



Planned Development Plan Checklist

form date: 3-27-25

Notes:

- Please Refer to Chapter 17.72 Planned Development in Title 17-Zoning for the full regulations.
- A property ‘can only be zoned PD when no district in this Code, and no combination of districts can be used to approve a new development that provides substantial additional benefits to the town that would not otherwise be required by this Code, nor is it intended to be used to approve variations from the standards and criteria in this Code. Since the planned development accommodates innovative patterns of development, development standards, dimensional requirements, and permitted uses are negotiated and shall be allowed as set forth in the planned development plan (PDP) and final development plan (FDP). Significant additional benefits to the town must be demonstrated. This chapter is to implement the provisions of the Planned Unit Development Act of 1972 (C.R.S. § 24-67-101 et seq.) as amended.’
- Town staff will strive to review the submitted application for completeness within ten (10) days of receipt. Once an application is deemed complete, the required payment of fees are received, and the cost reimbursement agreement is signed, the application will be forwarded to appropriate staff and referral agencies.

1. SUBMITTAL REQUIREMENTS	
	This checklist, with items checked off
	30-day requirement signed waiver
	Mineral rights notification Town Owned
	Project narrative: Attached
	<ul style="list-style-type: none"> • Description of the proposed development -see 17.72.140 (3) Attached
	<ul style="list-style-type: none"> • Quantitative data for the project (see 17.72.140 (7) and also see 17.72.090 Density) Attached
	<ul style="list-style-type: none"> • PD zoning text (see 17.72.010) including principle uses, accessory uses, acreage of planning area(s), dimensional standards, development standards, design standards, open space description, lighting, drainage, and other negotiated zoning attributes Attached
	<ul style="list-style-type: none"> • Description of open space, including accessibility and allowed uses
	Water and sewer demand for the entire PD n/a
	Traffic impact analysis Unchanged per CDOT

SUBMITTAL REQUIREMENTS	
	Development schedule and submission of subdivision application if applying for concurrent review. N/A
	Supporting maps, plans, and drawings (see drawing requirements below) Attached
	Water resources report N/A
	Master utility plan, including proposed general off-site connection methods for both deep and shallow utilities No Changes
	Sanitary Sewer will serve letter No Changes
	Preliminary drainage plan No Changes
	If there are any residential units, a letter from the school district N/A

2. DRAWING REQUIREMENTS	
	See Basic Drawing requirements form
	Additional PDP requirements: Attached
	<ul style="list-style-type: none"> • Phasing schedule, if phased
	<ul style="list-style-type: none"> • Ownership configuration

ALL ITEMS BELOW ARE ATTACHED or NOT APPLICABLE IN THIS SUBMITTAL

DRAWING REQUIREMENTS	
✓	Project Table: acreage, permitted uses, zoning, site coverages, density, parking, percent of open space, setbacks and other statistics
✗	Type of residents expected, if any
✓	Abutting subdivisions or parcel owners; include required setbacks – 200 ft. from Highway 105 and building setback of 25 ft. from the perimeter of the district (see 17.72.080)
✓	General size and location of proposed public lands and common open space
✓	Layout of lots, blocks, and streets
✓	Proposed parks, trails, open space, recreation
✓	Landforms and topographic character
✓	Site conditions
	2' contour interval, 10' if slope is 30% or greater, contours to extend 100' beyond property lines
	Preliminary landscape plan No Change
	Natural features No Change
	Provisions to protect or incorporate natural features No Change
	A generalized grading plan; include streets that require cut and fill No Change
	Slope, grading, disturbance area, and erosion per section 17.68 showing how stormwater quality control requirements can be met
✓	Areas sloping 15% or greater
✓	Watercourses and floodplain
	Preliminary drainage plan for the entire project
	Footprint of structures and buildings to remain
	Proposed subdivision boundary lines and site design in specific or prototypical form
	Traffic circulation and access plans showing ROW or access easement, and pavement widths
	Parking areas: type of surface and if enclosed
	Flood certification, if any
	100-year floodplain
	Existing and proposed circulation system, within and adjacent to the property. (see 17.72.140 (9) (e))

DRAWING REQUIREMENTS	
	Proposed concept and general off-site connections for utility services Not
	Preliminary lighting plan Applicable as
	Preliminary landscape plan no changes
	Maintenance Provisions and Plan (see 17.72.080) planned
	Such other additional information the PC or the BOT may require

REVIEW PROCESS	
<p>The following is a general description of the steps involved in processing an application. NOTE: PC means Planning Commission, BOT means Board of Trustees.</p>	
Step 1: Application submittal	Applicant submits complete application 30 days prior to Planning Commission meeting
Step 2: Application completeness	Town staff reviews the application for completeness and notifies the applicant of any deficiencies. Applicant addresses deficiencies and updates submittal.
Step 3: Certification of completeness	The project will not be scheduled for PC's review until all required information has been confirmed, at which point Town staff provides a completeness certification.
Step 4: Refer application to parties of interest	This is a 30-day process for referral agencies to respond.
Step 5: Staff and DRT review	Staff and DRT review the applications and sends comments to the applicant.
Step 6: Applicant revisions	Applicant addresses comments received and submits any revisions
Step 7: Staff review and memo	Staff reviews any revisions and prepares memo to Planning Commission

Not Applicable, No Significant Changes

Step 8: PC hearing date and notice	Town publishes notice and prepares sign(s); post sign(s) and applicant mails to
REVIEW PROCESS continued	
	property owners within 300 feet from the boundary of the property
Step 9: PC public hearing and recommendation	Planning Commission recommends approval, approval with conditions, denial, or continues the hearing for 30 days.
Step 10: Final revisions	Applicant addresses PC comments and submits documents for BOT hearing
Step 11: Final Staff review and report to BOT	Staff reviews submitted documents and prepares memo to BOT
Step 12: BOT public hearing , and recording if approved	BOT adopts resolution of its decision. If approved, PDP documents are recorded with El Paso County Clerk and Recorder.
Step 13: FDP application	Final PD application must be submitted within one year of approval.
Step 14: PDP expiration	Following notice at a public hearing, BOT may terminate the PDP if the FDP application is not made within a year or an extension is granted.
PDP Minor Amendment (see step 10)	Minor amendments are processed by Town Administrator and DRT.
PDP Major Amendments (see step 11)	See list of Major Amendments. Major amendments are subject to the same review process as the original application.

SUMMARY OF CRITERIA FOR APPROVAL
See Section 17.72.50 Conditions and Standards
See Section 17.070 Buffering, Screening and setbacks
Open Space Requirements must be satisfied (see 17.72.100)

Maintenance provisions and plan must be approved by BOT after PC review (see 17.72.080)
See Section 17.72.020 Effective Date and establishment of a Planned Development District

For Office Use Only:

Application received date: _____

Accepted as complete date: _____

PC hearing date: _____

BOT hearing date: _____

El Paso County Clerk and Recorder

Reception no. or Book & Page _____

Reception date _____

Amendment recorded:

Reception no. or Book & Page _____

Reception date _____

ECO SPA AT CHAUTAUQUA SPRINGS - WILLAN'S PROPOSAL - ESTIMATE & TIMELINE FOR RENOVATION & CONSTRUCTION

BUILDING / USAGE	FORMERLY	PHASES	PVT OR TPL COMM USE	EST. COST / SOURCES	TIMELINE	
ECO SPA	OLD POOL	PHASE 1: RENOVATION & CONSTRUCTION AS OUTLINED IN PLAN & MODEL PROVIDED, INC. PARKING.	THIS WILL BE A FOR PROFIT BUSINESS, SPECIAL RATES FOR TPL RESIDENTS	PHASE 1: \$1.5M FUNDED BY WILLANS & INVESTORS	APPROXIMATELY ONE YEAR FROM AGREEMENT OF LAND PURCHASE	
<i>Year round full service spa</i>						
<i>Therapies, Aqua Classes</i>		PHASE 2: EXPANSION			PHASE 2: \$1M FUNDED BY PHASE 1 REVENUE	PHASE 2 EXPANSION DEPENDING ON SUCCESS OF SPA, ADDITIONAL MASSAGE ROOMS ETC.
<i>Yoga, Watsu,</i>						
<i>Juice Bar, Café</i>						
AMPITHEATRE	AMPITHEATRE	PHASE 1: DEMO & RECONSTRUCTION OF STAGE & BENCHES	PART OF ECO SPA, WITH FREE USE GRANTED TO TPL WHEN AVAILABLE	PHASE 1: \$50K FUNDED BY WILLANS	SAME AS ECO SPA (SEE ABOVE)	
<i>Plays, Storytelling</i>						
<i>Natural Local History</i>		PHASE 2: EXTENSION OF SEATING				PHASE 2: \$10K FUNDED BY PHASE 1 REVENUE
<i>Movie Nights</i>						
<i>Acoustic Music Performances</i>						
<i>Star Gazing / Education</i>						
INDOOR EVENT CENTER	BASKETBALL CT.	PHASE 1: DESIGN & BUILD UNISEX / ADA RESTROOM ON-SITE OF EXISTING STORAGE ROOM & CATERING KITCHENETTE	PART OF ECO SPA, WITH FREE USE GRANTED TO TPL WHEN AVAILABLE	PHASE 1: \$45K FUNDED BY THE WILLANS	PHASE 1: SOFT OPEN JUNE 2023, GRAND OPENING JULY 4TH, 2023	
<i>Community Classes</i>						
<i>Yoga, Tai Chi, Jiu-Jitsu</i>		PHASE 2: CLAD EXTERIOR IN CEDAR AS PER DESIGN & ADD PERGOLA OVER BBQ AREA, OUTDOOR SEATING			PHASE 2: \$100K FROM PHASE 1 REVENUE	PHASE 2: PROJECTION 2024
<i>Community Dances, Classes</i>						
<i>Arts & Crafts Classes</i>						
<i>Exhibitions & Related Gatherings</i>						
<i>Local youth group meetings</i>						
<i>Wine & Food Tastings</i>						

ECO-SPA P.D. AMENDMENT

AN AMENDMENT TO THE SALVATION ARMY CAMP ELEPHANT ROCK P.U.D. MASTER PLAN AND AN AMENDMENT TO THE "LIVING WORD CHAPEL AMENDMENT" LYING IN THE SE1/4 OF SECTION 5 and THE NE1/4 OF SECTION 8 TOWNSHIP 11 SOUTH, RANGE 67 WEST of the 6th. P.M., TOWN OF PALMER LAKE, COUNTY OF ELPASO, STATE OF COLORADO

ECO-SPA SITE DATA

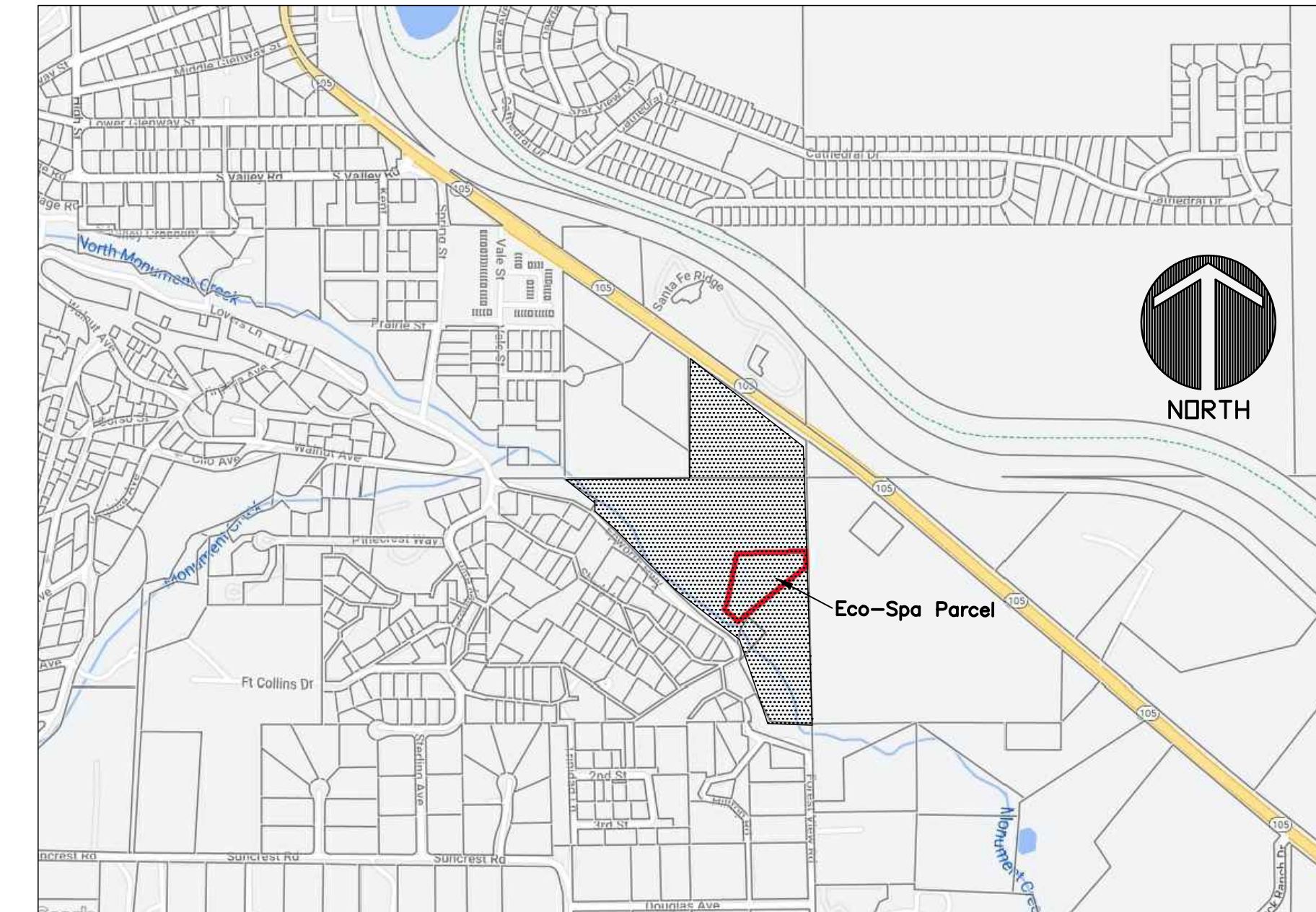
SPECIFIC USES : SPA THERAPY AND OTHER ASSOCIATED SPA EXPERIENCES

ACCESS : EXISTING GRAVEL ROADWAY AS DEPICTED FROM HIGHWAY 105, AND THIS ACCESS IS SHARED WITH THE OTHER USES ON THE SITE.

PARKING : 5 A.D.A. COMPLIANT HANDICAP PARKING SPACES, AND 54 (min.) STD. PARKING SPACES TO ACCOMMODATE VISITORS

SITE IMPROVEMENTS ARE LIMITED, AS THE EXISTING STRUCTURE(S) ARE ONLY BEING RENOVATED, UPGRADED AND MODERNIZED FOR THE NEW SPA. IMPROVED PARKING LOT TO REMAIN GRAVEL WITH STOP BLOCKS

MINIMUM BUILDING SETBACKS ARE 7 FEET FROM ALL PARCEL SIDES. MAXIMUM BUILDING HEIGHT IS 34 FEET.



VICINITY MAP
NO SCALE

ECO-SPA SITE INFORMATION

LOCATION : PART OF THE ORIGINAL P.U.D. MASTER PLAN FOR SALVATION ARMY CAMP ELEPHANT ROCK IN THE NORTHEAST QUARTER OF SECTION 8, T.11 S., R.67 W OF THE 6TH P.M.

USE : SPA THERAPY AND OTHER ASSOCIATED SPA EXPERIENCES ON 3.74 ACRES, PART OF ORIGINAL MASTER P.U.D.

PLANNING COMMISSION APPROVAL CERTIFICATE

THIS AMENDMENT TO P.U.D. MASTER PLAN WAS RECOMMENDED FOR APPROVAL BY THE TOWN OF PALMER LAKE PLANNING COMMISSION ON ____ DAY OF _____, 20____

SIGNED BY CHAIRPERSON _____ ATTEST BY _____ DATE _____

BOARD OF TRUSTEES APPROVAL CERTIFICATE

THIS AMENDMENT TO P.U.D. MASTER PLAN IS APPROVED BY THE TOWN OF PALMER LAKE, BOARD OF TRUSTEES, THIS ____ DAY OF _____, 20____ AD, FOR THE FILING WITH THE CLERK AND RECORDER, AND FOR ACCEPTANCE BY THE TOWN FOR ANY USES SHOWN HEREON

SIGNED BY MAYOR _____ ATTEST BY _____ DATE _____

CLERK and RECORDER CERTIFICATE

COUNTY OF EL PASO }
STATE OF COLORADO }

I HEREBY CERTIFY THIS PLAT WAS FILED FOR THE RECORD ON THE ____ DAY OF _____, 20____ AT ____AM/PM AND DULY RECORDED AT RECEPTION NUMBER _____

CLERK OR DEPUTY _____

PREPARED BY:



DATE : JANUARY 2024
J.N. P22-028

REVISIONS : Updated Oct. 2025

ECO-SPA P.D. AMENDMENT

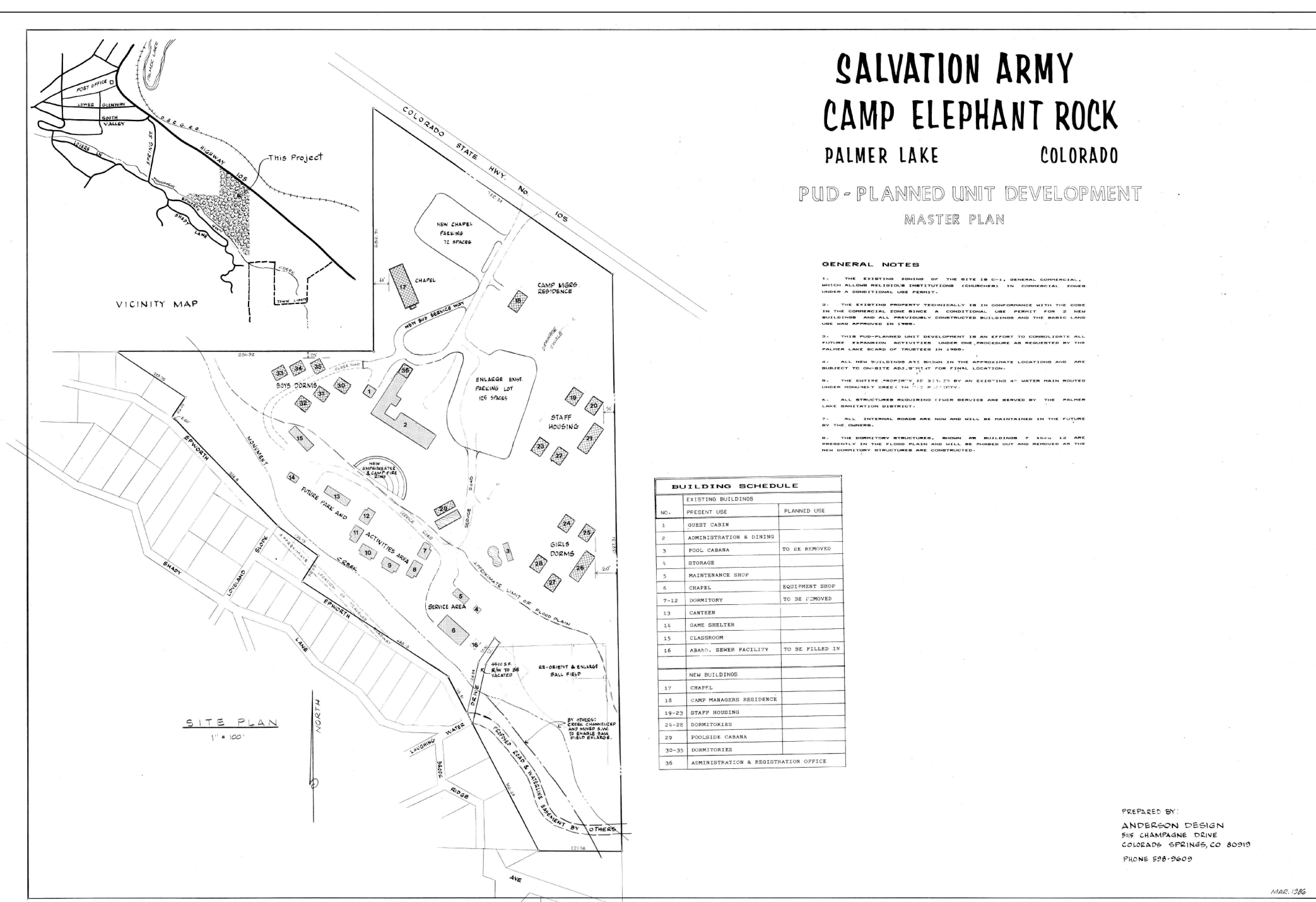
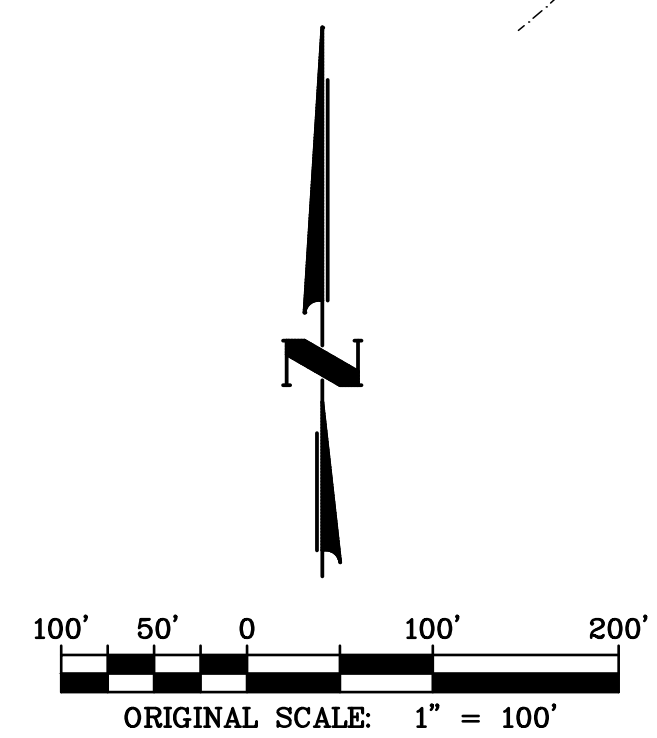
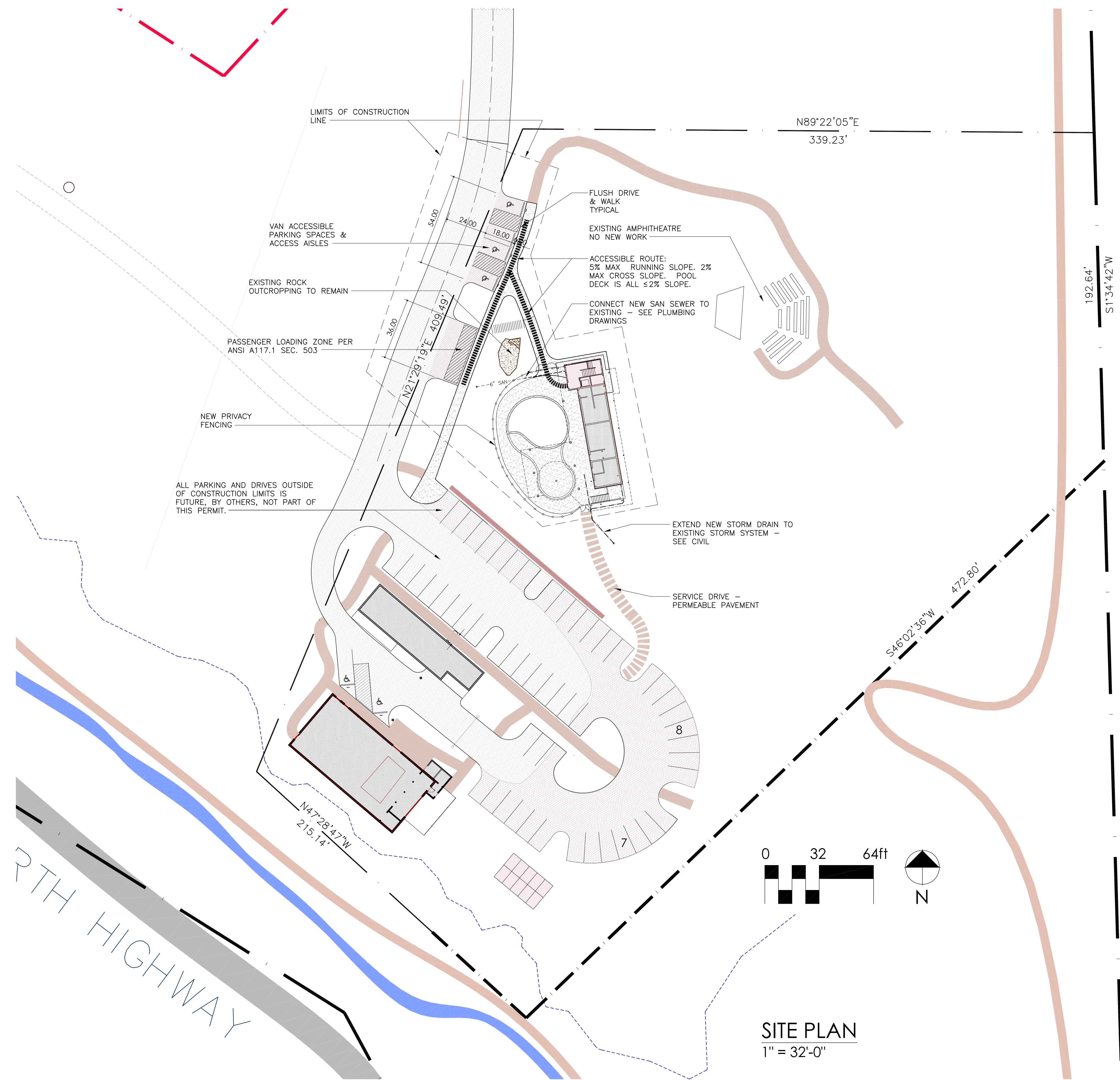


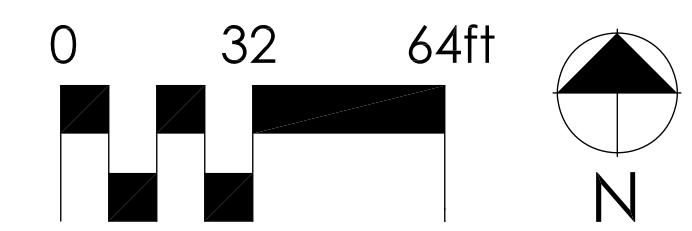
Image of Originating P.U.D. MASTER PLAN (1986)





SITE PLAN LEGEND

- CLEAN EXISTING ASPHALT MILLINGS OF LARGE CLUMPS AND OTHER DEBRIS. OVERLAY W/ NEW MATERIAL. CREATE LEVEL SURFACE & STRAIGHT EDGES. RESTORE EXISTING ADJACENT GROUNDCOVER.
- 4" CONCRETE SIDEWALK
- PROVIDE PARKING BUMPERS 1 @ EA. SPACE
- NEW DECK COLUMNS
- NEW ADDITION
- EXISTING BUILDINGS
- EXISTING TREES TO BE REMOVED
- EXISTING VEGETATION TO REMAIN
- PROPOSED NEW TREES (PARKING SCREENING)
- NEW BREEZE WALKWAYS
- APPROXIMATE LOCATION OF EXISTING PARK TRAILS
- NEW PRIVACY/SECURITY FENCING & GATES
- TENANCY BOUNDARY



SITE PLAN
1" = 32'-0"

Eco Spa Site Plan

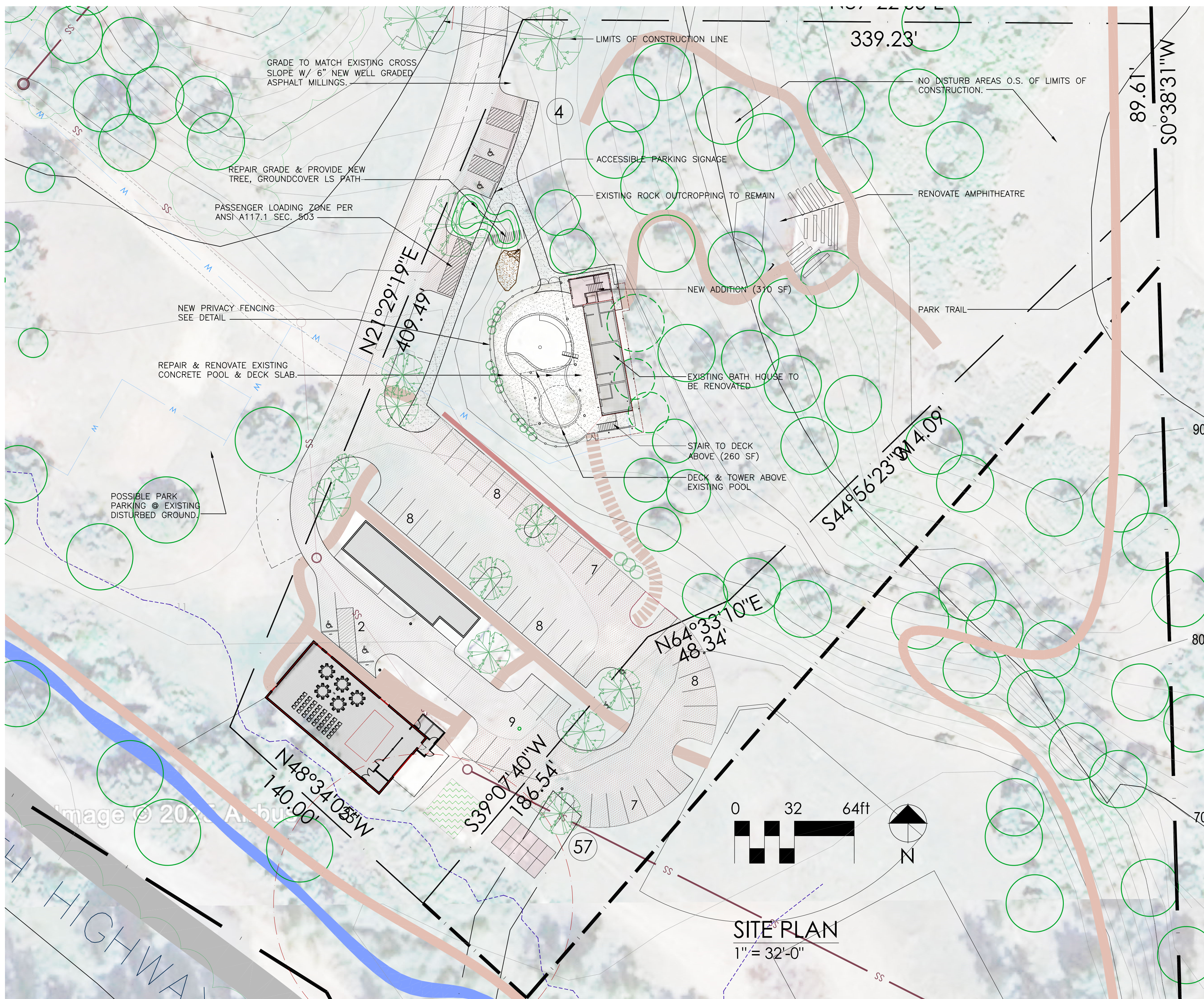
1"=32'

PROJECT	24-49
DATE	Oct 24, 2025
PHASE	PERMITTING
DRAWN	WLF
CHECKED	JRC
REV'D	11/20/25

SD 1.1

EcoSpa Addition/Remodel for Lindsay & Richard Willan
 350 Colorado Highway 105, Palmer Lake, CO 80133

John Cameron Architecture
 John Cameron, RA, LEED GA
 2825 Hunters Glen Rd
 Monument CO 80132
 johnrcameronarc@comcast.net



SITE PLAN LEGEND

CLEAN EXISTING ASPHALT MILLINGS OF LARGE CLUMPS AND OTHER DEBRIS. OVERLAY W/ NEW MATERIAL. CREATE LEVEL SURFACE & STRAIGHT EDGES. RESTORE EXISTING ADJACENT GROUND COVER.

4" CONCRETE SIDEWALK
 PROVIDE PARKING BUMPERS
 1 @ EA. SPACE

NEW DECK COLUMNS
 NEW ADDITION
 LINES OF STRUCTURE ABOVE

EXISTING BUILDINGS

EXISTING TREES TO BE REMOVED

EXISTING VEGETATION TO REMAIN

PROPOSED NEW TREES (PARKING SCREENING)

NEW BREEZE WALKWAYS

APPROXIMATE LOCATION OF EXISTING PARK TRAILS

NEW PRIVACY/SECURITY FENCING & GATES

TENANCY BOUNDARY

WATER LINES (NEW & EXIST'G)

SANITARY SEWER (NEW & EXIST'G)

ELECTRIC POWER LINES

GAS LINES

100 YEAR FLOODPLAIN (AE)

PARKING SPACE COUNT + ADA

VIEW TRIANGLE

GENERAL PROPERTY & PROJECT INFO

PROPERTY ADDRESS: 350 HIGHWAY 105 PALMER LAKE, CO 80133
 PROPERTY OWNER: TOWN OF PALMER LAKE PO BOX 977 PALMER LAKE CO, 80133
 APPLICANT & LEASEHOLDER: ECO SPA LLC, BOX 216 PALMER LAKE, CO 80133
 EPSCO PROPERTY TAX NO. 7108100016

LEGAL DESCRIPTION: THAT PART OF NE4NE4 LY NELY OF PINE CREST TRI-DIST ASSEMBLY GRDS ADD 1 SEC 8-11-67 EX THOSE POR CONV TO TOWN OF PALMER LAKE BY REC #209128930

DEVELOPMENT PLAN DATA

THIS PLAN IS FOR AN AMMENDMENT TO AN EXISTING PUD

PARKING SPACE CALCULATIONS:

USE	FACTOR	REQ'D	PROVIDED	NOTES
SPA	3/THERAPY RM	15	15	MED. - 3/DOCTOR
POOL	1/150 SF POOL	6	10	EPSCO LDC FACTOR
AMPHITHEATRE	1/5 SEATS	20	20	EPSCO LDC FACTOR
ANNEX	1/5 SEATS	13	15	PUBLIC ASSEMBLY
TOTAL		54	61	6 ADA SPACES

PARKING NOTES:

- EPSCO LDC FACTORS USED WHERE TOPL LISTS NO CRITERIA.
- PPRBD PERMIT FOR ANNEX REVISIONS LISTS OCCUPANT LOAD 64. TOPL 1/5 SEATS APPLIED TO THAT LOAD.
- TOPL REQUESTS 50 SPACES.
- 3 ACCESSIBLE SPACES ARE REQ'D PER ANSI A117.1 FOR >50 CARS. 4 ARE PROVIDED.
- 3 ACCESSIBLE SPACES ARE REQ'D PER ANSI A117.1 FOR >50 CARS. 4 ARE PROVIDED.

PHASING

BUILDING PERMIT IS SUBJECT TO PALMER LAKE SITE ENTITLEMENT APPROVAL. PPRBD WILL REQUIRE TOWN SIGN-OFF APPROX. IN JUNE, 2025 W/ SPA RENOVATIONS TO BEGIN IMMEDIATELY AND COMPLETED IN 2026.
 ANNEX IMPROVEMENTS ARE MINOR.
 IMPROVEMENTS TO DRIVES AND PARKING WILL BE COMPLETED IN CONJUNCTION W/ SPA WORK.

NOTES

- NEW DRIVEWAY & PARKING OCCURS WITHIN CONFINES OF EXISTING DRIVES, DISTURBED GROUND, & RECYCLED ASPHALT. NO NEW DISTURBANCE SHALL OCCUR OTHER THAN PARKING EXPANSION ADJACENT SPA.
- SHARED PUBLIC DRIVEWAY & WALKWAY/PATH IMPROVEMENTS PER AGREEMENT W/ TOPL.
- TOPO, LOCATIONS & EXTENTS SHOWN BASED ON ARCHIVAL SURVEYING PROVIDED BY TOPL. FIELD VERIFY ALL INFO. PRIOR TO STARTING WORK.
- DRAINAGE & GRADING: NO NEW ROUGH GRADING TO OCCUR. FINISH GRADING WILL BE PERFORMED TO REPAIR EXISTING DRIVES, EXPAND THEM FOR PARKING, & INSTALL NEW WALKS & PATHS. HISTORICAL DRAINAGE IS MAINTAINED. SEE DEVELOPMENT PLAN NOTES THIS SHEET FOR PERMEABLE SURFACE DATA.
- ALL SITE DEVELOPMENT & BLDG CONSTRUCTION OCCURS OUTSIDE OF THE 100 YEAR FLOODPLAIN - SEE PLAN
- VERIFY THE EXISTENCE AND LOCATION OF ALL MECH, ELECT, & UTILITIES PRIOR TO PERFORMING ANY DEMO WORK AND PROTECT SAME FROM HARM.
- COORD. ALL UTILITY WORK W/ SERVICE PROVIDER ENGINEERING REQUIREMENTS.

IMPERMEABLE AREA CALCS

OVERALL SITE AREA (TENANT PARCEL): 121,794 SF (2.80 AC)

ITEM	EXISTING	NEW AREA	NOTES
BATHHOUSE/POOL	4,540 SF	5,817 SF	INCL. ALL ROOF & POOL DECK SURROUNDS
DRIVES	19,930 SF	24,890 SF	NEW SPA ENTRY WALKS
WALKS		2,029 SF	
TOTALS	24,470 SF	32,736 SF	+8,266 SF
COVERAGE %	+3.03%	+3.03%	

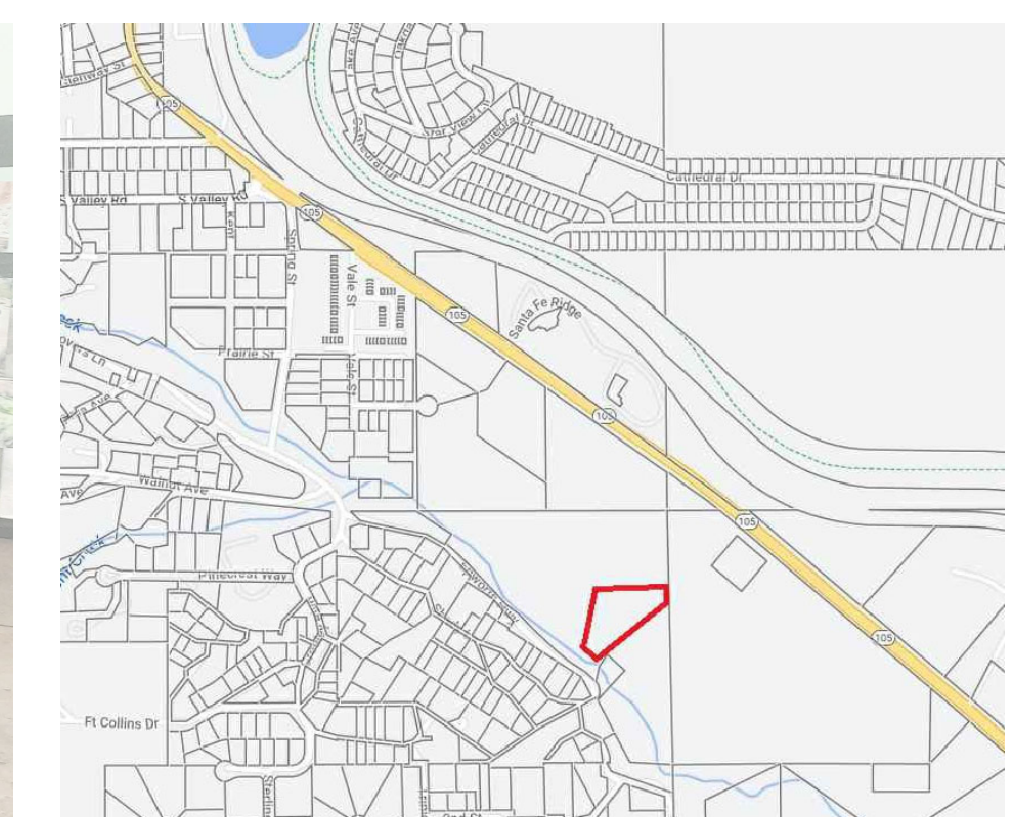
BUILDING HEIGHT:

ALLOWABLE HEIGHT IN ORIGINAL PUD	NONE SPECIFIED
ALLOWABLE HEIGHT IN PUD ZONE	NONE SPECIFIED
PROPOSED DESIGN HEIGHT	±34'

MODEL

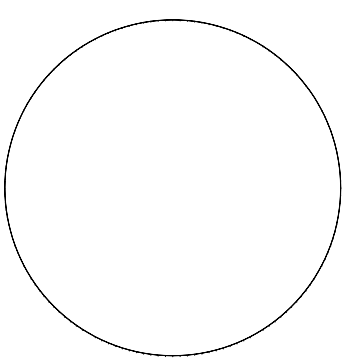


VICINITY MAP



Eco Spa Site Plan

1"=32'



Final Development Plan
 Elephant Rock Park
 Colorado Highway 105, Palmer Lake, CO 80133

PROJECT Eco Spa
 DATE 08/19/25
 PHASE CD
 DRAWN WLF
 CHECKED JRC
 REV'D

DP
 2