

**STAFF REPORT CONTACT INFORMATION**

Deborah J. Hill MPA AICP CFM CZO

DOCKET/CASE/APPLICATION NUMBER

SPA22-000018 Commercial Plan Review:

N. Topsail Beach Fire Station #2 (**EXHIBIT 1 & 2**)

**APPLICANT/PROPERTY OWNER (EXHIBIT 3)**

Town of North Topsail Beach/ Alice Darian Town Manager  
 Becker Morgan Group Architect  
 Paramounte Engineering, PLLC Civil Engineer  
 CBHF Engineering, PLLC PME Engineer  
 Woods Engineering, PA Structural Engineer

**PUBLIC HEARING DATE**

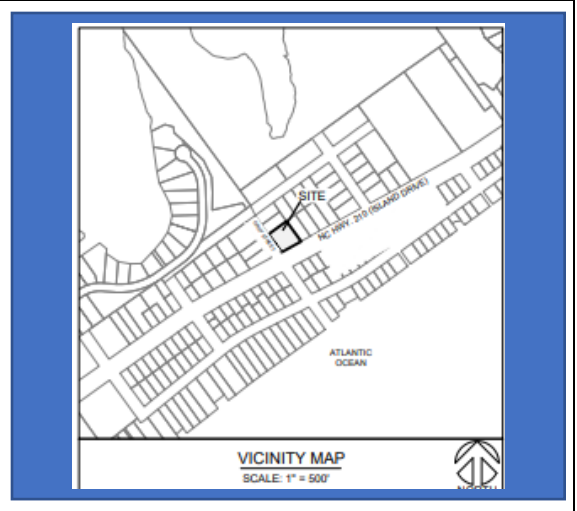
Board of Aldermen 3/1/2023 11AM (**EXHIBIT 4**)

**PROPERTY ADDRESS/LOCATION**

3304 GRAY ST/ NORTH TOPSAIL BEACH

**BRIEF SUMMARY OF REQUEST**

The Town of North Topsail Beach is requesting development plan review and approval of the proposed North Topsail Beach Fire Station #2. Procedures for Commercial Plan Review are outlined in UDO § 2.06.07. On January 12, 2023, the Planning Board returned the development plan for additional information to include a review and certification by the Public Works Director, Fire Marshall, Police Chief, Building Inspector and Planning Director (**EXHIBIT 1a**) and completion of the 2018 Appendix B Building Code Summary for All Commercial Projects by the engineer. (**EXHIBIT 5**). The plans are in compliance with FEMA requirements, as a variance was ordered on January 30, 2023, by the Board of Adjustment in accordance with UDO § 7.04 (E) from the Town’s higher standard of enforcing V-zone development standards in the AE zone pursuant to Unified Development Ordinance § 7.05 (G) (**EXHIBIT 6**).



Design Documents/December 2022/Paramounte Engineering, Inc.

EXISTING ZONING	EXISTING LAND USE (CAMA LUP Map 10A)	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
CD-R5	Office & Institutional	N: vacant CD-R5 E: single family CD-R5 S: Island Dr W: Gray St	1986 PUBLIC/GOVERNMENT BUILDINGS	+/- 0.38 acres/ +/-16,501SF

**RECOMMENDATION**

In accordance with § 2.06.07(E), the Planning Board recommends that the Board of Aldermen

**APPROVE**

**N. Topsail Beach Fire Station #2 DESIGN PLANS (EXHIBIT 1 & 2)**

<p><b>PROPERTY HISTORY</b></p> <p>Property originally belonged to John and Adriena Carter and was sold to West Onslow Beach Volunteer Fire &amp; Rescue Department In 1985. The Fire Station was constructed in 1986. Onslow County adopted the Flood Insurance Rate Maps in 1987. The Town incorporated in 1990 and the property was transferred to North Topsail Beach Volunteer Rescue &amp; EMS Inc in 1991 and transferred to the Town of North Topsail Beach in 2013. (<b>EXHIBIT 3</b>)</p>	<p><b>COMPATIBILITY</b> with the COMPREHENSIVE PLAN (Town of North Topsail Beach 2019 CAMA Land Use Plan 3/4/2021)</p> <p>The North Topsail Beach Fire Department is located at 2049 New River Inlet Road (Station 1) with an additional location at 3304 Gray Street (Station 2). The department’s Station 1 facility is adequate through the planning period and is undergoing renovation and maintenance; however, Station 2 consists of a metal building established in 1986 and is in disrepair in need of immediate replacement. (updated from Page 4-9)</p> <p>North Topsail Beach will continue to encourage projects undertaken by the Town’s Police Department, Fire Department, and Public Works, which will lessen the vulnerability of the Town and its residents to natural hazards. Annex 3 – 9</p> <p>The property is within the Outstanding Resource Waters (ORW) AEC. Existing impervious 14,491 sf (88%) and qualifies as redevelopment pursuant to 15A NCAC 07H .0209 COASTAL SHORELINES (d)(2). NCDPCM.</p>
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**COMPATIBILITY** with the UNIFIED DEVELOPMENT ORDINANCE

Existing use prior to the Town's incorporation in 1990.

Public administration/government facilities (ambulance service; police and fire stations)	P	P	P	P	P	P	P	P	P	P	<a href="#">4.03.20</a>
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**§ 4.03.19 PUBLIC ADMINISTRATION (GOVERNMENT FACILITIES).**

(A) Access. Must have primary access to a minor thoroughfare or higher capacity street.

(B) Use separation. Fifty-foot minimum distance between the ambulance or police station or similar use and any adjacent residential property. [Pre-existing](#).(C) Screening. Service areas must be separated from the view from abutting residential properties using the standards for enclosed outdoor storage and service areas pursuant to § 4.03.06. ([Any storage or service areas would require at least a six foot fence](#))

(Ord. passed 11-2-2011)

**Article 5. Dimensional Requirements***Table 5-1 Dimensional Requirements*

<i>Zoning District</i>	<i>Minimum Lot Size</i>	<i>Front Yard Setback</i>	<i>Lot Width</i>	<i>Side Yard Setback</i>	<i>Side Yard on Corner</i>	<i>Rear Yard Setback</i>	<i>Building Height</i>
R-5 Single-family	5,000 sq. ft.	20'	50'	8'	15'	10'	48'

**§6.04.08 BUFFERS NOT REQUIRED FOR EXISTING USES.**

Uses already existing at the time of the passage of this ordinance, or subsequent amendments thereto, shall not have buffering requirements modified. Such preexisting uses, which are conforming, shall not be required to install a buffer along any public street. A change of use after the adoption of this ordinance requires conformance with the buffering requirements.

(Ord. passed 11-2-2011)

**§6.05 OFF-STREET PARKING AND LOADING REQUIREMENT.**

(A) Permanent off-street parking spaces shall be indicated on plans submitted for review and provided on the lot in accordance with the following requirements prior to the completion of construction of any building or structure, or at the time any principal building or structure is enlarged or increased in capacity by adding dwelling units, bedrooms or before conversion from one zoning use or occupancy to another.

(B) Storm water run-off standards are required for all off-street parking and driveways for the purpose of protecting surface water and ground water quality, to protect and promote public health, safety and general

welfare with guided plans that limit storm water run-off, pollutants, road ponding and environmental concerns and to avoid any further problems. The developer shall provide surface water drainage plans. These plans shall indicate storm water drainage supported by design computations. The design shall conform to the standards as required by NCDOT, NCDWQ or other regulatory state agency. (**EXHIBIT 1g**)

- (1) Permanent off-street parking spaces and driveways shall be graded and paved with gravel, porous concrete, porous paving or an open-face paving block over sand and filter-cloth base. If non-porous material is used to construct the parking area or driveway on the property an engineered storm water plan must be submitted as a supplement to the plat plan.
- (2) Applicants must prove to the Planning Department that adequate measures have been taken to contain the first inch and a half of rainfall in a 24-hour period.
- (3) The engineered storm water plan for driveways is not allowed on any property located in any Outstanding Resource Water (ORW) Area of Environmental Concern (AEC). The state requirement of 25% built-upon will remain in effect. (*Planning Director's note: qualifies as "redevelopment" under 15A NCAC 07H .0209 COASTAL SHORELINES (d)(2)), with NCDWQ erosion/sediment control review, will require NC DCM CAMA Major Permit.*)

Public buildings: 1 parking space for each employee, plus 1 parking space for each 5 seats in the largest assembly room (**EXHIBIT 2a**)

#### **§6.05.02 OFF-STREET LOADING PURPOSE AND GENERAL REQUIREMENTS.**

Plans for off-street loading areas shall include (1) The location and dimensions of driveway entrances, access aisles and loading spaces; (2) The provision for vehicular and pedestrian circulation; and (3) The location of sidewalks and curbs. (**EXHIBIT 2a**)

#### **ARTICLE 7. FLOOD DAMAGE PREVENTION**

The Town is in compliance with FEMA requirements, as a variance was ordered on January 30, 2023, in accordance with UDO § 7.04 (E) from the Town's higher standard of enforcing V-zone development standards in the AE zone pursuant to Unified Development Ordinance § 7.05 (G), allowing for the construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach NC. (**EXHIBIT 6**)

The Southeastern NC Regional Hazard Mitigation Plan addresses 44 CFR § 60.22 planning considerations for critical facilities. Given equal vulnerability across the Southeastern NC Region, all critical facilities are considered to be at risk. Some buildings may perform better than others in the face of such an event due to construction, age, and other factors. The Hazard Mitigation Plan will consider mitigation actions for vulnerable structures, including critical facilities, to reduce the impacts of the hurricane wind hazard. A list of specific critical facilities and their associated risk can be found in Table 6.26. In conclusion, a hurricane event has the potential to impact many existing and future buildings, critical facilities, and populations in the Southeastern NC Region. Hurricane events can cause substantial damage in their wake including fatalities, extensive debris clean-up, and extended power outages.

**RESPONSE TO STANDARDS****§ 2.06.07 COMMERCIAL PLAN REVIEW.****(A) Commercial plan and design requirements.**

(1) Development plans involving new construction of commercial space must be approved by the Board of Aldermen before issuance of a zoning permit. The Planning Board shall review and make recommendations prior to recommending action by the Board of Aldermen; furthermore, the Planning Board may return the development plan to the applicant/owner for revision and/or additional information before recommending action by the Board.

(2) Upon submittal of a development plan and all required materials specified by the Planning Board, the Planning Board shall have 20 working days to either return the development plan to the applicant with noncompliance findings noted, or notify the applicant of an approval/rejection/ recommendation for approval/return for revision and/or additional information. Notification may be verbal, but must be documented in writing within 30 days following the notification date. Each time a development plan is rejected, revised or returned for additional information, the timetable for official action shall begin anew. Should a period of 30 days elapse between the submittal of a development plan and the issuance of a written notification, then the development plan shall be deemed approved/ recommended for approval.

(3) Where Board of Aldermen approval is required as specified herein, the Board shall have 60 days following receipt of the Planning Board's recommendation to take action either to approve or reject the development plan. Failure of the Board of Aldermen to act on the development plan within the specified period shall deem approval of the development plan as submitted.

(4) Applicants wishing to re-submit rejected development plans must reapply. Substantial changes to approved development plans must be reviewed by the Planning Board and approved by the Board of Aldermen. Approved development plans must apply for all required permits, including zoning. All re-applications are subject to the current fee schedule as approved by the Board of Aldermen.

(5) Applicants requesting development plan review/approval shall be required to pay a review fee in accordance with the fee schedule at the time of each development plan submittal and/or request for substantial revision.

**(B) Effect of development plan approval; validity.**

(1) Approval of the development plan shall authorize the applicant to proceed with the installation of site improvements provided all other regulatory requirements and permits are satisfied. Approval shall not authorize the sale or transfer of lots/tracts/units, or the occupancy/use, or the revision of the approved development plan. Development plan approval shall be void unless installation of improvements is in accordance with the approved development plan and/or approved revisions thereto. Development plan approval is valid for a period of one year from the date of approval; however, approved revisions shall not constitute additional time unless specified in writing by the Planning Board upon approval of said revisions. Substantial revision to a development plan requires re-application as described in § 2.06.06(A), may constitute a new validation period.

(2) Projects requiring more than one year for construction and completion may request additional time in either the application or a subsequent letter or request; however, no approval shall be granted for a period greater than two years. Projects requiring phased construction or approval for periods exceeding two years shall submit development plans for each phase or for each extended period of construction, subject to the discretion of the Board of Aldermen.

**(C) As-built plans; validity and effect.**

(1) A set of as-built drawings and technical data shall be prepared by the applicant and submitted to the Building Inspector and Zoning Official for review of compliance prior to occupancy and/or use of

developments. The Zoning Official shall notify the applicant within 15 days of receipt of the development plan as-built drawing and technical data, of any noncompliance or deficiency in information.

(2) As-built drawing(s) and technical data shall be kept on file at the Town Hall along with one copy of the approved development plan and any approved revisions thereto.

(3) Commercial development not in compliance with an approved development plan shall not be eligible for occupancy/use until all corrective measures are taken to satisfy the requirements herein.

**(D) Sketch plan requirements and procedure.**

(1) The sketch plan should be drawn to scale, preferably the scale required for development plan submittal. Required information shall include the following:

- (a) Property boundaries and total acreage and square footage;
- (b) Major topographical and physical features (i.e., water bodies, slopes, buildings, areas of environmental concern, streets and the like);
- (c) Proposed streets, buildings and/or lot arrangement;
- (d) Existing and proposed land use with brief project description including building sizes, unit sizes, lot sizes, open space, amenities and the like;
- (e) Name, address and telephone number of applicant/owner and persons (FIRM) preparing the development plan;
- (f) Adjacent street names, numbers and right-of-way widths; and
- (g) Zoning district classification of site and surrounding properties, including those across streets.

(2) The sketch plan shall be submitted providing at least nine copies.

**(E) Development plan requirements and procedure. (EXHIBITS 1 & 2)**

(1) The development plan shall be drawn to scale of one inch equals 30 feet unless otherwise approved by the Planning Board. Required information may be waived and/or recommended information required at the discretion of the Planning Board, where special circumstances avail. The development plan shall be submitted providing the minimum required information and should contain all applicable recommended information:

- (a) Existing and proposed topographic contours, at vertical intervals no greater than two feet, of development areas;
- (b) The location, use and outline of existing and proposed buildings and structures;
- (c) Square footage and total percentage of built upon area;
- (d) The location of proposed open spaces;
- (e) The location, name, pavement width and right-of-way width of existing streets;
- (f) The location, name, pavement width, curb type, right-of-way width, pavement type, sidewalk location and curb cuts of all proposed street and parking facilities and site improvement.
- (g) The location of all existing and proposed utilities including electrical, water, sewage, telephone, fiber optic and gas facilities (including easements); all utilities must be underground;
- (h) The location of all existing and proposed drainage facilities necessary to serve the site (including easements);
- (i) Schedule of densities showing the number and type of units per acre;
- (j) Schedule of building uses, by type, showing the number of bedrooms, the number of units and floor area;
- (k) Buffer and screening devices proposed to separate uses within the development;
- (l) Proposed perimeter buffers and screening devices;
- (m) Proposed schedule of development for each phase of the project showing anticipated time for completion and estimated completion dates;
- (n) Property line survey and acreage data;
- (o) Vicinity map at a scale of one inch equals 400 feet and encompassing an area no less than one-fourth

mile in radius of the site and including:

1. Existing streets;
  2. Existing watercourses and FEMA flood hazard areas; and
  3. Existing land uses on the site and in the area surrounding the site.
- (p) Written and graphic scale, north arrow and title;
- (q) Proposed name of development;
- (r) Technical report containing:
1. A description of the project including general characteristics, development concept, architectural design and amenities;
  2. A general assessment of impact showing the proposed impact upon all affected utilities, transportation facilities, the environment, the local economy and local government; and
  3. Engineering report to demonstrate adequacy of existing and proposed public facilities;
- (s) Name, address and telephone number of the applicant and persons (FIRM) preparing the development plan;
- (t) Zoning district classification of site and surrounding properties, including those across street(s);
- (u) Owner names of surrounding properties;
- (v) Existing driveway cuts on all adjacent properties (including those across the street(s); and
- (w) Certificate of review and approval of the technical standards: **(EXHIBIT 1a)**

"I hereby certify that I have reviewed the plan and the plan meets or exceeds the regulations and Ordinances of the Town of North Topsail Beach.

Public Works Director	Date
Fire Marshal	Date
Police Chief	Date
Building Inspector	Date
Planning Director	Date

(2) Development plans requiring consideration by the Board of Aldermen shall be submitted in sets of nine copies for Planning Board and eight copies for the Board of Aldermen upon recommendation by the Planning Board. Applicants are encouraged to submit the eight copies for Aldermen review after receiving and incorporating comments resulting from the Planning Board's recommendation. Facilities and/or improvement proposed for dedication to the state, the county and/or the town and/or their political subdivisions shall be submitted for design approval and plan. Before constructing, detailed plans and specification, prepared by a licensed professional engineer, shall be reviewed and approved by each relevant entity in accordance with their respective policies regarding said facilities and/or improvements. Approval of the development plan does not imply or satisfy approval requirements for such facilities and/or improvements.

**(F) As-built development plan requirements.**

(1) The as-built development plan shall be submitted in accordance with subsection (C) above, and the following requirements.

(a) The as-built development plan shall constitute only that portion of the approved development plan proposed for occupancy and/or use at that time.

(b) An as-built development plan may be required to show or be accompanied by the following information subject to the discretion of the Planning Director:

- i. Name of development;
- ii. Date including the month, day and year of the original drawings and of each revision;
- iii. Names and addresses of the owner of record, the applicant, the land planner, the surveyor and the engineer;
- iv. Boundary lines of the development with distances accurate to hundredths of a foot and bearings of

one-half a minute;

v. Building height,

vi. Radii, central angles, tangents, length of acres and curvature of all new street lines;

vii. Lines and widths of all easements with dimensions accurate to hundredths of a foot and notation of the purpose of the easement or any limitations on its use;

viii. The location and elevation of the benchmark to which contour elevation refer;

ix. Lot number and a statement of the total number of lots. Lot lines shall be defined by distances in hundredths of a foot and in degrees to the nearest one-half of a minute, either by magnetic bearings or by angles of deflection from other lot and street lines;

x. Building setback lines with dimensions;

xi. Statement of the intended use of all commercial areas, with reference to existing or proposed restrictions;

xii. Accurate boundaries and specific designation of any area to be dedicated or reserved for public use of acquisition; and

xiii. Accurate boundaries of flood hazards areas and areas of environmental concern.

(c) Certificate of ownership and dedication:

"I hereby certify that I am the owner of the property shown and described hereon, which is located in the Corporate Limits of the Town of North Topsail Beach, and that I hereby adopt this development plan with my free consent, establish minimum building setback lines, and dedicate all streets, walks, parks, and other sites and easement to public or private use as noted. Furthermore, I hereby dedicate all sanitary sewer and water lines to the appropriate agency.

Owner Date"

(d) Certificate of survey and accuracy:

"I, \_\_\_\_\_ certify that this map was (drawn under my supervision) (deed description recorded in Book \_\_\_\_, page \_\_\_\_, etc.)(other specify); that the error of closure as calculated by latitudes and departures is 1: \_\_; that the boundaries not surveyed are shown as broken lines platted from information found in Book \_\_\_\_, page and seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, A.D.

Surveyor, Date

Registration No.,

Seal

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_.

Notary Public Seal

(e) Certification of the approval of streets and utilities:

We hereby certify: 1) that streets, utilities, and other improvements have been installed within the Development shown and described here on in an acceptable manner and in accordance with design standards of the applicable regulations and Zoning Ordinance, Town of North Topsail Beach, North Carolina and other specification so the town: or, 2) that a security bond in the amount of \$\_\_\_\_, case in the amount of \$\_\_\_\_, or an irrevocable letter of credit payable upon demand by the town has been posted with the town to assure completion of all required improvements in case of default.

Date

Surveyor,

Registration No.,

Seal

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_

Notary Public Seal

(f) Certificate of approval of water and sewage system:

I hereby certify that the water supply system and the sewage disposal system installed or planned to be installed to serve each lot or unit within the Development shown and described here on fully meets the requirements of the Onslow County Health Department.

Environmental Health Specialist                      Date

(g) Certificate of approval for recording:

I hereby certify that the development plan shown hereon has been found to comply with the Zoning Ordinance, Town of North Topsail Beach, North Carolina with the exception of such variances, if any, as are noted in the minutes of the Board of Adjustment at its meeting on \_\_\_\_\_ and may be recorded in the Office of Clerk of Onslow County.

Planning Director                      Date

(2) The as-built development plan shall be provided in a minimum of two copies, each bearing the original signatures and executions of the aforementioned applicable certifications.

(G) Design requirements. All development shall be in conformance with the following design and/or construction requirements.

(1) Private improvements. Any and all components for development not intended and/or proposed for public facilities dedication and/or public utility shall be in conformance with the following regulations.

(a) Driveway and parking facilities construction shall be in accordance with § 6.05.

(b) Water and sewer line (collection/distribution and service) construction shall be in accordance with policies and procedures established and design requirements and construction standards established by the water and sewer authorities.

(c) Buildings and their respective appurtenances shall be constructed in accordance with policies, procedures, design requirements and construction standards established herein and by the building code adopted by the town, as amended.

(d) Signs and their respective appurtenances shall be constructed in accordance with the policies, procedures, design requirements and construction, standards established in Article 8 of this ordinance. (Ord. passed 6-1-2006; Ord. passed 11-2-2011)

## Exhibits

### 1. NORTH TOPSAIL BEACH FIRE STATION #2 DESIGN DOCUMENTS signed 1/26/2023

- a. COVER SHEET
- b. SHEET TITLE (certified)
- c. C-1.0 GENERAL NOTES
- d. C-1.1 GENERAL NOTES
- e. Ex-1 EXISTING CONDITIONS
- f. C-2.0 DEMOLITION PLAN
- g. C-2.1 SITE PLAN
- h. C-3.0 GRADING, DRAINAGE & EROSION CONTROL PLAN
- i. C-4.0 UTILITY PLAN
- j. C-5.0 DETAILS
- k. C-5.1 DETAILS
- l. C-5.2 DETAILS
- m. C-5.3 DETAILS

### 2. NORTH TOPSAIL BEACH FIRE STATION #2 DESIGN DOCUMENTS 2/3/2023

- a. A100 ARCHITECTURAL SITE PLAN / FLOOD PROOFING DIAGRAM
- b. A201 EXTERIOR ELEVATIONS
- c. A202 EXTERIOR ELEVATIONS

3. Deed 3989 Page 84

4. Notice for Public Hearing March 1, 2023

5. 2018 Appendix B

6. Order to Grant Flood Variance





NORTH  
TOPSAIL  
BEACH  
FIRE STATION 2

EXHIBIT 1a

# NORTH TOPSAIL BEACH FIRE STATION #2

EXHIBIT 1b

3304 GRAY STREET  
NORTH TOPSAIL BEACH  
ONslow COUNTY, NORTH CAROLINA 28460

## DESIGN DOCUMENTS

JANUARY 2023

FOR:  
NORTH TOPSAIL BEACH  
2008 LOGGERHEAD CT.  
NORTH TOPSAIL BEACH, NC 28460

OWNER:  
TOWN OF NORTH TOPSAIL BEACH  
2008 LOGGERHEAD CT.  
NORTH TOPSAIL BEACH, NC 28460

ENGINEER (CIVIL):  
PARAMOUNTE ENGINEERING, INC.  
122 CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: ROBERT BALLAND, P.E. (910) 791-6707

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0 & C-1.1	GENERAL NOTES
EX-1	EXISTING CONDITIONS
C-2.0	DEMOLITION PLAN
C-2.1	SITE PLAN
C-3.0	GRADING, DRAINAGE & EROSION CONTROL PLAN
C-4.0	UTILITY PLAN
C-5.0 - C-5.3	DETAILS

CERTIFICATE OF REVIEW AND APPROVAL OF THE TECHNICAL STANDARDS  
I HEREBY CERTIFY THAT I HAVE REVIEWED THE PLAN AND THE PLAN MEETS OR EXCEEDS THE  
REGULATIONS AND ORDINANCES OF THE TOWN OF NORTH TOPSAIL BEACH.

*Scott R. Edwards* 1-1-2023  
PUBLIC WORKS DIRECTOR DATE

*Robert Balland* 01 Feb 2023  
FIRE MARSHAL DATE

*Robert Balland* 02-02-2023  
POLICE CHIEF DATE

*Robert Balland* 1/31/2023  
BUILDING INSPECTOR DATE

*Robert Balland* 2/3/2023  
PLANNING DIRECTOR DATE

**NOTICE REQUIRED**

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT 811

CONTACT THESE UTILITIES

NORTH TOPSAIL BEACH PLANNING DEPARTMENT  
ATTN: DEBORAH HILL, MPA, MCP, CFM, C20  
PH: 910-328-1349 EXT. 7

NCDEQ STORMWATER  
ATTN: CHRISTINE HALL  
PH: 910-798-7335

PLURIS - SANITARY SEWER  
ATTN: KAAREN WILLIAMS  
PH: 910-218-1653

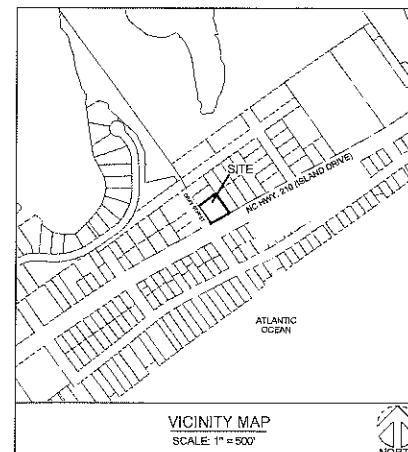
EMERGENCY DIAL 911  
POLICE - FIRE - RESCUE

ONslow WATER AND SEWER AUTHORITY - WATER  
ATTN: WINNIE RAY  
PH: 910-637-7536

DUKE ENERGY PROGRESS  
ATTN: KEVIN LEATHERWOOD  
PH: 910-602-4504

CENTURY LINK  
PH: 910-342-7452

SPECTRUM CABLE  
ATTN: STEVE BARNETTE  
PH: 910-772-6195

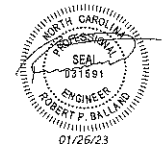


OWNER:  
*Town of*  
**NORTH TOPSAIL BEACH**  
FOUNDED IN 1950 *North's Tropical Beauty* NORTH CAROLINA

PREPARED BY:  
**PARAMOUNTE**  
ENGINEERING, INC.

122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

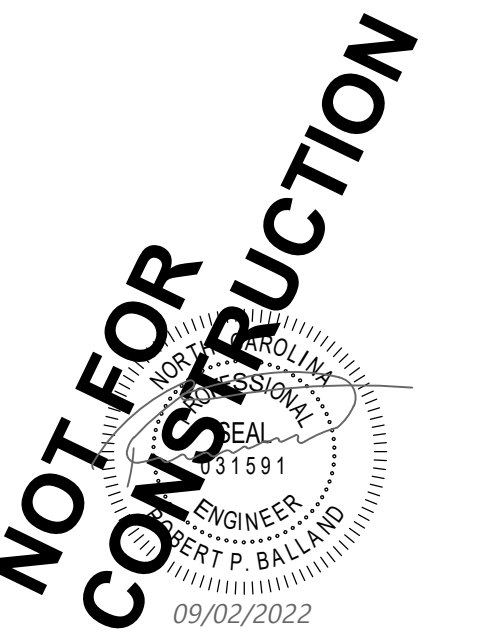
PROJECT # 22242.PE



FINAL DESIGN - ISSUED FOR CONSTRUCTION



**EXHIBIT 1d**



PROJECT TITLE  
**NORTH TOPSAIL  
BEACH FIRE  
STATION #2**  
3304 GRAY STREET  
NORTH TOPSAIL BEACH, NC  
28460

**DESIGN  
DOCUMENTS**  
NOT FOR CONSTRUCTION  
NOT FOR PERMITS  
12/09/22

SHEET TITLE  
**GENERAL NOTES**

ISSUE LOG

NO.	DATE	DESCRIPTION

Mark Date Description


PROJECT NO: 22242.PE  
DATE: 01/26/2022  
SCALE: N.T.S.  
DRAWN BY: RPB PROJ MGR: RPB

**C-1.1**

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**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**  
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**  
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"><li>Temporary grass seed covered with straw or other mulches and tackifiers</li><li>Hydroseeding</li><li>Roller erosion control products with or without temporary grass seed</li><li>Appropriately applied straw or other mulch</li><li>Plastic sheeting</li></ul>	<ul style="list-style-type: none"><li>Permanent grass seed covered with straw or other mulches and tackifiers</li><li>Geotextile fabrics such as permanent soil reinforcement matting</li><li>Hydroseeding</li><li>Shrubs or other permanent plantings covered with mulch</li><li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li><li>Structural methods such as concrete, asphalt or retaining walls</li><li>Roller erosion control products with grass seed</li></ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWL List of Approved PAMS/flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWL List of Approved PAMS/flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**  
1. Maintain vehicles and equipment to prevent discharge of fluids.  
2. Provide drip pans under any stored equipment.  
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.  
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).  
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.  
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

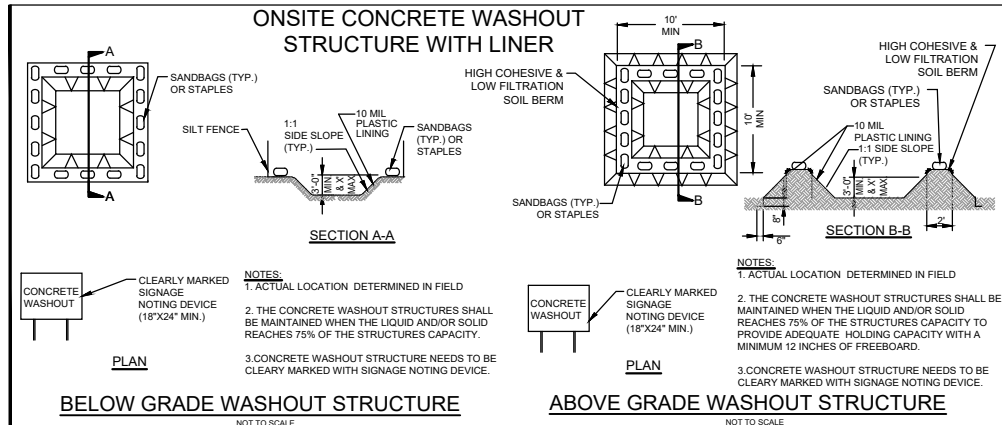
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials on-site.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19**

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts; If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measures, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge outfall(s) inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or off-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading; installation of perimeter E&S measures; clearing and grubbing; installation of storm drainage facilities; completion of all land-disturbing activity; construction or redevelopment; permanent ground cover. 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. E&S Plan Documentation**  
The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&S Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S Plan.	Initial and date each E&S Measure on a copy of the approved E&S Plan or complete, date and sign an inspection report that lists each E&S Measure shown on the approved E&S Plan. This documentation is required upon the initial installation of the E&S Measures or if the E&S Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S Plan.	Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S Measures.	Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation**  
In addition to the E&S Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on an Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. (40 CFR 122.41)

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

**1. Occurrences that must be reported**

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume), or
  - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

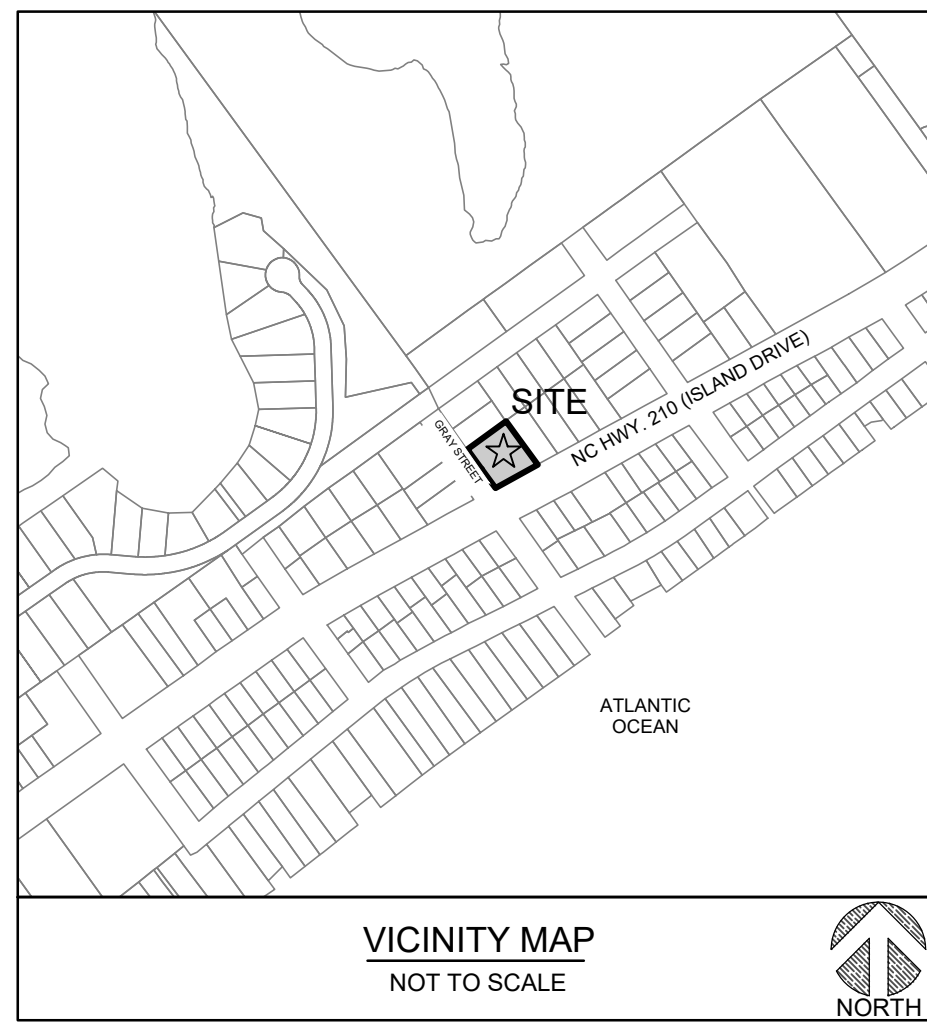
**2. Reporting Timeframes and Other Requirements**

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"><li>Within 24 hours, an oral or electronic notification.</li><li>Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li><li>If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring; inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li></ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"><li>Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li><li>A report of least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.</li></ul>
(c) Anticipated bypasses (40 CFR 122.41(m)(3))	<ul style="list-style-type: none"><li>Within 24 hours, an oral or electronic notification.</li><li>Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.</li></ul>
(d) Unanticipated bypasses (40 CFR 122.41(m)(3))	<ul style="list-style-type: none"><li>Within 24 hours, an oral or electronic notification.</li><li>Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(i)(6)).</li><li>Division staff may waive the requirement for a written report on a case-by-case basis.</li></ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(i)(7))	<ul style="list-style-type: none"><li>Within 24 hours, an oral or electronic notification.</li><li>Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(i)(6)).</li><li>Division staff may waive the requirement for a written report on a case-by-case basis.</li></ul>

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19**





**SITE INFORMATION**  
 PROJECT ADDRESS: 3304 GRAY STREET  
 NORTH TOPSAIL BEACH, NC 28460

APPLICANT/DEVELOPER: TOWN OF NORTH TOPSAIL BEACH  
 2008 LOGGERHEAD COURT  
 NORTH TOPSAIL BEACH, NC 28460

PROPERTY OWNER: TOWN OF NORTH TOPSAIL BEACH  
 2008 LOGGERHEAD COURT  
 NORTH TOPSAIL BEACH, NC 28460

TAX PARCEL IDENTIFICATION #: 040481 & 040459

RECORDED DEED BOOK: DB 3989 PG 84

CURRENT ZONING: CUR-5

EXISTING USE: FIRE STATION  
 PROPOSED USE: FIRE STATION

TOTAL SITE AREA: ± 0.38 AC / ± 16,501 SF

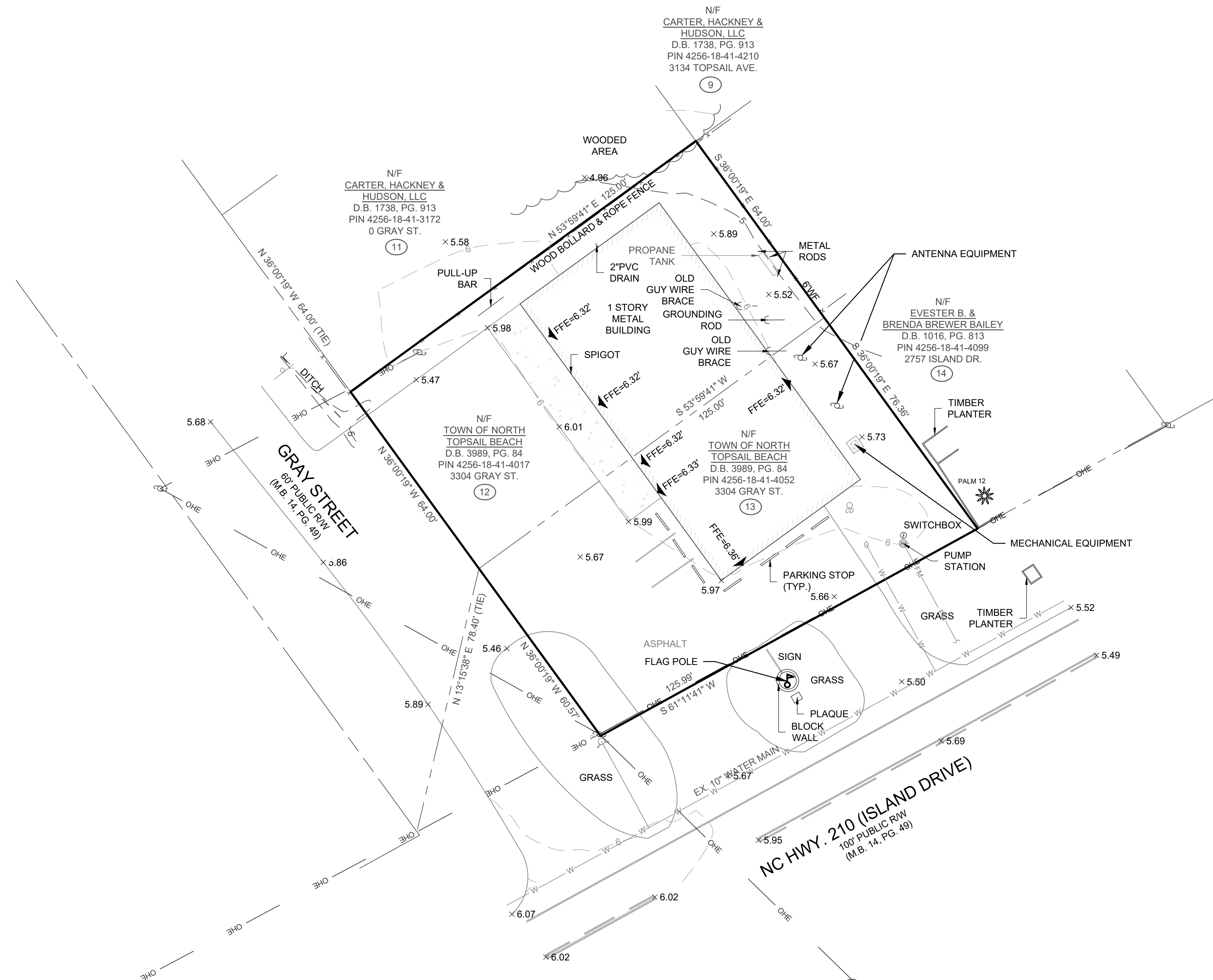
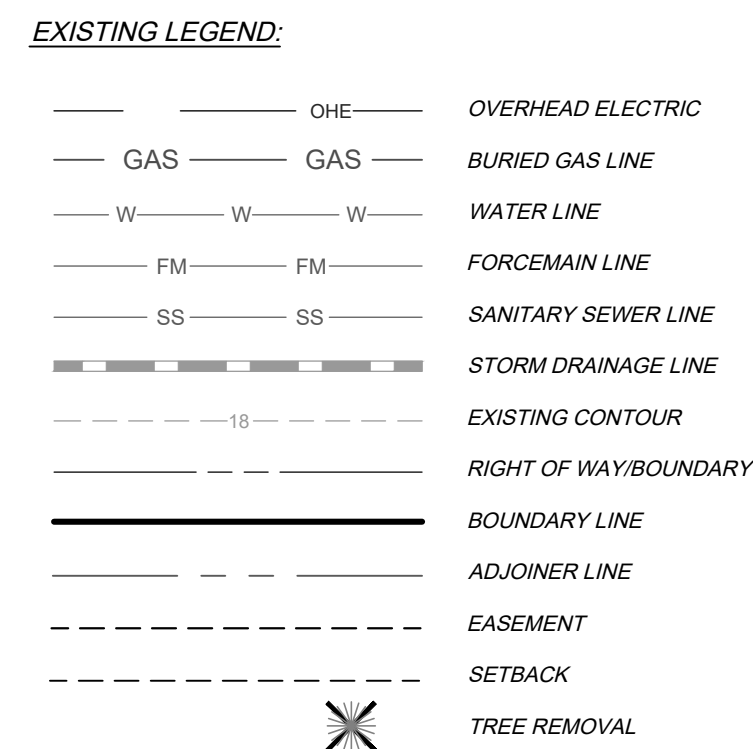
WETLAND AREA: NO WETLANDS EXIST ON SITE

SURFACE WATERS: NO SURFACE WATERS EXIST ON SITE

FLOOD INFORMATION: SITE IS LOCATED IN AN AE SPECIAL FLOOD HAZARD AREA (BFE 12) AS SHOWN ON FEMA FLOOD MAP NO. 3720425600K BEARING AN EFFECTIVE DATE OF JUNE 19, 020.

CAMA AREAS OF CONCERN: 575' OF OUTSTANDING RESOURCE WATERS

**SOILS**  
 1. ALL SOILS ON THE SITE ARE TYPE NEWHAN-COROLLA-URBAN, ACCORDING TO ONSLOW COUNTY WEB DATA.



**PARAMOUNTE**  
 ENGINEERING, INC.

122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (C) (910) 791-6760 (F)  
 NC License #: C-2846 - SC License #: 003542

**BECKER**  
**MORGAN**  
 GROUP

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Delaware  
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 302.734.7950

The Tower at STAR Campus  
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 Newark, DE 19713  
 302.369.3700

www.beckermorgan.com

*Town of*  
**NORTH TOPSAIL BEACH**  
 FOUNDED IN 1899 *Historic Tropical Beauty* NORTH CAROLINA

**EXHIBIT 1e**



PROJECT TITLE  
**NORTH TOPSAIL BEACH FIRE STATION #2**

3304 GRAY STREET  
 NORTH TOPSAIL BEACH, NC 28460

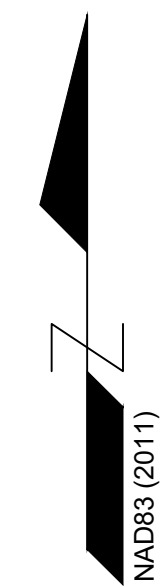
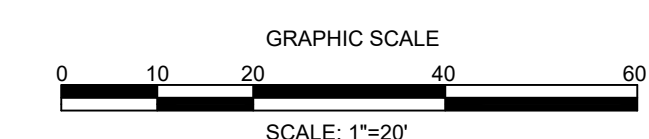
**DESIGN DOCUMENTS**  
 NOT FOR CONSTRUCTION  
 NOT FOR PERMITS  
 12/09/22

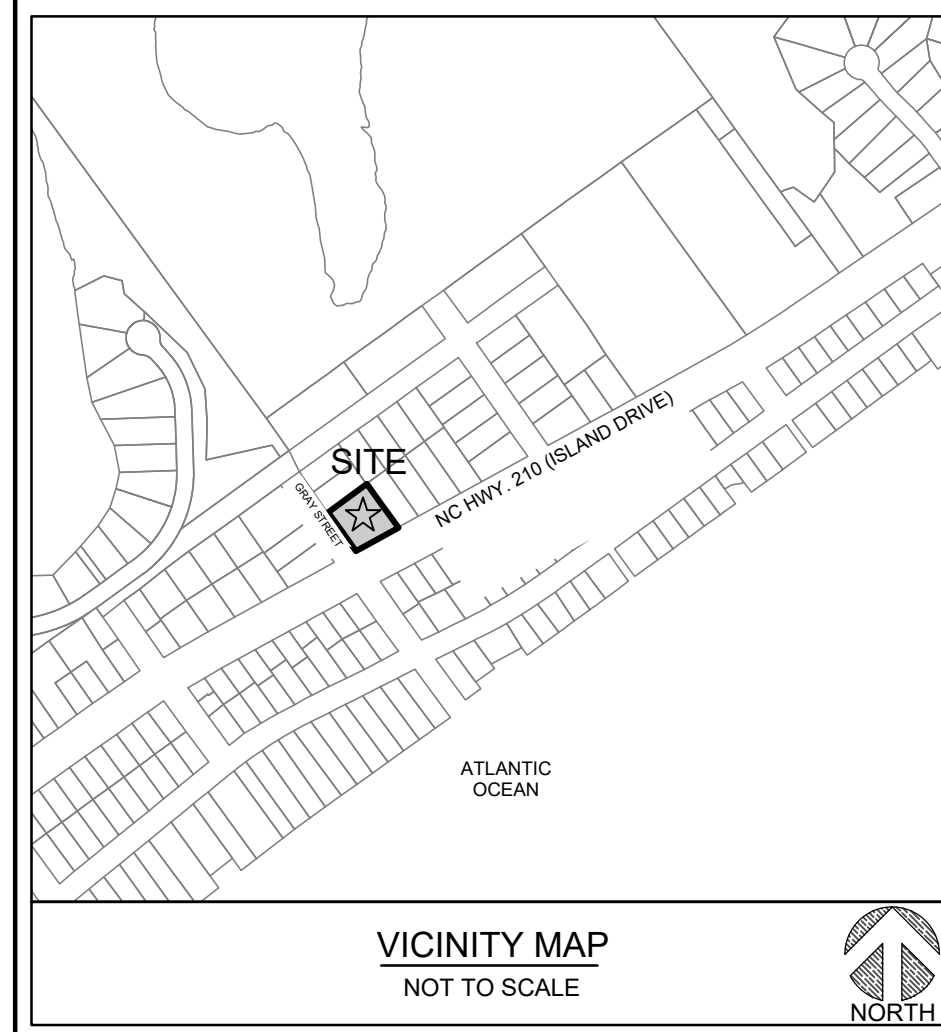
SHEET TITLE  
**EXISTING CONDITIONS**

Mark	Date	Description
PROJECT NO:	22242.PE	
DATE:	01/26/2022	
SCALE:	1"=20'	
DRAWN BY:	RPB	PROJ MGR: RPB

**EX-1**

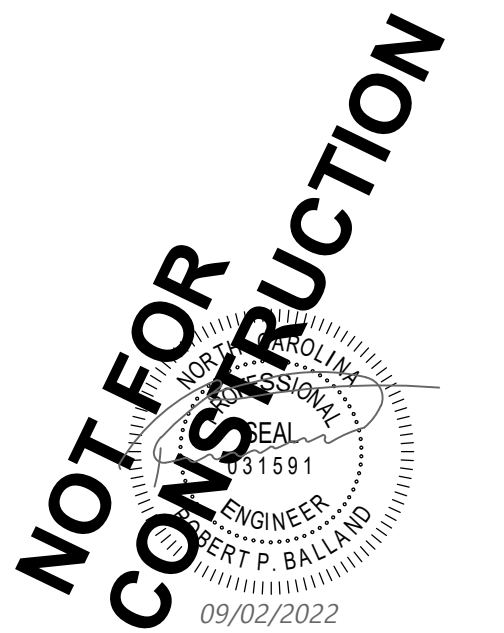
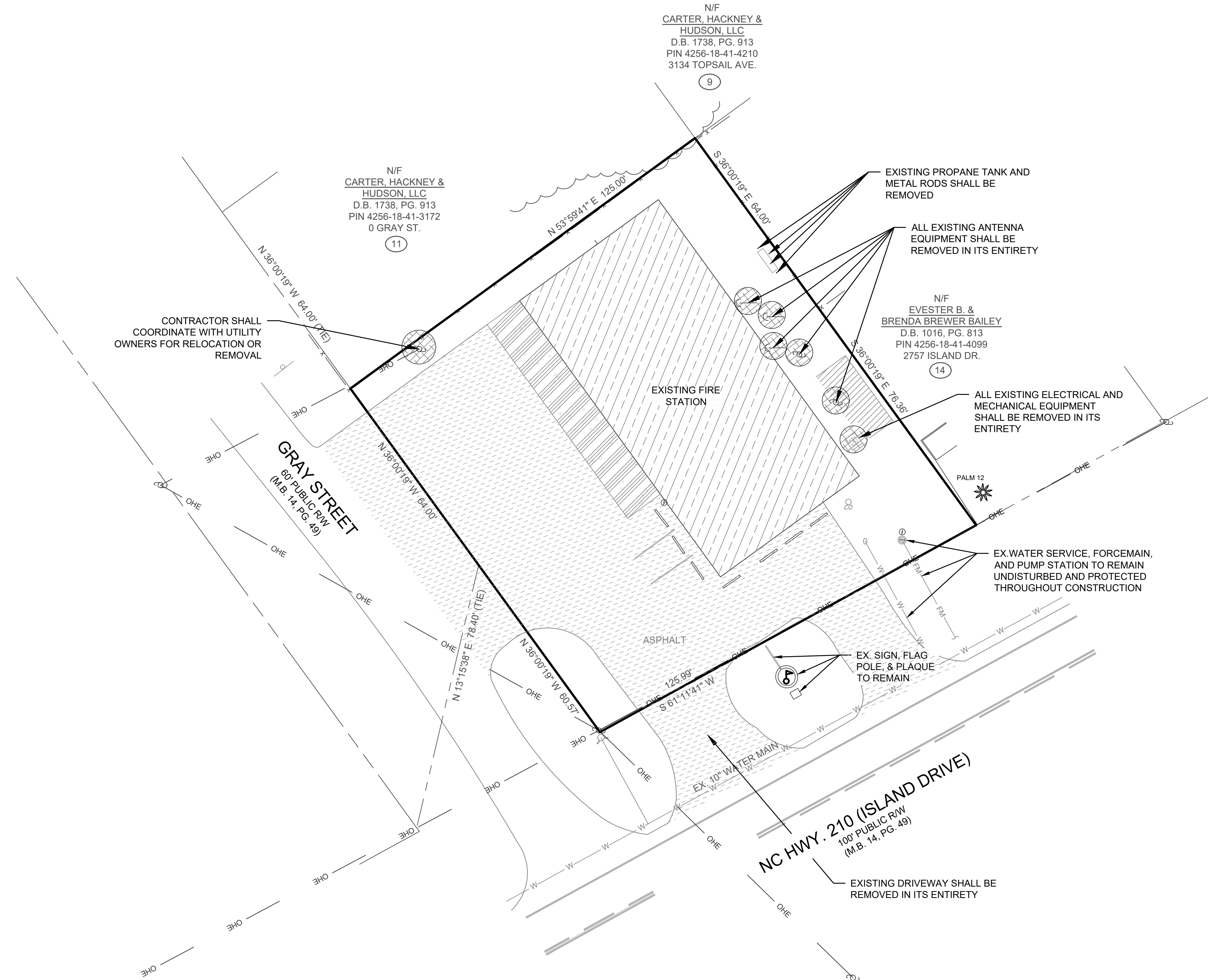
COPYRIGHT © 2022





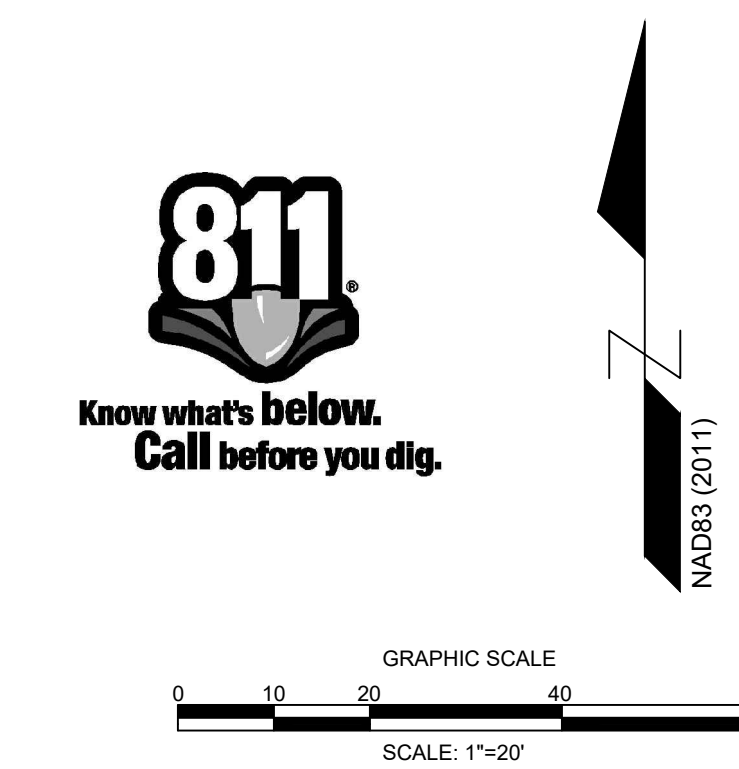
- DEMOLITION NOTES:**
- CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR DEMOLITION NOTES.
  - CONTRACTOR SHALL MAKE NO PAVEMENT CUTS INTO GRAY STREET OR NC HIGHWAY 210 WITHOUT THE WRITTEN PERMISSION OF THE TOWN OF NORTH TOPSAIL BEACH OR THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AS APPROPRIATE.
  - ALL UTILITIES SHALL BE ABANDONED AND/OR DEMOLISHED AND CAPPED PROPERLY IN ACCORDANCE WITH THE UTILITY OWNERS' RULES AND REGULATIONS.
  - CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY OWNERS/PROVIDERS FOR RELOCATION AND/OR DEMOLITION REQUIRED.

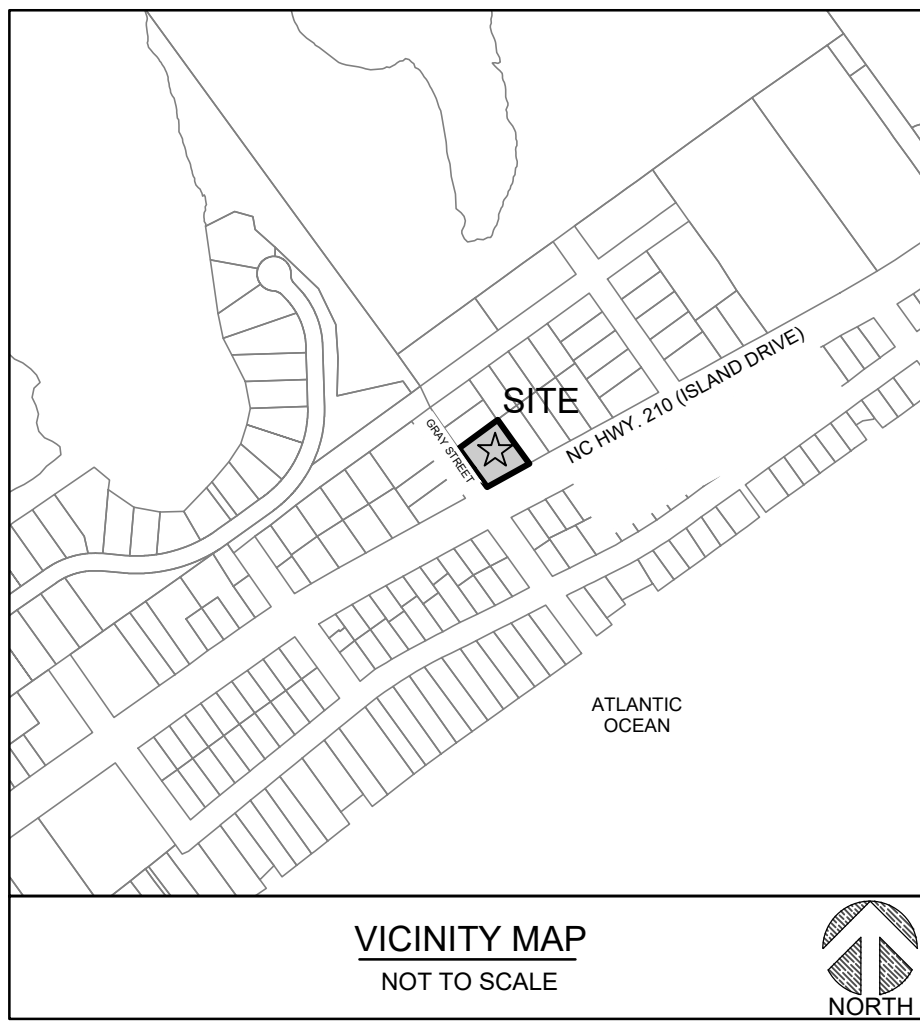
SYMBOLS LEGEND	
	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED ONLY, BASE TO REMAIN
	EXISTING STORM STRUCTURE TO BE REMOVED
	EXISTING WATER & SEWER SERVICES TO BE REMOVED
	EXISTING TRANSFORMER/SIGN/LIGHT/PEDESTAL/UTILITY POLE/ELECTRICAL/MECHANICAL TO BE REMOVED
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING
	EXISTING TREE/SHRUBS TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	EXISTING CURBING TO BE REMOVED
	EXISTING UTILITY LINE TO BE REMOVED



Mark	Date	Description

PROJECT NO:	22242.PE
DATE:	01/26/2022
SCALE:	1"=20'
DRAWN BY:	RPB   PROJ MGR: RPB





VICINITY MAP  
NOT TO SCALE

**SITE INFORMATION**

PROJECT ADDRESS: 3304 GRAY STREET  
NORTH TOPSAIL BEACH, NC 28460

APPLICANT/DEVELOPER: TOWN OF NORTH TOPSAIL BEACH  
2008 LOGGERHEAD COURT  
NORTH TOPSAIL BEACH, NC 28460

PROPERTY OWNER: TOWN OF NORTH TOPSAIL BEACH  
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TAX PARCEL IDENTIFICATION #: 040481 & 040459

RECORDED DEED BOOK: DB 3989 PG 84

CURRENT ZONING: CUR-5

EXISTING USE: FIRE STATION

PROPOSED USE: FIRE STATION

TOTAL SITE AREA: ± 0.38 AC / ± 16,501 SF

WETLAND AREA: NO WETLANDS EXIST ON SITE

SURFACE WATERS: NO SURFACE WATERS EXIST ON SITE

FLOOD INFORMATION: SITE IS LOCATED IN AN AE SPECIAL FLOOD HAZARD AREA (BFE 12) AS SHOWN ON FEMA FLOOD MAP NO. 3720425600K BEARING AN EFFECTIVE DATE OF JUNE 19, 020.

CAMA AREAS OF CONCERN: 575' OF OUTSTANDING RESOURCE WATERS

**DIMENSIONAL REQUIREMENTS**

R-5	REQUIRED	PROVIDED
MAXIMUM LOT COVERAGE:	30% (4,950 SF)	82% (13,556 SF / 16,501)
MINIMUM FRONT SETBACK (GRAY ST):	20'	20.6'+
MINIMUM REAR SETBACK:	10'	10.2'+
MINIMUM INTERIOR SIDE SETBACK:	8'	8'+
MINIMUM CORNER LOT SIDE SETBACK:	15'	15.1'+
MAXIMUM BUILDING HEIGHT:	48'	43' (2 STORIES)

**SITE PARKING DATA**

MINIMUM PARKING REQUIRED: 1 SPACE PER EMPLOYEE PLUS 1 SPACE FOR EACH 5 SEATS IN THE LARGEST ASSEMBLY ROOM

PARKING SPACES PROVIDED: 7 SPACES

HANDICAP PARKING REQUIRED: 1 SPACE

HANDICAP PARKING PROVIDED: 1 SPACE

**SOILS**

1. ALL SOILS ON THE SITE ARE TYPE NEWHAN-COROLLA-URBAN, ACCORDING TO ONSLOW COUNTY WEB DATA.

**IMPERVIOUS INFORMATION**

TOTAL EXISTING ON-SITE IMPERVIOUS AREA:	12,157 SF
TOTAL ON-SITE PROPOSED IMPERVIOUS AREA:	11,968 SF
DIFFERENCE (PROPOSED - EXISTING) =	-189 SF
TOTAL ON-SITE PERVIOUS CONCRETE AREA:	1,588 SF
TOTAL EXISTING OFF-SITE IMPERVIOUS AREA:	3,101 SF
TOTAL PROPOSED OFF-SITE IMPERVIOUS AREAS:	2,731 SF
DIFFERENCE (PROPOSED - EXISTING) =	-370 SF

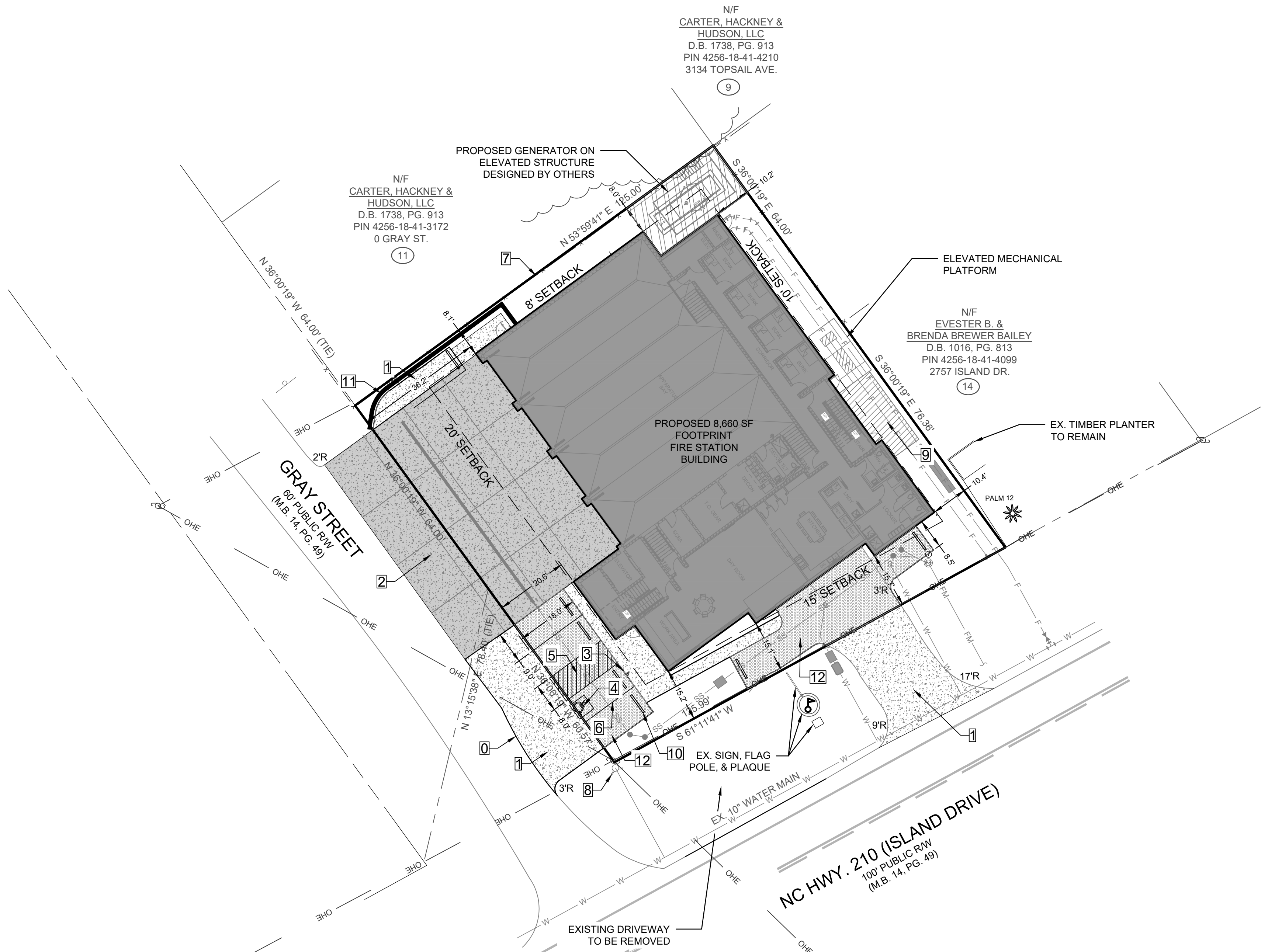
- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET TOWN AND/ OR NC DOT STANDARDS.
  - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
  - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - THERE WILL BE NO SOLID WASTE DISPOSAL ON SITE.

**EXISTING LEGEND:**

- OHE OVERHEAD ELECTRIC
- GAS BURIED GAS LINE
- W-W-W WATER LINE
- FM-FM-FM FORCEMAIN LINE
- SS-SS-SS SANITARY SEWER LINE
- STORM DRAINAGE LINE
- EXISTING CONTOUR
- RIGHT OF WAY/BOUNDARY
- BOUNDARY LINE
- ADJOINER LINE
- EASEMENT
- SETBACK
- TREE REMOVAL

**PROPOSED LEGEND:**

- X-X-X FENCING, TYPE AS SPECIFIED
- W-W-W WATER LINE
- FM-FM-FM FORCEMAIN LINE
- SS-SS-SS SANITARY SEWER LINE
- CONCRETE
- PERVIOUS CONCRETE



- KEY NOTES:**
- EDGE OF EXISTING ROAD
  - LIGHT DUTY CONCRETE PAVING REFER TO DETAIL
  - HEAVY DUTY CONCRETE PAVING REFER TO DETAIL
  - HANDICAP PARKING SIGN - POST MOUNTED REFER TO DETAIL
  - HANDICAP PARKING SYMBOL REFER TO DETAIL
  - HANDICAP ACCESS UNLOADING ZONE SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
  - STRIPING PROVIDE 4' WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
  - EXISTING WOOD BOLLARD & ROPE FENCE
  - FIRE HYDRANT REFER TO UTILITY PLAN
  - WOOD PLATFORM
  - WHEEL STOP REFER TO DETAIL
  - SEGMENTAL BLOCK RETAINING WALL DESIGNED BY OTHERS
  - PERVIOUS CONCRETE PAVING REFER TO DETAIL

811  
Know what's below.  
Call before you dig.

GRAPHIC SCALE  
0 10 20 40 60  
SCALE: 1"=20'

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Delaware  
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Dover, DE 19904  
302.734.7950

The Tower at STAR Campus  
100 Discovery Boulevard, Suite 102  
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*Town of*  
**NORTH TOPSAIL BEACH**  
FOUNDED IN 1950 *Historic Tropical Beauty* NORTH CAROLINA

EXHIBIT 1g

**NOT FOR CONSTRUCTION**

PROJECT TITLE  
**NORTH TOPSAIL BEACH FIRE STATION #2**

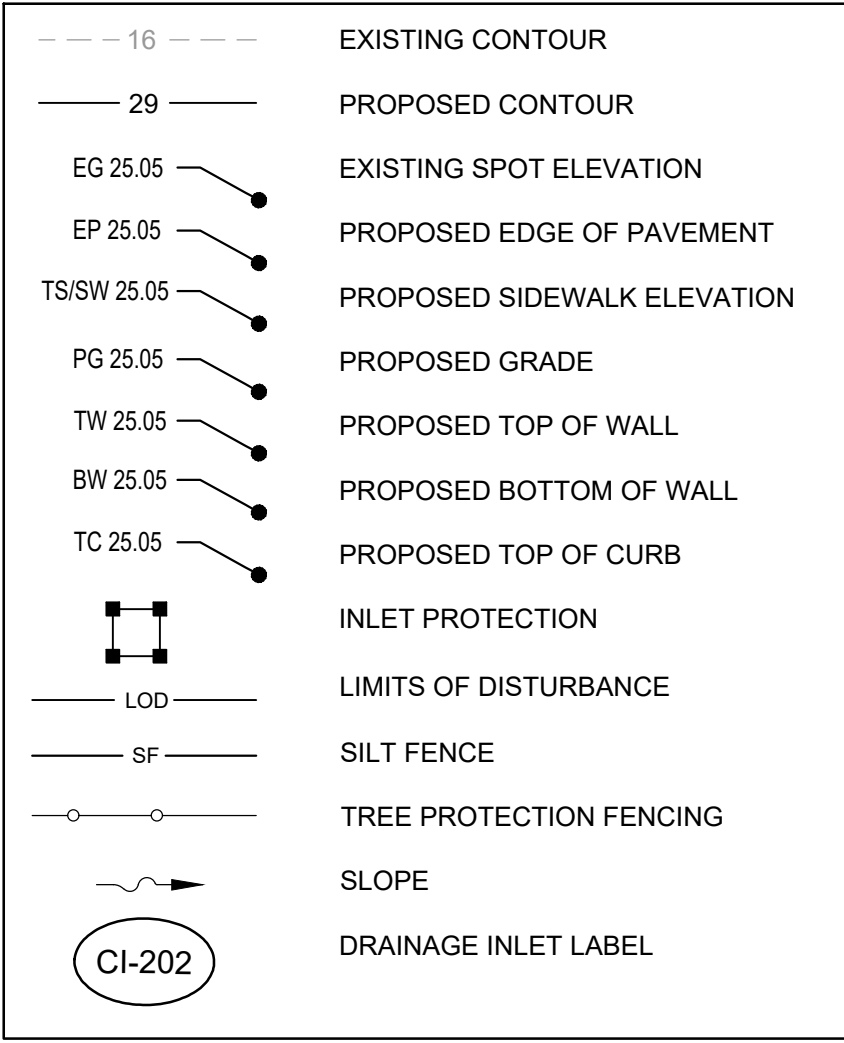
3304 GRAY STREET  
NORTH TOPSAIL BEACH, NC 28460

DESIGN DOCUMENTS  
NOT FOR CONSTRUCTION  
NOT FOR PERMITS  
12/09/22

SHEET TITLE  
**SITE PLAN**

Mark	Date	Description
PROJECT NO:	22242.PE	
DATE:	01/26/2022	
SCALE:	1"=20'	
DRAWN BY:	RPB	PROJ MGR: RPB
<b>C-2.1</b>		
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**LEGEND:**



**SPOT GRADE LEGEND:**

- CI = CURB INLET
DCB = DOUBLE CATCH BASIN
DI = DROP INLET
DDI = DOUBLE DROP INLET
YI = YARD INLET
MH = STORM MANHOLE
RMH = IN-LINE DRAIN
JB = JUNCTION BOX
BC = BOTTOM OF CURB ELEVATION
TC = TOP OF CURB ELEVATION
GC = GUTTER CURB (FLOW LINE) ELEVATION
CC = CURB CUT (FLUME) ELEVATION
PG = PROPOSED GRADE (GROUND)
GVL = PROPOSED GRAVEL GRADES
PV = PROPOSED PAVEMENT
EP = EDGE OF PAVEMENT
EG = EXISTING GRADE
TP = TOP CONCRETE PAD
FFE = FINISHED FLOOR ELEVATION
HP = HIGH POINT ELEVATION
LP = LOW POINT ELEVATION
TS = TOP OF WALK (SIDEWALK) ELEVATION
DG = DITCH GRADE ELEVATION
CL = CENTERLINE
INV = INVERT
FES = FLARED END SECTION
TWL = TOP OF WALL ELEVATION
BWL = BOTTOM OF WALL ELEVATION
(EG) = EXISTING GRADE
(XX) = EXISTING ELEVATIONS, TYP.

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**EXHIBIT 1h**



PROJECT TITLE

**NORTH TOPSAIL BEACH FIRE STATION #2**

3304 GRAY STREET
NORTH TOPSAIL BEACH, NC
28460

DESIGN DOCUMENTS
NOT FOR CONSTRUCTION
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12/09/22

SHEET TITLE

**GRADING, DRAINAGE & EROSION CONTROL PLAN**

ISSUE BLOCK

Table with 3 columns: Mark, Date, Description. Contains one row with project details.

PROJECT NO: 22242.PE
DATE: 01/26/2022
SCALE: 1"=20'
DRAWN BY: RPB | PROJ MGR: RPB

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**EROSION CONTROL NOTES:**

- 1.) NO TEMPORARY GRAVEL CONSTRUCTION ENTRANCE IS NEEDED IF EXISTING ASPHALT REMAINS DURING BUILDING CONSTRUCTION, UNLESS SEDIMENT IS LEAVING THE SITE, THEN CONTRACTOR MUST INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PER DETAIL.
2.) IF ANY EXISTING STORMWATER DROP INLETS ARE FOUND ON THE PROPERTY OR IN SURROUNDING RIGHT OF WAY, INLET PROTECTION SHALL BE INSTALLED DURING CONSTRUCTION ACTIVITIES.

**GRADING NOTES:**

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED, SEE GENERAL NOTES SHEET (C-1.0, TYP.) FOR GRADING, DRAINAGE, AND EROSION CONTROL SEQUENCE NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
2.) A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.

**ASPHALT AREA NOTE:**

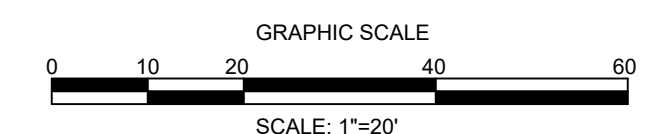
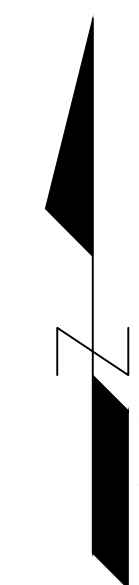
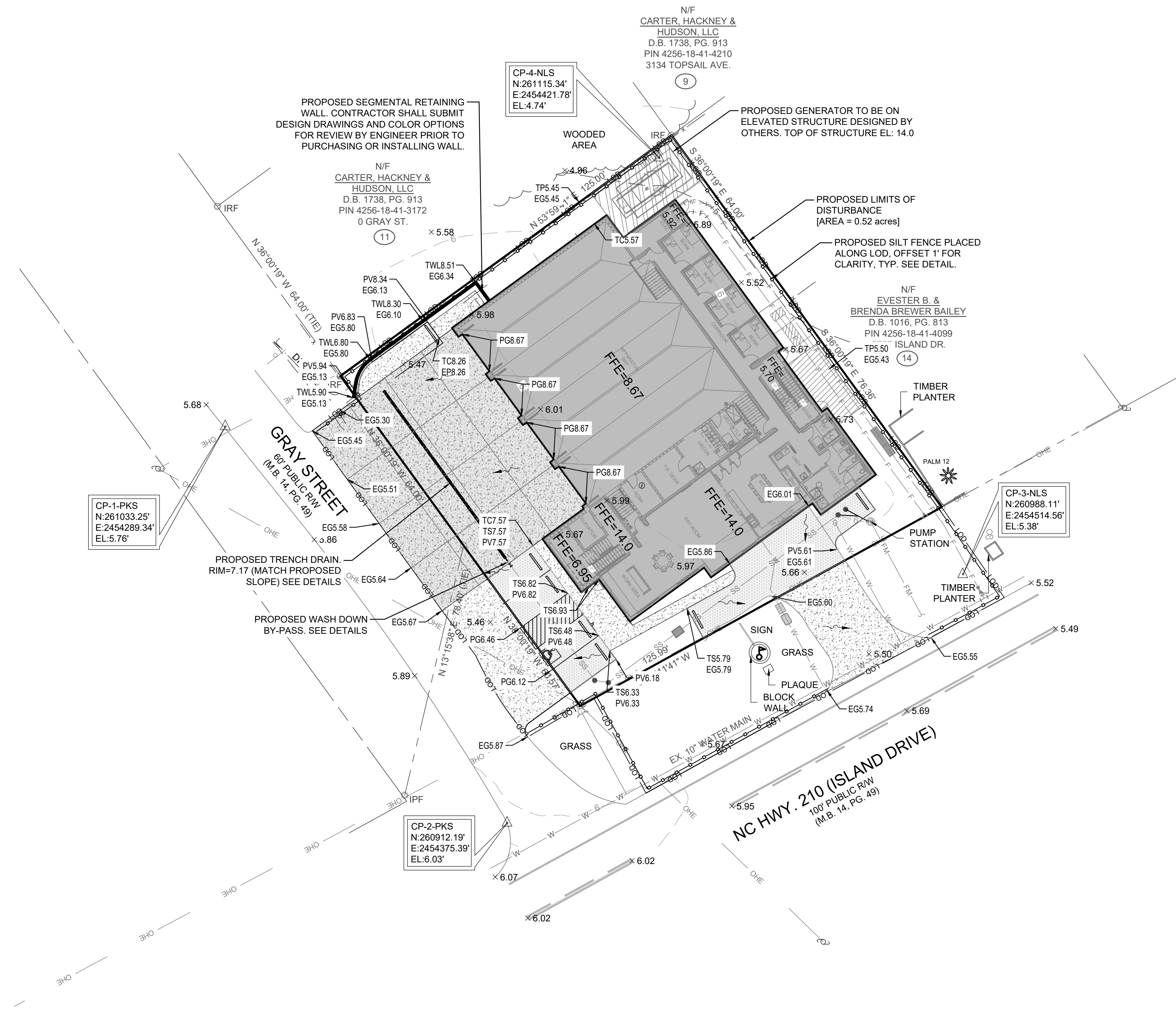
- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND/OR TECHNICAL SPECIFICATIONS.

**BUILDING PAD NOTE:**

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND/OR TECHNICAL SPECIFICATIONS.

**DRAINAGE NOTES:**

- 1.) DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES AS PERMITTED WITH THE STATE AND LOCAL MUNICIPALITY.
2.) ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM UNLESS THE APPROVED PLANS SHOW OTHERWISE.
3.) NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
4.) ALL PUBLIC STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM. PRIVATE DRAINAGE SYSTEMS SHALL BE PER APPROVED PLANS AND SPECIFICATIONS.
5.) ALL CATCH BASIN (CB) RIM ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB-LINE (SEE "CURB TRANSITION" DETAIL). FOR CATCH BASINS WITHIN A TRANSITION FROM 24" STANDARD CURB & GUTTER, THE RIM ELEVATION GIVEN IS 1/2 INCH BELOW EOP.
6.) MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
7.) PROPOSED BUILDING SHALL HAVE SPLASH PADS AT EACH DOWNSPOUT LOCATION UNLESS IT DRAINS TO AN IMPERVIOUS SURFACE.
8.) CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE TO MATCH PROPOSED GRADES.
9.) THE CONTRACTOR SHALL USE STORM PIPE PER THE SPECIFICATIONS (TYPICALLY CONCRETE OR ADS WATERTIGHT N-12 HDPE PIPE). EITHER WAY THE CONTRACTOR SHALL FOLLOW THE TRENCH DETAILS AND SPECIFICATIONS, AND THE PIPE MANUFACTURER SPECIFICATIONS.
10.) THE CONTRACTOR WILL EMPLOY A LAND SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA TO PROVIDE ACCURATE REPRODUCIBLE AS-BUILT DRAWINGS OF THE STORMWATER BASIN, COLLECTION SYSTEM, AND IMPERVIOUS AREA ON THE SITE TO THE ENGINEER & OWNER UPON COMPLETION OF CONSTRUCTION. UPON CERTIFICATION BY THE ENGINEER AND VERIFICATION FROM THE OWNER ANY DISCREPANCIES WILL BE INDICATED, THEN THESE PLANS SHALL BE RETURNED TO THE CONTRACTOR FOR CORRECTION PRIOR TO FINAL PAYMENT AND FINAL INSPECTION.





**SITE INFORMATION**

PROJECT ADDRESS: 3304 GRAY STREET  
NORTH TOPSAIL BEACH, NC 28460  
APPLICANT/DEVELOPER: TOWN OF NORTH TOPSAIL BEACH  
2008 LOGGERHEAD COURT  
NORTH TOPSAIL BEACH, NC 28460  
PROPERTY OWNER: TOWN OF NORTH TOPSAIL BEACH  
2008 LOGGERHEAD COURT  
NORTH TOPSAIL BEACH, NC 28460  
TAX PARCEL IDENTIFICATION #: 040481 & 040459  
RECORDED DEED BOOK: DB 3989 PG 84  
CURRENT ZONING: CUR-5  
EXISTING USE: FIRE STATION  
PROPOSED USE: FIRE STATION  
TOTAL SITE AREA: ± 0.38 AC / ± 16,501 SF  
WETLAND AREA: NO WETLANDS EXIST ON SITE  
SURFACE WATERS: NO SURFACE WATERS EXIST ON SITE  
FLOOD INFORMATION: SITE IS LOCATED IN AN AE SPECIAL FLOOD HAZARD  
AREA (BFE 12) AS SHOWN ON FEMA FLOOD MAP NO.  
3720425600K BEARING AN EFFECTIVE DATE OF JUNE 19,  
020.  
CAMA AREAS OF CONCERN: 575' OF OUTSTANDING RESOURCE WATERS

**WATER AND SEWER CAPACITY**

FIRE OR RESCUE STATIONS WITH ON-SITE STAFF - 50GAL/PERSON/SHIFT: 10 @ 50 GAL= 500 GPD  
TOTAL = 500 GPD

**UTILITY INFORMATION**

CONTRACTOR SHALL INSTALL WATER AND SEWER SERVICES IN ACCORDANCE WITH  
ONWASA AND PLURIS STANDARD DETAILS AND SPECIFICATIONS AS APPROPRIATE.

**SANITARY SEWER**

THIS PROJECT WILL CONNECT TO AN EXISTING PRIVATE SANITARY SEWER PUMP STATION THAT IS  
LOCATED ON THE SUBJECT PROPERTY. ALL SANITARY SEWER ALLOCATION IS PROVIDED BY  
PLURIS.

**WATER**

THIS PROJECT WILL CONNECT TO AN EXISTING 10" WATER MAIN LOCATED WITHIN THE NC HWY 210  
RIGHT OF WAY. THIS PROJECT WILL UTILIZE THE EXISTING WATER AND METER SERVICE.  
DOMESTIC WATER ALLOCATION PROVIDED BY ONWASA.

**UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906)**

1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
3. CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
5. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
6. PER RULE .0904, ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 30" OVER TOP OF PIPE.

**FIRE & LIFE SAFETY NOTES:**

1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
2. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
3. A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
4. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
5. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FDC'S OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL ALWAYS BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC'S.
6. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THIS PROJECT.
7. ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.



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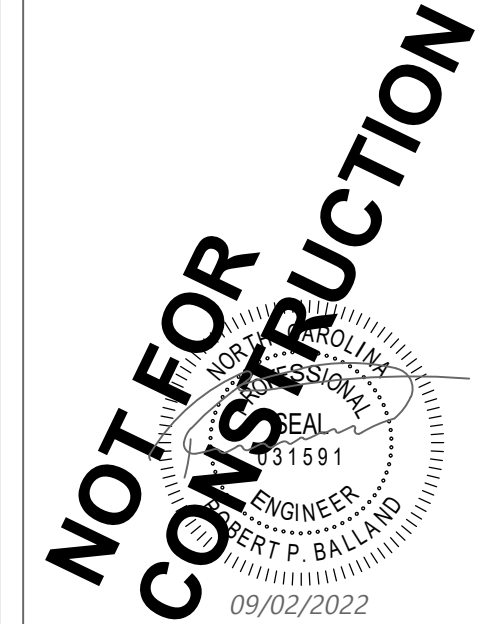


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Newark, DE 19713  
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EXHIBIT 1i



PROJECT TITLE  
**NORTH TOPSAIL BEACH FIRE STATION #2**  
3304 GRAY STREET  
NORTH TOPSAIL BEACH, NC 28460

**DESIGN DOCUMENTS**  
NOT FOR CONSTRUCTION  
NOT FOR PERMITS  
12/09/22

SHEET TITLE  
**UTILITY PLAN**

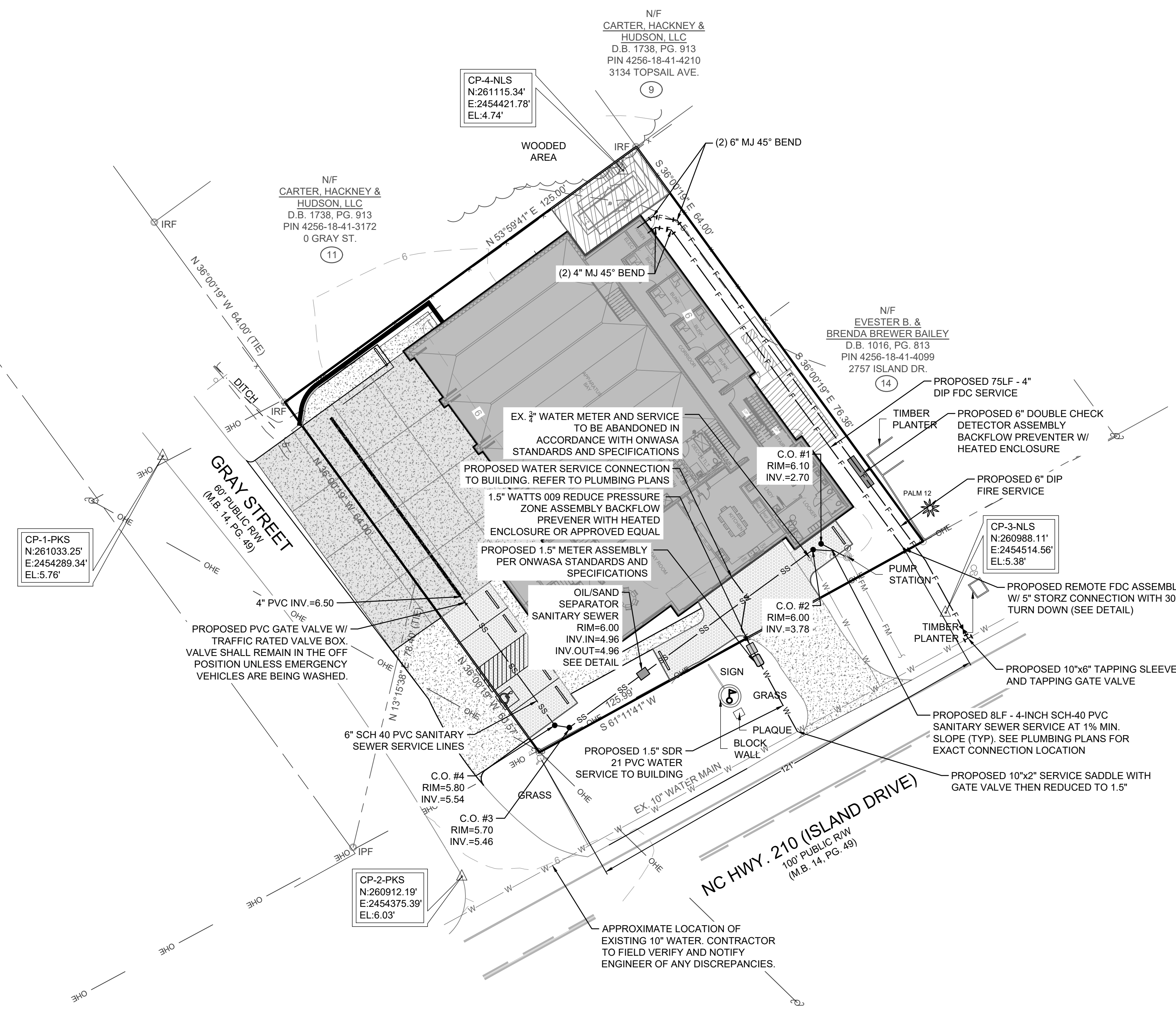
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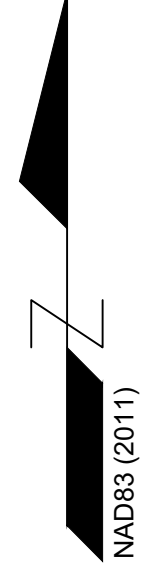
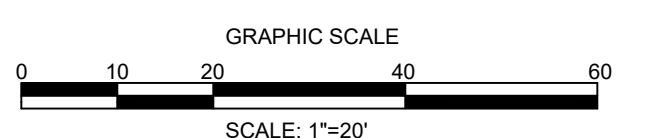
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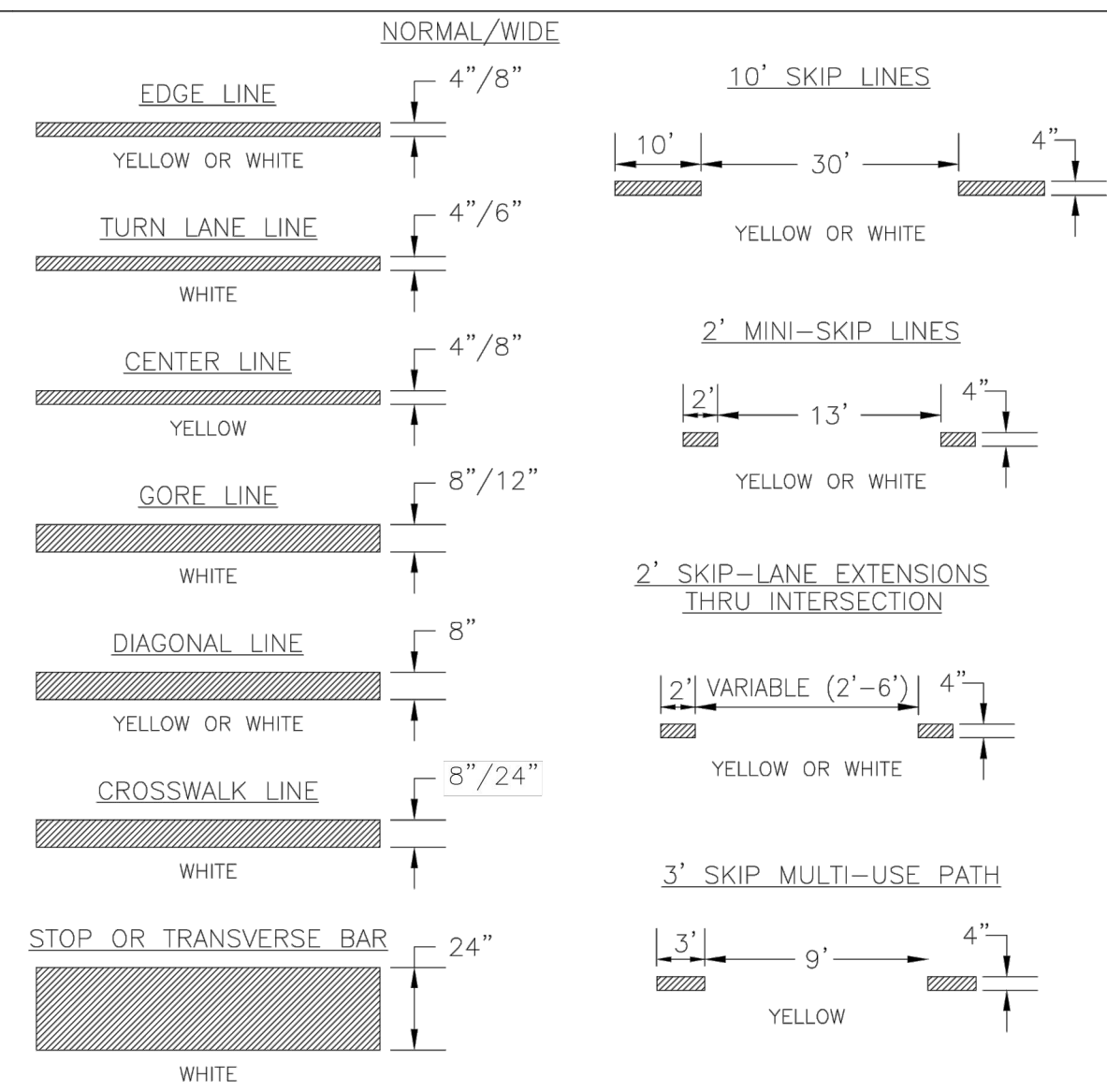
PROJECT NO: 22242.PE  
DATE: 01/26/2022  
SCALE: 1"=20'  
DRAWN BY: RPB | PROJ MGR: RPB

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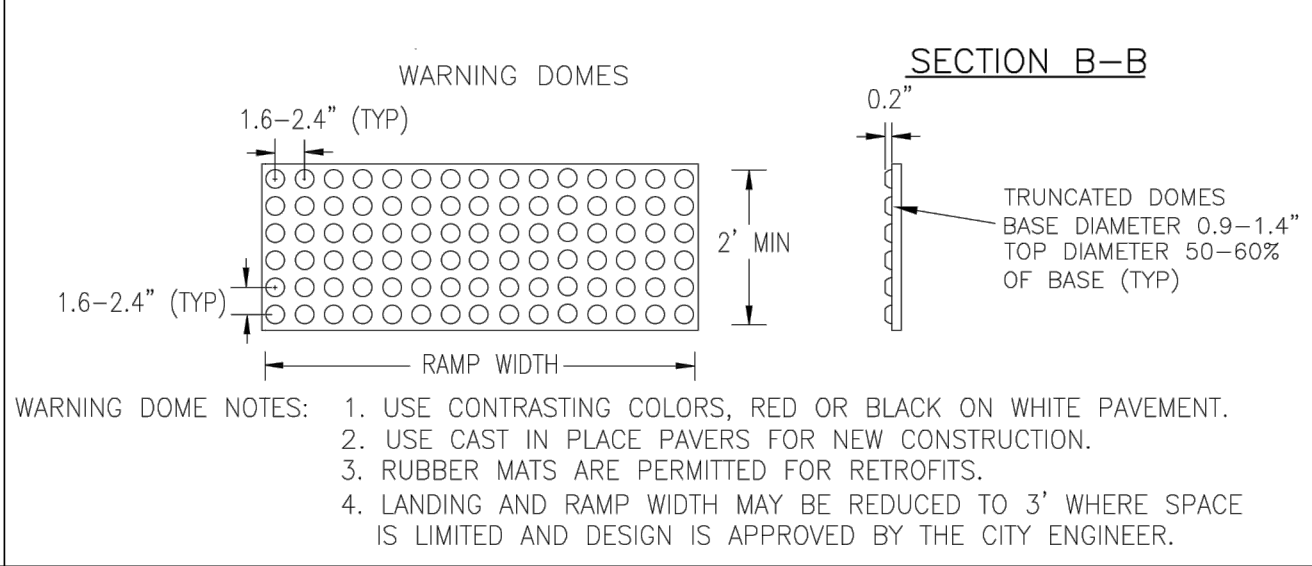
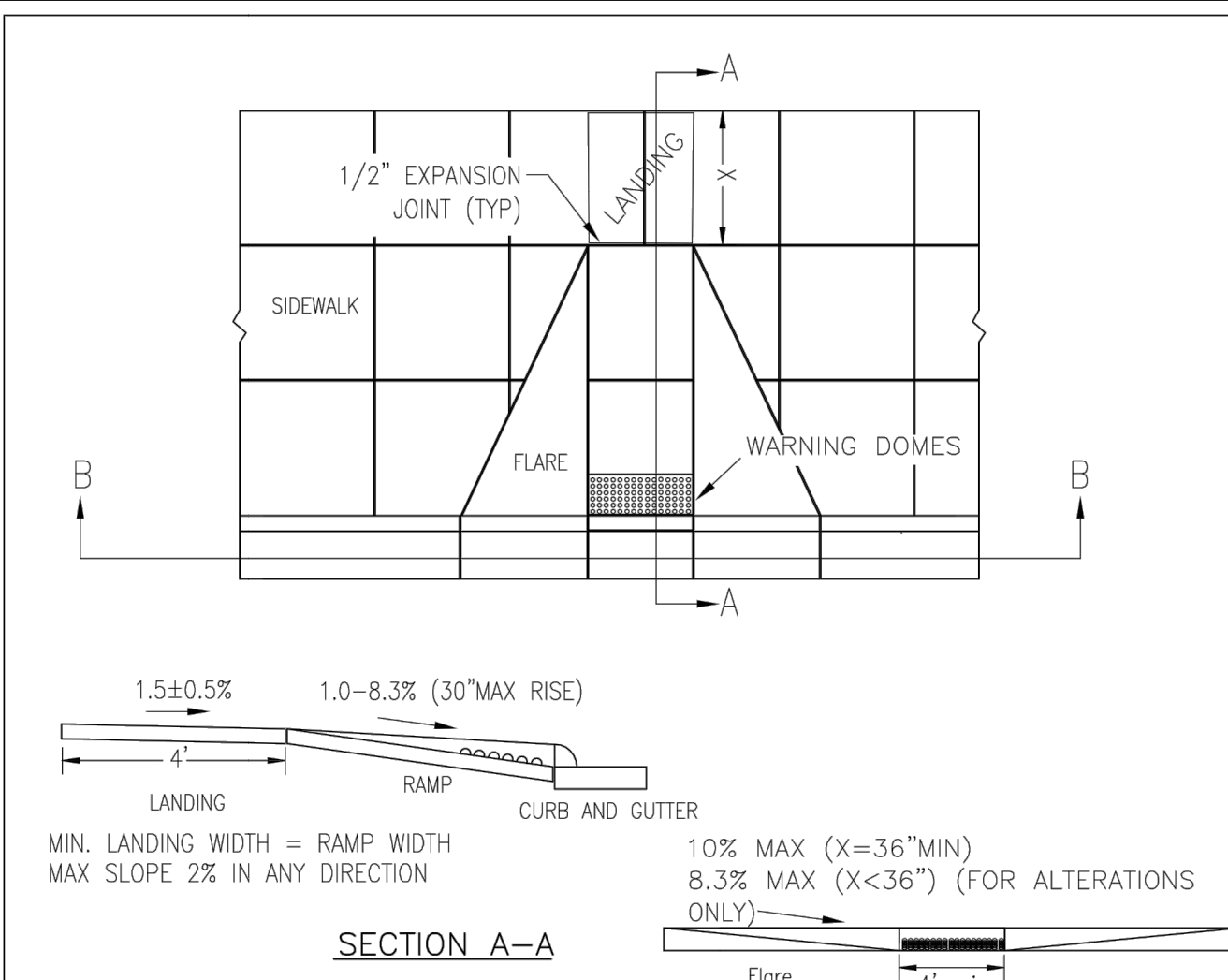
**FIRE LINE NOTE:**  
SITE CONTRACTOR SHALL COORDINATE WITH FIRE SUPPRESSION DESIGN BUILD TO CONFIRM FIRE SERVICE SIZE PRIOR TO ORDERING ANY MATERIAL OR INSTALLATION. SITE CONTRACTOR SHALL INSTALL FIRE LINE INSIDE RISER ROOM AND TERMINATE 12" AFF.



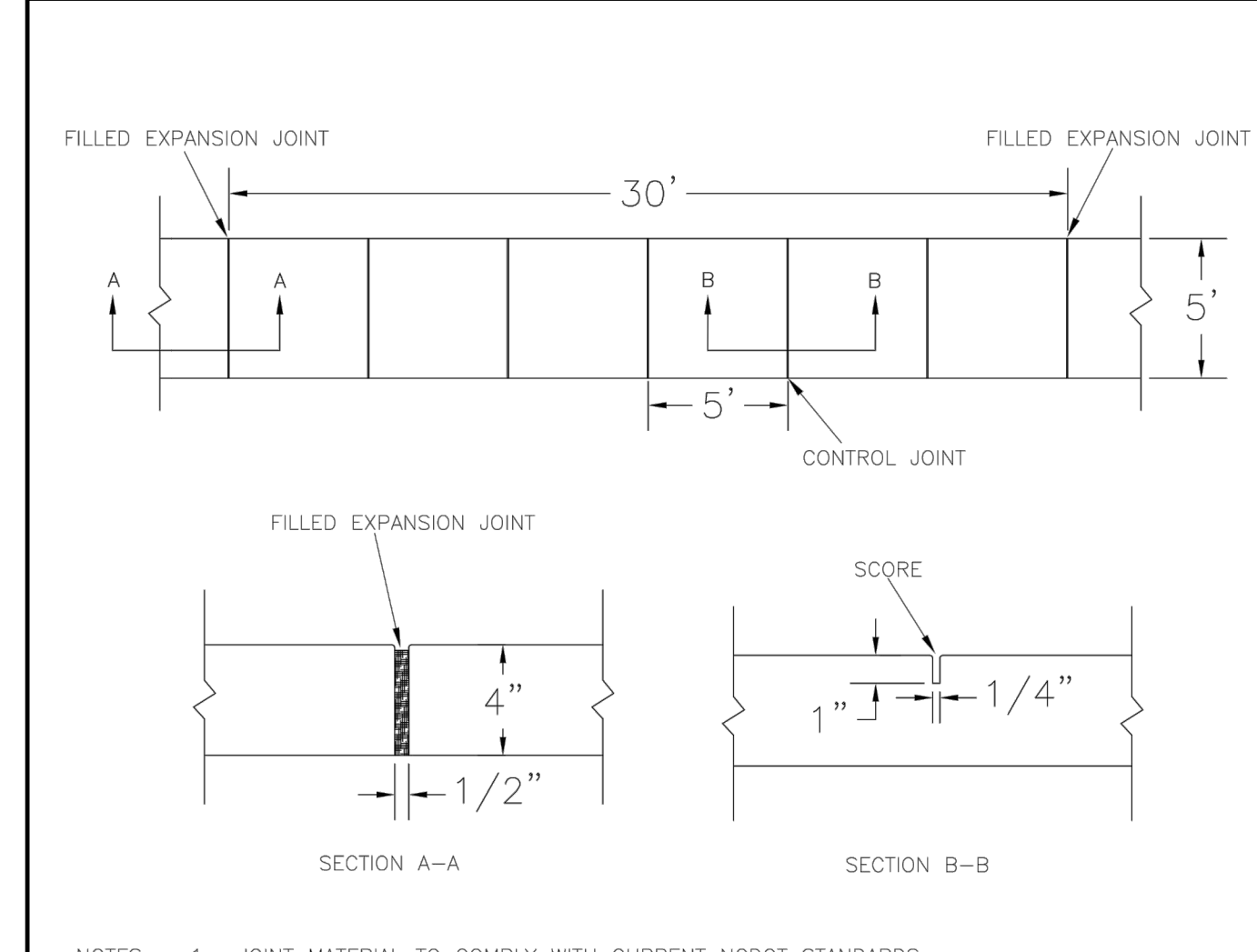


- 1-PAVEMENT MARKINGS AND SYMBOLS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY TRAFFIC ENGINEERING, AND INSTALLED IN ACCORDANCE WITH NCDOT DIVISION 12 SPECIFICATIONS.
- 2-GENERALLY, PERMANENT MARKINGS WILL BE UNIFORM AND SMOOTH AND WILL CONSIST OF 120MIL OF THERMOPLASTIC FOR ALL LINES AND SYMBOLS; TEMPORARY MARKINGS SHALL CONSIST OF 15 MIL PAINT, EVERY 6 MONTHS.
- 3-DURING APPLICATION THE EXISTING PAVEMENT SHALL NOT SHOW SIGNS OF MOISTURE AND BE CLEAN, FREE OF DIRT AND OIL, ETC. THERMOPLASTIC SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 50° F AND RISING. PAINT SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 40° F AND RISING.

**TYPICAL DETAIL FOR PAVEMENT MARKINGS LINE TYPES**  
NOT TO SCALE

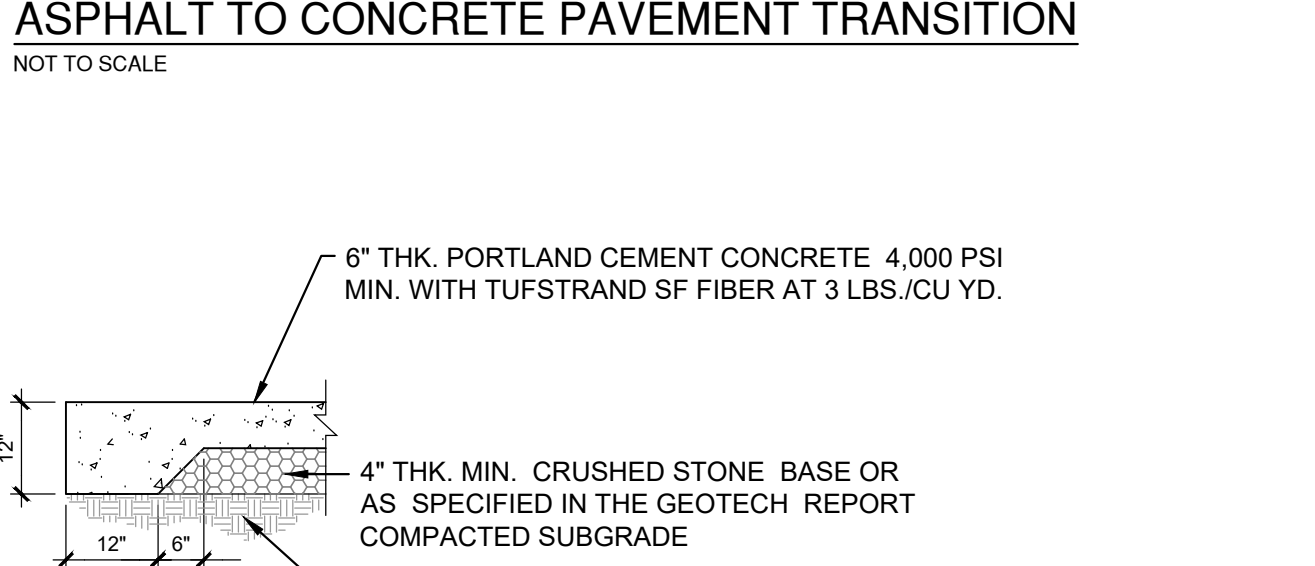
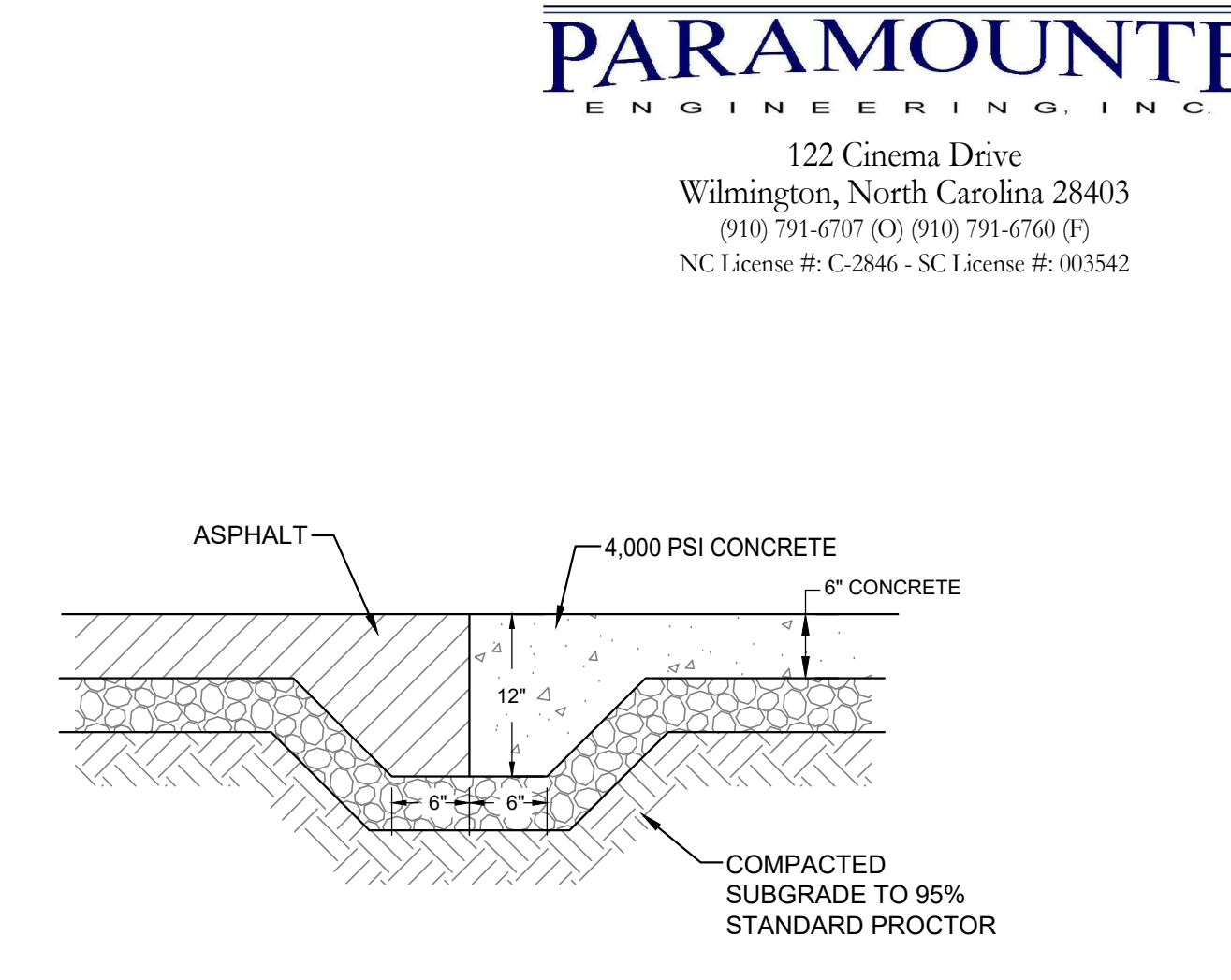


**PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE & ADA WARNING DOMES**  
NOT TO SCALE



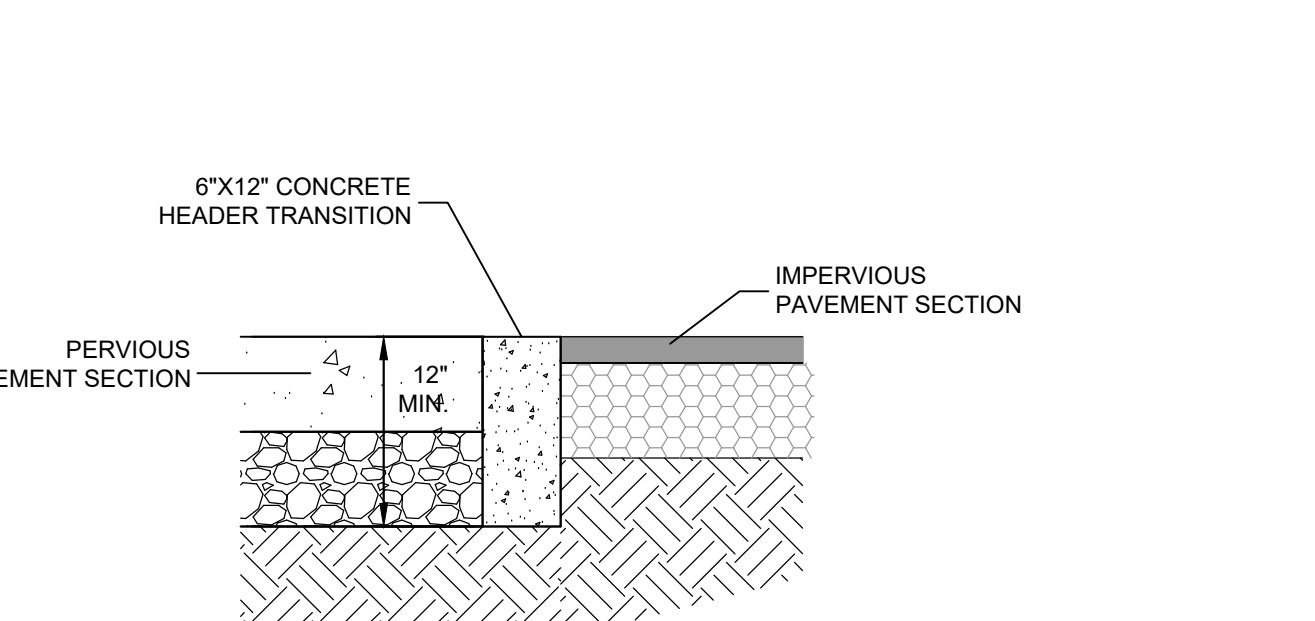
- NOTES:**
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
  4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
  5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
  6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
  7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
  8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
  9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

**TYPICAL SIDEWALK DETAIL**  
NOT TO SCALE

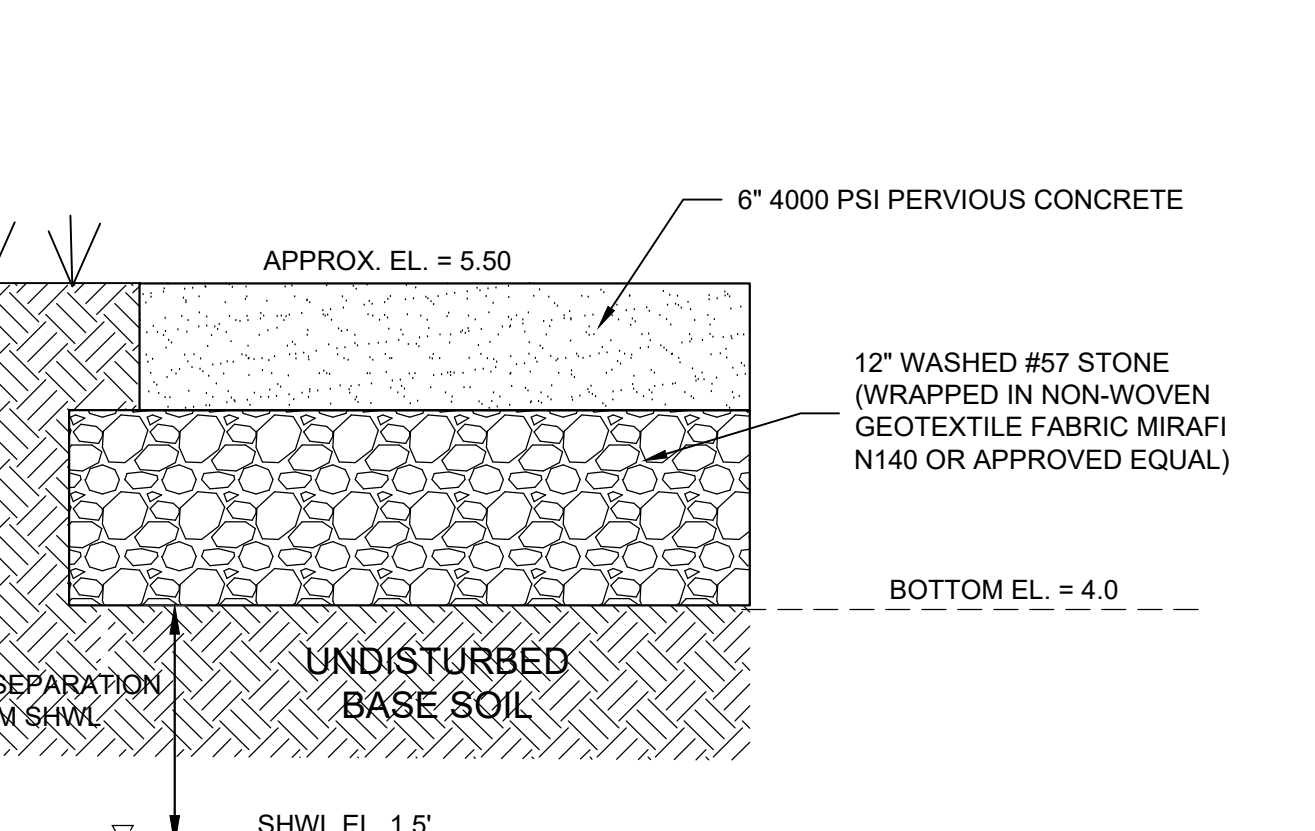


**ASPHALT TO CONCRETE PAVEMENT TRANSITION**  
NOT TO SCALE

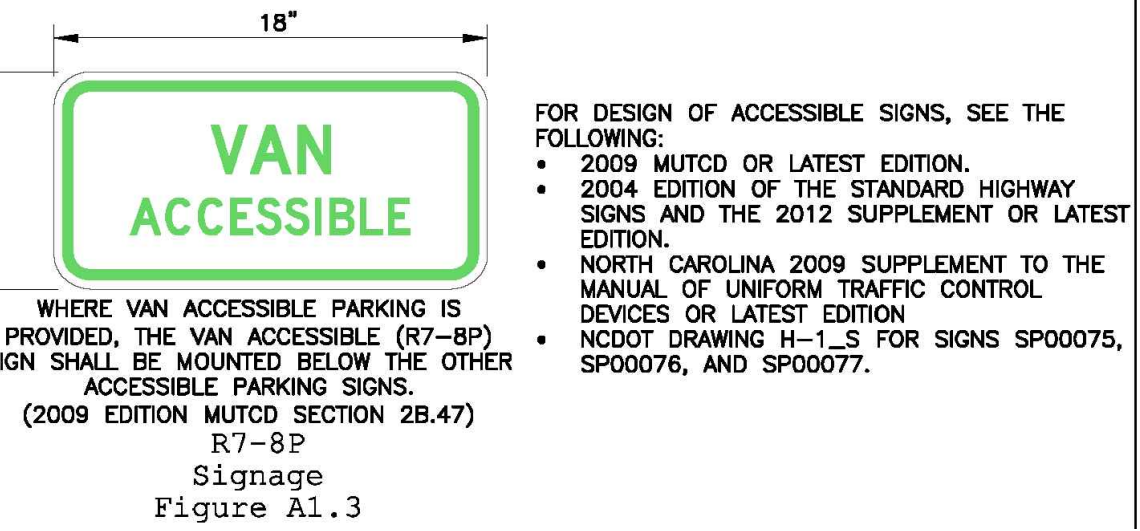
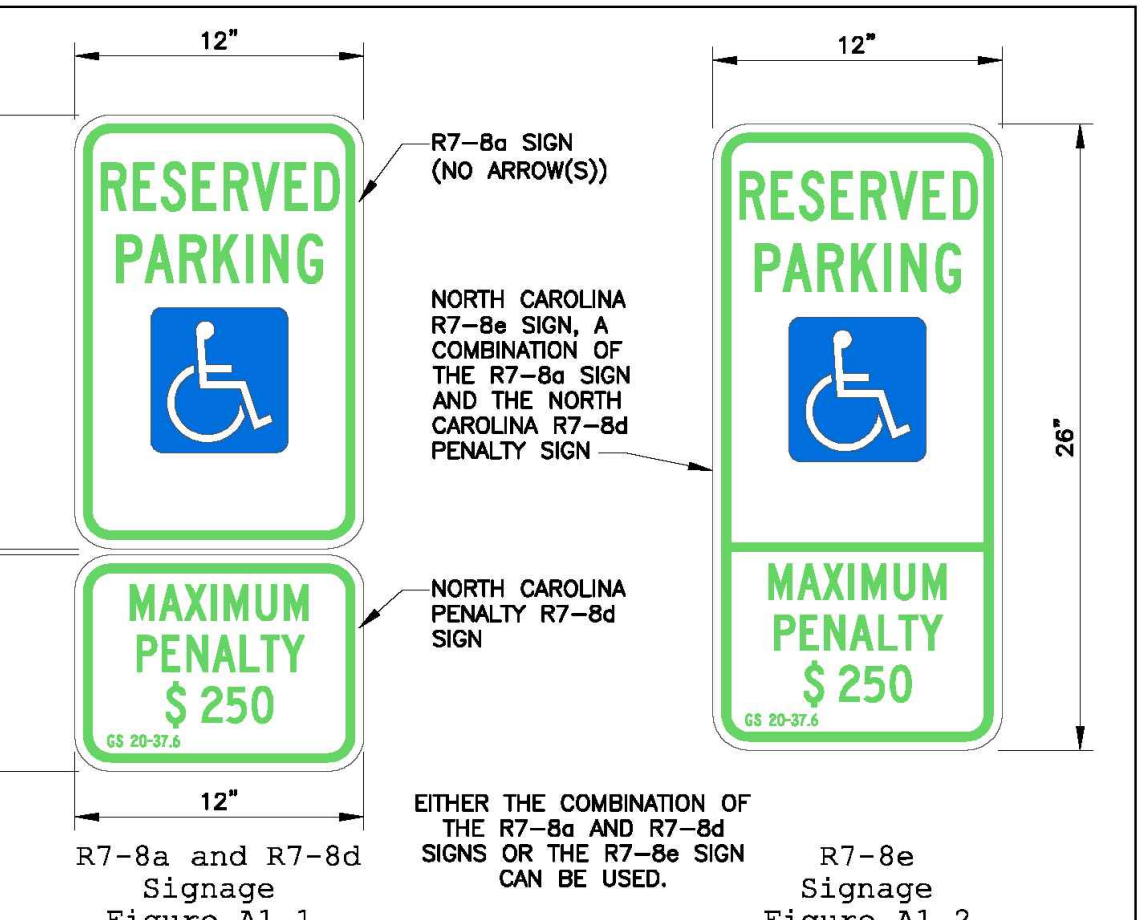
**HEAVY DUTY CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



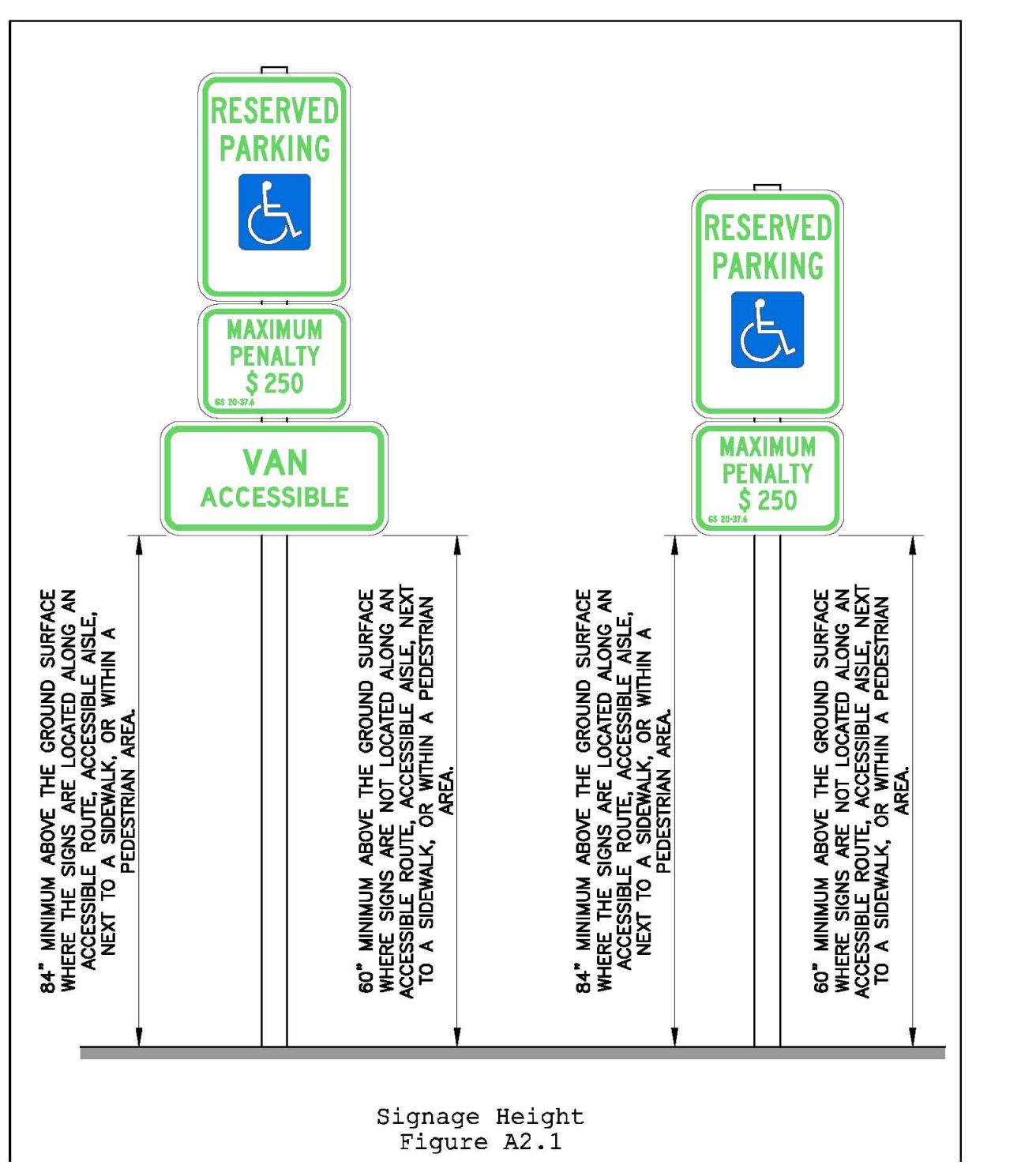
**ASPHALT TO PERVIOUS CONCRETE TRANSITION**  
NOT TO SCALE



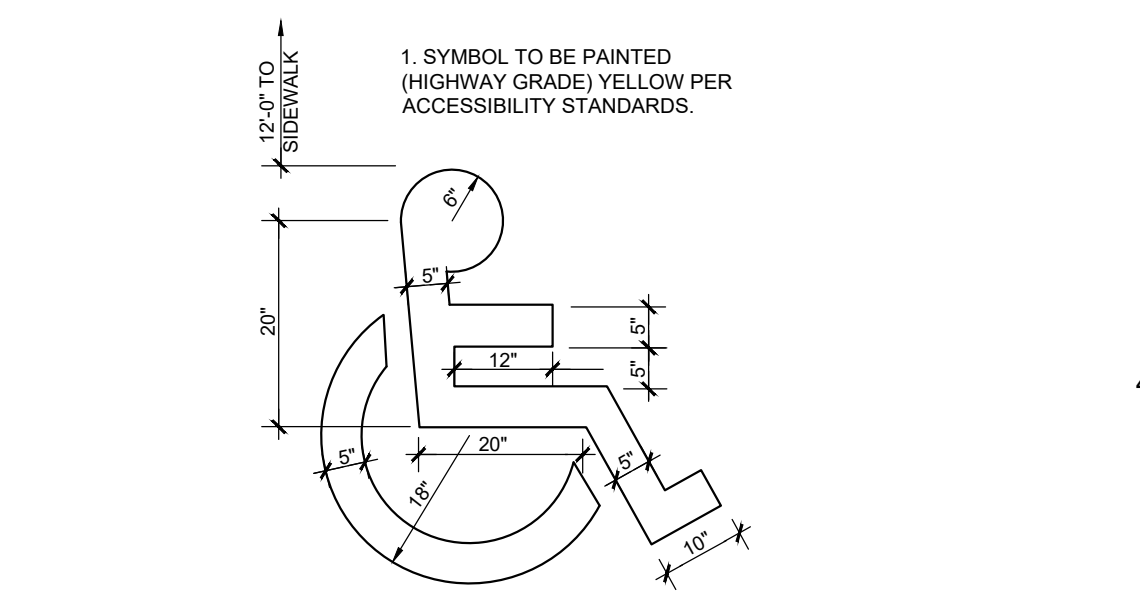
**PERVIOUS CONCRETE PAVEMENT SECTION FOR SWM CREDIT**  
NOT TO SCALE



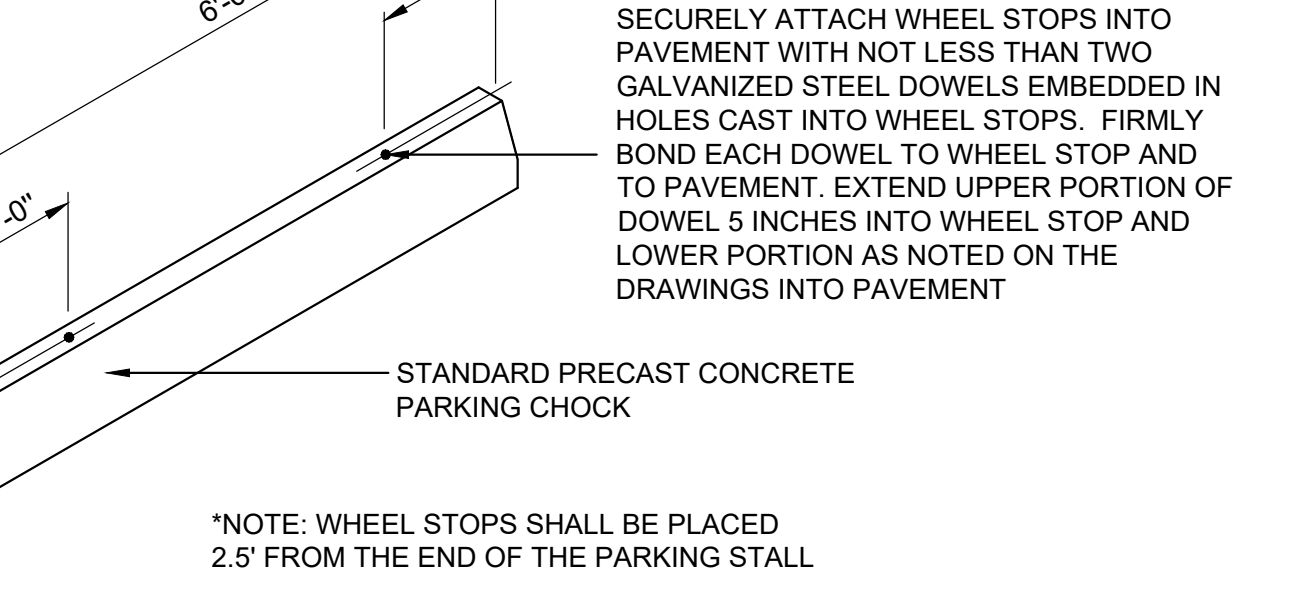
**TYPICAL DETAIL FOR HANDICAP PARKING SIGNAGE (1 OF 2)**  
NOT TO SCALE



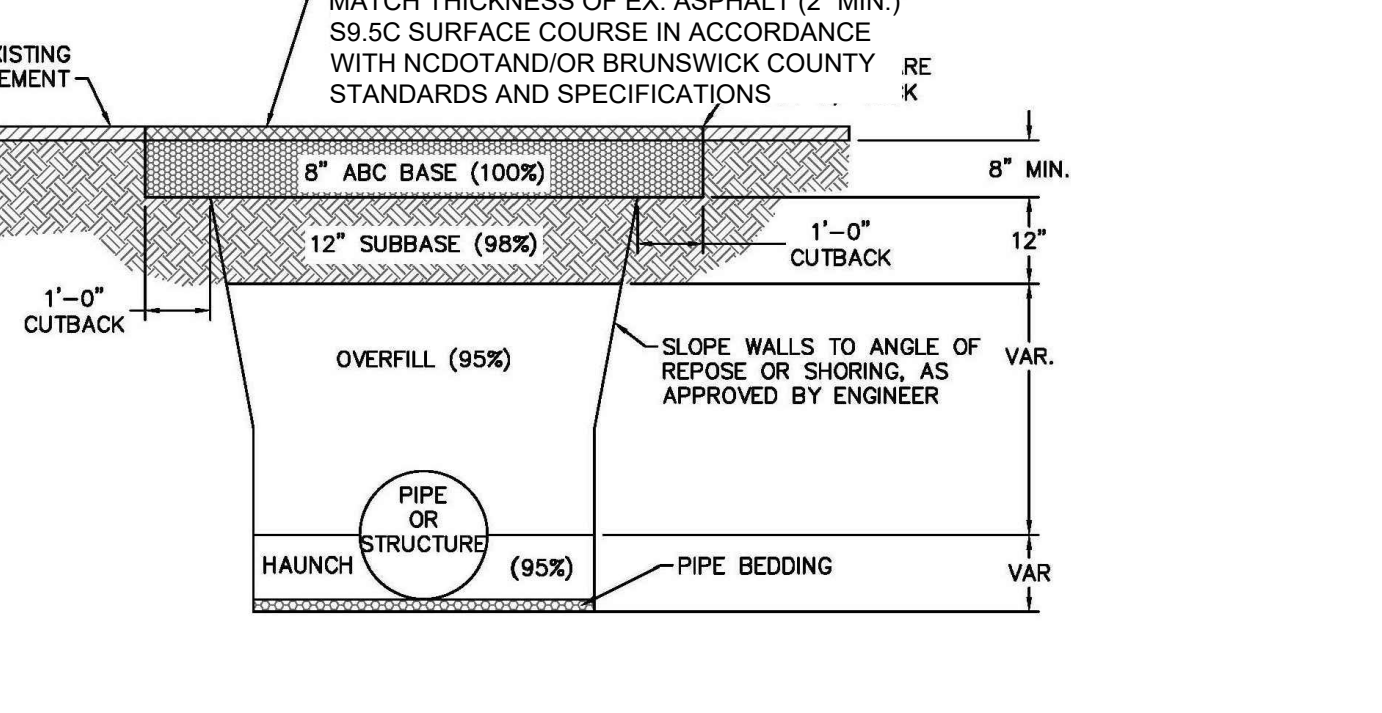
**TYPICAL DETAIL FOR HANDICAP PARKING SIGNAGE (2 OF 2)**  
NOT TO SCALE



**HANDICAP PARKING SYMBOL**  
NOT TO SCALE

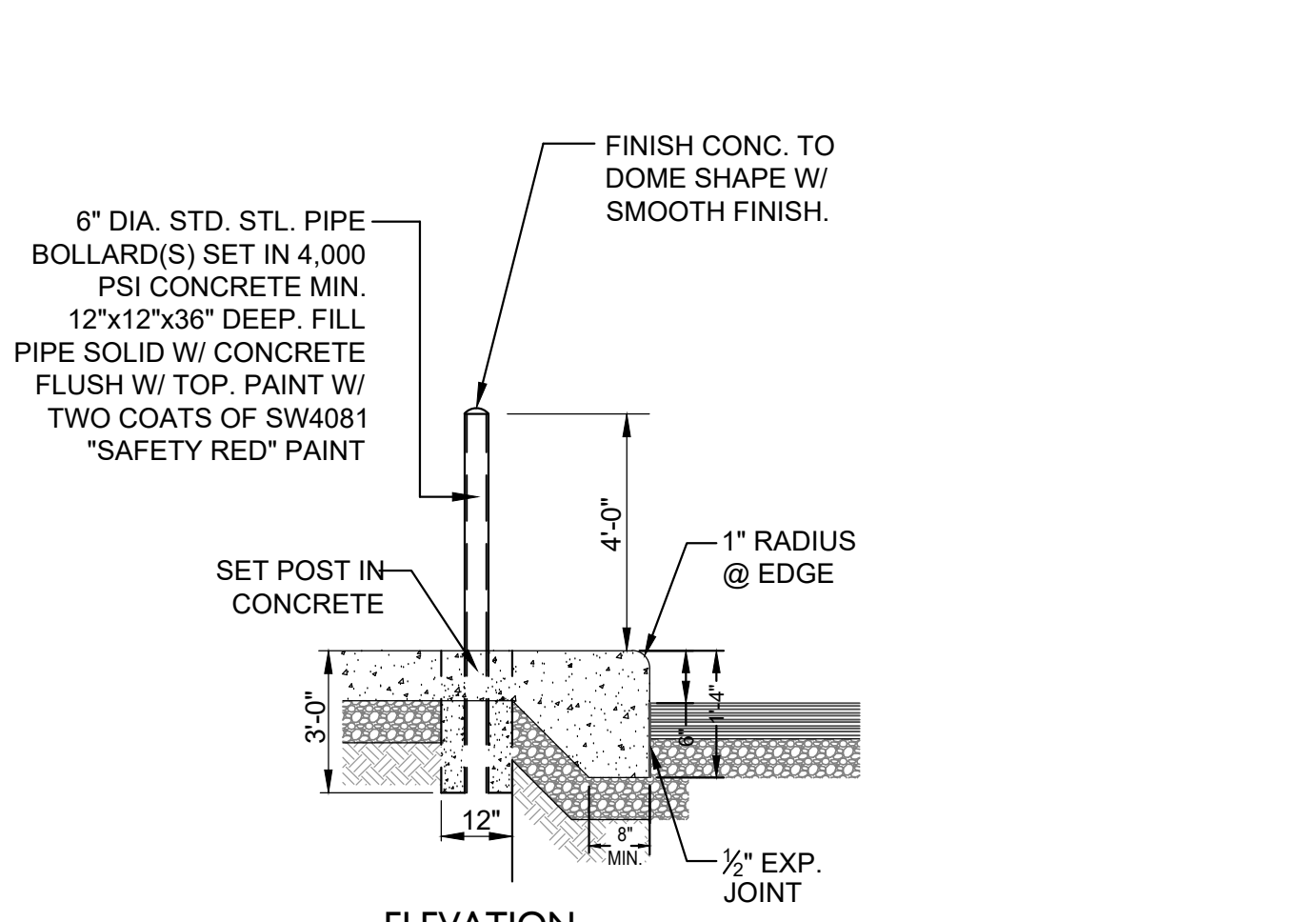


**WHEEL STOP**  
NOT TO SCALE

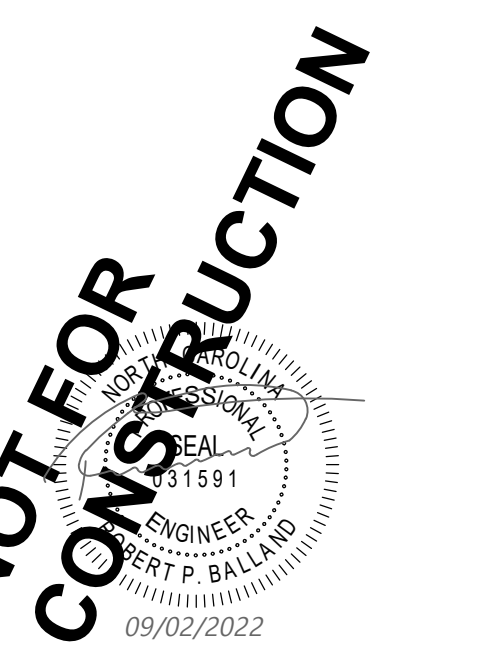


- NOTES:**
1. CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
  2. FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
  3. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57 STONE, ABC, CRUSHED LESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
  4. SOIL SHALL BE INSTALLED IN 6\"/>
  - 5. ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
  - 6. COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS, AND ASTM D-698-C FOR ABC STONE, AND BY NUCLEAR GAGE OR CORE SAMPLE FOR ASPHALT.
  - 7. CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

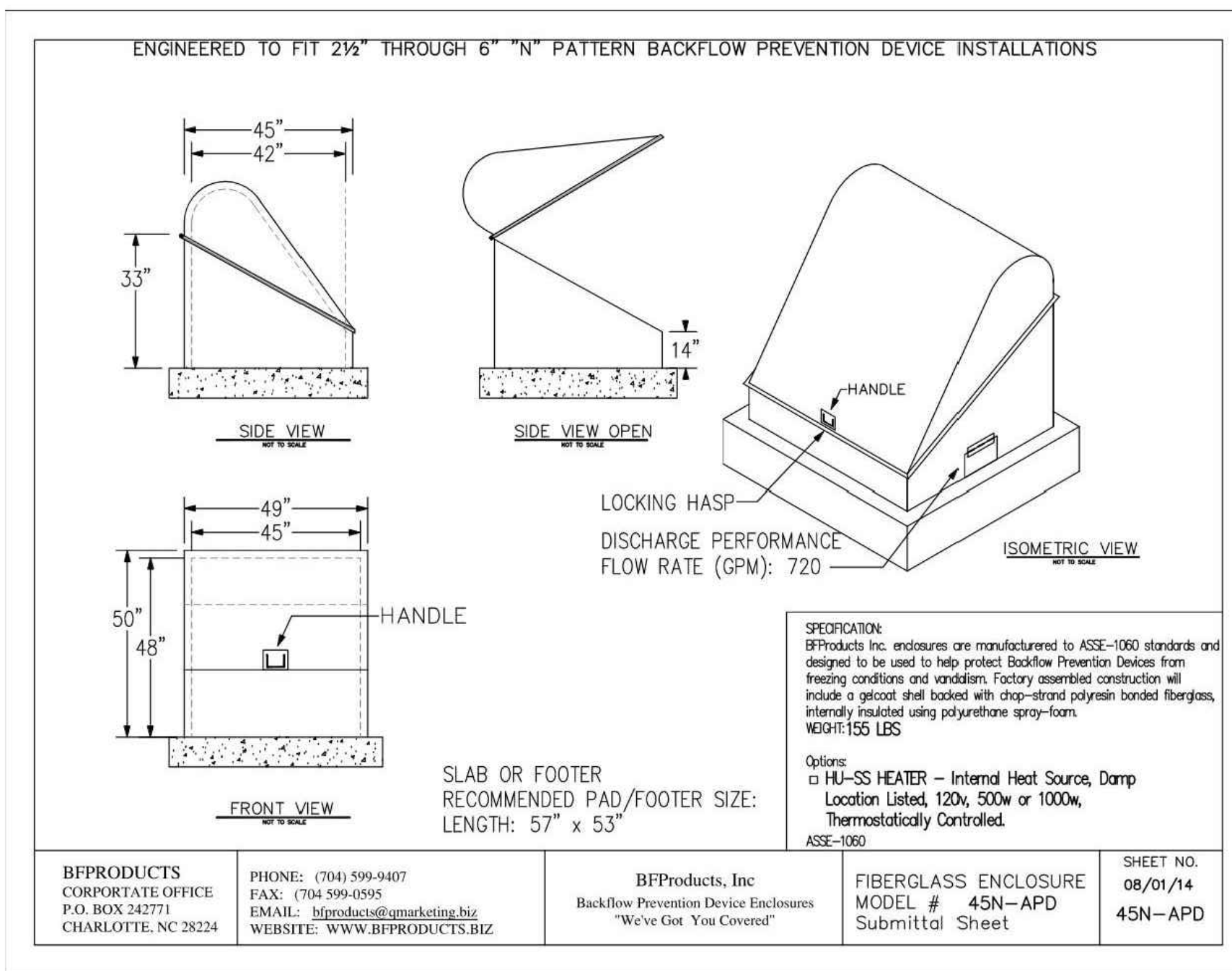
**TYPICAL DETAIL FOR PAVEMENT REPAIRS-UTILITY CUTS**  
NOT TO SCALE



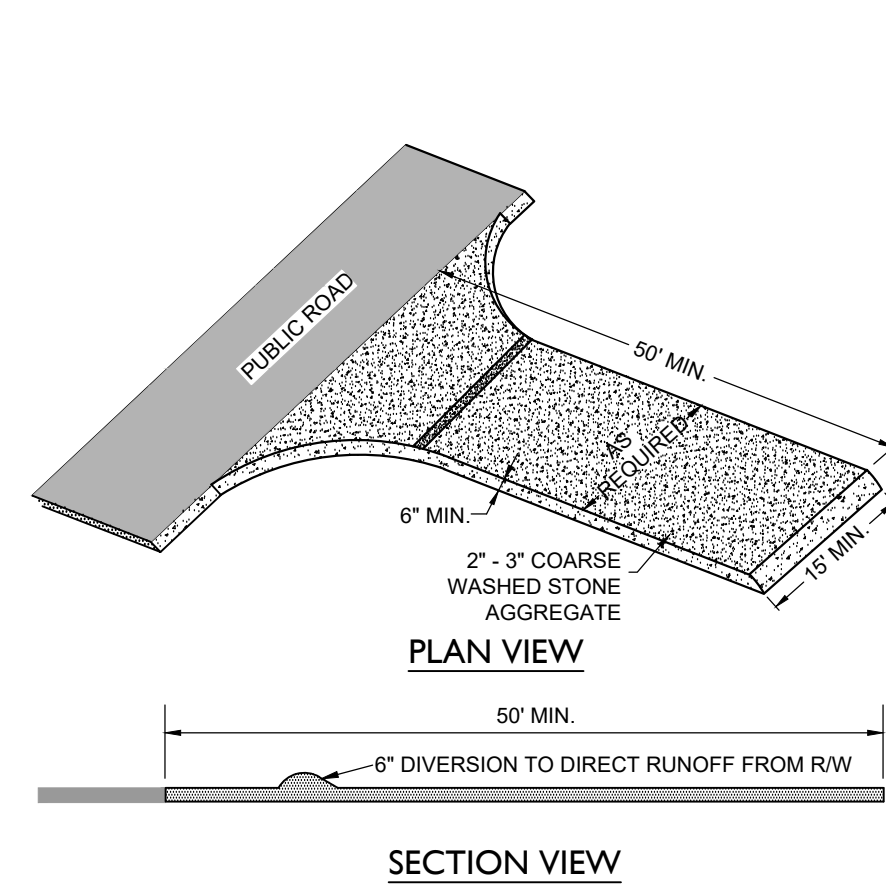
**PIPE BOLLARD DETAIL**  
NOT TO SCALE



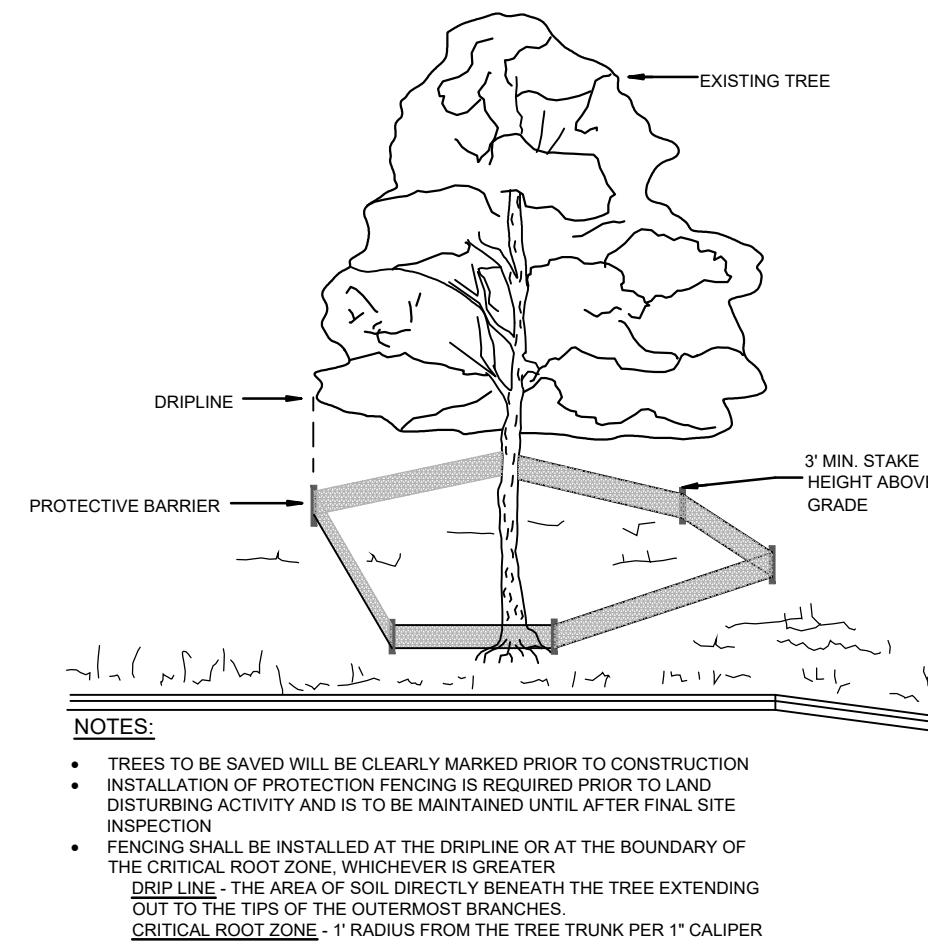
Mark	Date	Description
PROJECT NO:	22242.PE	
DATE:	01/26/2022	
SCALE:	AS NOTED	
DRAWN BY:	RPB	PROJ MGR: RPB



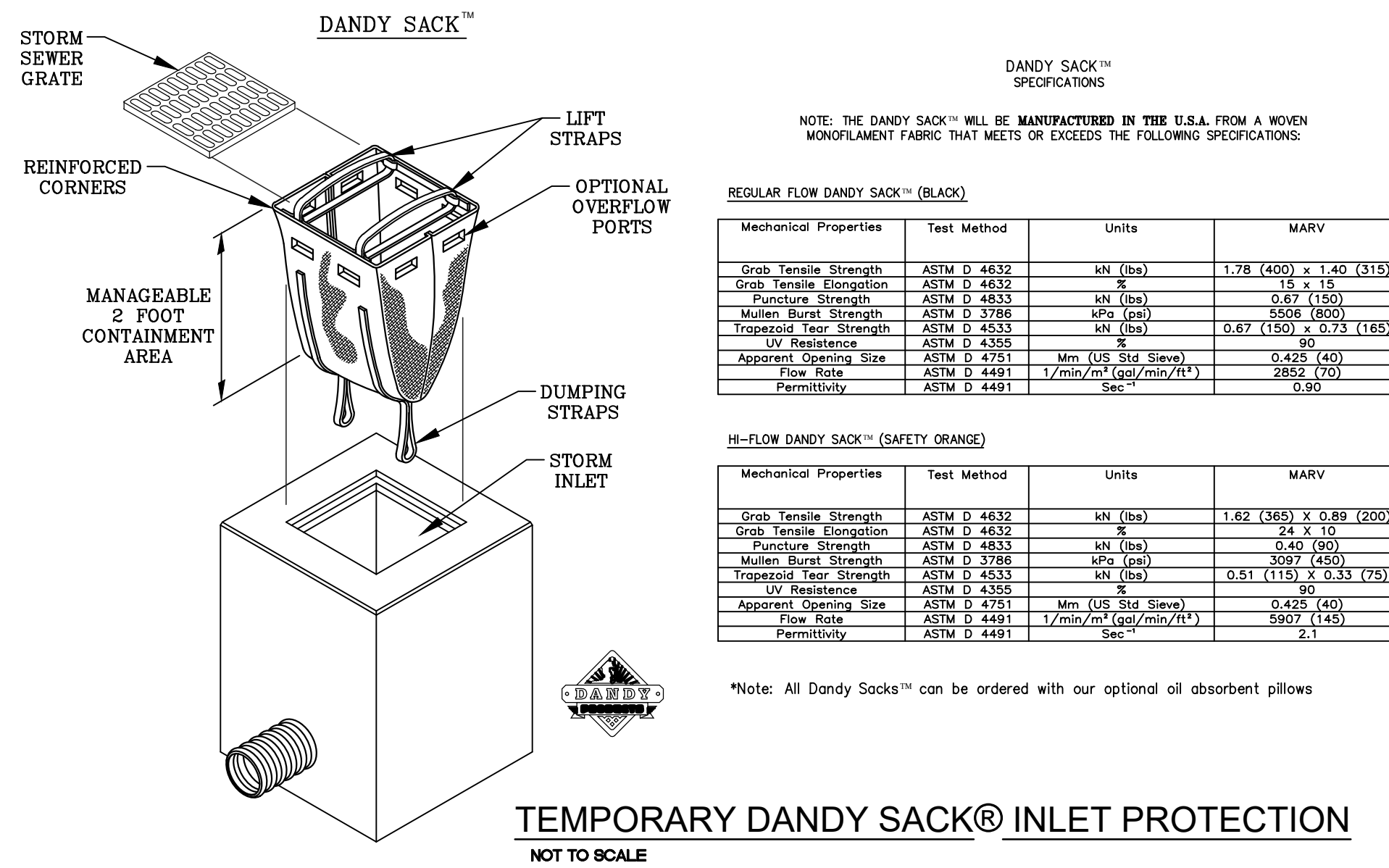
**FIRE SERVICE BACKFLOW ENCLOSURE DETAIL**  
NOT TO SCALE



**TEMPORARY CONSTRUCTION ENTRANCE**  
NOT TO SCALE

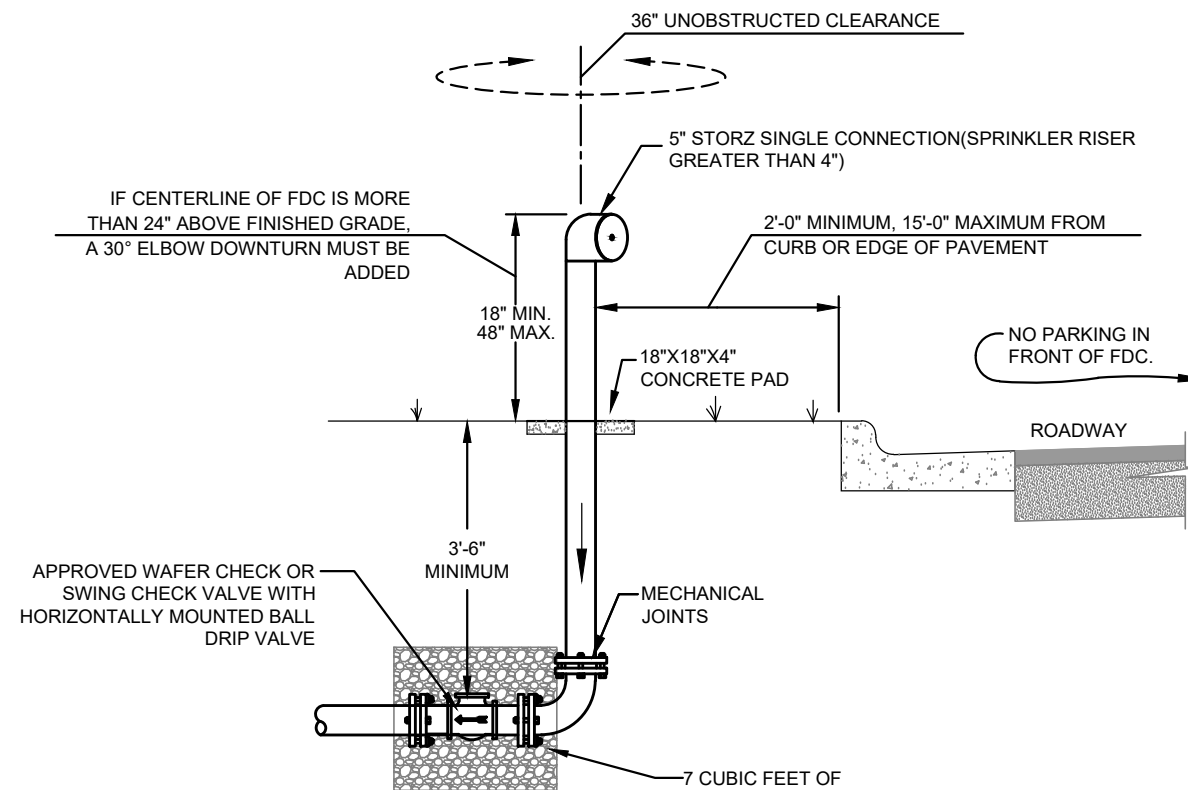


**A METHOD OF TREE PROTECTION DURING CONSTRUCTION**  
NOT TO SCALE

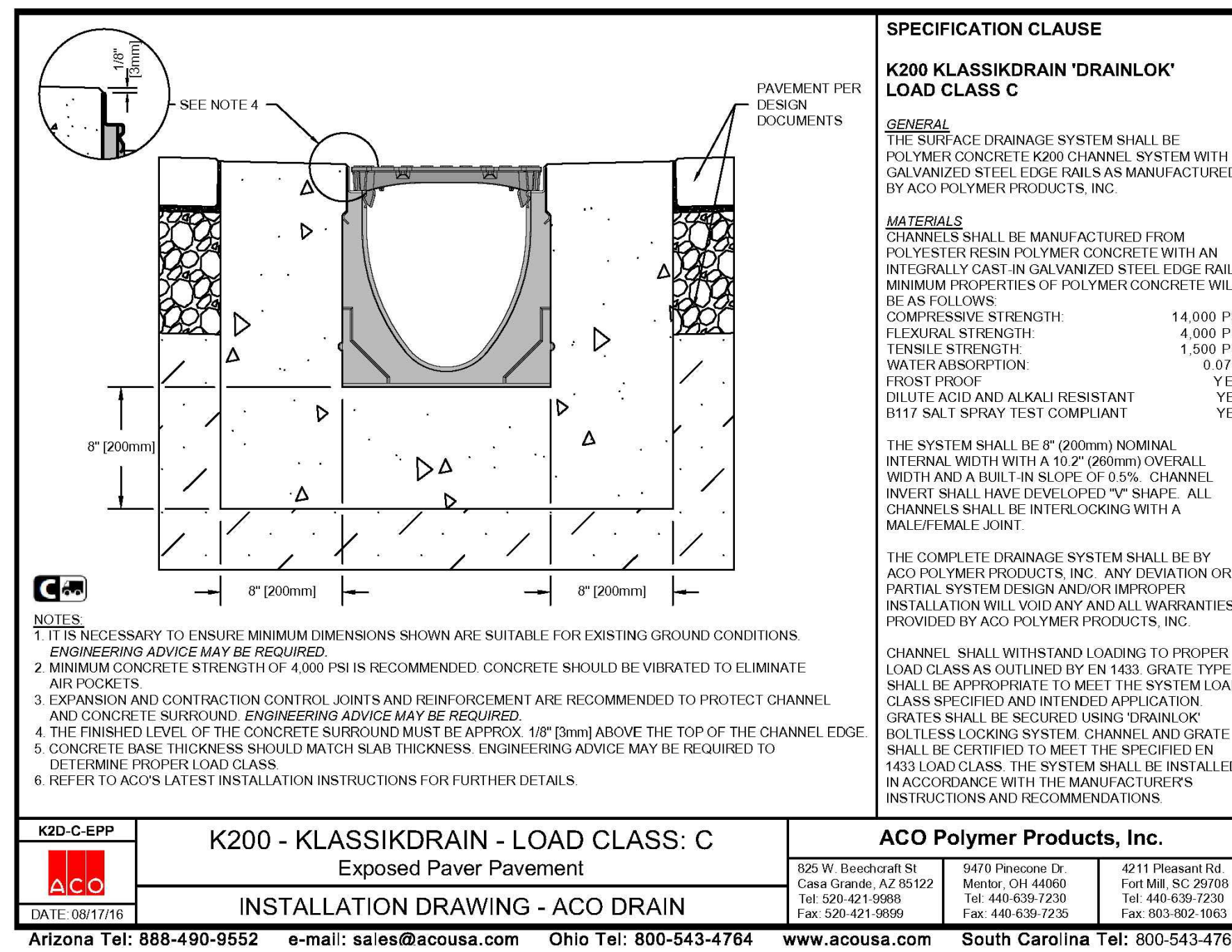


**TEMPORARY DANDY SACK® INLET PROTECTION**  
NOT TO SCALE

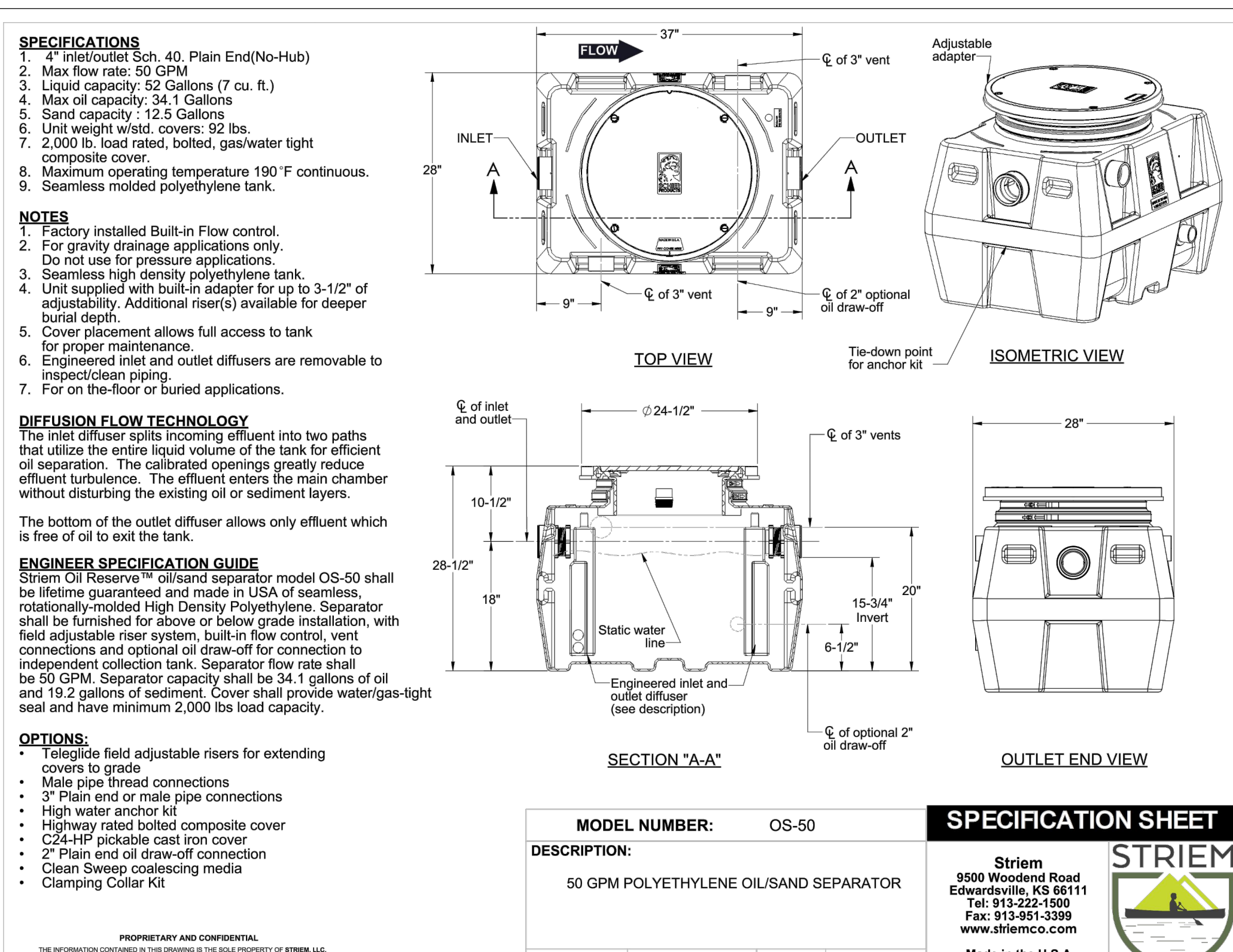
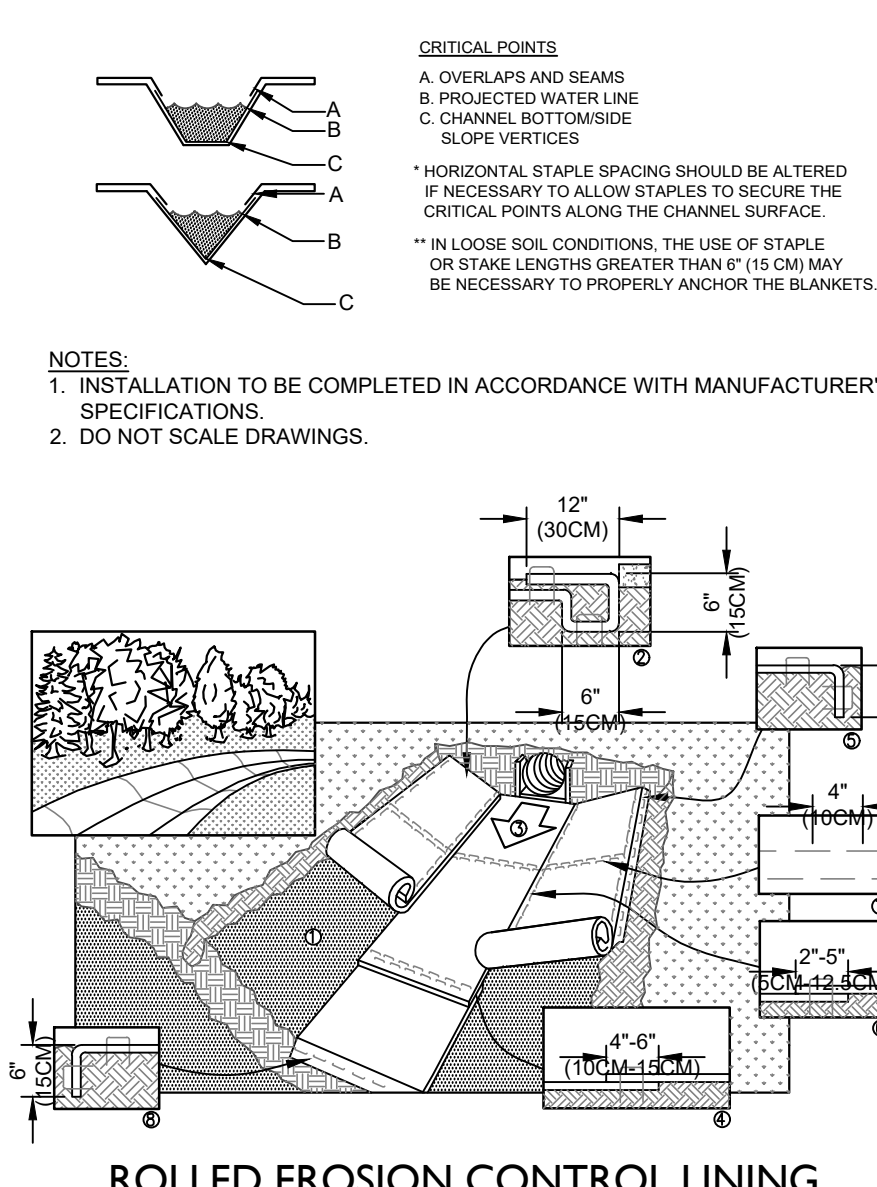
**NOTE:** CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT IN A DESIGNATED DISPOSAL AREA AND NOT WITHIN LIMITS OF DISTURBANCE. SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL, BLOCK AND GRAVEL, OR ROCK-PIPE INLETS, WHEN IT REACHES HALF-FILLED. ROCK WILL BE CLEANED OR REPLACED WHEN NO LONGER DRAINS. SILT SACKS, BEAVER DAMS, SANDY SACKS, AND SOCKS NEED CHECKING EVERY WEEK AND AFTER RAIN.



**FREE STANDING FIRE DEPARTMENT CONNECTION**  
NOT TO SCALE

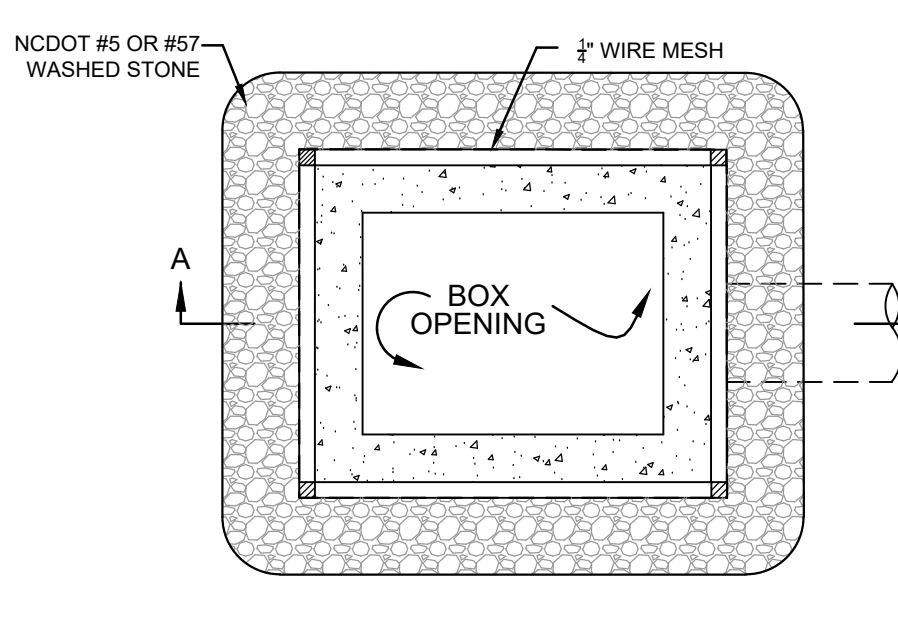
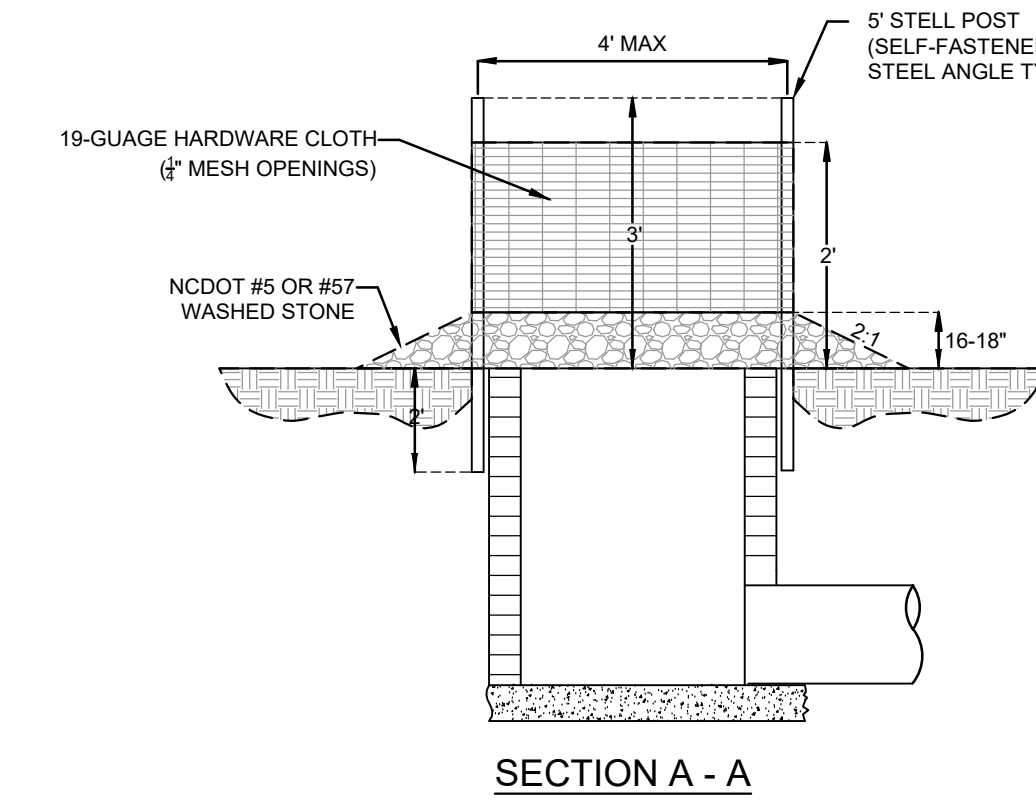


**TYPICAL SWALE**  
NOT TO SCALE

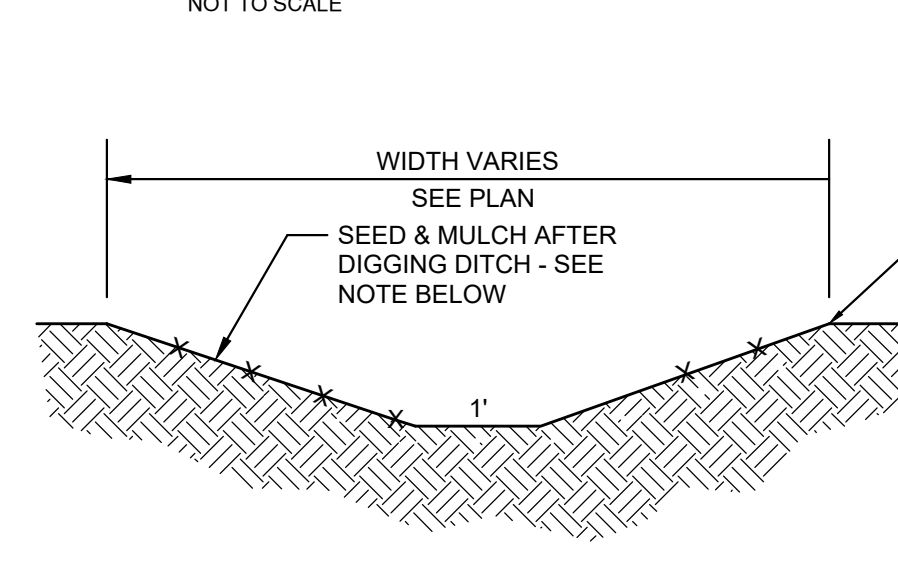


**PARAMOUNTE ENGINEERING, INC.**

122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (C) (910) 791-6700 (F)  
NC License #: C-2846 - SC License #: 003542



**TEMPORARY INLET PROTECTION**  
NOT TO SCALE



**BECKER MORGAN GROUP**

**ARCHITECTURE ENGINEERING**

**North Carolina**  
3333 Jeckle Drive, Suite 120  
Wilmington, NC 28403  
910.341.7600

**Maryland**  
312 West Main St, Suite 300  
Salisbury, MD 21801  
410.546.9100

**Delaware**  
309 S Governors Ave  
Dover, DE 19904  
302.734.7950

The Tower at STAR Campus  
100 Discovery Boulevard, Suite 102  
Newark, DE 19713  
302.369.3700

[www.beckermorgan.com](http://www.beckermorgan.com)

**North Topsail Beach**  
FOUNDED IN 1989 *North's Tropical Beauty* NORTH CAROLINA

**EXHIBIT 1k**

**NOT FOR CONSTRUCTION**

Professional Engineer  
P. Ball  
09/02/2022

**PROJECT TITLE**

**NORTH TOPSAIL BEACH FIRE STATION #2**

3304 GRAY STREET  
NORTH TOPSAIL BEACH, NC  
28460

**DESIGN DOCUMENTS**  
NOT FOR CONSTRUCTION  
NOT FOR PERMITS  
12/09/22

**SHEET TITLE**

**DETAILS**

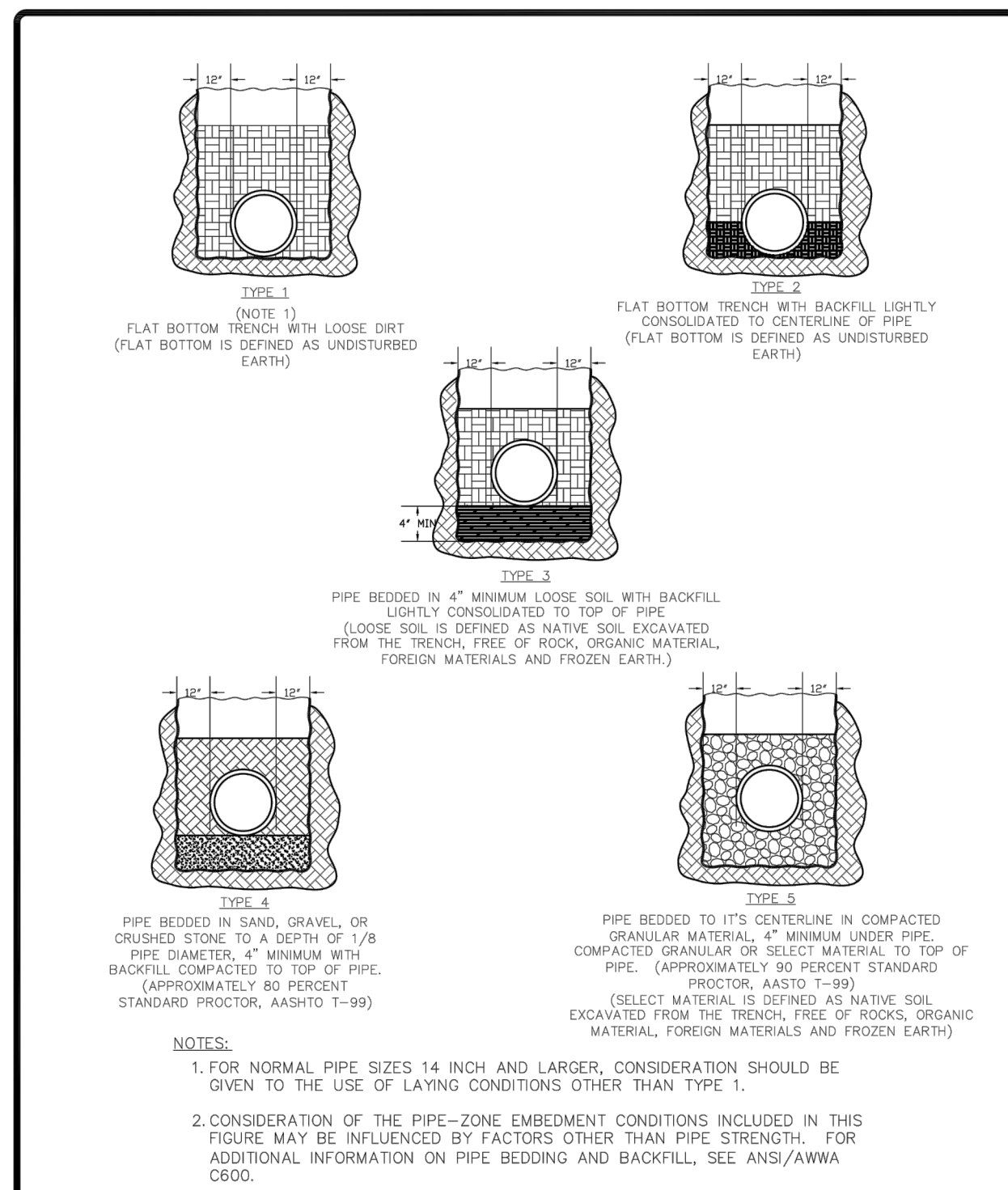
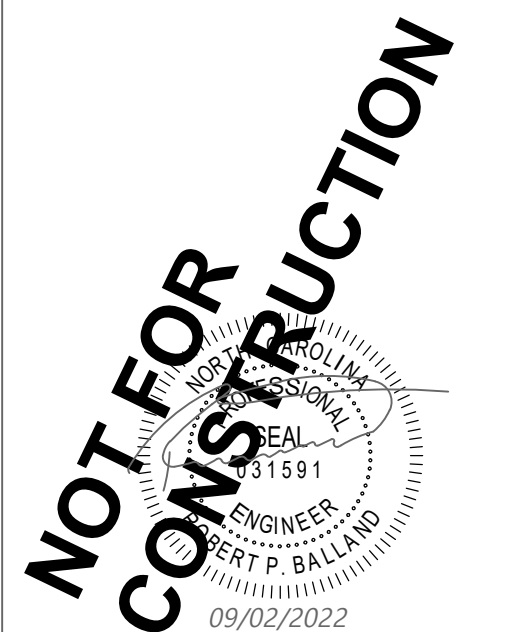
**ISSUE BLOCK**

Mark	Date	Description

**PROJECT NO:** 22242.PE  
**DATE:** 01/26/2022  
**SCALE:** AS NOTED  
**DRAWN BY:** RPB **PROJ MGR:** RPB

**C-5.1**  
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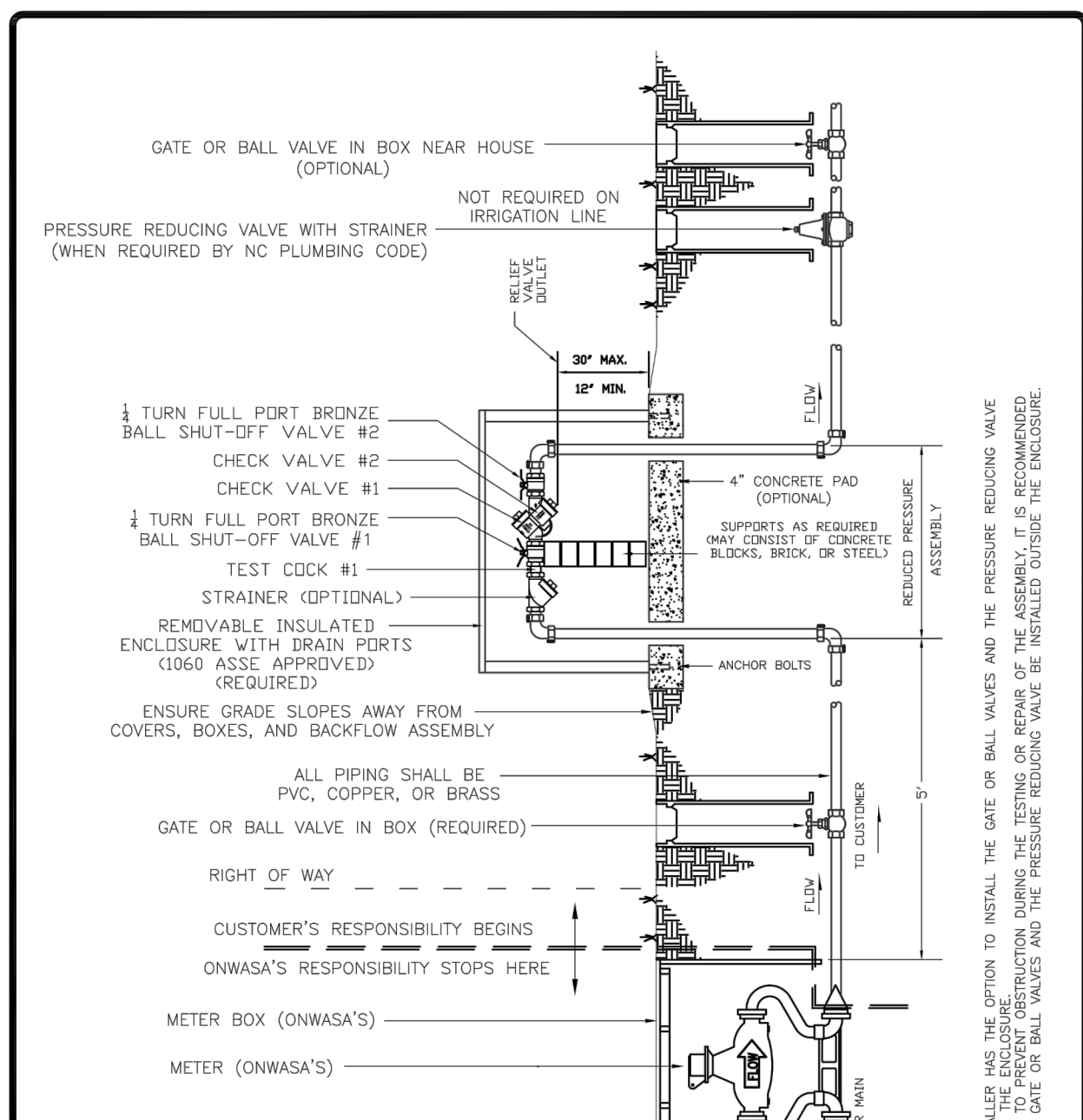




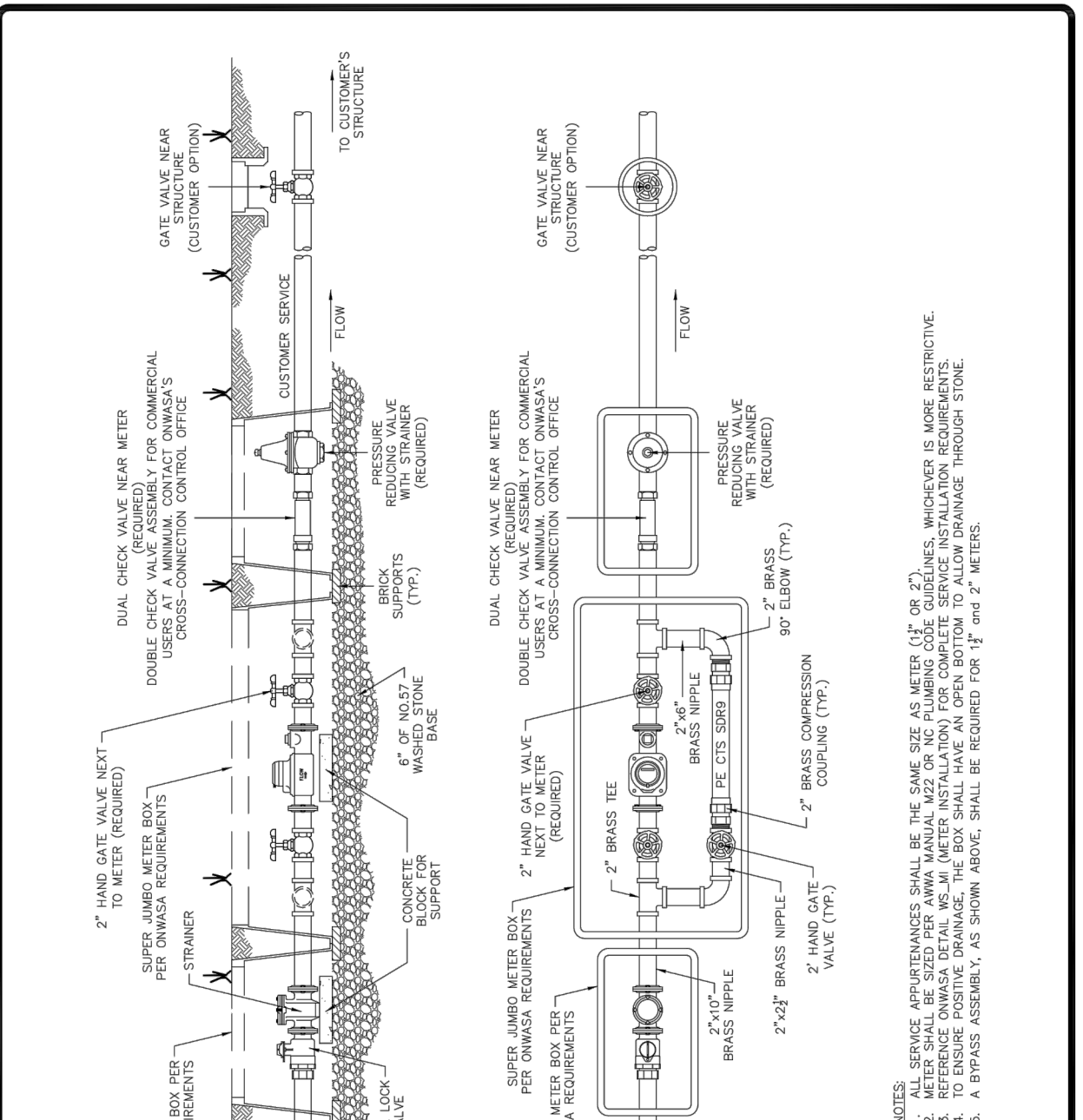
<b>ONWASA</b> ONLINE WATER AND SEWER AUTHORITY	<b>Onslow Water &amp; Sewer Authority</b> USE WITH "ONWASA MANUAL OF SPECIFICATIONS, STANDARDS and DETAILS, latest revision"	
	<b>WATER MAIN EMBEDMENT DETAILS</b>	SCALE: Not To Scale REVISION DATE: May, 2016 SHEET # 1 of 1

- REQUIREMENTS FOR ABOVE GROUND INSTALLATIONS OF REDUCED PRESSURE PRINCIPLE AND DOUBLE CHECK VALVE ASSEMBLIES
- The backflow preventer must be installed a Maximum distance of five (5) feet from the meter service or before any weirs, tees, or bypasses. Installation of backflow preventers within the DOT right-of-way will not be accepted, it must be installed on the customer's property.
  - Reduced pressure principle assemblies must be installed in a horizontal position and so located in which no portion of the assembly can become submerged under any circumstances.
  - Double check valves can be installed in a vertical position provided the water flows in an upward direction.
  - All backflow preventers must be installed above ground. Backflow preventers installed inside must be a minimum of twelve (12) inches above the floor, and no higher than four (4) feet above the floor. Customer must maintain adequate clearance around the assembly for testing, and/or repair of the assembly. Wherever a reduced pressure principle backflow preventer is installed inside a building an air gap drain of adequate size must be installed. Below ground installations are prohibited for RP's. Surface or Sub-surface obstacles which prohibit the installation of the device in accordance with the specifications shall be subject to the review and approval of the Engineering Director for alternative locations.
  - Backflow prevention assemblies installed outside must be protected with an ASSE 1060 approved enclosure. The assembly must maintain a minimum distance of twelve (12) inches and a maximum distance of thirty (30) inches above the ground. Landscaping is allowed around any assembly provided it does not interfere with the testing and/or repairing of the assembly.
  - Protective enclosures must be used to prevent freezing or vandalism for backflow prevention assemblies installed outside above ground. Freeze proof enclosures that meet or exceed North Carolina Plumbing Code Standards are acceptable provided that the insulation is at least 7.05 R factor, and have the 1060 ASSE approval plate. Adequate drainage shall be provided by a hinged door or drain ports along the bottom walls of the protective enclosure. The enclosure will require to be mounted to the ground or existing grade. If the structure is not removable it must be accessible by doors large enough for entrance and repair.
  - Backflow prevention assemblies two and one half (2 1/2) inches or larger must be supported to allow for the weight of the backflow prevention assembly. Support construction can consist of concrete block, brick or steel. Supports must have a proper footing to rest on. Supports should be spaced so they do not cause interference with the testing and/or repair of the assemblies.
  - All piping must be of ductile iron, pvc, copper, or brass.
  - All backflow prevention assembly installations shall be inspected by the Onslow Water and Sewer Authority Technical Operations Section or an authorized representative prior to initial connection to the potable water system.
  - Before installation of any backflow preventer, contact the Backflow Cross Connection ORC at 910-455-0722 to assist in proper selection and installation.
- Note: Appendices within these regulations are subject to change periodically or as required by the State of North Carolina.

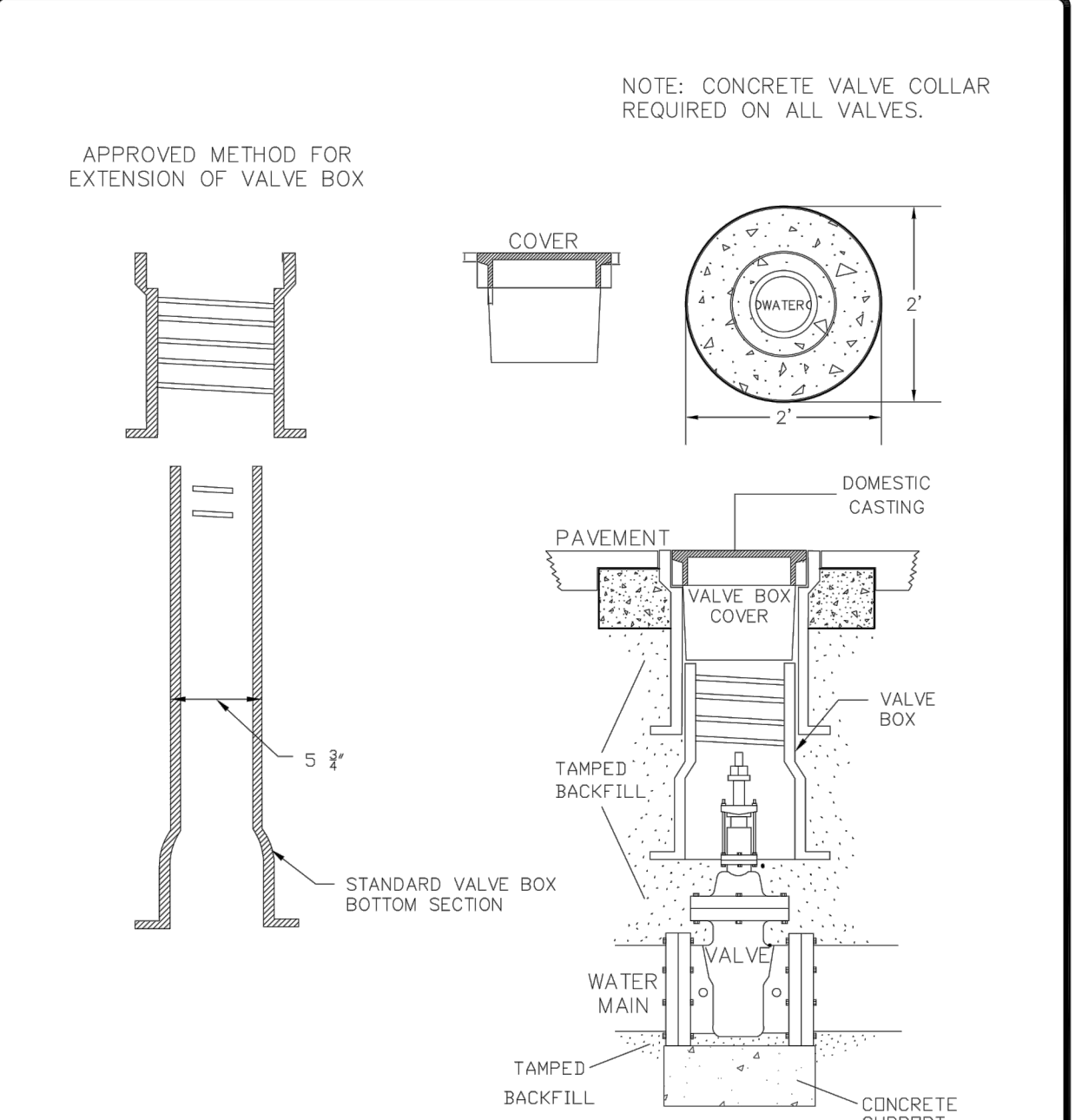
<b>ONWASA</b> ONLINE WATER AND SEWER AUTHORITY	<b>Onslow Water &amp; Sewer Authority</b> USE WITH "ONWASA MANUAL OF SPECIFICATIONS, STANDARDS and DETAILS, latest revision"	
	<b>3/4" to 2" Meter RP / DCVA / PRV Assembly</b>	SCALE: Not To Scale REVISION DATE: May, 2016 SHEET # 1 of 1



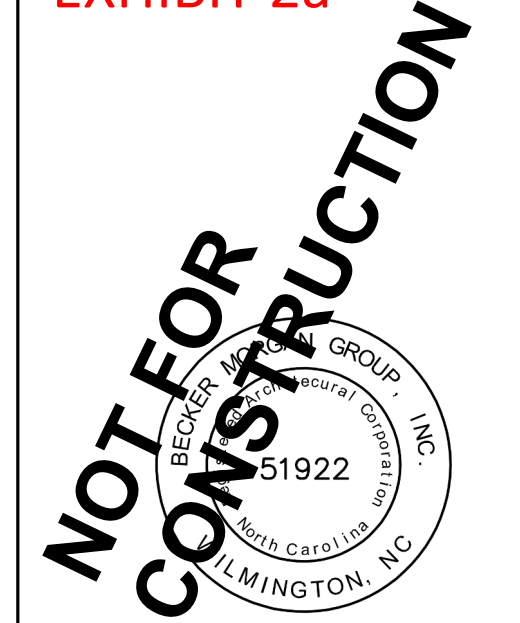
<b>ONWASA</b> ONLINE WATER AND SEWER AUTHORITY	<b>Onslow Water &amp; Sewer Authority</b> USE WITH "ONWASA MANUAL OF SPECIFICATIONS, STANDARDS and DETAILS, latest revision"	
	<b>3/4" - 2" Meter RP Assembly with PRV Assembly</b>	SCALE: Not To Scale REVISION DATE: May, 2016 SHEET # 1 of 1



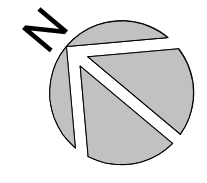
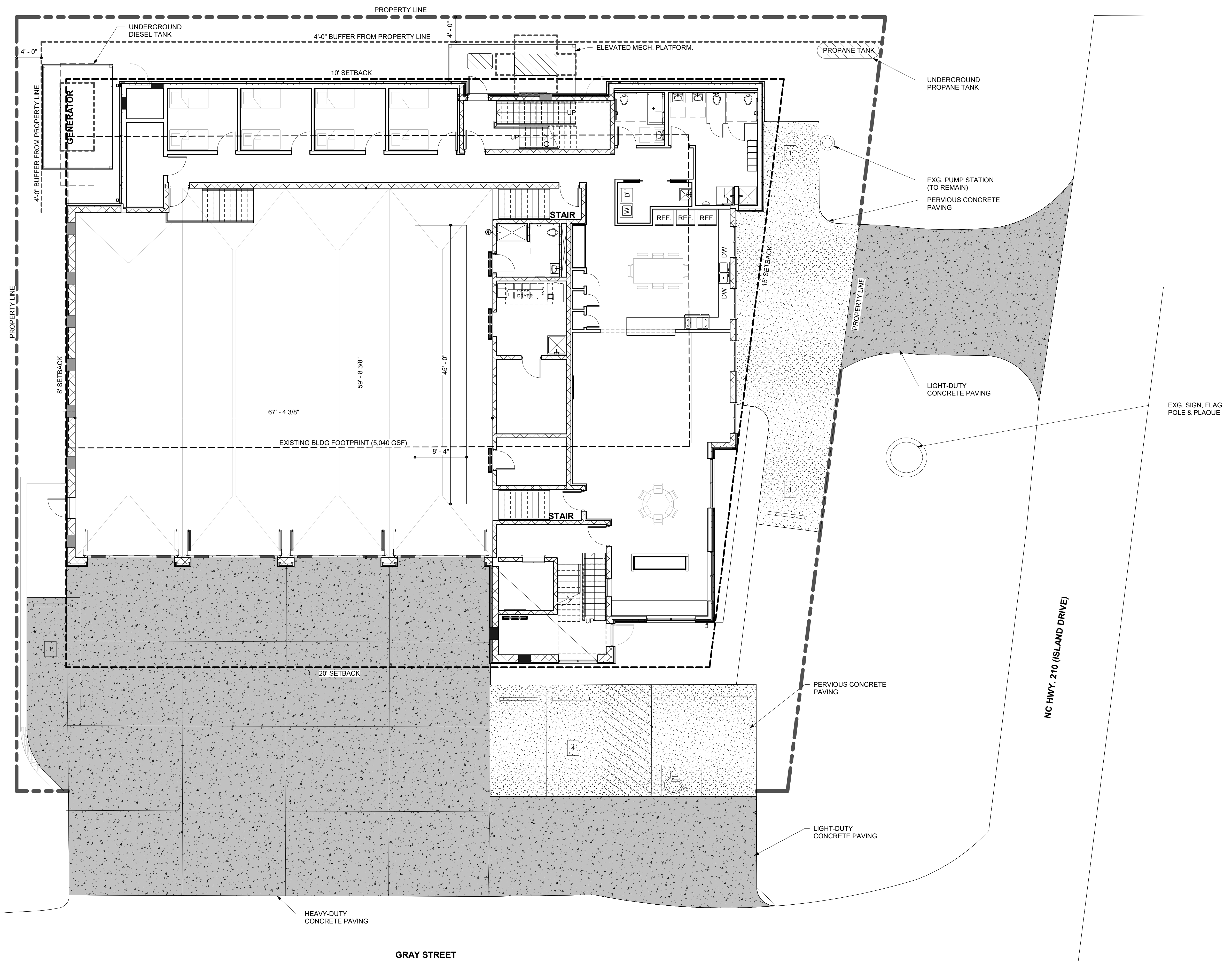
<b>ONWASA</b> ONLINE WATER AND SEWER AUTHORITY	<b>Onslow Water &amp; Sewer Authority</b> USE WITH "ONWASA MANUAL OF SPECIFICATIONS, STANDARDS and DETAILS, latest revision"	
	<b>1 1/2" AND 2" SERVICE CONNECTION (TYP.)</b>	SCALE: Not To Scale REVISION DATE: May, 2016 SHEET # 1 of 1



<b>ONWASA</b> ONLINE WATER AND SEWER AUTHORITY	<b>Onslow Water &amp; Sewer Authority</b> USE WITH "ONWASA MANUAL OF SPECIFICATIONS, STANDARDS and DETAILS, latest revision"	
	<b>VALVE BOX INSTALLATION</b>	SCALE: Not To Scale REVISION DATE: May, 2016 SHEET # 1 of 1

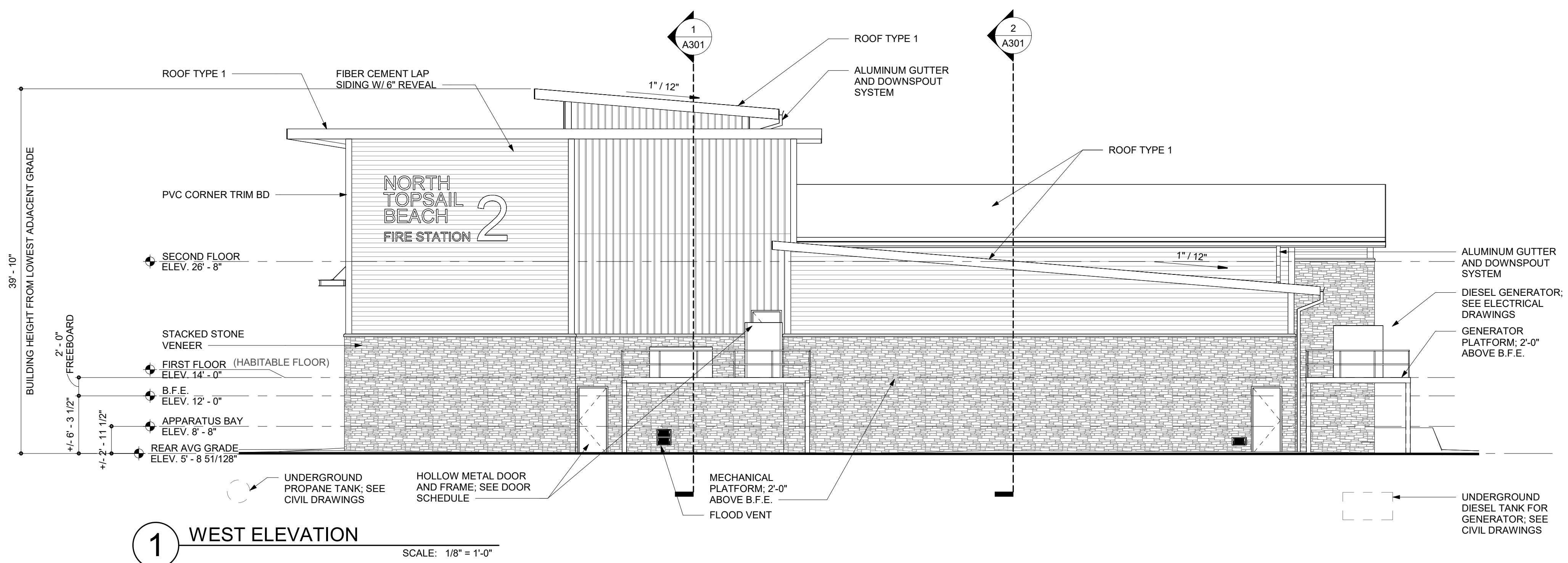


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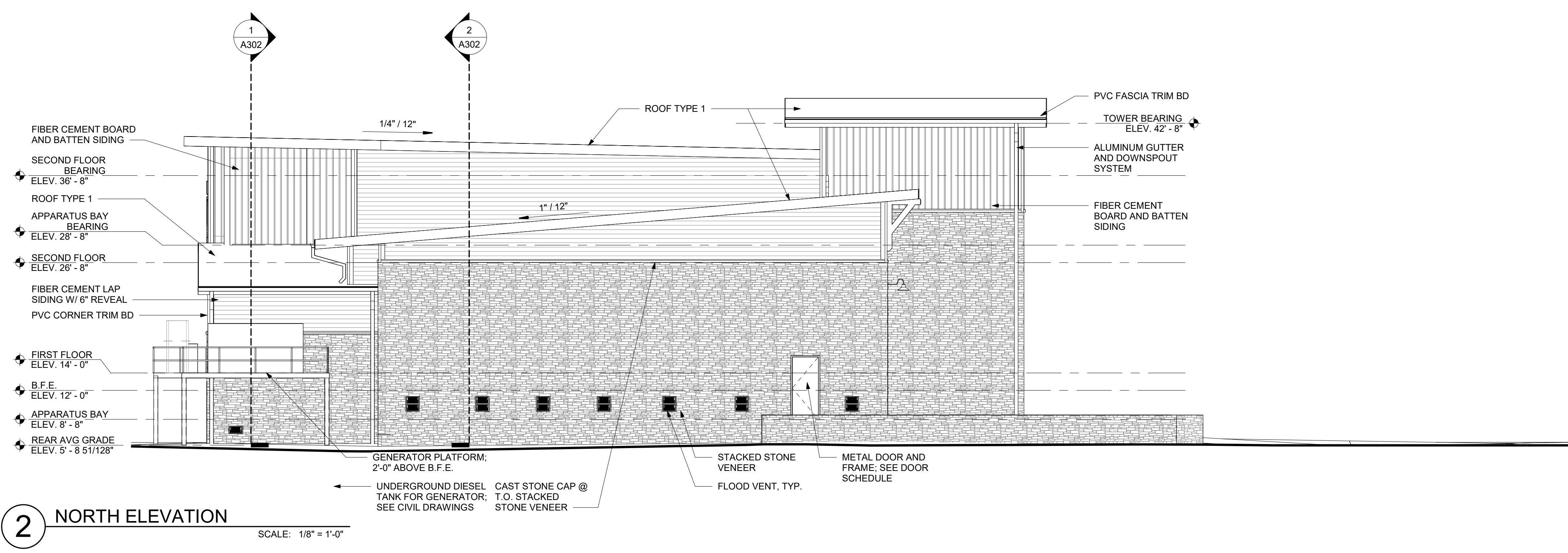


**PROPOSED FLOOD VENT DESIGN**

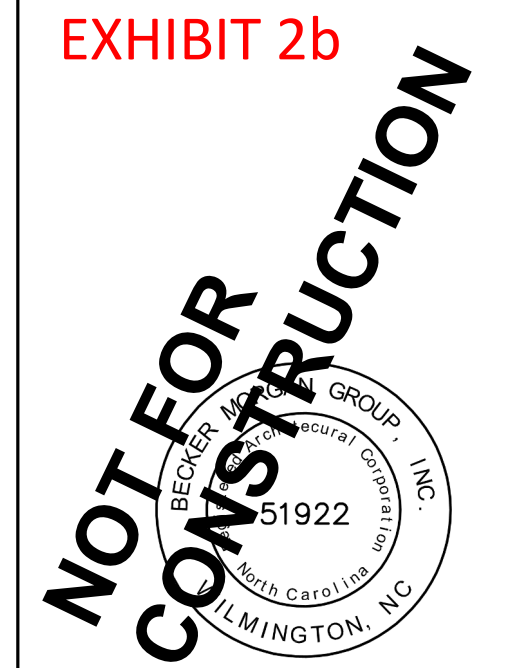
	INSULATED FLOOD VENT - STACKER
	INSULATED FLOOD VENT - SINGLE
	INSULATED FLOOD VENT - GARAGE DOOR MODEL
	FLOOD DOOR BARRIER



**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



PROJECT TITLE  
**NORTH TOPSAIL BEACH FIRE STATION #2**  
3304 GRAY STREET  
NORTH TOPSAIL BEACH, NC 28460

**PLANNING BOARD REVIEW**  
NOT FOR CONSTRUCTION  
NOT FOR PERMITS  
02/03/2023

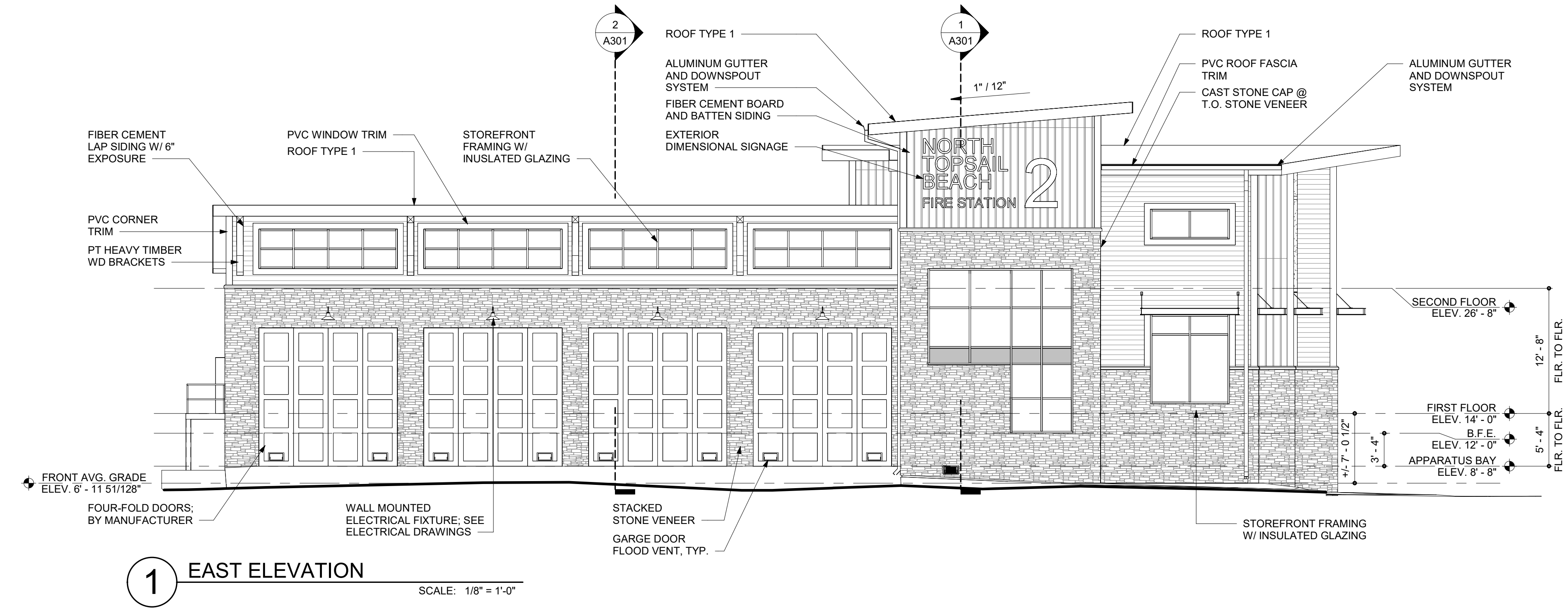
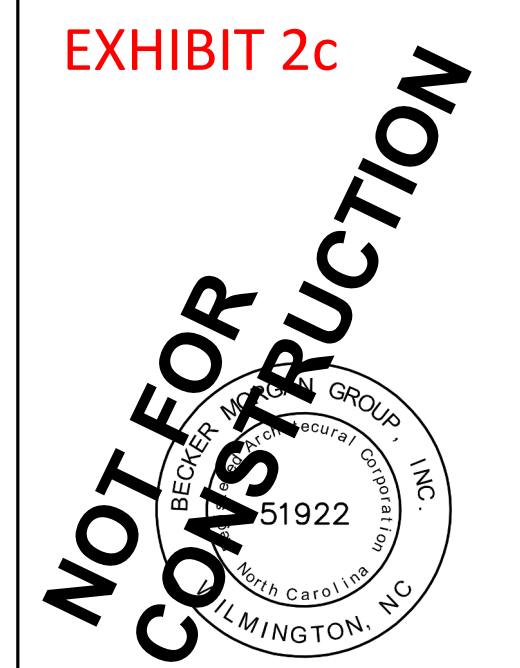
SHEET TITLE  
**EXTERIOR ELEVATIONS**

ISSUE BLOCK

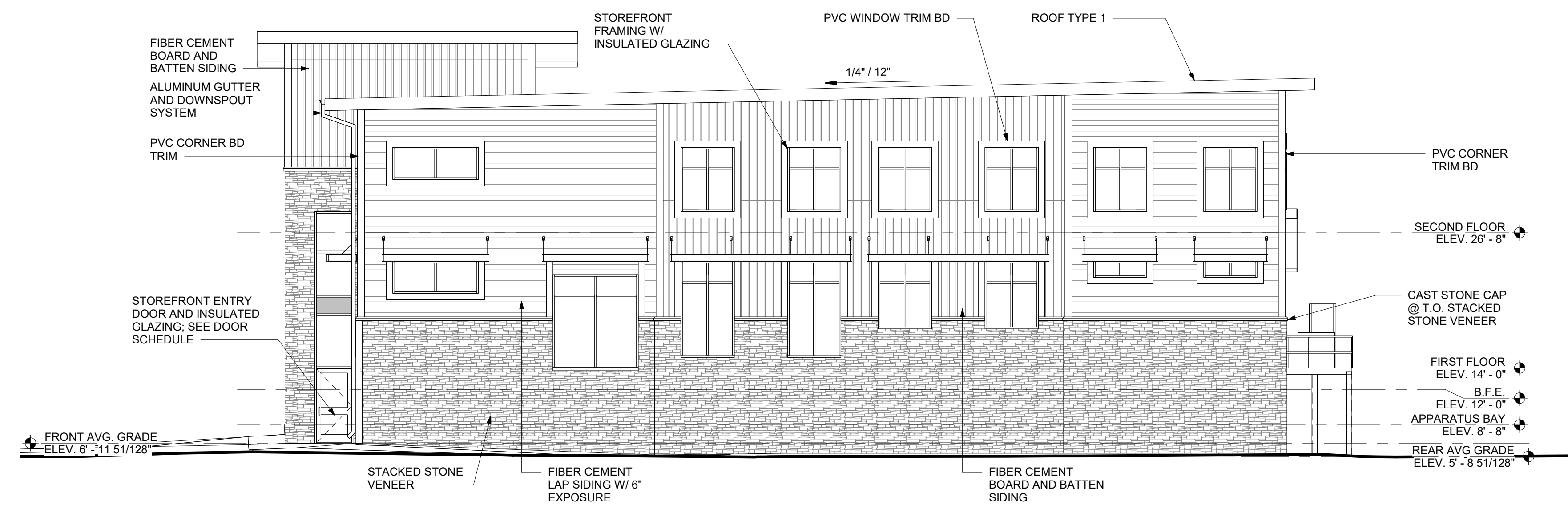
Mark	Date	Description

PROJECT NO: 2021025.02  
DATE: 02/03/2023  
SCALE: 1/8" = 1'-0"  
DRAWN BY: EJS | PROJ MGR: BMR

**A201**  
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**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

PROJECT TITLE  
**NORTH TOPSAIL BEACH FIRE STATION #2**

3304 GRAY STREET  
NORTH TOPSAIL BEACH, NC 28460

**PLANNING BOARD REVIEW**  
NOT FOR CONSTRUCTION  
NOT FOR PERMITS  
02/03/2023

SHEET TITLE  
**EXTERIOR ELEVATIONS**

Mark	Date	Description

PROJECT NO: 2021025.02  
DATE: 02/03/2023  
SCALE: 1/8" = 1'-0"  
DRAWN BY: Author | PROJ MGR: BMR

**A202**  
COPYRIGHT © 2023

2/3/2023 10:22:01 AM Autodesk Docs://North\_Topsail\_Beach\_Fire\_Department/202102502.rvt



EXHIBIT 3

Doc ID: 010491360001 Type: CRP  
Recorded: 05/17/2013 at 11:44:17 AM  
Fee Amt: \$26.00 Page 1 of 1  
Revenue Tax: \$0.00  
Onslow County, NC  
Rebecca L. Pollard Reg. of Deeds  
BK **3989** PG **84**

This certifies that there are no delinquent ad valorem taxes, or other taxes which the Onslow County Tax Collector is charged with collecting, that are a lien on:

Parcel Identification Number: \_\_\_\_\_  
This is not a certification that the Onslow County Parcel Identification Number matches this deed description.

Quanta  
Tax Collections Staff  
Date 5-17-2013

This deed presented to  
The Onslow Tax Office  
Date 5/17/13

Return to: Brian E. Edes  
5002 Randall Parkway  
Wilmington, NC 28403

Parcel No. 040459  
040481

Stamps: \$ 0.00

STATE OF North Carolina  
COUNTY OF Onslow County

QUITCLAIM DEED

BRIEF DESCRIPTION FOR THE INDEX: Lots 12 and 13 in Block twenty-four, Ocean City

THIS QUITCLAIM DEED, made and entered into this the 4<sup>th</sup> day of May, 2013, by and between North Topsail Beach Volunteer Rescue & EMS, Inc., of Onslow County, NC, hereinafter called Grantor, and the Town of North Topsail Beach, North Carolina, of Onslow County, hereinafter called Grantee;

WITNESSETH

That said Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars to him in hand paid, the receipt of which is hereby acknowledged, has remised and released and by these presents does remise, release, convey and forever quitclaim unto the Grantee and his/her heirs and/or successors and assigns all right, title, claim, and interest of the Grantor in and to a certain tract or parcel of land lying and being in Onslow County, State of North Carolina, and more particularly described as follows:

All of Lots twelve (12) and thirteen (13) in Block twenty-four (24), more particularly shown and described on a plat of survey entitled "Revised Map of a Portion of Ocean City on Topsail Island, North Carolina, dated February 6, 1974, by H. M. Loughlin, Registered Land Surveyor

THE PROPERTY hereinabove described was acquired by Grantor by instrument recorded in Book 751 at page 495 of the October 9, 1985 county registry

TO HAVE AND TO HOLD the aforesaid tract or parcel of land and all privileges thereunto belonging to her, the Grantee and her heirs and/or successors and assigns, free and discharged from all right, title, claim or interest of Grantor or anyone claiming by, through, or under him.

The Designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

Gunner Matthews (SEAL)  
Gunner Matthews

\_\_\_\_\_  
(SEAL)

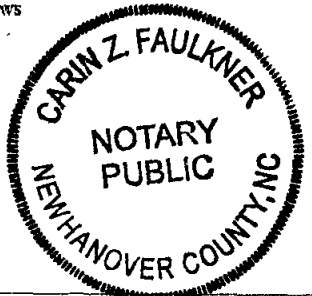
STATE OF North Carolina  
COUNTY OF Onslow County

I, Carin Z. Faulkner, a Notary Public for the aforesaid County and State, hereby certify that Gunnar Matthews personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

WITNESS my hand and seal this 4th day of May, 2013.

My Commission Expires:  
November 22, 2016  
STATE OF NORTH CAROLINA

Carin Z. Faulkner  
Notary Public  
(Notarial Seal)



Joann M. McDermon, Mayor  
Mike Benson, Mayor Pro Tem

Alice Derian, ICMA-CM  
Town Manager

Aldermen:  
Alfred Fontana  
Richard Grant  
Tom Leonard  
Connie Plett

Melinda Mier  
Town Clerk



*Nature's Tranquil Beauty*

**Certification of Public Notice**

In accordance with NCGS § 160D-4-6 (b) and North Topsail Beach Unified Development Ordinance (UDO) §2.06 Table 2-1, I hereby certify that on February 17, 2023, a notice of a public hearing for the Commercial Plan Review: Fire Station #2, 3304 Gray Street, was sent by first-class mail, to all owners of property abutting 3304 Gray Street. The list of owners and addresses was prepared from Onslow County Tax Records:

BAILEY EVESTER B & BRENDA B  
3626 SUFFOLK ST  
DURHAM, NC 27707

CARTER HACKNEY & HUDSON LLC  
102 OXFORD RD  
LUMBERTON, NC 28358

On February 14, 2023, a Notice was posted at Town Hall, and on the Town's website and distributed to the "sunshine list." Notice was posted on the property subject to the request at least ten days prior to the scheduled hearing.

Certified:

Deborah J. Hill, MPA AICP CZO CFM

Planning Director

cc: file

**TOWN OF  
NORTH TOPSAIL BEACH  
BOARD OF ALDERMEN**  
Wednesday, March 1, 2023,  
11:00 a.m. 2008 Loggerhead  
Court, North Topsail Beach NC  
28460 Pursuant to NCGS §  
160D-601 and the Town's Uni-  
fied Development Ordinance  
§2.06 and §2.07.01, notice is  
hereby given that a regular meet-  
ing of the North Topsail Beach  
Board of Aldermen will be held at  
2008 Loggerhead Court, North  
Topsail Beach NC on Wednes-  
day, March 1, 2023, 11:00 a.m.  
Hearings will be conducted to re-  
ceive input on: Commercial Plan  
Review: Fire Station #2, 3304  
Gray Street; Proposed Amend-  
ment §6.05 Off-Street Parking  
And Loading Requirement; Pro-  
posed Amendment § 4.03.20, §  
11.02 Duplex; Proposed Amend-  
ment § 4.03.07 Fences.  
All information pertaining to these  
public hearings may be viewed at  
the Town Hall by appointment  
only Monday through Friday  
between the hours of 8:00 am  
and 5:00 pm.  
For more information, please con-  
tact: Deborah J. Hill MPA AICP  
CFM CZO, Planning Director  
dhill@northtopsailbeachnc.gov  
910-328-1349  
February 11 & 18, 2023

Jacksonville Daily News

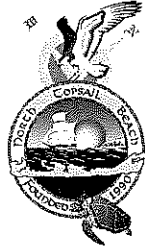


*Town of North Topsail Beach*

**EXHIBIT 6**

Joann M. McDermon, Mayor  
Mike Benson, Mayor Pro Tem

Aldermen:  
Alfred Fontana  
Richard Grant  
Tom Leonard  
Connie Pletl



Alice Derian, ICMA-CM  
Town Manager

Melinda Mier  
Town Clerk

*Nature's Tranquil Beauty*  
**Zoning Board of Adjustment**  
**Monday, January 30, 2023, 5:30 p.m.**  
**ORDER**

To Whom It May Concern:

The Board of Adjustment for the Town of North Topsail Beach, Onslow County, North Carolina, held a public hearing on January 30, 2023 to consider Case # VF-23-01, a variance request by the Town of North Topsail Beach from Unified Development Ordinance §7.05(G), to allow for construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach NC, not otherwise permissible by the Town of North Topsail Beach Development Ordinance.

Having considered all technical evaluations, all relevant factors, all standards specified in Unified Development Ordinance §7.04(E)(4)(a) - (k) and having heard all of the evidence and arguments presented at the hearing by all sworn witnesses, included as a summary of FINDINGS OF FACT, the Board makes the following CONCLUSIONS:

- A showing of good and sufficient cause has been made;
- A determination that failure to grant the variance would result in exceptional hardship; and
- A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, or extraordinary public expense, create nuisance, cause fraud on or victimization of the public, or conflict with existing local laws or this article.

**THEREFORE**, on the basis of the foregoing, it is ORDERED that a variance be granted from the Town's higher standard of enforcing v-zone development standards in an AE zone identified in Unified Development Ordinance § 7.05 (G), to allow for construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach NC, that the design meets or exceeds NFIP AE flood zone requirements for commercial/non-residential development with 12-foot base flood elevation and 2-foot freeboard including dry floodproofing of the below regulatory flood where the use is anything other than parking, access, or storage.

Any person aggrieved by the decision of the Appeal Board may appeal such decision to the Court, as provided in North Carolina General Statutes Chapter 7A.

Ordered this 30<sup>th</sup> day of January, 2023:

Certified:

X 

Hanna McCloud  
Chair

X 

Kathryn Winzler  
Secretary