 space per bedroom or 1.5 spaces per unit and Retail/Commercial Uses shall be parked at 1 space per 200 SF.

III. Permitted Uses, Maximum Development, and Conversion Rights:

- a. The principal building(s) constructed on the Site may be developed with a maximum of two hundred ninety-four (294) multi-family residential units, up to 8,500 square feet of retail/commercial uses, along with any accessory uses allowed in the DC - Downtown Overlay zoning district.
- IV. **Transportation:**
- a. Vehicular access will be as generally depicted on the Rezoning Plan. The placements and configurations of the vehicular access point(s) shown on the Rezoning Plan are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required by Town of Pineville/NCDOT for approval, as applicable.
- b. Where necessary, the Petitioner shall dedicate and convey in fee simple all rights-of-way to the Town of Pineville before the Site's first building certificate of occupancy is issued. Right-of-way or sidewalk utility easement may be utilized to accommodate deviations from the standard street cross-section.
- c. All transportation improvements shall be substantially completed before the Site's first building certificate of occupancy is issued.
1. Reference to "substantially complete" shall mean completion of the roadway improvements in accordance with the Technical Data Sheet provided, however, in the event certain non-essential roadway improvements (as reasonably determined by NCDOT) are not completed at the time that the Petitioner seeks to obtain a certificate of occupancy for building(s) on the Site, then NCDOT will instruct applicable authorities to allow the issuance of certificates of occupancy for the applicable buildings, and in such event the Petitioner may be asked to post a letter of credit or bond for any improvements not in place at the time such certificate of occupancy is issued to secure completion of the applicable improvements.

V. Design Guidelines:

- a. Prohibited Exterior Building Materials:
1. Vinyl siding (but not vinyl hand rails, windows or door trim); and
2. Concrete Masonry Units not architecturally finished
- b. Building height shall be a maximum of five (5) stories. The minimum ground floor height (floor to floor) along Hwy 51/Main Street shall be eighteen (18) feet (at least 70% of the total ground floor height shall meet the minimum ground floor height requirement).
- c. All ground floor entrances shall include direct pedestrian connections between street facing doors and adjacent sidewalks.
- d. All dumpster enclosure areas shall be internal to the building/parking deck or screened from network required public or private streets with materials complimentary to the principal structure.
- e. Structured parking, if provided, shall be designed so that vehicles parked on all levels of the structure and associated lighting are screened by a wall or panel measuring a minimum of 48 inches in height when fronting a public street. Screening along public street frontages shall include both vertical and horizontal treatment that resembles patterns and architecture of the occupied portions of the building; including materials of similar materials and a similar rhythm of window openings on frontages. If structured parking is visible at the rear of the building (fronting the railroad right-of-way), decorative elements such as but not limited to decorative panels, artwork, color changes, green screening, or other architectural treatment shall be provided.
- f. Building Placement and Site Design shall focus on and enhance the pedestrian environment through the following
1. Buildings shall be placed so as to present a front or side façade to all network required streets (public or private); Buildings shall front a minimum of 75% of the total network required street frontage on the site (exclusive of driveways, pedestrian access, points, accessible open space, tree replanting areas and storm water facilities);
2. Parking lots shall not be located between any building and any network required public or private street; Driveways intended to serve single units shall be prohibited on all network required streets.
- g. Architectural Elevation Design - see attached architectural elevations and associated guidelines as listed.
- h. Roof form and lines shall be designed to avoid the appearance of a large monolithic roof structure as follows:
1. Long pitched or flat roof lines shall avoid continuous expanses without variation by including changes in height and/or roof form, to include but not be limited to gables, hips, dormers or parapets.
2. Mechanical equipment may be located at finished grade in the side or rear yard and will be screened from public street view. Roof top HVAC and related mechanical equipment will be screened from public view at grade from the nearest street.

VI. Environmental Features:

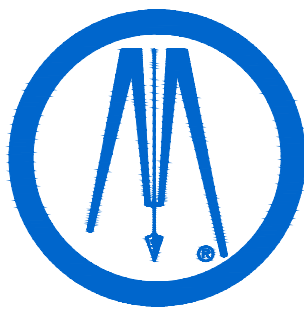
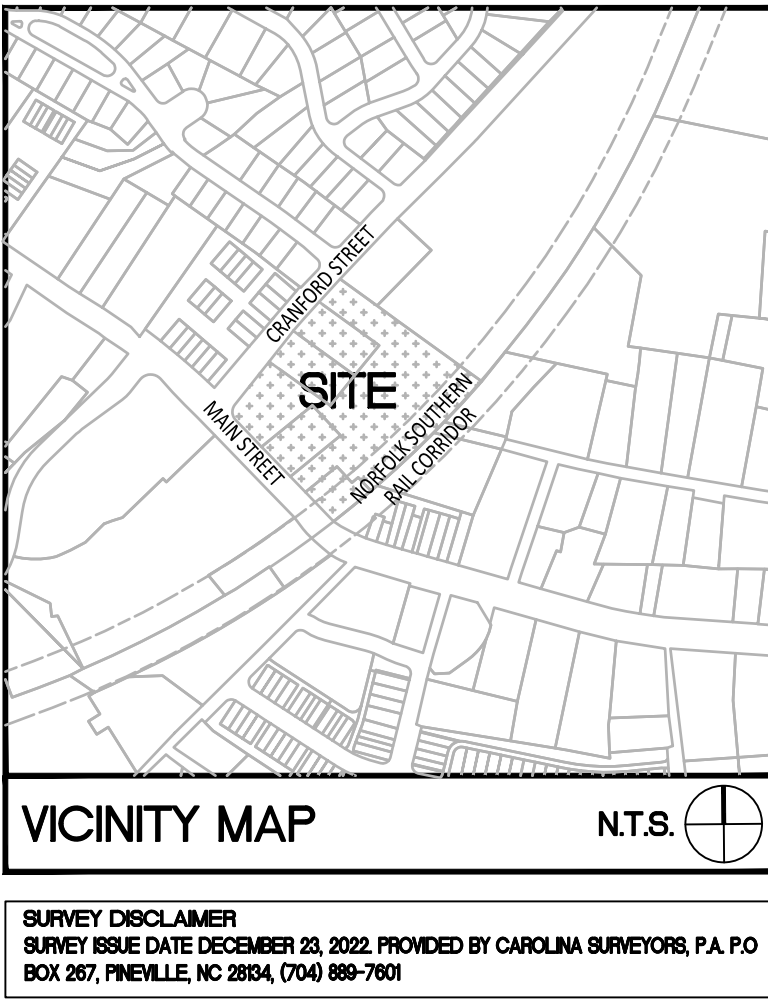
- a. The Petitioner shall comply with the requirements of the Post Construction Stormwater Ordinance.
- b. The Petitioner reserves the right to pursue any level of National Green Building Standards (NGBS) Certification for this property.

VII. Amendments to the Rezoning Plan:

Future amendments to the Rezoning Plan may be applied for by the then Owner or Owners of the applicable lots of the Site affected by such amendment in accordance with the provisions herein and of the Ordinance.

VIII. Binding Effect of the Rezoning Application:

If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site, as applicable, and their respective heirs, devisees, personal representatives, successors in interest or assigns.



ColeJenest&Stone
BOLTON & MENK, INC.

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REZONING

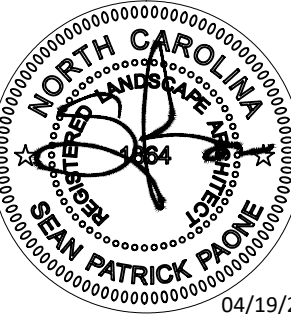
404 MAIN STREET
PINEVILLE, NC 28134

DEVELOPMENT
NOTES

PROJECT NO:

4909.01

REVISIONS:



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4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

SCALE:

DATE: 03/03/23

DESIGNED BY:

DRAWN BY:

CHECKED BY:

RZ - 300

FILE NO.: