#### APPLICANT/PROPERTY OWNER (EXHIBIT 3)

Town of North Topsail Beach/ Alice Darian Town Manager					
Becker Morgan Group	Architect				
Paramounte Engineering, PLLC	Civil Engineer				
CBHF Engineering, PLLC	PME Engineer				
Woods Engineering,	PA Structural Engineer				
PROPERTY ADDRESS/LOCATION					
3304 GRAY ST/ NORTH TOPSAIL BEACH					

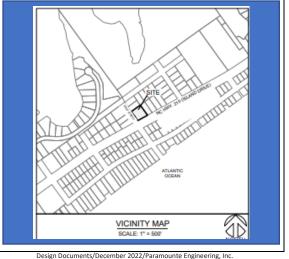
Board of Aldermen 3/1/2023 11AM (EXHIBIT 4)

#### **BRIEF SUMMARY OF REQUEST**

PUBLIC HEARING DATE

Board of Aldermen

The Town of North Topsail Beach is requesting development plan review and approval of the proposed North Topsail Beach Fire Station #2. Procedures for Commercial Plan Review are outlined in UDO § 2.06.07. On January 12, 2023, the Planning Board returned the development plan for additional information to include a review and certification by the Public Works Director, Fire Marshall, Police Chief, Building Inspector and Planning Director (EXHIBIT 1a) and completion of the 2018 Appendix B Building Code Summery for All Commercial Projects by the engineer. (EXHIBIT 5). The plans are in compliance with FEMA requirements, as a variance was ordered on January 30, 2023, by the Board of Adjustment in accordance with UDO § 7.04 (E) from the Town's higher standard of enforcing V-zone development standards in the AE zone pursuant to Unified Development Ordinance § 7.05 (G) (EXHIBIT 6).



EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY		
CD-R5	(CAMA LUP Map 10A) Office & Institutional	N: vacant CD-R5 E: single family CD-R5 S: Island Dr W: Gray St	1986 PUBLIC/GOVERNMENT BUILDINGS	+/- 0.38 acres/ +/-16,501SF		

RECOMMENDATION

In accordance with § 2.06.07(E), the Planning Board recommends that the Board of Aldermen

APPROVE

N. Topsail Beach Fire Station #2 DESIGN PLANS (EXHIBIT 1 & 2)

#### PROPERTY HISTORY

Property originally belonged to John and Adriena Carter and was sold to West Onslow Beach Volunteer Fire & Rescue Department In 1985. The Fire Station was constructed in 1986. Onslow County adopted the Flood Insurance Rate Maps in 1987. The Town incorporated in 1990 and the property was transferred to North Topsail Beach Volunteer Rescue & EMS Inc in 1991 and transferred to the Town of North Topsail Beach in 2013. (EXHIBIT 3)

**COMPATIBILITY** with the COMPREHENSIVE PLAN (Town of North Topsail Beach 2019 CAMA Land Use Plan 3/4/2021)

The North Topsail Beach Fire Department is located at 2049 New River Inlet Road (Station 1) with an additional location at 3304 Gray Street (Station 2). The department's Station 1 facility is adequate through the planning period and is undergoing renovation and maintenance; however, Station 2 consists of a metal building established in 1986 and is in disrepair in need of immediate replacement. (updated from Page 4-9)

North Topsail Beach will continue to encourage projects undertaken by the Town's Police Department, Fire Department, and Public Works, which will lessen the vulnerability of the Town and its residents to natural hazards. Annex 3-9

The property is within the Outstanding Resource Waters (ORW) AEC. Existing impervious 14,491 sf (88%) and qualifies as redevelopment pursuant to 15A NCAC 07H .0209 COASTAL SHORELINES (d)(2). NCDCM.

#### COMPATIBILITY with the UNIFIED DEVELOPMENT ORDINANCE

Existing use prior to the Town's incorporation in 1990.

	· ·							I			
Public	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	<u>4.03.20</u>
administration/government											
facilities (ambulance service;											
police and fire stations)											

§ 4.03.19 PUBLIC ADMINISTRATION (GOVERNMENT FACILITIES).

(A) Access. Must have primary access to a minor thoroughfare or higher capacity street.

(B) Use separation. Fifty-foot minimum distance between the ambulance or police station or similar use and any adjacent residential property. Pre-existing.

(C) Screening. Service areas must be separated from the view from abutting residential properties using the standards for enclosed outdoor storage and service areas pursuant to § 4.03.06. (Any storage or service areas would require at least a six foot fence)

(Ord. passed 11-2-2011)

#### Article 5. Dimensional Requirements

Table 5-1 Dimensional Requirements							
Zoning District	Minimum Lot Size	Front Yard Setback	Lot Width	Side Yard Setback	Side Yard on Corner	Rear Yard Setback	Building Height
R-5 Single- family	5,000 sq. ft.	20'	50'	8'	15'	10'	48'

#### §6.04.08 BUFFERS NOT REQUIRED FOR EXISTING USES.

Uses already existing at the time of the passage of this ordinance, or subsequent amendments thereto, shall not have buffering requirements modified. Such preexisting uses, which are conforming, shall not be required to install a buffer along any public street. A change of use after the adoption of this ordinance requires conformance with the buffering requirements.

(Ord. passed 11-2-2011)

#### §6.05 OFF-STREET PARKING AND LOADING REQUIREMENT.

(A) Permanent off-street parking spaces shall be indicated on plans submitted for review and provided on the lot in accordance with the following requirements prior to the completion of construction of any building or structure, or at the time any principal building or structure is enlarged or increased in capacity by adding dwelling units, bedrooms or before conversion from one zoning use or occupancy to another.

(B) Storm water run-off standards are required for all off-street parking and driveways for the purpose of protecting surface water and ground water quality, to protect and promote public health, safety and general

welfare with guided plans that limit storm water run-off, pollutants, road ponding and environmental concerns and to avoid any further problems. The developer shall provide surface water drainage plans. These plans shall indicate storm water drainage supported by design computations. The design shall conform to the standards as required by NCDOT, NCDWQ or other regulatory state agency. (EXHIBIT 1g)

- (1) Permanent off-street parking spaces and driveways shall be graded and paved with gravel, porous concrete, porous paving or an open-face paving block over sand and filter-cloth base. If non-porous material is used to construct the parking area or driveway on the property an engineered storm water plan must be submitted as a supplement to the plat plan.
- (2) Applicants must prove to the Planning Department that adequate measures have been taken to contain the first inch and a half of rainfall in a 24-hour period.
- (3) The engineered storm water plan for driveways is not allowed on any property located in any Outstanding Resource Water (ORW) Area of Environmental Concern (AEC). The state requirement of 25% built-upon will remain in effect. (*Planning Director's note: qualifies as "redevelopment" under 15A NCAC 07H .0209 COASTAL SHORELINES (d)(2)), with NCDWQ erosion/sediment control review, will require NC DCM CAMA Major Permit).*

Public buildings: 1 parking space for each employee, plus 1 parking space for each 5 seats in the largest assembly room (**EXHIBIT 2a**)

#### §6.05.02 OFF-STREET LOADING PURPOSE AND GENERAL REQUIREMENTS.

Plans for off-street loading areas shall include (1) The location and dimensions of driveway entrances, access aisles and loading spaces; (2) The provision for vehicular and pedestrian circulation; and (3) The location of sidewalks and curbs. (**EXHIBIT 2a**)

#### ARTICLE 7. FLOOD DAMAGE PREVENTION

The Town is in compliance with FEMA requirements, as a variance was ordered on January 30, 2023, in accordance with UDO § 7.04 (E) from the Town's higher standard of enforcing V-zone development standards in the AE zone pursuant to Unified Development Ordinance § 7.05 (G), allowing for the construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach NC. **(EXHIBIT 6)** 

The Southeastern NC Regional Hazard Mitigation Plan addresses 44 CFR § 60.22 planning considerations for critical facilities. Given equal vulnerability across the Southeastern NC Region, all critical facilities are considered to be at risk. Some buildings may perform better than others in the face of such an event due to construction, age, and other factors. The Hazard Mitigation Plan will consider mitigation actions for vulnerable structures, including critical facilities, to reduce the impacts of the hurricane wind hazard. A list of specific critical facilities and their associated risk can be found in Table 6.26. In conclusion, a hurricane event has the potential to impact many existing and future buildings, critical facilities, and populations in the Southeastern NC Region. Hurricane events can cause substantial damage in their wake including fatalities, extensive debris clean-up, and extended power outages.

#### § 2.06.07 COMMERCIAL PLAN REVIEW.

#### (A) Commercial plan and design requirements.

(1) Development plans involving new construction of commercial space must be approved by the Board of Aldermen before issuance of a zoning permit. The Planning Board shall review and make recommendations prior to recommending action by the Board of Aldermen; furthermore, the Planning Board may return the development plan to the applicant/owner for revision and/or additional information before recommending action by the Board.

(2) Upon submittal of a development plan and all required materials specified by the Planning Board, the Planning Board shall have 20 working days to either return the development plan to the applicant with noncompliance findings noted, or notify the applicant of an approval/rejection/ recommendation for approval/return for revision and/or additional information. Notification may be verbal, but must be documented in writing within 30 days following the notification date. Each time a development plan is rejected, revised or returned for additional information, the timetable for official action shall begin anew. Should a period of 30 days elapse between the submittal of a development plan and the issuance of a written notification, then the development plan shall be deemed approved/ recommended for approval.

(3) Where Board of Aldermen approval is required as specified herein, the Board shall have 60 days following receipt of the Planning Board's recommendation to take action either to approve or reject the development plan. Failure of the Board of Aldermen to act on the development plan within the specified period shall deem approval of the development plan as submitted.

(4) Applicants wishing to re-submit rejected development plans must reapply. Substantial changes to approved development plans must be reviewed by the Planning Board and approved by the Board of Aldermen. Approved development plans must apply for all required permits, including zoning. All re-applications are subject to the current fee schedule as approved by the Board of Aldermen.

(5) Applicants requesting development plan review/approval shall be required to pay a review fee in accordance with the fee schedule at the time of each development plan submittal and/or request for substantial revision.

#### (B) Effect of development plan approval; validity.

(1) Approval of the development plan shall authorize the applicant to proceed with the installation of site improvements provided all other regulatory requirements and permits are satisfied. Approval shall not authorize the sale or transfer of lots/tracts/units, or the occupancy/use, or the revision of the approved development plan. Development plan approval shall be void unless installation of improvements is in accordance with the approved development plan and/or approved revisions thereto. Development plan approval is valid for a period of one year from the date of approval; however, approved revisions shall not constitute additional time unless specified in writing by the Planning Board upon approval of said revisions. Substantial revision to a development plan requires re-application as described in § 2.06.06(A), may constitute a new validation period.

(2) Projects requiring more than one year for construction and completion may request additional time in either the application or a subsequent letter or request; however, no approval shall be granted for a period greater than two years. Projects requiring phased construction or approval for periods exceeding two years shall submit development plans for each phase or for each extended period of construction, subject to the discretion of the Board of Aldermen.

#### (C) As-built plans; validity and effect.

(1) A set of as-built drawings and technical data shall be prepared by the applicant and submitted to the Building Inspector and Zoning Official for review of compliance prior to occupancy and/or use of

#### March 1, 2023

developments. The Zoning Official shall notify the applicant within 15 days of receipt of the development plan as-built drawing and technical data, of any noncompliance or deficiency in information.

(2) As-built drawing(s) and technical data shall be kept on file at the Town Hall along with one copy of the approved development plan and any approved revisions thereto.

(3) Commercial development not in compliance with an approved development plan shall not be eligible for occupancy/use until all corrective measures are taken to satisfy the requirements herein.

#### (D) Sketch plan requirements and procedure.

(1) The sketch plan should be drawn to scale, preferably the scale required for development plan submittal. Required information shall include the following:

(a) Property boundaries and total acreage and square footage;

(b) Major topographical and physical features (i.e., water bodies, slopes, buildings, areas of environmental concern, streets and the like);

(c) Proposed streets, buildings and/or lot arrangement;

(d) Existing and proposed land use with brief project description including building sizes, unit sizes, lot sizes, open space, amenities and the like;

(e) Name, address and telephone number of applicant/owner and persons (FIRM) preparing the development plan;

(f) Adjacent street names, numbers and right-of-way widths; and

(g) Zoning district classification of site and surrounding properties, including those across streets.

(2) The sketch plan shall be submitted providing at least nine copies.

#### (E) Development plan requirements and procedure. (EXHIBITS 1 & 2)

(1) The development plan shall be drawn to scale of one inch equals 30 feet unless otherwise approved by the Planning Board. Required information may be waived and/or recommended information required at the discretion of the Planning Board, where special circumstances avail. The development plan shall be submitted providing the minimum required information and should contain all applicable recommended information:

(a) Existing and proposed topographic contours, at vertical intervals no greater than two feet, of development areas;

(b) The location, use and outline of existing and proposed buildings and structures;

(c) Square footage and total percentage of built upon area;

(d) The location of proposed open spaces;

(e) The location, name, pavement width and right-of-way width of existing streets;

(f) The location, name, pavement width, curb type, right-of-way width, pavement type, sidewalk location and curb cuts of all proposed street and parking facilities and site improvement.

(g) The location of all existing and proposed utilities including electrical, water, sewage, telephone, fiber optic and gas facilities (including easements); all utilities must be underground;

(h) The location of all existing and proposed drainage facilities necessary to serve the site (including easements);

(i) Schedule of densities showing the number and type of units per acre;

(j) Schedule of building uses, by type, showing the number of bedrooms, the number of units and floor area;

(k) Buffer and screening devices proposed to separate uses within the development;

(I) Proposed perimeter buffers and screening devices;

(m) Proposed schedule of development for each phase of the project showing anticipated time for completion and estimated completion dates;

(n) Property line survey and acreage data;

(o) Vicinity map at a scale of one inch equals 400 feet and encompassing an area no less than one-fourth

mile in radius of the site and including:

1. Existing streets;

2. Existing watercourses and FEMA flood hazard areas; and

3. Existing land uses on the site and in the area surrounding the site.

(p) Written and graphic scale, north arrow and title;

(q) Proposed name of development;

(r) Technical report containing:

1. A description of the project including general characteristics, development concept, architectural design and amenities;

2. A general assessment of impact showing the proposed impact upon all affected utilities, transportation facilities, the environment, the local economy and local government; and

3. Engineering report to demonstrate adequacy of existing and proposed public facilities;

(s) Name, address and telephone number of the applicant and persons (FIRM) preparing the development plan;

(t) Zoning district classification of site and surrounding properties, including those across street(s);

(u) Owner names of surrounding properties;

(v) Existing driveway cuts on all adjacent properties (including those across the street(s); and

(w) Certificate of review and approval of the technical standards: (EXHIBIT 1a)

"I hereby certify that I have reviewed the plan and the plan meets or exceeds the regulations and Ordinances of the Town of North Topsail Beach.

Public Works Director	Date
Fire Marshal	Date
Police Chief	Date
Building Inspector	Date
Planning Director	Date

(2) Development plans requiring consideration by the Board of Aldermen shall be submitted in sets of nine copies for Planning Board and eight copies for the Board of Aldermen upon recommendation by the Planning Board. Applicants are encouraged to submit the eight copies for Aldermen review after receiving and incorporating comments resulting from the Planning Board's recommendation. Facilities and/or improvement proposed for dedication to the state, the county and/or the town and/or their political subdivisions shall be submitted for design approval and plan. Before constructing, detailed plans and specification, prepared by a licensed professional engineer, shall be reviewed and approved by each relevant entity in accordance with their respective policies regarding said facilities and/or improvements. Approval of the development plan does not imply or satisfy approval requirements for such facilities and/or improvements.

#### (F) As-built development plan requirements.

(1) The as-built development plan shall be submitted in accordance with subsection (C) above, and the following requirements.

(a) The as-built development plan shall constitute only that portion of the approved development plan proposed for occupancy and/or use at that time.

(b) An as-built development plan may be required to show or be accompanied by the following information subject to the discretion of the Planning Director:

i. Name of development;

ii. Date including the month, day and year of the original drawings and of each revision;

iii. Names and addresses of the owner of record, the applicant, the land planner, the surveyor and the engineer;

iv. Boundary lines of the development with distances accurate to hundredths of a foot and bearings of

v. Building height,

vi. Radii, central angles, tangents, length of acres and curvature of all new street lines;

vii. Lines and widths of all easements with dimensions accurate to hundredths of a foot and notation of the purpose of the easement or any limitations on its use;

viii. The location and elevation of the benchmark to which contour elevation refer;

ix. Lot number and a statement of the total number of lots. Lot lines shall be defined by distances in hundredths of a foot and in degrees to the nearest one-half of a minute, either by magnetic bearings or by angles of deflection from other lot and street lines;

x. Building setback lines with dimensions;

xi. Statement of the intended use of all commercial areas, with reference to existing or proposed restrictions;

xii. Accurate boundaries and specific designation of any area to be dedicated or reserved for public use of acquisition; and

xiii. Accurate boundaries of flood hazards areas and areas of environmental concern.

(c) Certificate of ownership and dedication:

"I hereby certify that I am the owner of the property shown and described hereon, which is located in the Corporate Limits of the Town of North Topsail Beach, and that I hereby adopt this development plan with my free consent, establish minimum building setback lines, and dedicate all streets, walks, parks, and other sites and easement to public or private use as noted. Furthermore, I hereby dedicate all sanitary sewer and water lines to the appropriate agency.

Owner Date"

(d) Certificate of survey and accuracy:

"I, \_\_\_\_\_\_ certify that this map was (drawn under my supervision) (deed description recorded in Book \_\_\_\_\_, page \_\_\_\_\_, etc.)(other specify); that the error of closure as calculated by latitudes and departures is 1:\_; that the boundaries not surveyed are shown as broken lines platted from information found in Book \_\_\_\_\_, page and seal this \_\_\_\_\_\_ day of \_\_\_\_\_\_, 20\_\_\_\_\_, A.D.

Surveyor, Date

Registration No.,

Seal

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_.

Notary Public Seal

(e) Certification of the approval of streets and utilities:

We hereby certify: 1) that streets, utilities, and other improvements have been installed within the Development shown and described here on in an acceptable manner and in accordance with design standards of the applicable regulations and Zoning Ordinance, Town of North Topsail Beach, North Carolina and other specification so the town: or, 2) that a security bond in the amount of \$\_\_\_\_, case in the amount of \$\_\_\_\_, or an irrevocable letter of credit payable upon demand by the town has been posted with the town to assure completion of all required improvements in case of default.

Date

Surveyor,

Registration No.,

Seal

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_

Notary Public Seal

(f) Certificate of approval of water and sewage system:

#### March 1, 2023

**Public Hearing** I hereby certify that the water supply system and the sewage disposal system installed or planned to be installed to serve each lot or unit within the Development shown and described here on fully meets the requirements of the Onslow County Health Department.

**Environmental Health Specialist** Date

(g) Certificate of approval for recording:

I hereby certify that the development plan shown hereon has been found to comply with the Zoning Ordinance, Town of North Topsail Beach, North Carolina with the exception of such variances, if any, as are noted in the minutes of the Board of Adjustment at its meeting on and may be recorded in the Office of Clerk of Onslow County.

**Planning Director** Date

(2) The as-built development plan shall be provided in a minimum of two copies, each bearing the original signatures and executions of the aforementioned applicable certifications.

(G) Design requirements. All development shall be in conformance with the following design and/or construction requirements.

(1) Private improvements. Any and all components for development not intended and/or proposed for public facilities dedication and/or public utility shall be in conformance with the following regulations.

(a) Driveway and parking facilities construction shall be in accordance with § 6.05.

(b) Water and sewer line (collection/distribution and service) construction shall be in accordance with policies and procedures established and design requirements and construction standards established by the water and sewer authorities.

(c) Buildings and their respective appurtenances shall be constructed in accordance with policies, procedures, design requirements and construction standards established herein and by the building code adopted by the town, as amended.

(d) Signs and their respective appurtenances shall be constructed in accordance with the policies, procedures, design requirements and construction, standards established in Article 8 of this ordinance. (Ord. passed 6-1-2006; Ord. passed 11-2-2011)

#### **Exhibits**

#### 1. NORTH TOPSAIL BEACH FIRE STATION #2 DESIGN DOCUMENTS signed 1/26/2023

- a. COVER SHEET
- b. SHEET TITLE (certified)
- c. C-1.0 **GENERAL NOTES**
- d. C-1.1 **GENERAL NOTES**
- e. Ex-1 **EXISTING CONDITIONS**
- f. C-2.0 DEMOLITION PLAN
- g. C-2.1 SITE PLAN
- GRADING, DRAINAGE & EROSION CONTROL PLAN h. C-3.0
- i. C-4.0 UTILITY PLAN
- j. C-5.0 DETAILS
- k. C-5.1 DETAILS
- l. C-5.2 DETAILS
- m. C-5.3 DETAILS

#### 2. NORTH TOPSAIL BEACH FIRE STATION #2 DESIGN DOCUMENTS 2/3/2023

- a. A100 ARCHITECTURAL SITE PLAN / FLOOD PROOFING DIAGRAM
- b. A201 EXTERIOR ELEVATIONS
- c. A202 EXTERIOR ELEVATIONS
- 3. Deed 3989 Page 84
- 4. Notice for Public Hearing March 1, 2023
- 5. 2018 Appendix B
- 6. Order to Grant Flood Variance



EXHIBIT 1a

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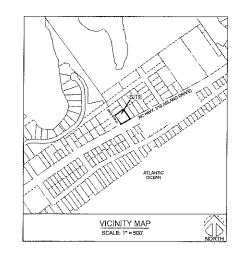
# NORTH TOPSAIL BEACH FIRE STATION #2

3304 GRAY STREET NORTH TOPSAIL BEACH ONSLOW COUNTY, NORTH CAROLINA 28460

## DESIGN DOCUMENTS

## JANUARY 2023

FOR: NORTH TOPSAIL BEACH 2008 LOGGERHEAD CT. NORTH TOPSAIL BEACH, NC 28460



OWNER:



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES,

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT 811

CONTACT THESE UTILITIES

NORTH TOPSAIL BEACH PLANNING DEPARTMENT ATTN: DEBORAH HILL, MPA, AICP, CPM, CZO PH: 910-928-1349 EXT, 7

NCDEQ STORMWATER ATTN: CHRISTINE HALL PH: 910.795.7335

PLURIS - SANITARY SEWER ATTN: KAARIN WILLIAMS PH: 910-218-7653

EMERGENCY DIAL 911 POLICE - FIRE - RESCUE DUKE ENERGY PROGRESS ATTN: KEVIN LEATHERWOOD PH: 910-802-4004 CENTURY LINK Ph: 910-347-7492

ONSLOW WATER AND SEWER AUTHORITY - WATER

SPECTRUM CABLE ATTN: STEVE BARNETTE PH: 910-772-5755

ATTN: WYNNE RAY PH: 910-937-7526

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## EXHIBIT 1b

OWNER: TOWN OF NORTH TOPSAIL BEACH 2008 LOGGERHEAD CT. NORTH TOPSAIL BEACH, NC 28460

ENGINEER (CIVIL): PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WIEMINGTON, NORTH CAROLINA 28403 ATTN: ROBERT BALLAND, P.E. (910) 791-6707

SHEET INDEX					
SHEET NUMBER	SHEET TITLE				
C-0.0	COVER SHEET				
C-1.0 & C-1.1	GENERAL NOTES				
EX-1	EXISTING CONDITIONS				
C-2,0	DEMOLITION PLAN				
C-2.1	SITE PLAN				
C-3.0	GRADING, DRAINAGE & EROSION CONTROL PLAN				
C-4.0	UTILITY PLAN				
C-5.0 - C-5.3	DETAILS				



#### COORDINATION NOTES

- THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE TOWN OF NORTH TOPSAIL BEACH, ONSLOW COUNTY, AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS 2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

#### GENERAL NOTES:

- EX. CONDITIONS AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNTE ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS. ELECTRONIC DEVICES. HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
- DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
- CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 AN ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE
- 10. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
- 11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- 12 THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- 13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES
- 14. ALL STREET SURFACES. DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- 5. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 16. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE TOWN OF NORTH TOPSAIL BEACH, ONSLOW COUNTY, ONWASA, AND PLURIS RESPECTIVELY.
- 17. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL" TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
- 18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- 19. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 20. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO MUTCD. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 1. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
- 22. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

#### TRAFFIC NOTES

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET NCDOT STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY.
- 6. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUNDCOVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY
- CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
- 3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE. ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
- 4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
- 5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES. PLEASE REFER TO THIS APPROVED PLAN AND PERMIT FOR FULL REQUIREMENTS
- 6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT
- 7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
- 8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED
- 9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODDED OR SEEDED AS INDICATED AND STABILIZED.
- CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE 10. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
  - 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
  - 12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NCDENR'S FINAL APPROVAL IS REQUIRED.
  - 13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA (NO SEPARATE PAYMENT)
  - 14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 3:1 MAXIMUM, AND REGRADE CENTERLINE TO PRODUCE POSITIVE DRAINAGE. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

#### DEMOLITION NOTES:

- CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES: ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER
- 5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- 6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVERHEAD LINES AND REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.
- 11. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- 12. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
- 13. EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
- 14. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES: NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED; WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE DISTURBANCE IS

- STABILIZED AND ALL IMPROVEMENTS WITHIN THE DISTURBANCE LIMITS ARE COMPLETE. 1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE. 2. CLEAR AND REMOVE FROM SITE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE
- AREA WITHIN THE DESIGNATED CLEARING LIMITS. 3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE
- COMMENCING CONSTRUCTION 4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
- IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
- DURING GRADING AND AFTER GRADING HAS BEEN COMPLETE, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
- UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

## EROSION CONTROL MAINTENANCE PLAN:

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2-INCH OR GREATER RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
- SEDIMENT FENCE / SEDIMENT FENCE OUTLETS SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED. THE SEDIMENT FENCE WILL BE BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL, AND SPACED 6 FEET WITH EXTRA STRENGTH FABRIC AND NO WIRE BACKING. STAKE SPACING CAN BE 8 FFFT WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS (OR EXCELSIOR WATTLES) ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK OR WATTLE WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS, OR IS DAMAGED.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- 5. INLET PROTECTION SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL, BLOCK AND GRAVEL, OR ROCK-PIPE INLETS, WHEN IT REACHES HALF-FILLED. ROCK WILL BE CLEANED OR REPLACED WHEN NO LONGER DRAINS. SILT SACKS, BEAVER DAMS, SANDY SACKS, AND SOCKS NEED CHECKING EVERY WEEK AND AFTER RAIN.

PERMANENT SEEDING						
GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE			
BERMUDA, HULLED BERMUDA, UNHULLED	10-20 35	MARCH - AUGUST SEPT FEB.	BY SOIL TEST			
CENTIPEDE	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)			
TALL FESCUE (COASTAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LB/AC 10-20-20 OR BY SOIL TEST			
SLOPES >= 2:1 CENTIPEDE SERICEA LESPEDEZA	5 20	JAN - DEC	BY SOIL TEST			

TEMPORARY SEEDING					
GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE		
RYE GRAIN	50	OCT APR.	400 LBS/AC. 10-20-20		
SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/AC. 10-20-20		
GERMAN or BROWNTOP MILLET	50	JUNE - AUGUST	400 LBS/AC. 10-20-20		
STRAW MULCH AS NEEDED	4,000				

STABILIZATION TIME FRAMES:

IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY. CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT

NC ACCESSIBILITY NOTES

- SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2) STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNTE ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDI PROJECT. IN ADDITION, PARAMOUNTE ENGINEERING HAS MADE A POINT IN THESE NOTES AND DET AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY W AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIO NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BE MOVING FORWARD WITH THE WORK
- THE CONTRACTOR SHALL NOTIFY PARAMOUNTE ENGINEERING IMMEDIATELY OF ANY CONFLICT BE THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNTE ENGINE OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLA SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF SUCH CONFLICT(S)
- THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARK SPACES AND ACCESSIBLE PASSENGER LOADING ZONES: PUBLIC STREETS OR SIDEWALKS: AND PU TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
- 2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITI ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
- 3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
- 4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATE 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
- TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHAND FF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
- 6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- 7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHE MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE & 1104.2).
- 8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THA FORTY-EIGHT (48) INCHES IN WIDTH. CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN IN THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINI SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES\*
- 9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALLPROVIDE PASSII SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHE SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE; OR AN INTERSECTION OF TWO (2) WA SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARM THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
- 10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANC BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
- 12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EV THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE. THE GRATE SHALL COMPL THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, A APPLICABLE LOCAL LAWS & REGULATIONS

## RAMP NOTES

- ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONS
- 2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SH
- 3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING COD IDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEAS BETWEEN THE HANDRAILS.
- 4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
- LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS I ANDINGS SHALL HAVE A SL NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS W THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HA CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
- RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDIN CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- 7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- 8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ( SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
- WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. WHERE DOO THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED T PROVIDE A COMPLIANT TURNING SPACE.

#### CURB RAMP NOTES:

- 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPI BE 2.0%.
- 2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAM WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
- 3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SID PROVIDED. \*NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).\*
- 4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS W THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A NOT STEEPER THAN 2% IN ANY DIRECTION.
- 5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT I PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
- 6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
- 7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLAR
- 8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
- 9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABL WARNING COMPLYING WITH 406.12 A117.1. EXTENDING THE FULL WIDTH OF THE RAMP, REFERTO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR D 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
- 10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, ½ INCH WIDE BY ¼ INCH DEEP, ONE INCH CENTERS TRANSVERSE TO THE RAMP.
- 11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
- 12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEW AND NOT ON THE SIDEWALK.
- 13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN RAMP AREA.
- 14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

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EFORE	NC	CACCESSIBILITY NOTES CONTD.		<u>a Carolina</u>
		RKING SPACE NOTES:	Wilming	e Drive, Suite 120 ton, NC 28403 341.7600
IM ANY		ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS.	$312 \text{ West N}$ Salisbu $410$ $\underline{D}6$ $309 \text{ S C}$	aryland Main St, Suite 300 ry, MD 21801 .546.9100 elaware fovernors Ave r, DE 19904
KING IBLIC TIES,	3.	WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FORACCESSIBLE ROUTES. MARKED	302 The Tower 100 Discovery	, DE 19904 .734.7950 at STAR Campus Boulevard, Suite 102 k, DE 19713
G SLOPE	Δ	CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.	302	.369.3700 kermorgan.com
ER THAN	4. 5.	ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.		wn of the
REE OF	6.	ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.		PSAIL BEACH Tranquil Beauty NORTH CAROLINA
ES E 1104.1	7.	ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPTFOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.		
AN	8.	FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.	EXHIBIT	<sup>-</sup> 1c
) (42) ЛАҮ ВЕ MUM*	9.	PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.		
	10.	PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.		
NG ER A ALKING MS OF	11.	PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.		
THE E/ ANSI	12.	EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING		Nou
E SHALL	10	PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.		2
VENT .Y WITH ND	13.	SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.1SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.	8	S S
IDERED	14.	ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).		AROLINI SSIO
IALL BE		SENGER LOADING ZONE NOTES:	K	SEAL
E SURED		PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP		GINEER. RO
	3.	SPACE THEY SERVE. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.	09/0	)2/2022
OPE VIDE AS (60) AVE A	4.	VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.	_	TOPSAIL
NG	5.	FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.	BEACH	
THE NC	6.	VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.	3304 GRAY ST	
ON EACH		CESSIBLE ENTRANCE NOTES: ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH	NORTH TOPSA 28460	AIL BEACH, NC
DRS TO	2.	DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON		SIGN JMENTS
		AN ACCESSIBLE ROUTE.	NOT FO	CONSTRUCTION DR PERMITS
	-	ALL STORM SEWER NOTES: ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWN OF NORTH	SHEET TITLE	//09/22
E CURB MPS TO	;	TOPSAIL BEACH REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.	GENERA	L NOTES
DES, IF S G SHALL		ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.		
VIDE AS SLOPE		ROOF DRAIN NOTE:		
IS NOT		<ol> <li>PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.</li> </ol>		
		EXISTING UTILITY NOTES:		
S AT RED		1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.		
E		2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED		
DO THE		TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.		
E (1)				
WALK		<b>M</b>	Mark Date PROJECT NO:	Description 22242.PE
I THE			DATE:	01/26/2022
			SCALE:	N.T.S.



DRAWN BY: RPB PROJ MGR: RPB

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR (
THE NCG01 CONSTRUCTION GENERAL PERMIT
Implementing the details and specifications on this plan sheet will result

Implementing the details and specifications on this plan sheet will result activity being considered compliant with the Ground Stabilization and M sections of the NCG01 Construction General Permit (Sections E and F, res permittee shall comply with the Erosion and Sediment Control plan appr delegated authority having jurisdiction. All details and specifications show may not apply depending on site conditions and the delegated authority

Required Ground Stabilization Timeframes							
Sit	te Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe				
(a)	Perimeter dikes, swales, ditches, and perimeter slopes	7	Nor				
(b)	High Quality Water (HQW) Zones	7	Nor				
(c)	Slopes steeper than 3:1	7	If slopes are 10' or le not steeper than 2:1 allowed				
(d)	Slopes 3:1 to 4:1	14	-7 days for slopes gre length and with slope -7 days for perimeter ditches, perimeter sl Zones -10 days for Falls Lak				
(e)	Areas with slopes flatter than 4:1	14	<ul> <li>-7 days for perimeter ditches, perimeter slo</li> <li>-10 days for Falls Lak there is zero slope</li> </ul>				

Note: After the permanent cessation of construction activities, any areas ground stabilization shall be converted to permanent ground stabilizatio practicable but in no case longer than 90 calendar days after the last land activity. Temporary ground stabilization shall be maintained in a manner surface stable against accelerated erosion until permanent ground stabil

	8				
Stabi	GROUND STABILIZATION SPECIFICATION Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:				
	Temporary Stabilization	Permanent Stabilization			
ot • H • R/ w • A	<ul> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Rolled erosion control products with or without temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> <li>Shrubs or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Rolled erosion control products with grass seed</li> </ul>				
	ACRYLAMIDES (PAMS) AND FLOCCULA	NTS			
1.					
2. 3.					
4.	Provide ponding area for containment offsite.	of treated Stormwater before discharging			
5.	Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.				

## NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

#### PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

#### SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance w below. When adverse weather or site conditions would cause the safety of t personnel to be in jeopardy, the inspection may be delayed until the next bus which it is safe to perform the inspection. In addition, when a storm event of greater than 1.0 inch occurs outside of normal business hours, the self-inspe performed upon the commencement of the next business day. Any time whe were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
<ol> <li>Rain gauge maintained in good working order</li> </ol>	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during holiday periods, and no individual-day rainfall in available, record the cumulative rain measurement attended days (and this will determine if a site needed). Days on which no rainfall occurred shall be "zero." The permittee may use another rain-moni approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	<ol> <li>Identification of the measures inspected,</li> <li>Date and time of the inspection,</li> <li>Name of the person performing the inspection,</li> <li>Indication of whether the measures were operatin properly,</li> <li>Description of maintenance needs for the measure</li> <li>Description, evidence, and date of corrective action</li> </ol>
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	<ol> <li>Identification of the discharge outfalls inspected,</li> <li>Date and time of the inspection,</li> <li>Name of the person performing the inspection,</li> <li>Evidence of indicators of stormwater pollution suc sheen, floating or suspended solids or discoloratio</li> <li>Indication of visible sediment leaving the site,</li> <li>Description, evidence, and date of corrective action</li> </ol>
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	<ol> <li>If visible sedimentation is found outside site limits, th of the following shall be made:</li> <li>Actions taken to clean up or stabilize the sediment the site limits,</li> <li>Description, evidence, and date of corrective actio</li> <li>An explanation as to the actions taken to control f releases.</li> </ol>
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedime stream has visible increased turbidity from the constr activity, then a record of the following shall be made: 1. Description, evidence and date of corrective action 2. Records of the required reports to the appropriate Regional Office per Part III, Section C, Item (2)(a) o of this permit.
(6) Ground stabilization measures	After each phase of grading	<ol> <li>The phase of grading (installation of perimeter E&amp; measures, clearing and grubbing, installation of sto drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanen ground cover).</li> <li>Documentation that the required ground stabilizat measures have been provided within the required timeframe or an assurance that they will be provid</li> </ol>

NOTE: The rain inspection resets the required 7 calendar day inspection re

soon as possible.

COMPLIANCE WITH	EQUIPMENT AND VEHICLE MAINTENANCE	
	1. Maintain vehicles and equipment to prevent discharge of fluids.	
t in the construction		O     O     Sandbags (TYP.)       Index constrained     Index constrained     Index constrained       Index constrained     Index constrained     Sandbags (TYP.)       Index constrained     Index constrained     Sandbags (TYP.)
Aaterials Handling	2. Provide drip pans under any stored equipment.	
espectively). The	3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the	
	project.	
roved by the	4. Collect all spent fluids, store in separate containers and properly dispose as	
own on this sheet	hazardous waste (recycle when possible).	SANDBAGS (TYP)-// B
y having jurisdiction.		SECTION A-A
	5. Remove leaking vehicles and construction equipment from service until the problem	NOTES.
	has been corrected.	CONCRETE SIGNAGE I. ACTUAL LOCATION DETERMINED IN FIELD
	6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products	WASHOUL NOTING DEVICE 2. THE CONCRETE WASHOUT STRUCTURES SHALL CONCRETE WASHOUT NOTING DEVICE MAINTAINED WHEN THE LIQUID AND/OR SOLID NOTING DEVICE CONCRETE WASHOUT STRUCTURES SHALL STRUCTURES
	to a recycling or disposal center that handles these materials.	REACHES 75% OF THE STRUCTURES CAPACITY. (19 AC4 MINL) PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM 12 INCHES OF REREBOARD.
		PLAN 3.CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARY MARKED WITH SIGNAGE NOTING DEVICE. PLAN 3.CONCRETE WASHOUT STRUCTURE NEEDS TO BE
variations		CLEARY MARKED WITH SIGNAGE NOTING DEVICE. BELOW GRADE WASHOUT STRUCTURE ABOVE GRADE WASHOUT STRUCTURE
	LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE	NOTO SOLLE NOTO SOLLE NOTO SOLLE
	1. Never bury or burn waste. Place litter and debris in approved waste containers.	
	2. Provide a sufficient number and size of waste containers (e.g dumpster, trash	CONCRETE WASHOUTS
. II	receptacle) on site to contain construction and domestic wastes.	
		1. Do not discharge concrete or cement slurry from the site.
	3. Locate waste containers at least 50 feet away from storm drain inlets and surface	2. Dispose of, or recycle settled, hardened concrete residue in accordance with local
	waters unless no other alternatives are reasonably available.	and state solid waste regulations and at an approved facility.
· []	4. Locate waste containers on areas that do not receive substantial amounts of runoff	3. Manage washout from mortar mixers in accordance with the above item and in
· · · · · ·	from upland areas and does not drain directly to a storm drain, stream or wetland.	addition place the mixer and associated materials on impervious barrier and within
s in length and are		
14 days are		lot perimeter silt fence.
	provide secondary containment. Repair or replace damaged waste containers.	4. Install temporary concrete washouts per local requirements, where applicable. If an
iter than 50' in	6. Anchor all lightweight items in waste containers during times of high winds.	alternate method or product is to be used, contact your approval authority for
s steeper than 4:1	7. Empty waste containers as needed to prevent overflow. Clean up immediately if	review and approval. If local standard details are not available, use one of the two
dikes, swales,	containers overflow.	types of temporary concrete washouts provided on this detail.
pes and HQW	8. Dispose waste off-site at an approved disposal facility.	5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk
		sections. Stormwater accumulated within the washout may not be pumped into or
	9. On business days, clean up and dispose of waste in designated waste containers.	discharged to the storm drain system or receiving surface waters. Liquid waste must
Watershed		be pumped out and removed from project.
dikes, swales,	PAINT AND OTHER LIQUID WASTE	
bes and HQW Zones	1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.	6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it
Watershed unless	2. Locate paint washouts at least 50 feet away from storm drain inlets and surface	can be shown that no other alternatives are reasonably available. At a minimum,
watershed unless	waters unless no other alternatives are reasonably available.	install protection of storm drain inlet(s) closest to the washout which could receive
		spills or overflow.
as with temporary	3. Contain liquid wastes in a controlled area.	7. Locate washouts in an easily accessible area, on level ground and install a stone
on as soon as	4. Containment must be labeled, sized and placed appropriately for the needs of site.	entrance pad in front of the washout. Additional controls may be required by the
nd disturbing	5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from	approving authority.
er to render the	construction sites.	8. Install at least one sign directing concrete trucks to the washout within the project
ilization is achieved.		limits. Post signage on the washout itself to identify this location.
	PORTABLE TOILETS	
	1. Install portable toilets on level ground, at least 50 feet away from storm drains,	9. Remove leavings from the washout when at approximately 75% capacity to limit
se one of the	streams or wetlands unless there is no alternative reasonably available. If 50 foot	overflow events. Replace the tarp, sand bags or other temporary structural
		components when no longer functional. When utilizing alternative or proprietary
	offset is not attainable, provide relocation of portable toilet behind silt fence or place	products, follow manufacturer's instructions.
lization	on a gravel pad and surround with sand bags.	10. At the completion of the concrete work, remove remaining leavings and dispose of
red with straw or	2. Provide staking or anchoring of portable toilets during periods of high winds or in high	in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance
s	foot traffic areas.	caused by removal of washout.
ermanent soil	3. Monitor portable toilets for leaking and properly dispose of any leaked material.	,
	Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace	
	with properly operating unit.	
plantings covered	· · · · · · · · · · · · · · · · · · ·	HERBICIDES, PESTICIDES AND RODENTICIDES
		1. Store and apply herbicides, pesticides and rodenticides in accordance with label
ted ground cover	EARTHEN STOCKPILE MANAGEMENT	restrictions.
ו	1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least	
concrete, asphalt or	50 feet away from storm drain inlets, sediment basins, perimeter sediment controls	2. Store herbicides, pesticides and rodenticides in their original containers with the
	and surface waters unless it can be shown no other alternatives are reasonably	label, which lists directions for use, ingredients and first aid steps in case of
ucts with grass seed	available.	accidental poisoning.
<u> </u>		3. Do not store herbicides, pesticides and rodenticides in areas where flooding is
	2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feat from the tag of stockpile	possible or where they may spill or leak into wells, stormwater drains, ground water
	five feet from the toe of stockpile.	or surface water. If a spill occurs, clean area immediately.
during	3. Provide stable stone access point when feasible.	4. Do not stockpile these materials onsite.
Flocculants.	4. Stabilize stockpile within the timeframes provided on this sheet and in accordance	
Control Measures.	with the approved plan and any additional requirements. Soil stabilization is defined	
List of Approved	as vegetative, physical or chemical coverage techniques that will restrain accelerated	
tructions.	erosion on disturbed soils for temporary or permanent control needs.	HAZARDOUS AND TOXIC WASTE
		1. Create designated hazardous waste collection areas on-site.
ore discharging		2. Place hazardous waste containers under cover or in secondary containment.

	SELF-INSPECTION, REC	PART III CORDKEEPING AND REPORTING	s	ELF-
with the table of the inspection business day on t of equal to or pection shall be when inspections	SECTION B: RECORDKEEPING 1. E&SC Plan Documentation The approved E&SC plan as well as any ap approved E&SC plan must be kept up-to-c	pproved deviation shall be kept on the site. The date throughout the coverage under this permit. C plan shall be documented in the manner	SECTION C: REPORTIN 1. Occurrences that n Permittees shall rep (a) Visible sedimen (b) Oil spills if: • They are 25 g	nust port nt de
	Item to Document	Documentation Requirements	They are less	s tha
uring weekend or II information is ent for those un- site inspection is	(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial	<ul> <li>They cause si</li> <li>They are with</li> <li>(a) Releases of haz of the Clean Way (Ref: 40 CFR 30</li> </ul>	hin 1 zardo 'ater
all be recorded as nonitoring device	(b) A phase of grading has been completed.	installation. Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.	(b) Anticipated by (c) Noncompliance	
rating isure, ictions taken. ed,	(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.	environment. 2. Reporting Timefrar	mes
l, i such as oil ation, ictions taken.	<ul> <li>(d) The maintenance and repair</li> <li>requirements for all E&amp;SC Measures</li> <li>have been performed.</li> <li>(e) Corrective actions have been taken</li> </ul>	Complete, date and sign an inspection report. Initial and date a copy of the approved E&SC	After a permittee b the appropriate Div other requirements reported to the Div 858-0368 or (919) 7	visio s list visioi
s, then a record nent that has left	to E&SC Measures.	Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.		
ictions taken, and rol future imentation or a instruction ade: ctions taken, and riate Division (a) of this permit : E&SC	site and available for agency inspectors at all t Division provides a site-specific exemption requirement not practical:	bove, the following items shall be kept on the times during normal business hours, unless the n based on unique site conditions that make this	Occurrence (a) Visible sediment deposition in a stream or wetland	Re • •
of storm rbing anent ilization ired ovided as	<ul> <li>(b) Records of inspections made during t the required observations on the Ins a similar inspection form that include</li> </ul>	u of the required paper copies will be allowed if	(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above (c) Anticipated bypasses [40 CFR	•
requirement.		of Intent and older inspection records shall be s after project completion and made available	122.41(m)(3)] (d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	•
			<ul> <li>(e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(1)(7)]</li> </ul>	•

EFFECTIVE: 04/01/19

#### LF-INSPECTION, RECORDKEEPING AND REPORTING

3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

## ust be reported

ort the following occurrences:

- t deposition in a stream or wetland.
- allons or more,
- than 25 gallons but cannot be cleaned up within 24 hours,
- neen on surface waters (regardless of volume), or
- in 100 feet of surface waters (regardless of volume).
- ardous substances in excess of reportable quantities under Section 311 ter Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA 2.4) or G.S. 143-215.85.
- asses and unanticipated bypasses.
- with the conditions of this permit that may endanger health or the
- nes and Other Requirements

comes aware of an occurrence that must be reported, he shall contact sion regional office within the timeframes and in accordance with the listed below. Occurrences outside normal business hours may also be sion's Emergency Response personnel at (800) 662-7956, (800) 33-3300.

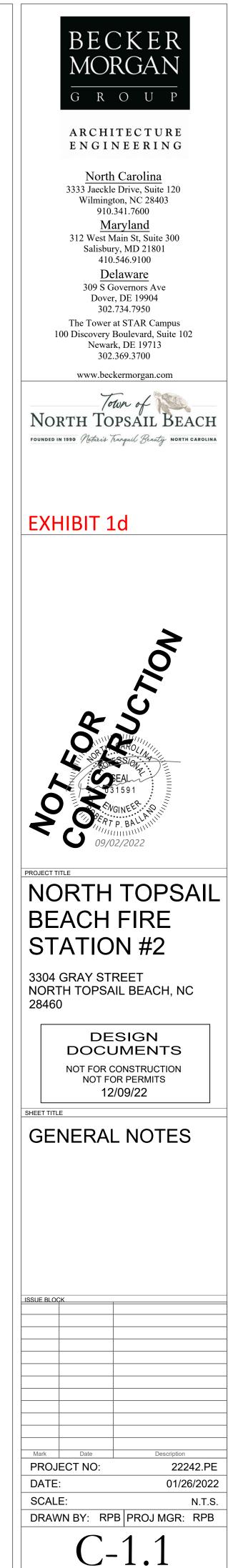
currence	Reporting Timeframes (After Discovery) and Other Requirements
currence Visible sediment position in a eam or wetland	<ul> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance</li> </ul>
Oil spills and ease of zardous ostances per Item o)-(c) above	<ul> <li>with the federal or state impaired-waters conditions.</li> <li>Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> </ul>
Anticipated basses [40 CFR 2.41(m)(3)]	<ul> <li>A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
Unanticipated passes [40 CFR 2.41(m)(3)]	<ul> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
Noncompliance th the conditions this permit that ay endanger alth or the vironment[40 R 122.41(I)(7)]	<ul> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(I)(6).</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

## NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

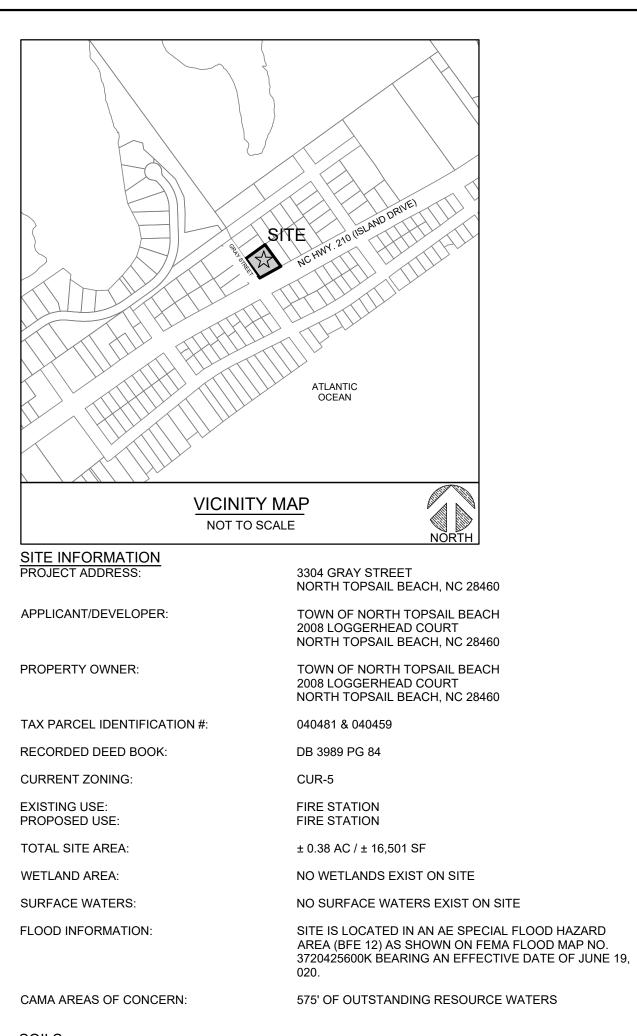
EFFECTIVE: 04/01/19



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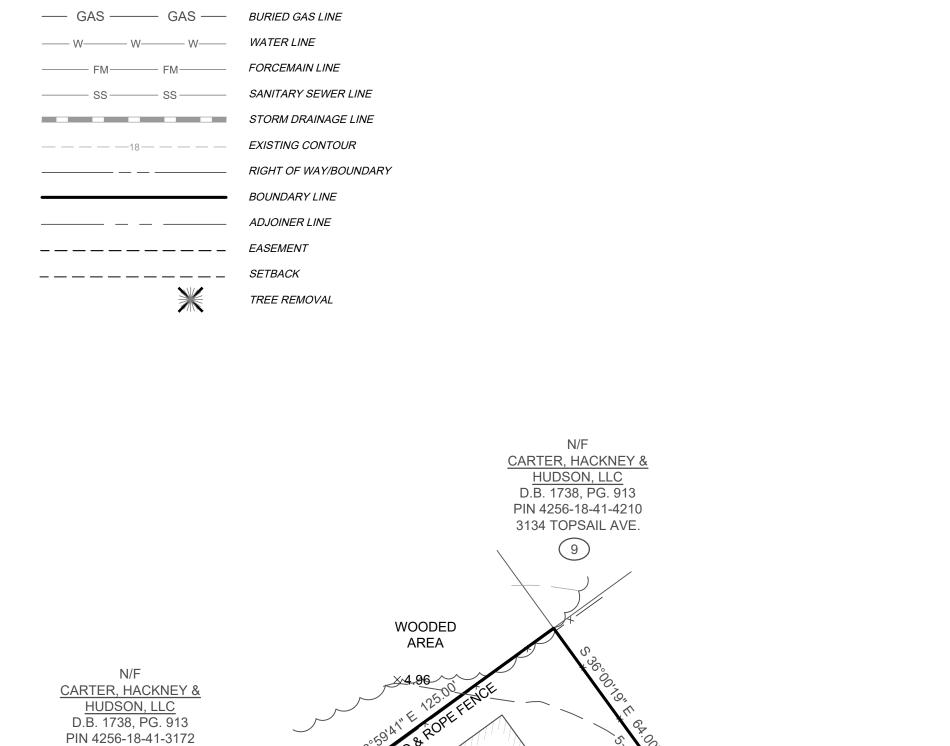


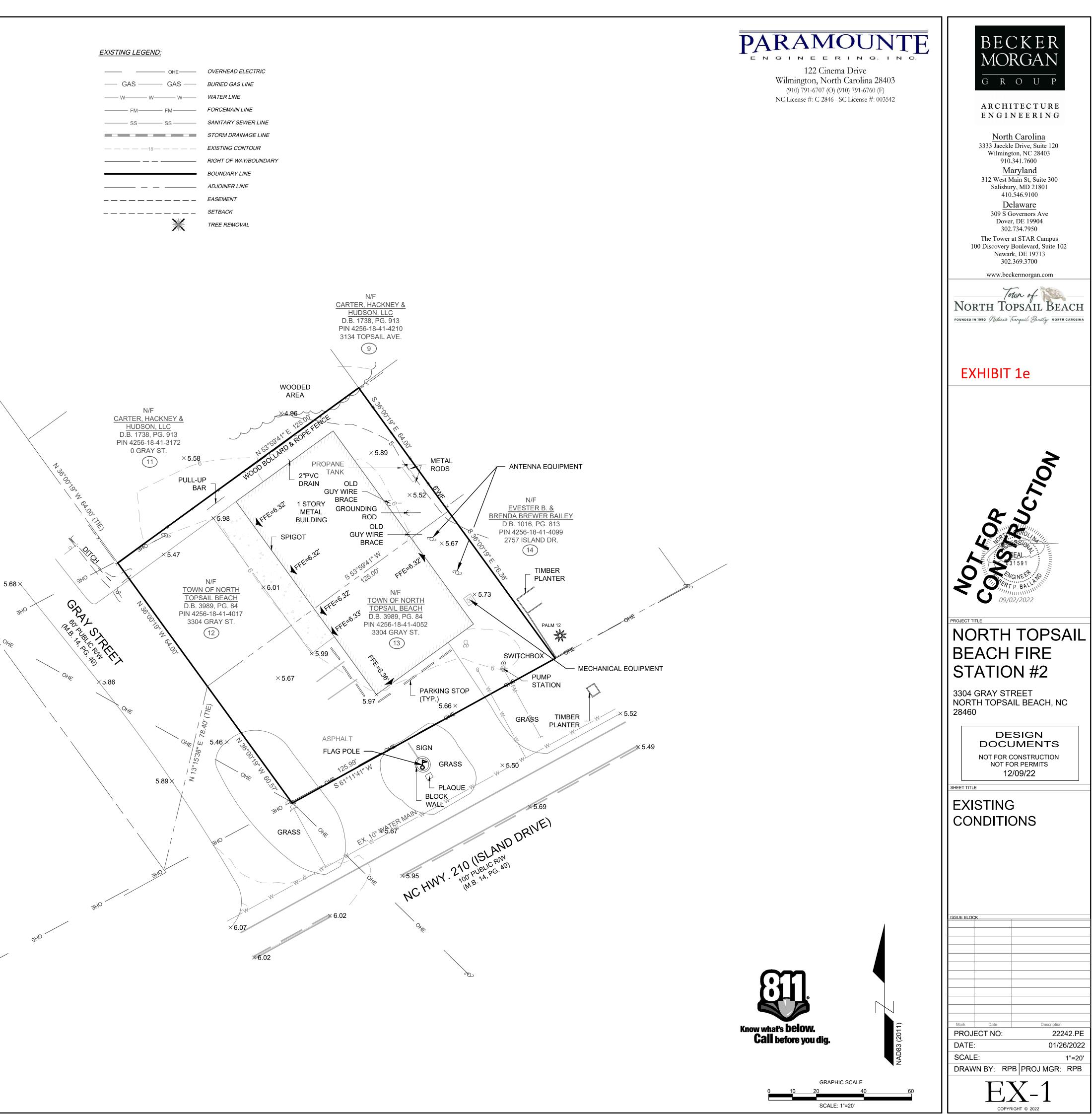


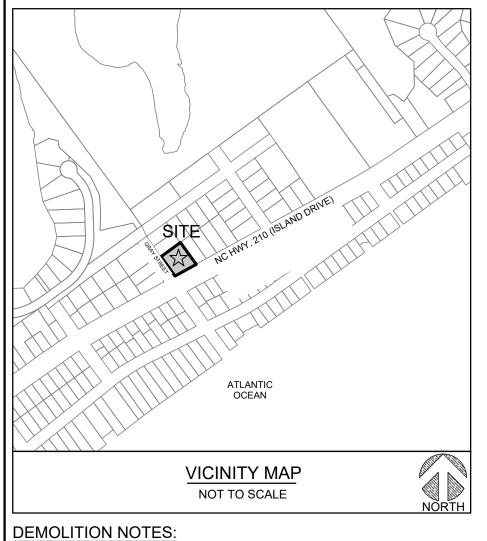


SOILS 1. ALL SOILS ON THE SITE ARE TYPE NEWHAN-COROLLA-URBAN, ACCORDING TO ONSLOW COUNTY WEB DATA.







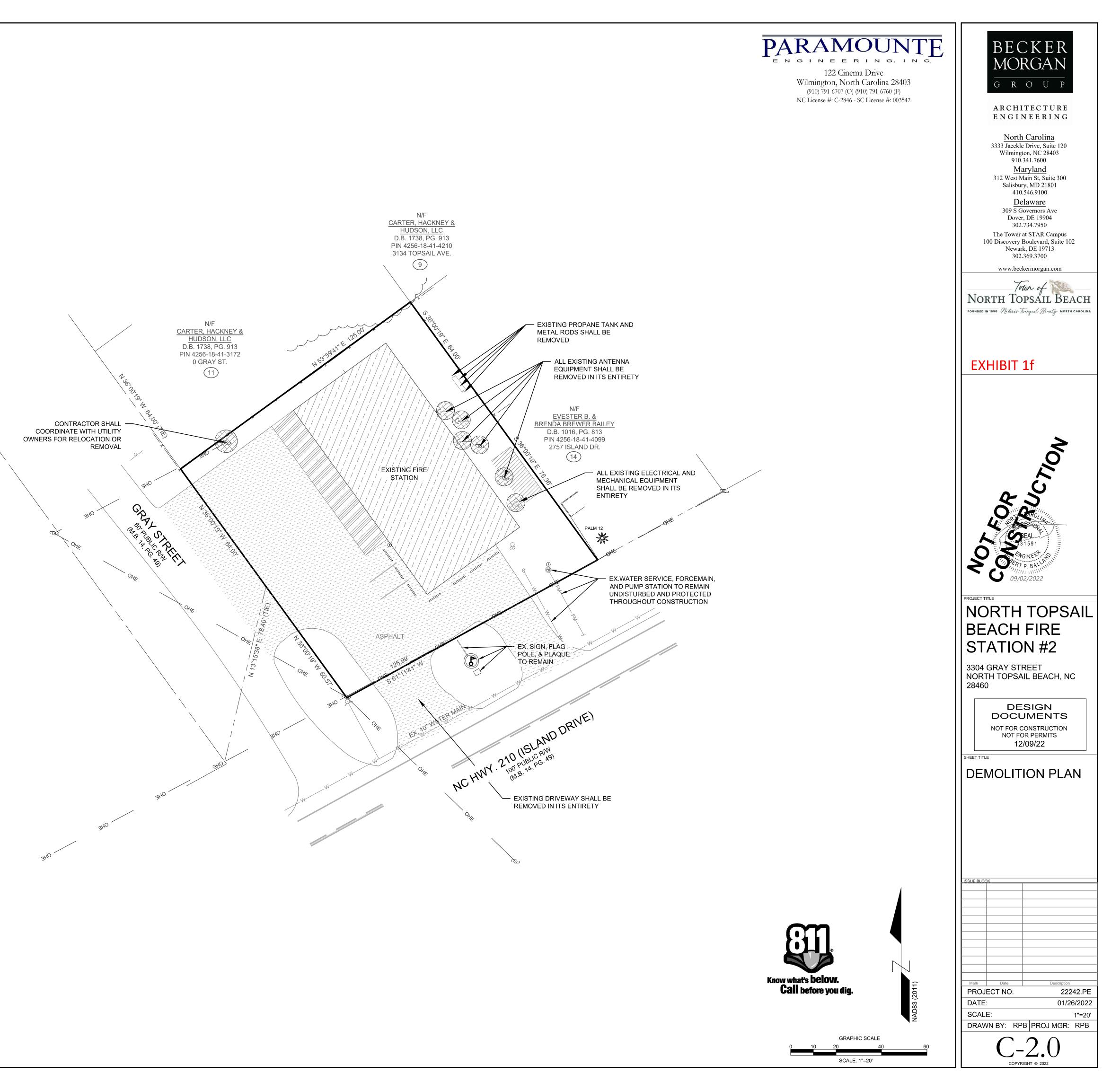


1.) CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR

DEMOLITION NOTES.

- 2.) CONTRACTOR SHALL MAKE NO PAVEMENT CUTS INTO GRAY STREET OR NC HIGHWAY 210 WITHOUT THE WRITTEN PERMISSION OF THE TOWN OF NORTH TOPSAIL BEACH OR THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AS APPROPRIATE.
- 3.) ALL UTILITIES SHALL BE ABANDONED AND/OR DEMOLISHED AND CAPPED PROPERLY IN ACCORDANCE WITH THE UTILITY OWNERS' RULES AND REGULATIONS.
- 4.) CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY OWNERS/PROVIDERS FOR RELOCATION AND/OR DEMOLITION REQUIRED.

SYN	MBOLS LEGEND
	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED ONLY. BASE TO REMAIN
	EXISTING STORM STRUCTURE TO BE REMOVED
	EXISTING WATER & SEWER SERVICES TO BE REMOVED
	EXISTING TRANSFORMER/ SIGN/LIGHT/PEDESTAL/UTILITY POLE/ELECTRICAL/MECHANICAL TO BE REMOVED
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING
X	EXISTING TREE/SHRUBS TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	EXISTING CURBING TO BE REMOVED
////////	EXISTING UTILITY LINE TO BE REMOVED

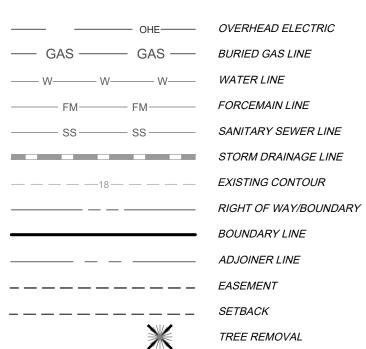


	TTE NC NWY 210 USL NC NWY 210 USL ATLANTIC OCEAN	
	MAP	
NOT TO SCA	ALE	NORTH
SITE INFORMATION PROJECT ADDRESS:	3304 GRAY S NORTH TOPS	STREET SAIL BEACH, NC 28460
APPLICANT/DEVELOPER:	2008 LOGGE	DRTH TOPSAIL BEACH RHEAD COURT SAIL BEACH, NC 28460
PROPERTY OWNER:	2008 LOGGE	DRTH TOPSAIL BEACH RHEAD COURT SAIL BEACH, NC 28460
TAX PARCEL IDENTIFICATION #:	040481 & 040	0459
RECORDED DEED BOOK:	DB 3989 PG 8	34
CURRENT ZONING:	CUR-5	
EXISTING USE:	FIRE STATIO	
PROPOSED USE:	FIRE STATIO	
TOTAL SITE AREA:	± 0.38 AC / ±	
WETLAND AREA:	-	DS EXIST ON SITE
SURFACE WATERS:		E WATERS EXIST ON SITE
FLOOD INFORMATION:	AREA (BFE 1	ATED IN AN AE SPECIAL FLOOD HAZARD 2) AS SHOWN ON FEMA FLOOD MAP NO. ( BEARING AN EFFECTIVE DATE OF JUNE 1
CAMA AREAS OF CONCERN:	575' OF OUT	STANDING RESOURCE WATERS
DIMENSIONAL REQUIREMENTS		
R-5 MAXIMUM LOT COVERAGE:	REQUIRED 30% (4,950 S	PROVIDED F) 82% (13,556 SF / 16,501)
MINIMUM FRONT SETBACK (GRAY ST): MINIMUM REAR SETBACK:	20' 10'	20.6'+ 10.2'+
MINIMUM INTERIOR SIDE SETBACK: MINIMUM CORNER LOT SIDE SETBACK:	8' 15'	8'+ 15.1'+
MAXIMUM BUILDING HEIGHT:	48'	43' (2 STORIES)
SITE PARKING DATA MINIMUM PARKING REQUIRED:		R EMPLOYEE PLUS 1 SPACE FOR EACH 5 E LARGEST ASSEMBLY ROOM
PARKING SPACES PROVIDED:	7 SPACES	
HANDICAP PARKING REQUIRED: HANDICAP PARKING PROVIDED:	1 SPACE 1 SPACE	
SOILS 1. ALL SOILS ON THE SITE ARE TYPE NEW COUNTY WEB DATA.	/HAN-COROLLA-	URBAN, ACCORDING TO ONSLOW
IMPERVIOUS INFORMATION		
TOTAL EXISTING ON-SITE IMPERVIOUS TOTAL ON-SITE PROPOSED IMPERVIOU DIFFERENCE (PROPOSED - EXISTING) =	JS AREA:	12,157 SF <u>11,968 SF</u> -189 SF
TOTAL ON-SITE PERVIOUS CONCRETE		1,588 SF
	S ARFA.	3,101 SF
TOTAL EXISTING OFF-SITE IMPERVIOUS		

<u>GENERAL NOTES:</u>
1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET TOWN AND/ OR NCDOT STANDARDS.
2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC

- ALL SIGNS AND FAVENIENT MARKINGS IN AREAS OF EN TO FOBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
   ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
   THERE WILL BE NO SOLID WASTE DISPOSAL ON SITE.





#### PROPOSED LEGEND:

x x
W W
FM FM
SS SS

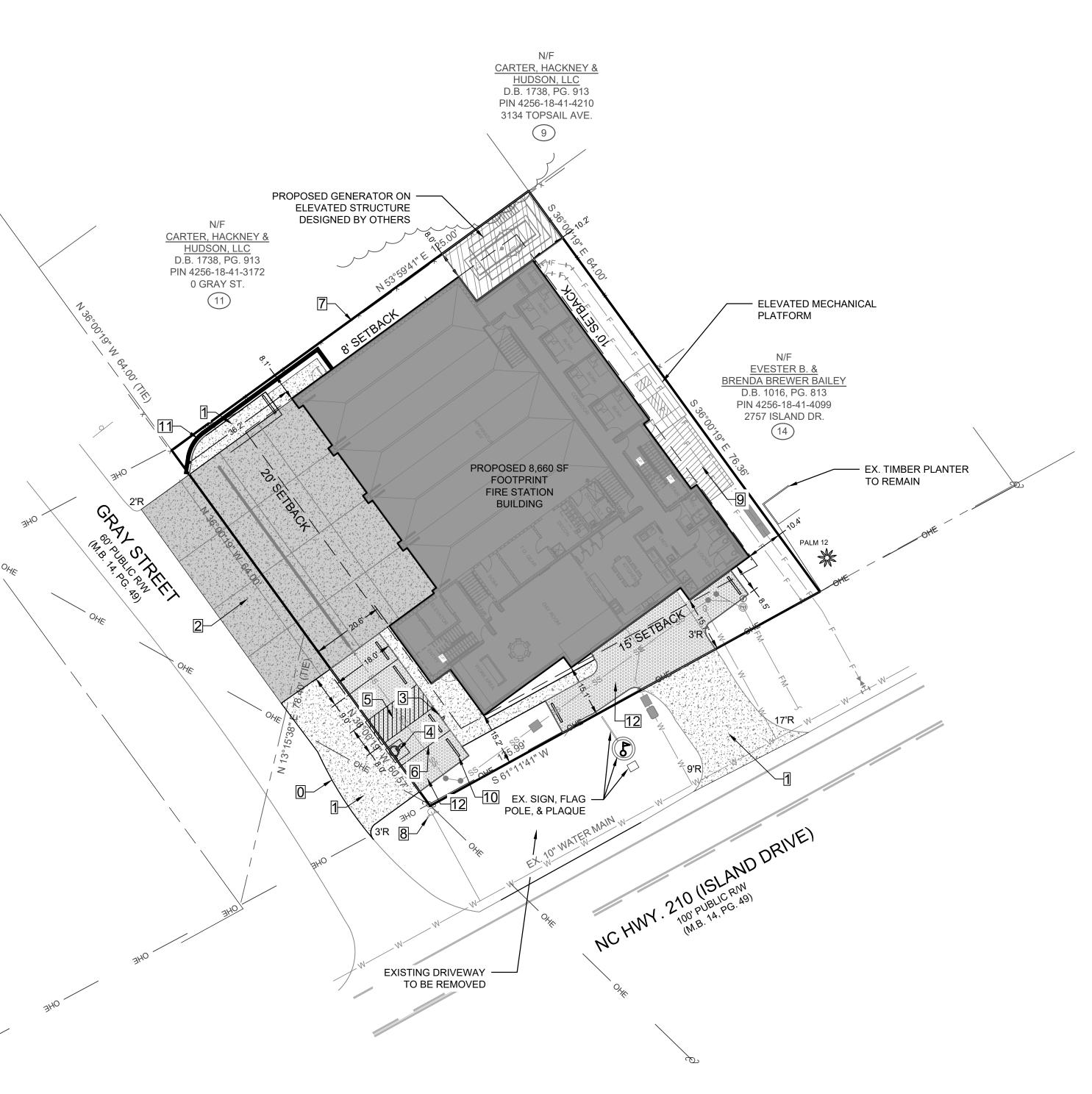
FENCING, TYPE AS SPECIFIED

WATER LINE FORCEMAIN LINE

SANITARY SEWER LINE

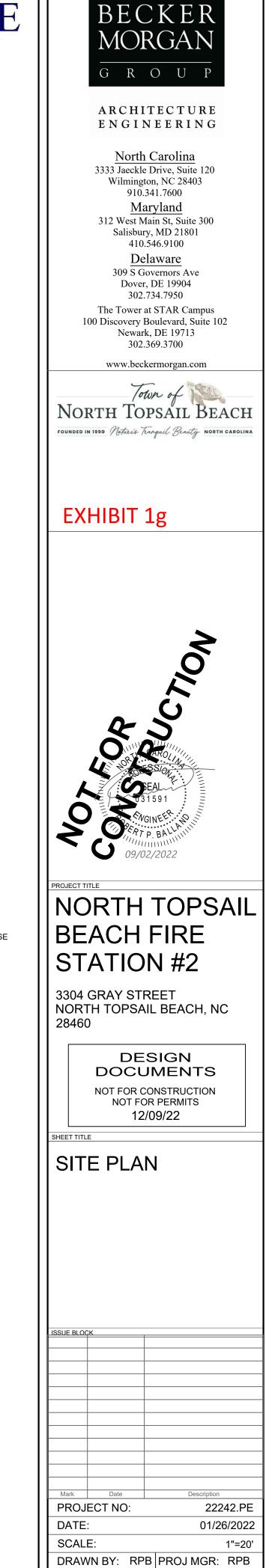
## CONCRETE

PERVIOUS CONCRETE



PARAMOUNTE

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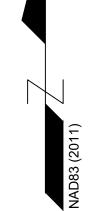


C-2.1

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- KEY NOTES:
- 0 EDGE OF EXISTING ROAD
- 1 LIGHT DUTY CONCRETE PAVING REFER TO DETAIL
- 2 <u>HEAVY DUTY CONCRETE PAVING</u> REFER TO DETAIL
- 3 HANDICAP PARKING SIGN POST MOUNTED REFER TO DETAIL
- 4 HANDICAP PARKING SYMBOL REFER TO DETAIL
- 5 HANDICAP ACCESS UNLOADING ZONE SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- 6 <u>STRIPING</u> PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT WHITE (2 COATS).
- 7 EXISTING WOOD BOLLARD & ROPE FENCE
- 8 FIRE HYDRANT REFER TO UTILITY PLAN
- 9 WOOD PLATFORM
- 10 WHEEL STOP REFER TO DETAIL
- 11 SEGMENTAL BLOCK RETAINING WALL DESIGNED BY OTHERS
- 12 PERVIOUS CONCRETE PAVING REFER TO DETAIL





GRAPHIC SCALE

SCALE: 1"=20'

LEGEND: EXISTING CONTOUR - - - 16 - - - -PROPOSED CONTOUR \_\_\_\_\_ 29 \_\_\_\_\_ DDI = DOUBLE DROP INLET EG 25.05 — EXISTING SPOT ELEVATION EP 25.05 — PROPOSED EDGE OF PAVEMENT RMH = IN-LINE DRAIN TS/SW 25.05 — PROPOSED SIDEWALK ELEVATION PG 25.05 — PROPOSED GRADE TW 25.05 — PROPOSED TOP OF WALL PG = PROPOSED GRADE (GROUND) BW 25.05 — PV = PROPOSED PAVEMENT PROPOSED BOTTOM OF WALL EG = EXISTING GRADE TC 25.05 — PROPOSED TOP OF CURB TP = TOP CONCRETE PAD INLET PROTECTION **\_\_\_** LP = LOW POINT ELEVATION LIMITS OF DISTURBANCE \_\_\_\_\_ LOD \_\_\_\_\_ SILT FENCE CL = CENTERLINE \_\_\_\_\_ SF \_\_\_\_\_ INV = INVERT TREE PROTECTION FENCING

SPOT GRADE LEGEND:

- CI = CURB INLET DCB = DOUBLE CATCH BASIN
- DI = DROP INLET
- YI = YARD INLET
- MH = STORM MANHOLE
- JB = JUNCTION BOX
- BC = BOTTOM OF CURB ELEVATION
- TC = TOP OF CURB ELEVATION GC = GUTTER CURB (FLOW LINE) ELEVATION
- CC = CURB CUT (FLUME) ELEVATION
- GVL = PROPOSED GRAVEL GRADES
- EP = EDGE OF PAVEMENT
- FFE = FINISHED FLOOR ELEVATION
- HP = HIGH POINT ELEVATION
- TS = TOP OF WALK (SIDEWALK) ELEVATION
- DG = DITCH GRADE ELEVATION
- FES = FLARED END SECTION
- TWL = TOP OF WALL ELEVATION
- BWL = BOTTOM OF WALL ELEVATION (EG) = EXISTING GRADE (XX) = EXISTING ELEVATIONS, TYP.

**EROSION CONTROL NOTES:** 

SLOPE

DRAINAGE INLET LABEL

\_\_\_\_\_O\_\_\_\_\_

 $\rightarrow$ 

(CI-202)

- 1.) NO TEMPORARY GRAVEL CONSTRUCTION ENTRANCE IS NEEDED IF EXISTING ASPHALT REMAINS DURING BUILDING CONSTRUCTION, UNLESS SEDIMENT IS LEAVING THE SITE, THEN CONTRACTOR MUST INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PER DETAIL.
- 2.) IF ANY EXISTING STORMWATER DROP INLETS ARE FOUND ON THE PROPERTY OR IN SURROUNDING RIGHT OF WAY, INLET PROTECTION SHALL BE INSTALLED DURING CONSTRUCTION ACTIVITIES.

#### GRADING NOTES:

- 1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED. SEE GENERAL NOTES SHEET (C-1.0, TYP.) FOR GRADING, DRAINAGE, AND EROSION CONTROL SEQUENCE NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
- 2.) A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.

#### ASPHALT AREA NOTE

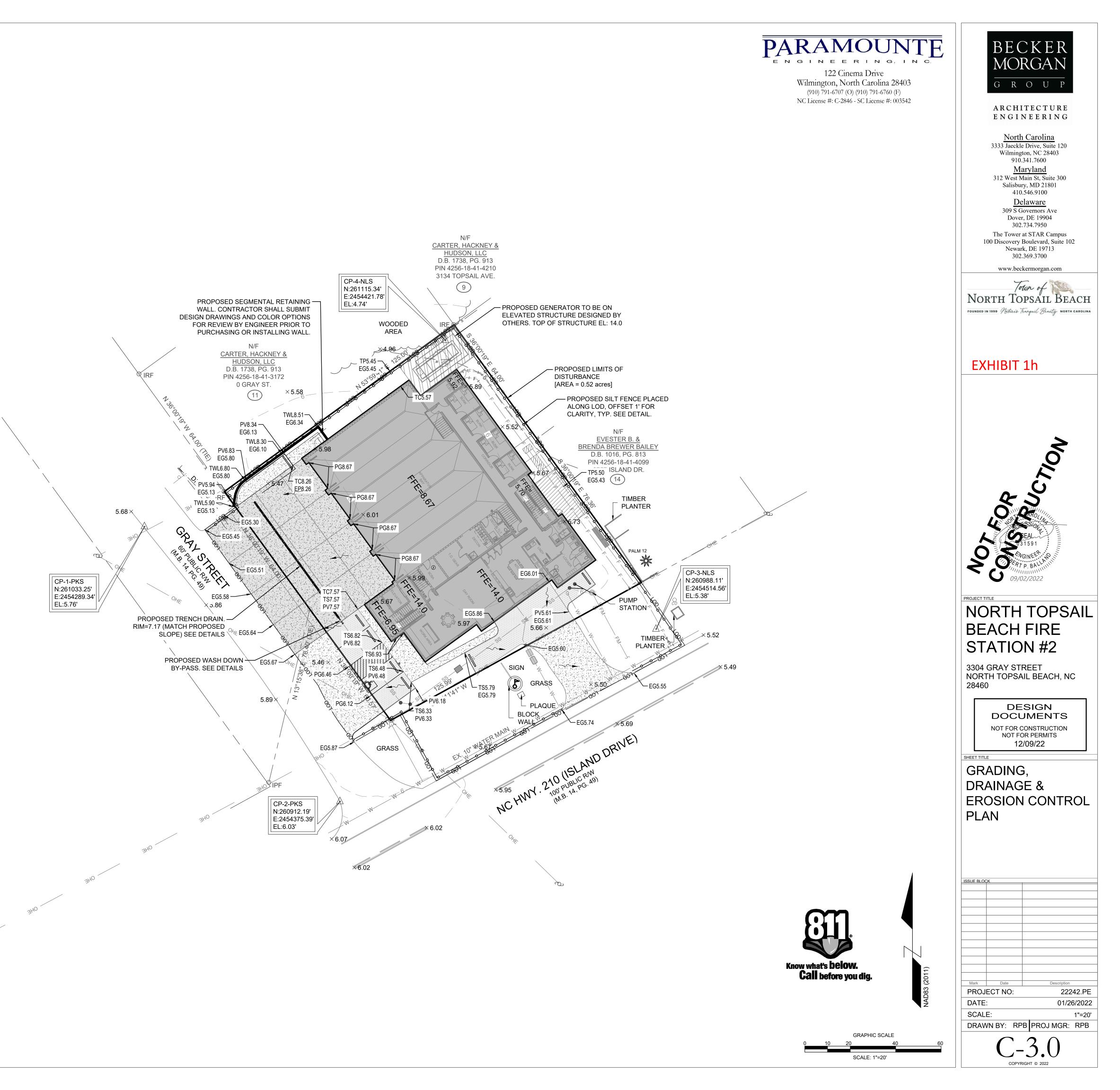
1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITALBE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND/OR TECHNICAL SPECIFICATIONS.

#### **BUILDING PAD NOTE**

1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND/OR TECHNICAL SPECIFICATIONS.

#### DRAINAGE NOTES:

- 1.) DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES AS PERMITTED WITH THE STATE AND LOCAL MUNICIPALITY.
- 2.) ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM UNLESS THE APPROVED PLANS SHOW OTHERWISE.
- 3.) NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
- 4.) ALL PUBLIC STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM. PRIVATE DRAINAGE SYSTEMS SHALL BE PER APPROVED PLANS AND SPECIFICATIONS.
- 5.) ALL CATCH BASIN (CB) RIM ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB-LINE (SEE "CURB TRANSITION" DETAIL). FOR CATCH BASINS WITHIN A TRANSITION FROM 24" STANDARD CURB & GUTTER, THE RIM ELEVATION GIVEN IS 1/2 INCH BELOW EOP.
- 6.) MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
- 7.) PROPOSED BUILDING SHALL HAVE SPLASH PADS AT EACH DOWNSPOUT LOCATION UNLESS IT DRAINS TO AN IMPERVIOUS SURFACE.
- 8.) CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE TO MATCH PROPOSED GRADES.
- 9.) THE CONTRACTOR SHALL USE STORM PIPE PER THE SPECIFICATIONS (TYPICALLY CONCRETE OR ADS WATERTIGHT N-12 HDPE PIPE). EITHER WAY THE CONTRACTOR SHALL FOLLOW THE TRENCH DETAILS AND SPECIFICATIONS, AND THE PIPE MANUFACTURER SPECIFICATIONS.
- 10.) THE CONTRACTOR WILL EMPLOY A LAND SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA TO PROVIDE ACCURATE REPRODUCIBLE AS-BUILT DRAWINGS OF THE STORMWATER BASIN, COLLECTION SYSTEM, AND IMPERVIOUS AREA ON THE SITE TO THE ENGINEER & OWNER UPON COMPLETION OF CONSTRUCTION. UPON CERTIFICATION BY THE ENGINEER AND VERIFICATION FROM THE OWNER ANY DISCREPANCIES WILL BE INDICATED, THEN THESE PLANS SHALL BE RETURNED TO THE CONTRACTOR FOR CORRECTION PRIOR TO FINAL PAYMENT AND FINAL INSPECTION.



#### SITE INFORMATION PROJECT ADDRESS:

APPLICANT/DEVELOPER:

PROPERTY OWNER:

NORTH TOPSAIL BEACH, NC 28460 TAX PARCEL IDENTIFICATION #: 040481 & 040459 RECORDED DEED BOOK: DB 3989 PG 84 CURRENT ZONING: CUR-5 EXISTING USE: FIRE STATION PROPOSED USE: FIRE STATION TOTAL SITE AREA: ± 0.38 AC / ± 16,501 SF WETLAND AREA: NO WETLANDS EXIST ON SITE SURFACE WATERS: NO SURFACE WATERS EXIST ON SITE

FLOOD INFORMATION

3720425600K BEARING AN EFFECTIVE DATE OF JUNE 19, 020.

575' OF OUTSTANDING RESOURCE WATERS

SITE IS LOCATED IN AN AE SPECIAL FLOOD HAZARD

AREA (BFE 12) AS SHOWN ON FEMA FLOOD MAP NO.

CAMA AREAS OF CONCERN:

WATER AND SEWER CAPACITY

FIRE OR RESCUE STATIONS WITH ON-SITE STAFF - 50GAL/PERSON/SHIFT: 10 @ 50 GAL= 500 GPD TOTAL = 500 GPD

3304 GRAY STREET

NORTH TOPSAIL BEACH, NC 28460

TOWN OF NORTH TOPSAIL BEACH 2008 LOGGERHEAD COURT

NORTH TOPSAIL BEACH, NC 28460

TOWN OF NORTH TOPSAIL BEACH

2008 LOGGERHEAD COURT

#### UTILITY INFORMATION

CONTRACTOR SHALL INSTALL WATER AND SEWER SERVICES IN ACCORDANCE WITH ONWASA AND PLURIS STANDARD DETAILS AND SPECIFICATIONS AS APPROPRIATE.

#### SANITARY SEWER

THIS PROJECT WILL CONNECT TO AN EXISTING PRIVATE SANITARY SEWER PUMP STATION THAT IS LOCATED ON THE SUBJECT PROPERTY. ALL SANITARY SEWER ALLOCATION IS PROVIDED BY PLURIS.

#### WATER

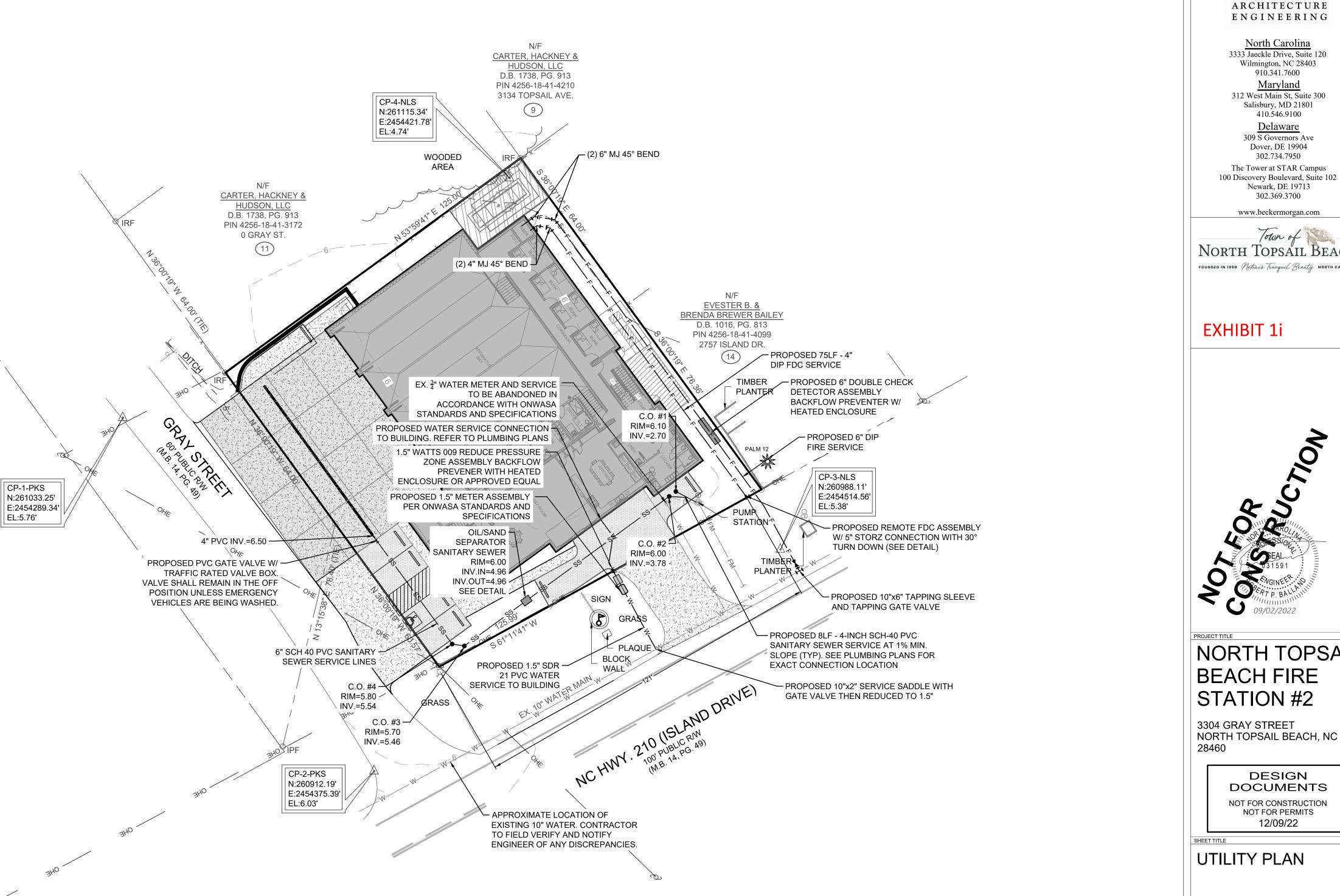
THIS PROJECT WILL CONNECT TO AN EXISTING 10" WATER MAIN LOCATED WITHIN THE NC HWY 210 RIGHT OF WAY. THIS PROJECT WILL UTILIZE THE EXISTING WATER AND METER SERVICE. DOMESTIC WATER ALLOCATION PROVIDED BY ONWASA.

#### UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906)

- 1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- 2. WHEN CROSSING A WATER MAIN OVER A SEWER. THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
- 3. CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- 4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
- 5. WHERE VERTICAL CLEARANCE IS LESS THAT 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
- 6. PER RULE .0904, ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 30" OVER TOP OF PIPE.

#### FIRE & LIFE SAFETY NOTES:

- 1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 2. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- 3. A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
- 4. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
- 5. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FDC'S OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL ALWAYS BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC'S.
- 6. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THIS PROJECT.
- 7. ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.







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FIRE LINE NOTE: SITE CONTRACTOR SHALL COORDINATE WITH FIRE SUPPRESSION DESIGN BUILD TO CONFIRM FIRE SERVICE SIZE PRIOR TO ORDERING ANY MATERIAL OR INSTALLATION. SITE CONTRACTOR SHALL INSTALL FIRE LINE INSIDE RISER ROOM AND TERMINATE 12" AFF.



**GRAPHIC SCALE** 

SCALE: 1"=20'

Newark, DE 19713 302.369.3700 www.beckermorgan.com Town of North Topsail Beach FOUNDED IN 1990 Nature's Tranquil Beauty NORTH CAROLINA EXHIBIT 1i (V) PE **O**9/02/2022 PROJECT TITLE NORTH TOPSAIL **BEACH FIRE** STATION #2 3304 GRAY STREET NORTH TOPSAIL BEACH, NC 28460 DESIGN DOCUMENTS NOT FOR CONSTRUCTION NOT FOR PERMITS 12/09/22 SHEET TITLE UTILITY PLAN ISSUE BLOCK scription PROJECT NO: 22242.PE DATE: 01/26/2022 SCALE: 1"=20' DRAWN BY: RPB PROJ MGR: RPB COPYRIGHT © 2022

BECKER

MORGAN

GROUP

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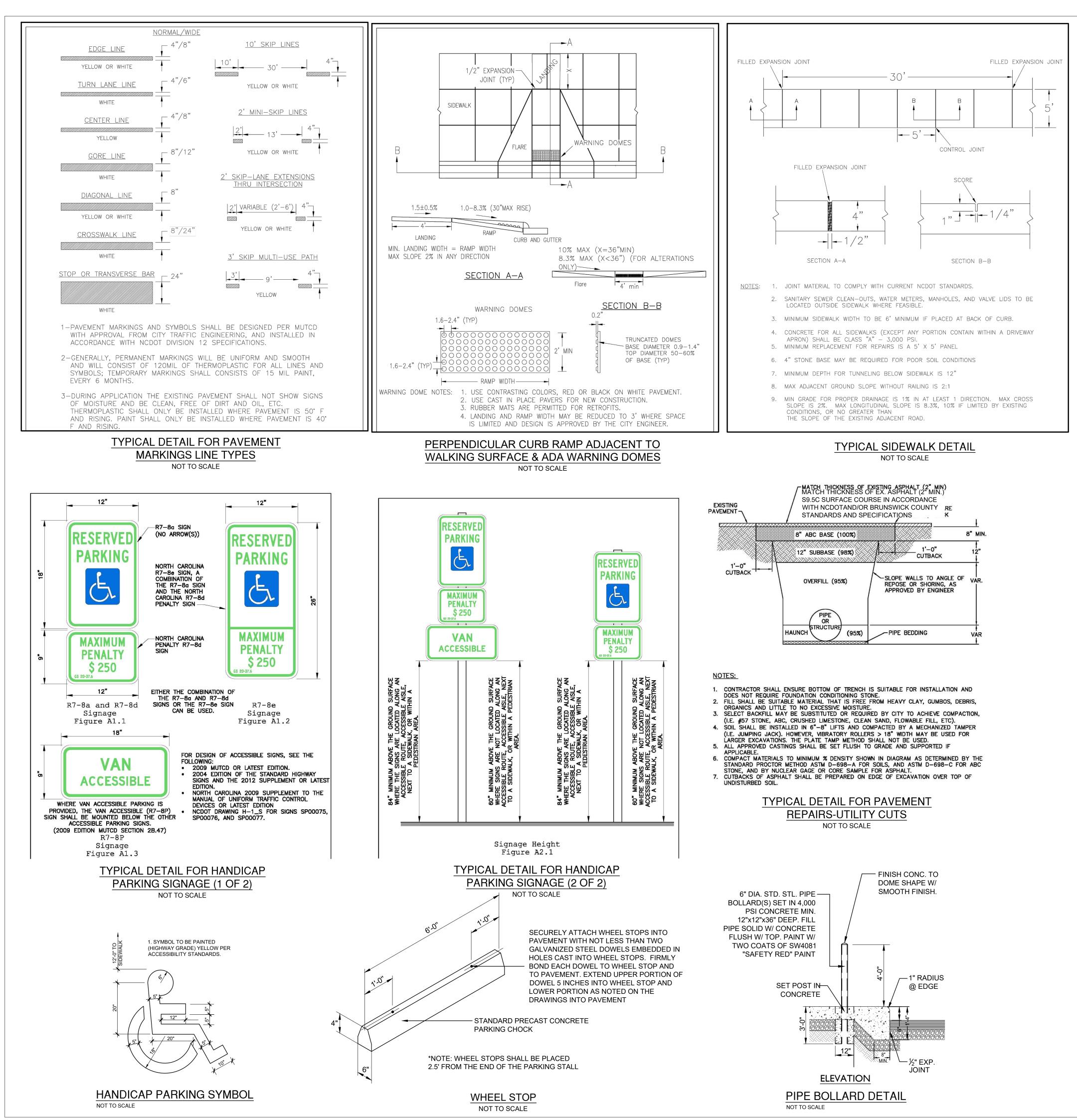
410.546.9100

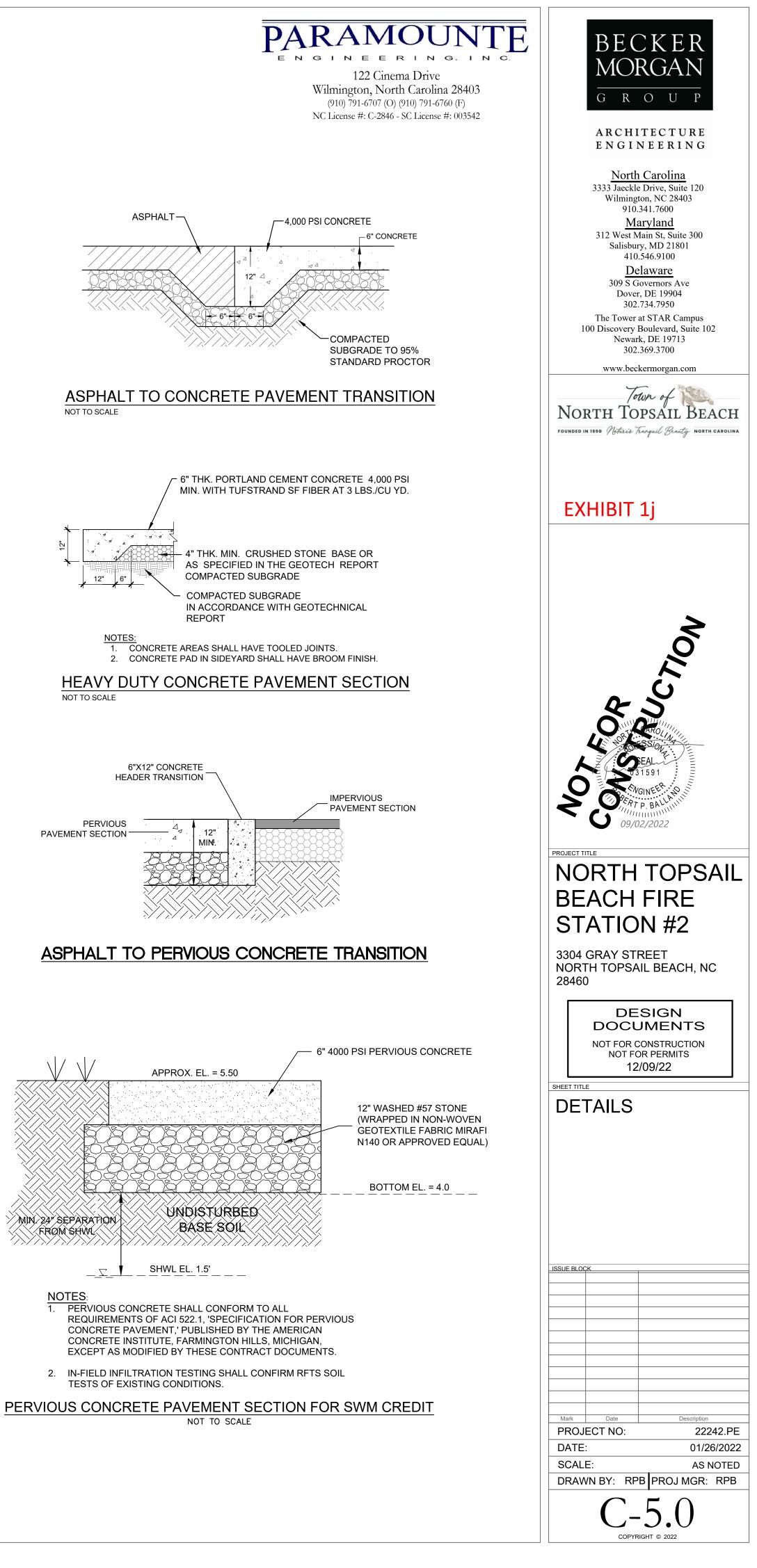
Delaware

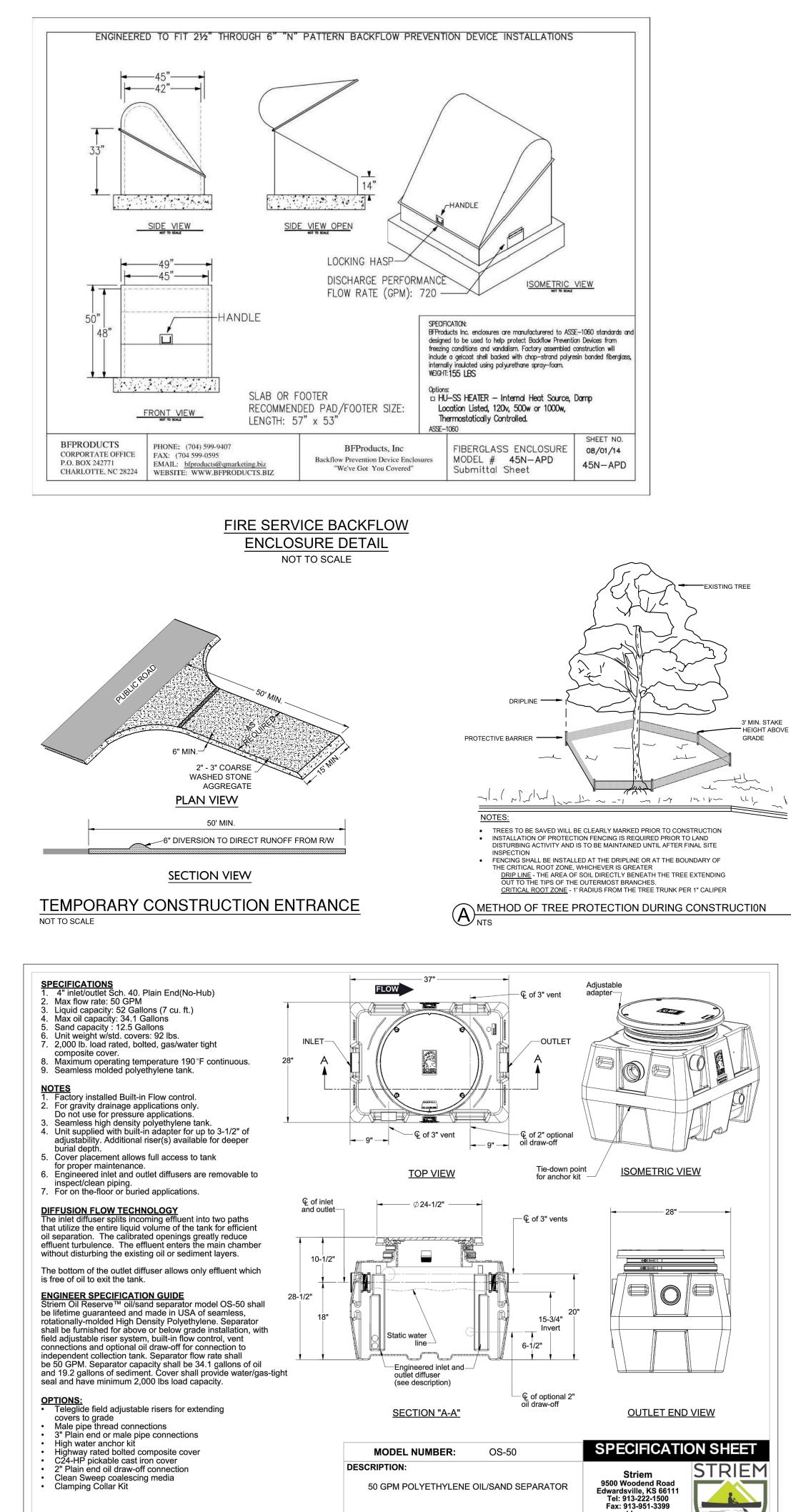
309 S Governors Ave Dover, DE 19904

302.734.7950

The Tower at STAR Campus





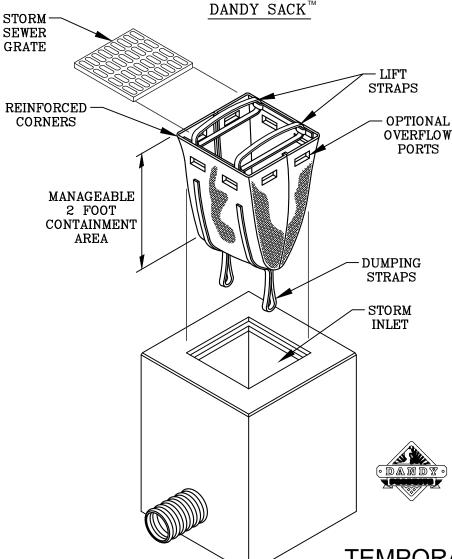


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#### DANDY SACK TM SPECIFICATIONS

NOTE: THE DANDY SACK M WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS

REGULAR FLOW DANDY SACK TM (BLACK)

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4632	%	15 x 15
Puncture Strength	ASTM D 4833	kN (lbs)	0.67 (150)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5506 (800)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m² (gal/min/ft²)	2852 (70)
Permittivity	ASTM D 4491	Sec <sup>-1</sup>	0.90

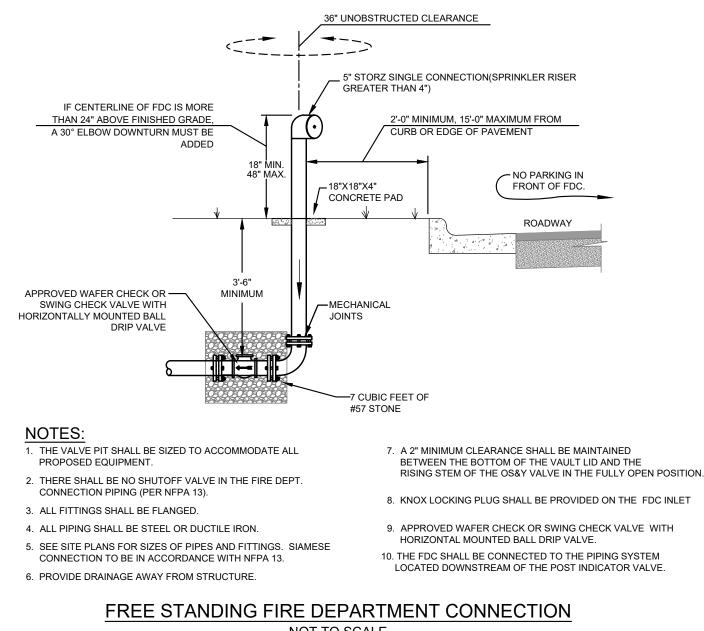
HI-FLOW DANDY SACK™ (SAFETY ORANGE) Mechanical Properties Test Method

Mechanical Properties	lest Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) X 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) X 0.33 (75)
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m² (gal/min/ft²)	5907 (145)
Permittivity	ASTM D 4491	Sec <sup>-1</sup>	2.1

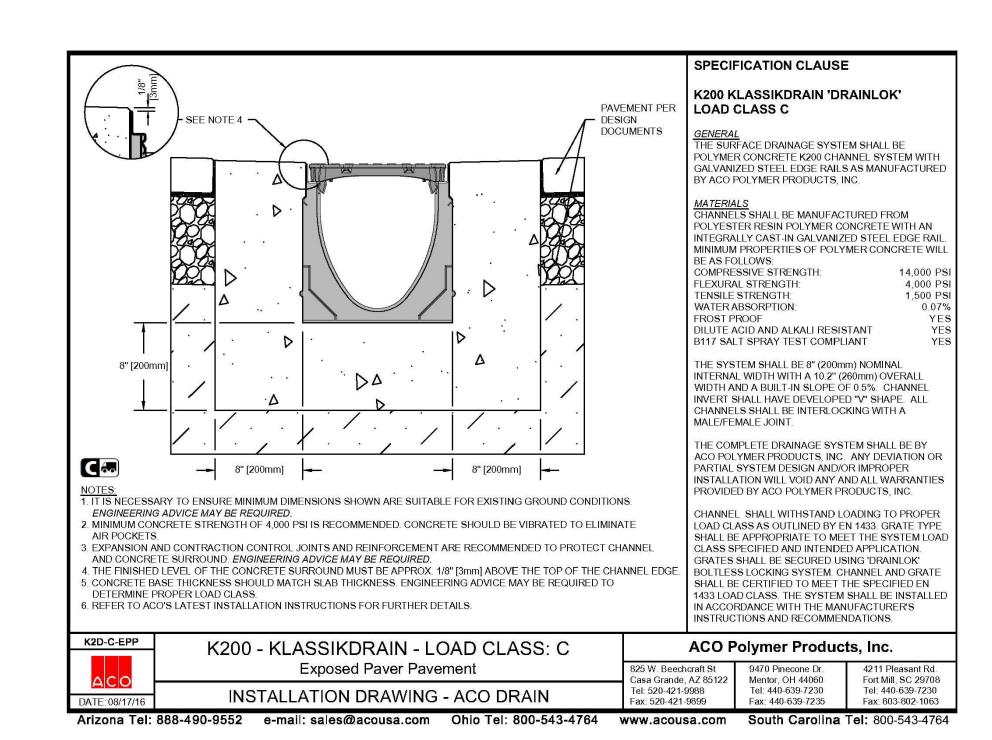
\*Note: All Dandy Sacks™ can be ordered with our optional oil absorbent pillows

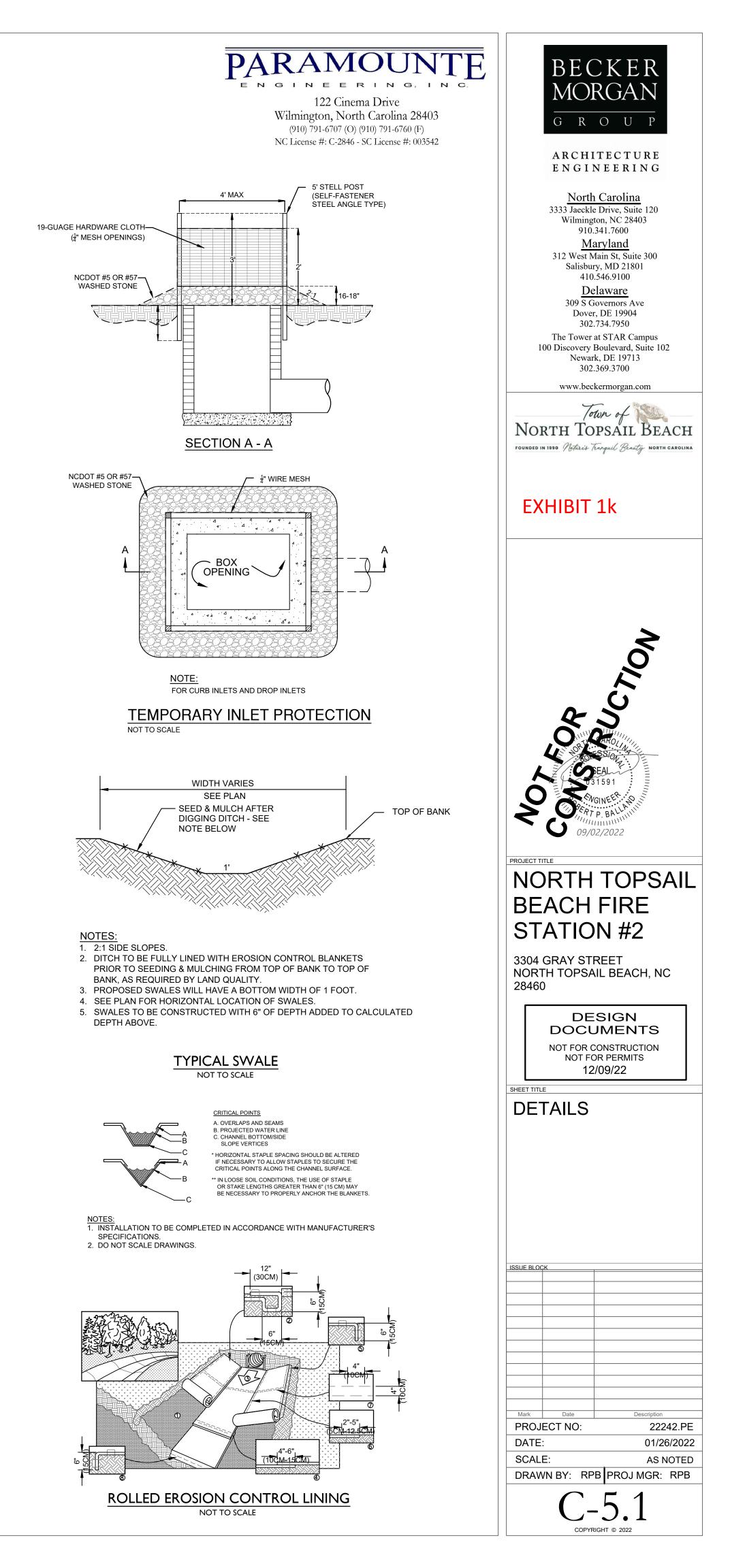
#### TEMPORARY DANDY SACK® INLET PROTECTION NOT TO SCALE

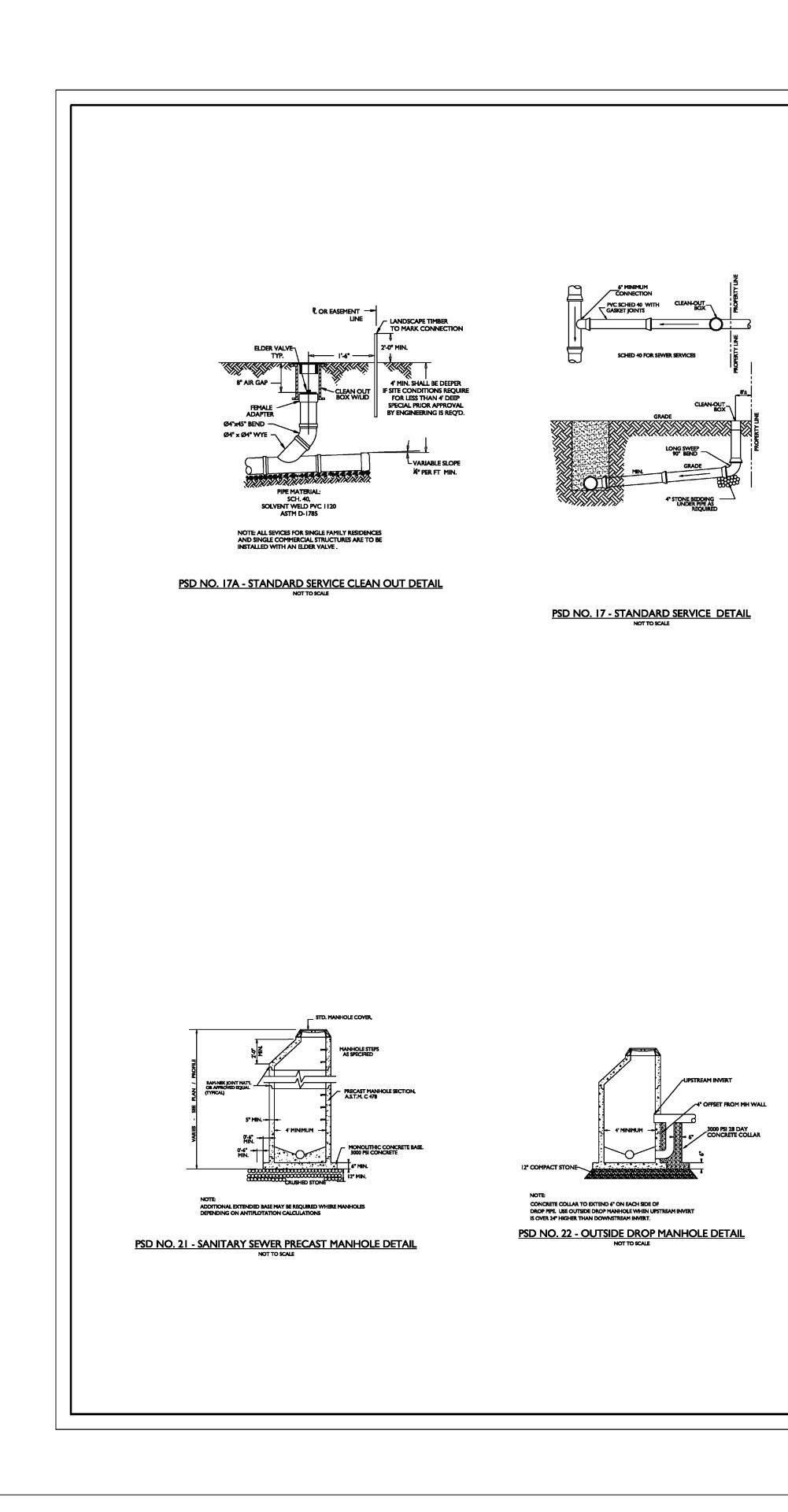
CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT IN A DESIGNATED DISPOSAL AREA AND NOT WITHIN LIMITS OF DISTURBANCE. SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL, BLOCK AND GRAVEL, OR ROCK-PIPE INLETS, WHEN IT REACHES HALF-FILLED, ROCK WILL BE CLEANED OR REPLACED WHEN NO LONGER DRAINS. SILT SACKS, BEAVER DAMS, SANDY SACKS. AND SOCKS NEED CHECKING EVERY WEEK AND AFTER RAIN.

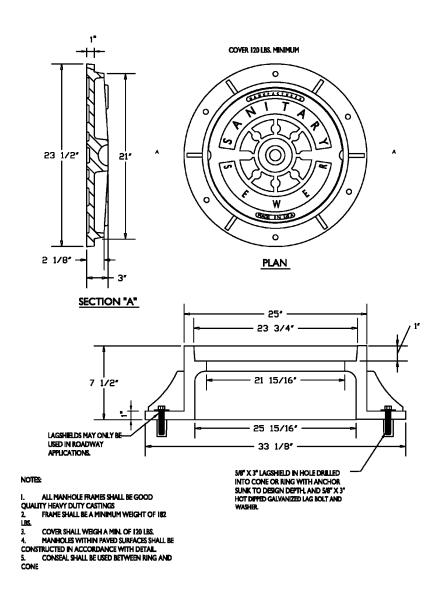


NOT TO SCALE

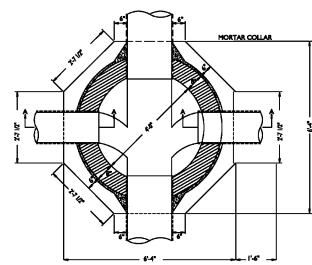




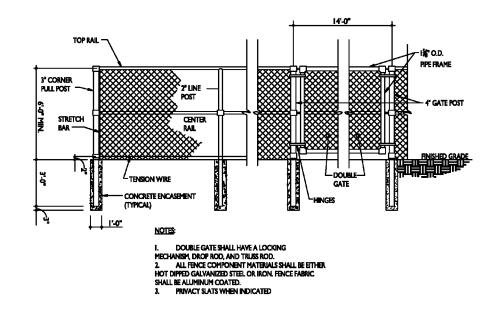




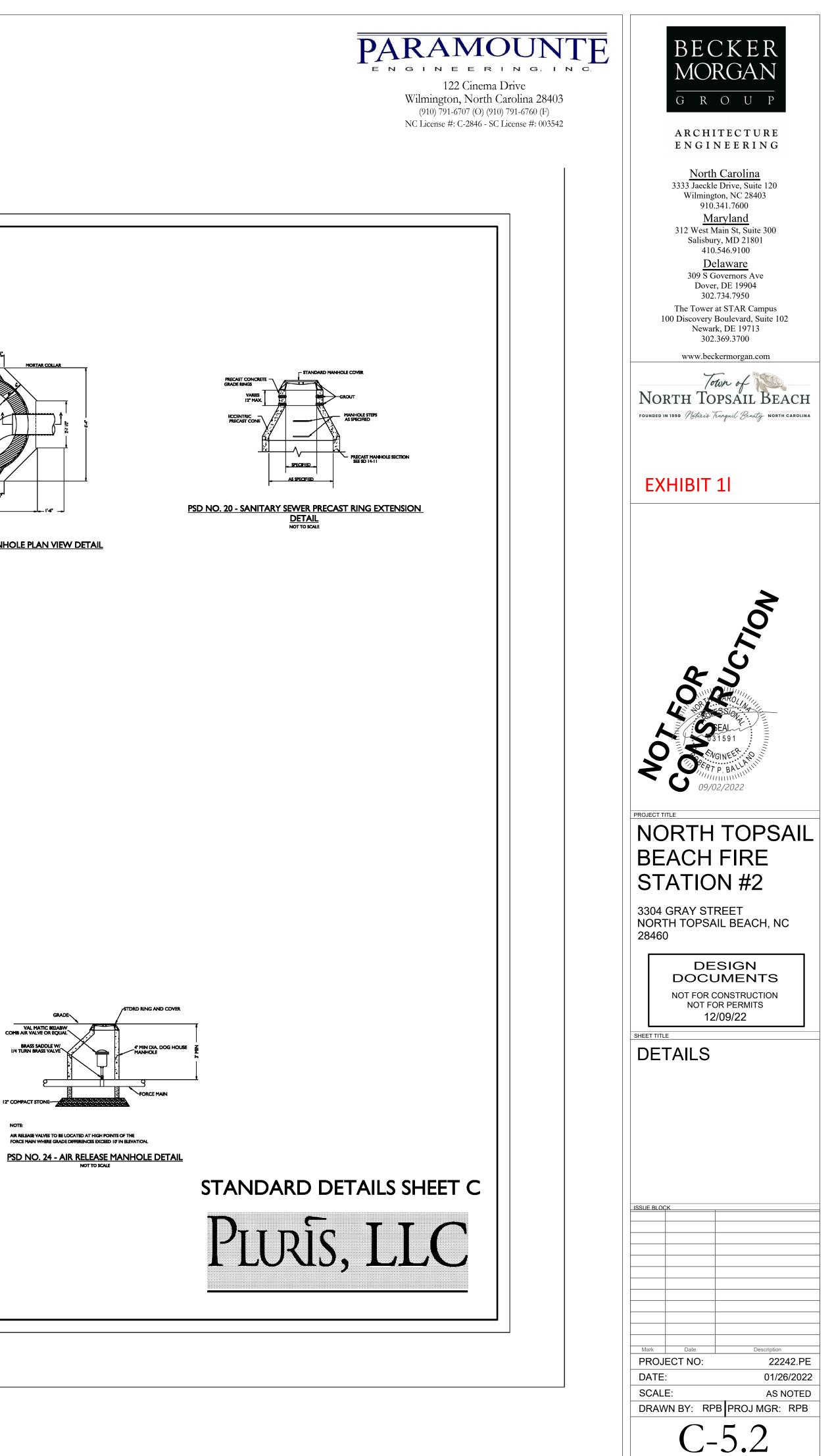




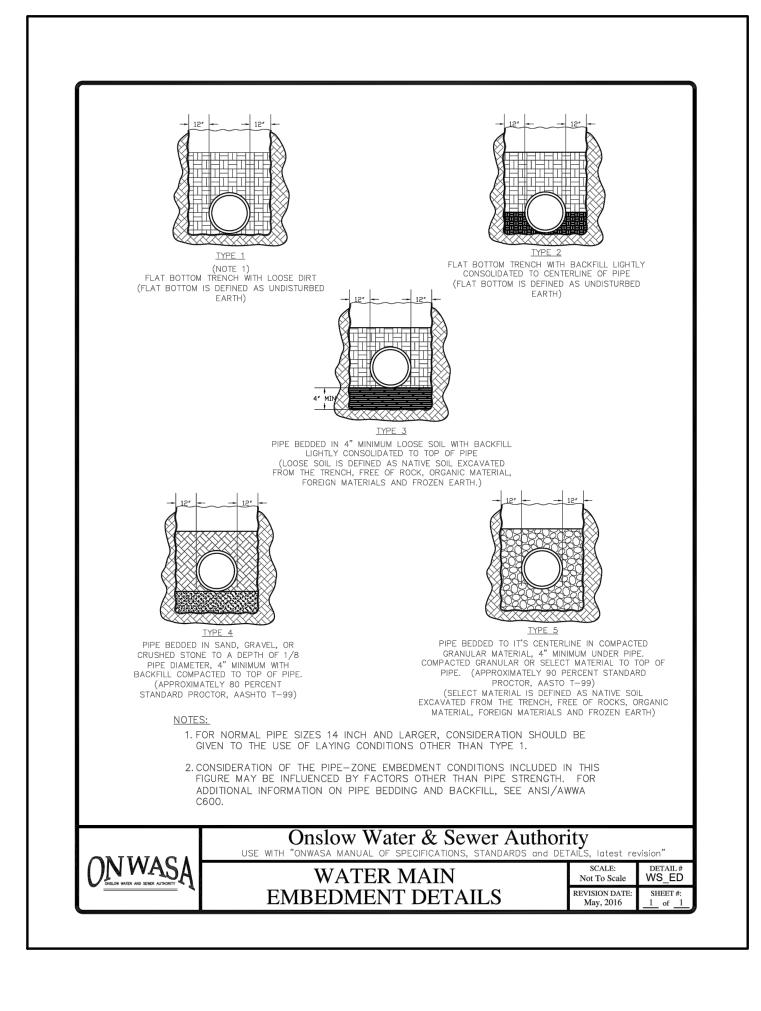
PSD NO. 19 - SANITARY SEWER MANHOLE PLAN VIEW DETAIL

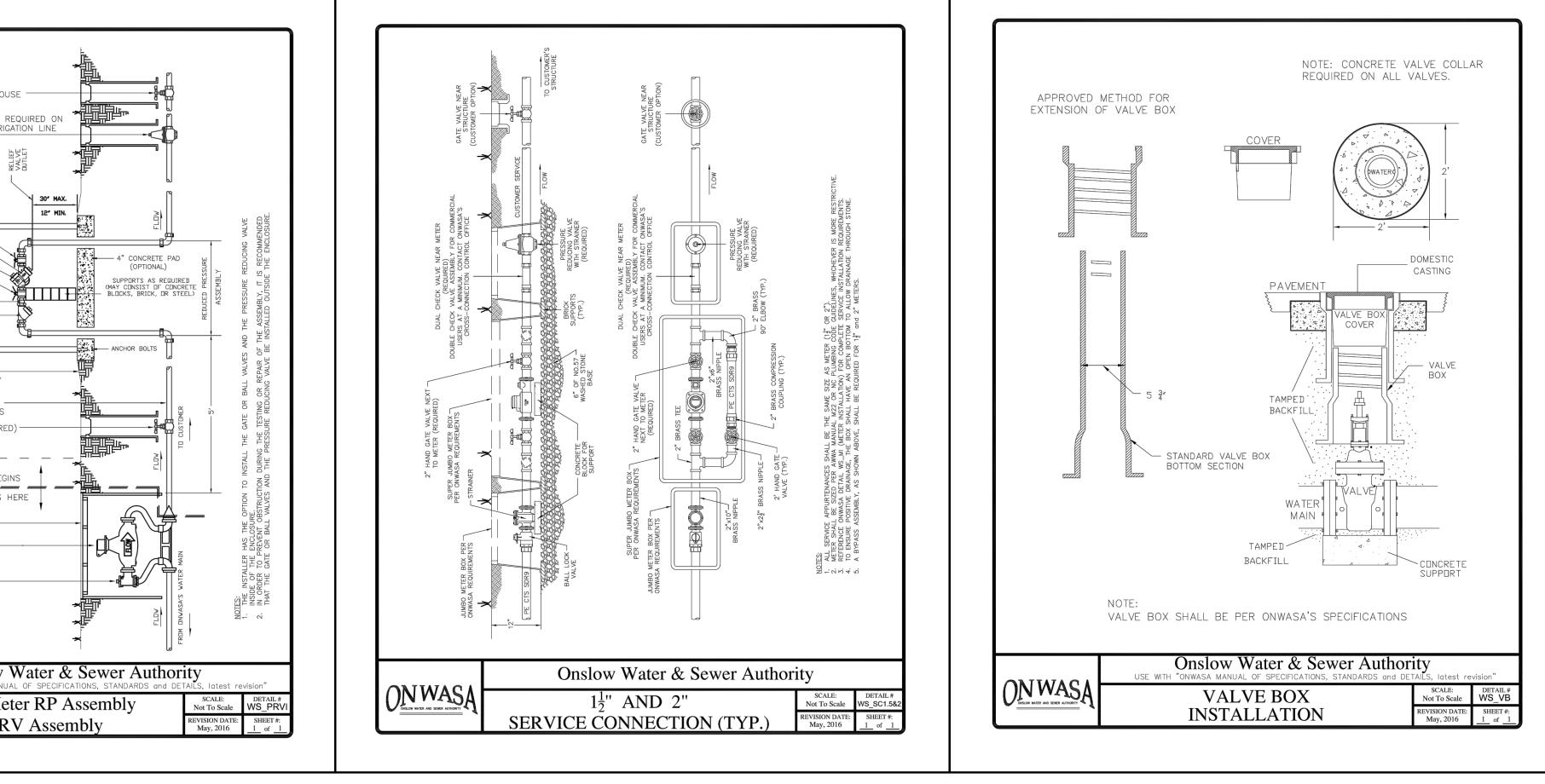


PSD NO. 23 - LIFT STATION FENCING DETAIL NOT TO SCALE



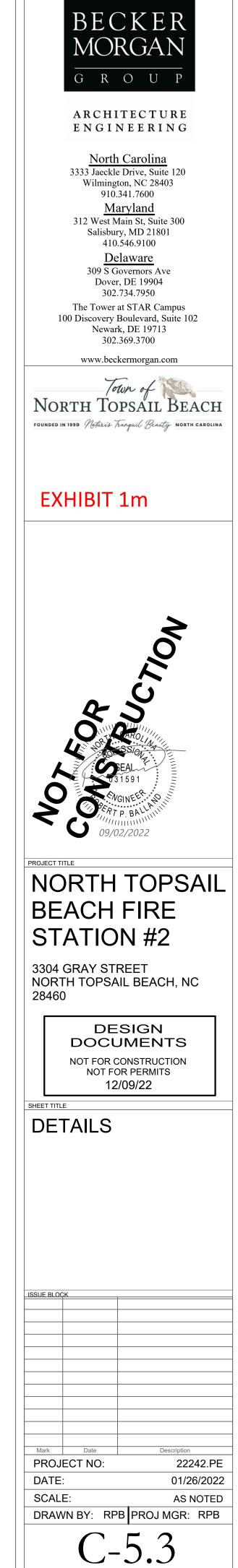
<ol> <li>The backflow preventer must be installed a Maximum distance of five (5) feet from the meter service or before any wyes, tees, or bypasses, installation of backflow preventers avite the the DE Tright essemblies.</li> <li>Reduced arresure principle ossemblies must be installed in a horizontal position and so located in white no borthon of the assembly can become sub-brenged under any draumstonces.</li> <li>Double check valves can be installed in a vertical position provided the water flows in an upwerd direction.</li> <li>Development be animum of teeve (2) inches observe the floor, and no higher inside must be animum of teeve (2) inches observe the floor, and no higher pressure principle backflow preventers installed inside a building on ar gp drain of adequote size must be installed outside must be provided the water flows in an appendiate on some the same principle backflow preventers installed backflow prevention assembly are constrained and the assembly. Wherever a reduced pressure principle backflow preventer is installed builting on ar gp drain of adequote size must be animized ble subject to the review and opprival of the abcordance with the gotefloations strain for backflow ground linear distributions of the device in duced ordan ground ble subject to the review and apprival to bottom wills of the protective enclosures will require to be mainted to the wills of the protective enclosures will require to be mainted to the group of the costening ground can half (2) inches of the load flow ground linear decould drain group if the same high while back mainted in assembly. Subports doord ordan and while of the protective in costenion will be subject to be mainted to the wills of the protective enclosures will require to be mainted to the wills of the protective enclosures will require to be mainted to approve and the assembly. The subject approves are compared to a bind (2) inches of the prevention approves that apported to coloster weater spinets. The enclosure will require to be main</li></ol>		EQUIREMENTS FOR ABOVE GROUND INSTALLATIONS OF REDUCED RESSURE PRINCIPLE AND DOUBLE CHECK VALVE ASSEMBLIES	
The meter service or before any wyes, tess, or byposses. Installation of backflow preventers within the DDT (THE-OF-way Will not be accepted) in the transmission of the customers graperty. Reduced pressure principle costmines must be installed in a horizontal position only circumstances. The installed in a vertical position provides the water flows in an upward direction. A all backflow preventers must be installed in a vertical position provides the water flows in an upward direction. A all backflow preventers must be installed incluse optical corrance around the cesamity for testing, and/or repair of the assembly. Wherever a reduced pressure principle backflow provements installed installed incluse of the direction of the pressure principle backflow preventers installed installed backglow graves of the direction of the cesambly. Wherever a reduced pressure principle backflow preventes installed installed backglow graves of the direction of the direction with the testing and/or repair of the assembly and maximum distance of the direction of the direction with the testing of the assembly provided it does not interfere with the testing and/or repair of the assembly may the interfere with the testing and/or repair of the assembly and maximum distance of the direction or and prevention assembly and the interfere with the testing and/or repair of the assembly could be provided by a hingd does or a during prevent direction assemble is subclass and there was there was the testing and/or repair of the assemble. Support and the testing and/or repair of the assemble. Support footing to reactive prevention assemble shall be installed in a for terms and be for direction and the direction or a authorized there are appeared to the second with the sample back and the installed in a formation and there are prevent and a maximum distance of the direction assemble associate as the rest and a maximum distance of the associable provided the during and in the structure is a none rest and regeners. B all backflow prevention ass			GATE OR BALL VALVE IN E
<ul> <li>backflow preventers within the D0T right-of-way will not be accepted, it must be installed on the customers processory.</li> <li>Reduces pressure principle assemblies must be installed in a horizontal position and so located in which no portion of the assembly can be come submerged under an another prevention.</li> <li>All backflow preventers must be installed above ground. Backflow arewaters installed in a vertical position and as observed direction.</li> <li>All backflow preventers must be installed above ground. Backflow arewaters installed in a vertical position and ago and a prevention assemblies installed and accepted by the assembly. Wherever a reduced pressure principle backflow growth in the assembly Wherever a reduced pressure principle backflow growth in the assembly. Wherever a reduced pressure principle backflow growth in the assembly. Wherever a reduced and ago ago and ago ago ago and ago ago ago ago ago ago ago ago ago ago</li></ul>			(OPTIONAL)
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<ul> <li>any circumstances.</li> <li>Double check vay so on be installed in a vertical position provided the water flows in an upward direction.</li> <li>All bockflow preventions must be installed above ground. Backflow preventers installed inside must be a minimum of twelve [12] inches above the floor, cathoner must maintain adequate clearance around the assembly for testing, and/or repair of the assembly. Wherever a reduced because clearance around the assembly is not the installetion of the device in the installetion of the device in the assembly to reset in installed blook ground installations are prohibited for RPs.</li> <li>Backflow prevention essembles installed actualed clearance around any assembly provided it does not interfere with the testing and/or repair of the assembly must maintain a minimum distance of twelve [12] inches and a maximum distance of hirly (30) inches above the floor. AssE 1060 approved enclosure. The easembly must maintain a minimum distance to they (11) inches and a maximum distance of hirly (30) inches above the 1000. ASSE (pproval) provided it does and interfere with the testing and/or repair of the assembly provided it does not interfere with the testing and/or repair of the assembly around. Freezer proof enclosures that meet of exceed North Carolina Plumbing Code Standards are acceptable provided that the fisualitor is at least 7.05 R totor, and have the 1000 ASSE (pproved) pilote. Adequate drainage shall be provided by a hinged door or drain pathe built with the assembly. Support construction can compare the assembles.</li> <li>All poling must be of ductile iron, pwc, copper, or brass.</li> <li>All poling must be of ductile iron, pwc, copper, or brass.</li> <li>All poling must be of ductile iron, pwc, copper, or brass.</li> <li>All policidan prevention assembles.</li> <li>All poling must be of ductile iron, pwc, copper, or brass.</li> <li>All poling must be of ductile iron, prece steleted with a stalle donore the assembles.</li> <l< td=""><td></td><td></td><td>(WHEN REQUIRED BT INC PLOMBING C</td></l<></ul>			(WHEN REQUIRED BT INC PLOMBING C
<ul> <li>an upward direction.</li> <li>All backflow preventers must be installed above ground. Backflow preventers installed inside must be a minimum of tweive (12) inches above the floor, and no higher than four (4) feet above the floor. Customer must mointain adequate clearance around the assembly for testing, and/or repair of the assembly. Mirerever a reduced pressure principle backflow preventer is installed inside a building an all gap drain of adequate table. Built-SHIT-SFY VALVE HE DECK VALVE 11: Surface obstacles which prohibit the installation of the device in accordance with the specifications shall be subject to the review and approval of the SST transce obstacles which prohibit the installation of the device in accordance with the specifications shall be subject to the review and approval of the SST transce of their (20) inches above the ground. Landscapping of the assembly must mointain a minimum distance of tweive (12) inches above the ground. Landscapping of the assembly include to the ground. Freeze proof endosures that meet of exceed North Corolina Plumbing Code Standards are acceptable provided that the installation statide dove ground. Freeze proof endosures that meet of exceed North Corolina Plumbing Code Standards are acceptable provided that the installation is the least. 70.6 F Restor, and have the 1060 ASSE approval plate. Adequate drainage shall be provided by a hinged door or drain ports along the accessible by doors linge encough of the restores.</li> <li>All plackflow prevention assemblies two and one hair (2.2) inches opports that be approved of the assembles.</li> <li>All plackflow prevention casembles.</li> <li>All plackflow</li></ul>	ar	ny circumstances.	
<ul> <li>All backflow preventers must be installed above ground. Backflow preventers installed inside must be a minimum of twelve (12) inches above the floor, and no higher than four (4) feet above the floor. Customer must maintain adequate clearance around the assembly for testing, and/or repair of the assembly. Wherever a reduced pressure principle backflow preventer is installed inside a building on air gop drain of a dadget the assemble is the installed below ground installations are prohibited for RP<sup>3</sup>s.</li> <li>Backflow preventions shall be subject to the review and approval of the Engineering Director for alternative locations.</li> <li>Backflow prevention sasemble is installed outside must be protected with a ASSE 1060 approved enclosure. The assembly must maintain a minimum distance of twelve (12) inches and a maximum distance of the ground. Indexcoping is allowed around any assembly provided It does not interfere with the testing and/or repair of thirty (30) inches above the ground. Londscaping is allowed around any assembly provided It does not interfere with the testing and/or repair of the assembly. Supports must be used to prevent freezing or vandalism for backflow prevention assembles installed outside door or drain ports along the Acceptance and a maximum distalation.</li> <li>Backflow prevention assembles would be provided that the devide of an or stain grade. If the structure is not removable it must be apported to allow for the weight of the backflow prevention assembles.</li> <li>All piping must be of ductile iron, pvc, copper, or brass.</li> <li>All piping must be diductive or a subject to there prevent block, flow prevention assembles.</li> <li>All piping must be of ductile iron, pvc, copper, or brass.</li> <li>All piping must be of ductile iron, pvc, copper, or brass.</li> <li>All piping must be of ductile iron, pvc, copper, or brass.</li> <li>All piping must be duckflow preventers. Sechia or a subject to there prevented corisons entropic the asse</li></ul>			
<ul> <li>than four (4) feet above the floor. Customer must maintain dequate clearance around the assembly for testing, and/or repain of the assembly. Wherever a reduced pressure principle backflow preventer is installed inside a building an air gap drain of adequate size must be installed. Below ground installations are prohibited for RP's.</li> <li>Surface or Sub-surface obstacles which prohibit the installation of the device in accordance with the specifications shall be subject to the review and approval of the protective enclosures. The assembly must maintain a minimum distance of twelve (12) inches and one of thirty (30) inches above the ground. Landscoping is allowed around any assembles installed outside move the ground. Landscoping of the assembles installed outside above the ground. Landscoping of the assembles installed outside above ground. Freeze proof enclosures that meet of exceed North Carolina Plumbing Code Standards are acceptable provided that the installation is allowed to a dock or or drain ports along the bottom walls of the protective enclosure and repair.</li> <li>Backflow prevention assemblies installed outside above ground. Freeze proof enclosures that be accessible by doors large encugh for entrance and repair.</li> <li>Backflow prevention assemblies the colosure. The enclosure will require to be mounted to the ground or existing grade. If the structure is not removable it must be accessible by doors of the westion or and untorized representative prior to initial connection to the potable water system.</li> <li>All backflow prevention assemblies installed conside so they do not cause interference with the testing and/or repair of the assemblies.</li> <li>All backflow prevention assembly installations shall be inspected by the State of Nerth Carolina.</li> <li>Metre Ruber Authority Technical Operations Section or an cutorized representative prior to initial connection to the potable water system.</li> <li>Before Installation of any backflow preventice, co</li></ul>	4. AI	I backflow preventers must be installed above ground. Backflow preventers installed	
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<ul> <li>6. Protective enclosures must be used to prevent freezing or vandalism for backflow prevention assemblies installed outside above ground. Freeze proof enclosures that meet of exceed North Carolina Plumbing Cade Standards are acceptable provided that the insulation is at least 7.05 R factor, and have the 1060 ASSE approval plate. Adequate drainage shall be provided by a hinged door or drain ports olong the bottom walls of the protective enclosure. The enclosure will require to be mounted to the ground or existing grade. If the structure is not removable it must be accessible by doors large enough for entrance and repair.</li> <li>7. Backflow prevention assembles two and one half (2 ±) inches or larger must be supported to allow for the weight of the backflow prevention assembly. Support construction can consist of concrete block, brick or steel. Supports have a proper footing to rest on. Supports should be spaced so they do not cause interference with the testing and/or repair of the assemblies.</li> <li>8. All piping must be of ductile iron, pvc, copper, or brass.</li> <li>9. All backflow prevention assembly installations shall be inspected by the Onslow Water and Sever Authority Technical Operations Section or an autorized representative prior to initial connection to the potable water system.</li> <li>10. Before installation of any backflow preventer, contact the Backflow Cross Connection ORC at 910–455–0722 to assist in proper selection and installation.</li> <li>Note: Appendices within these regulations are subject to change periodically or as required by the State of North Carolina.</li> </ul>			
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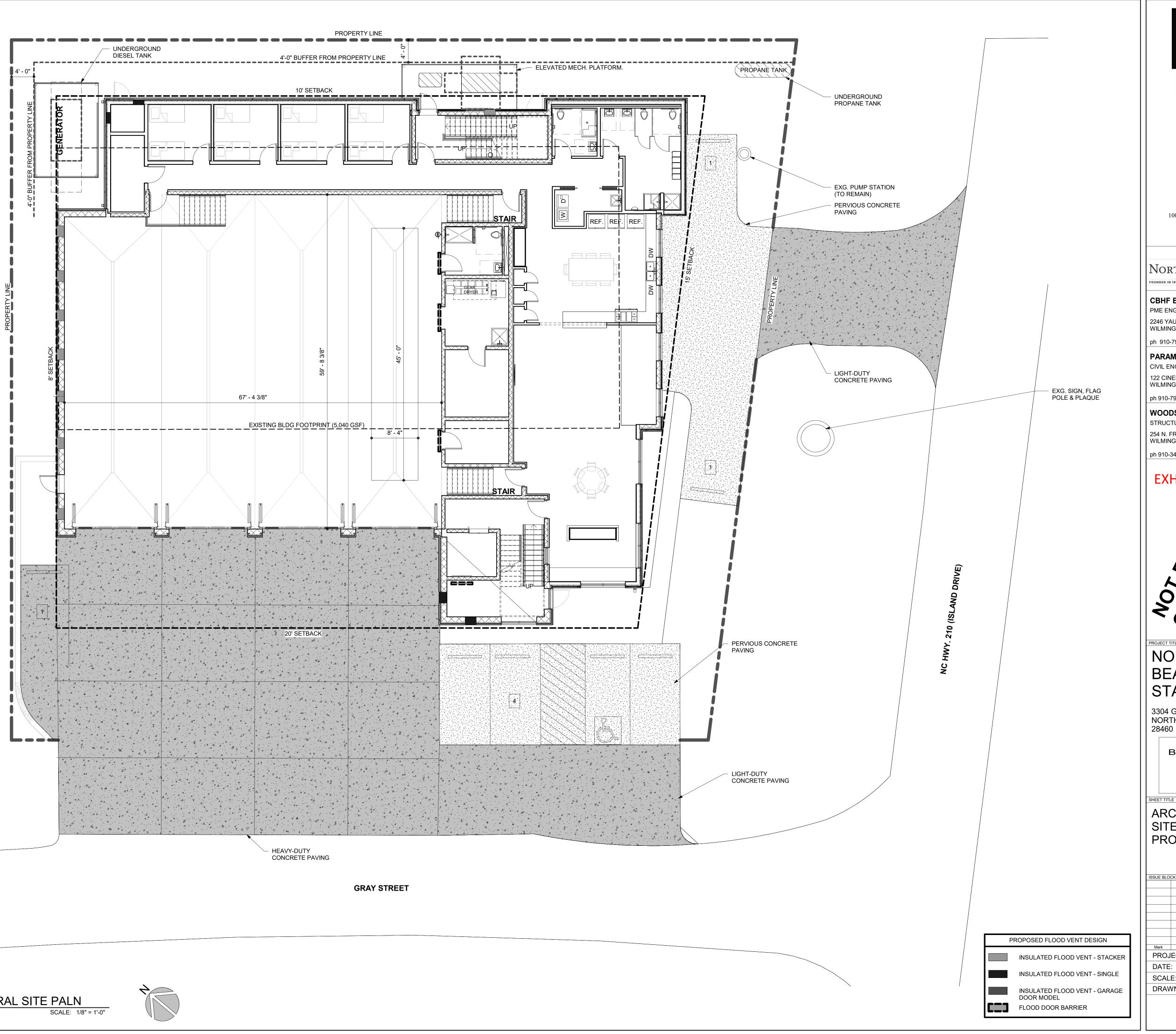






122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846 - SC License #: 003542



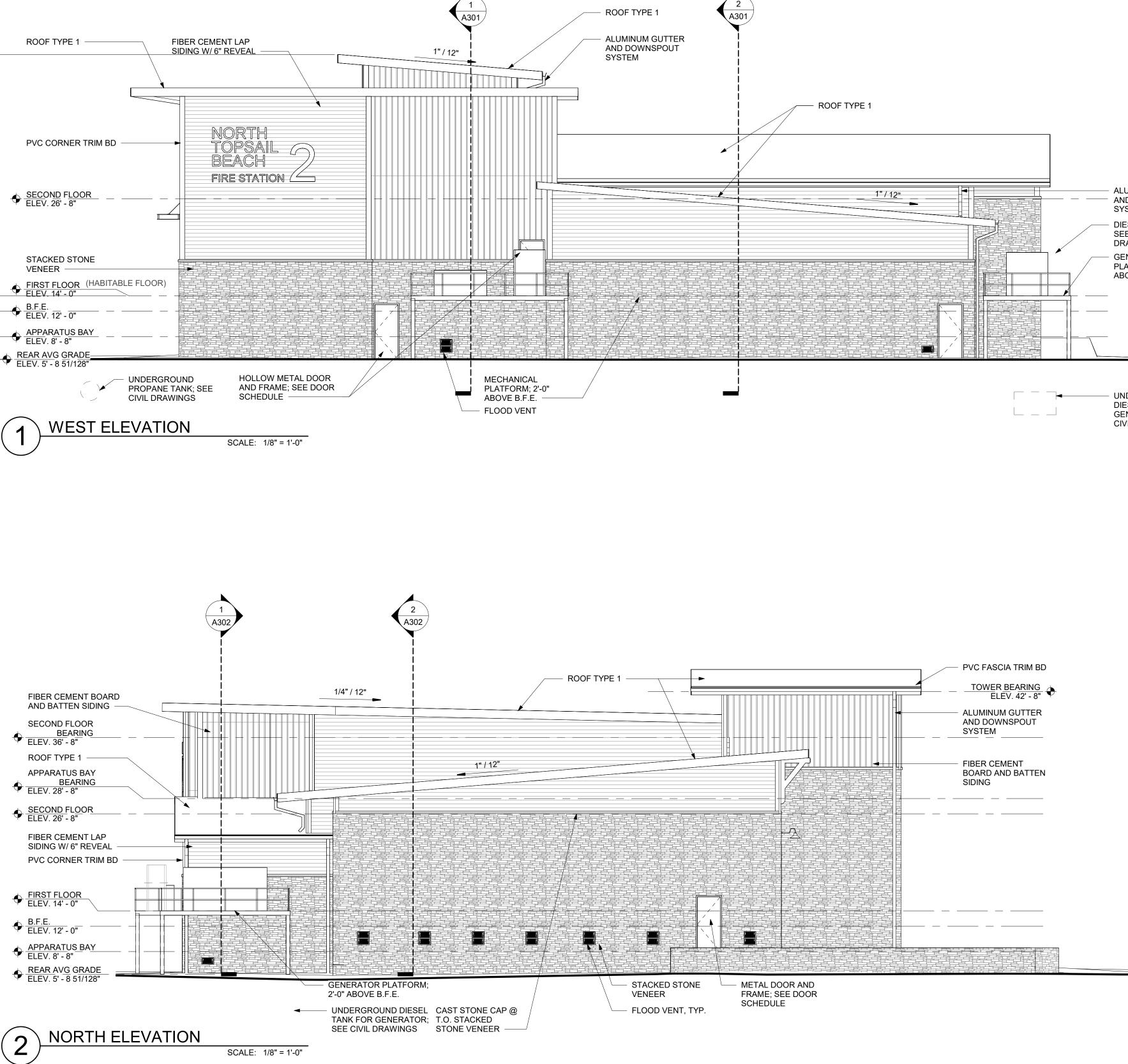


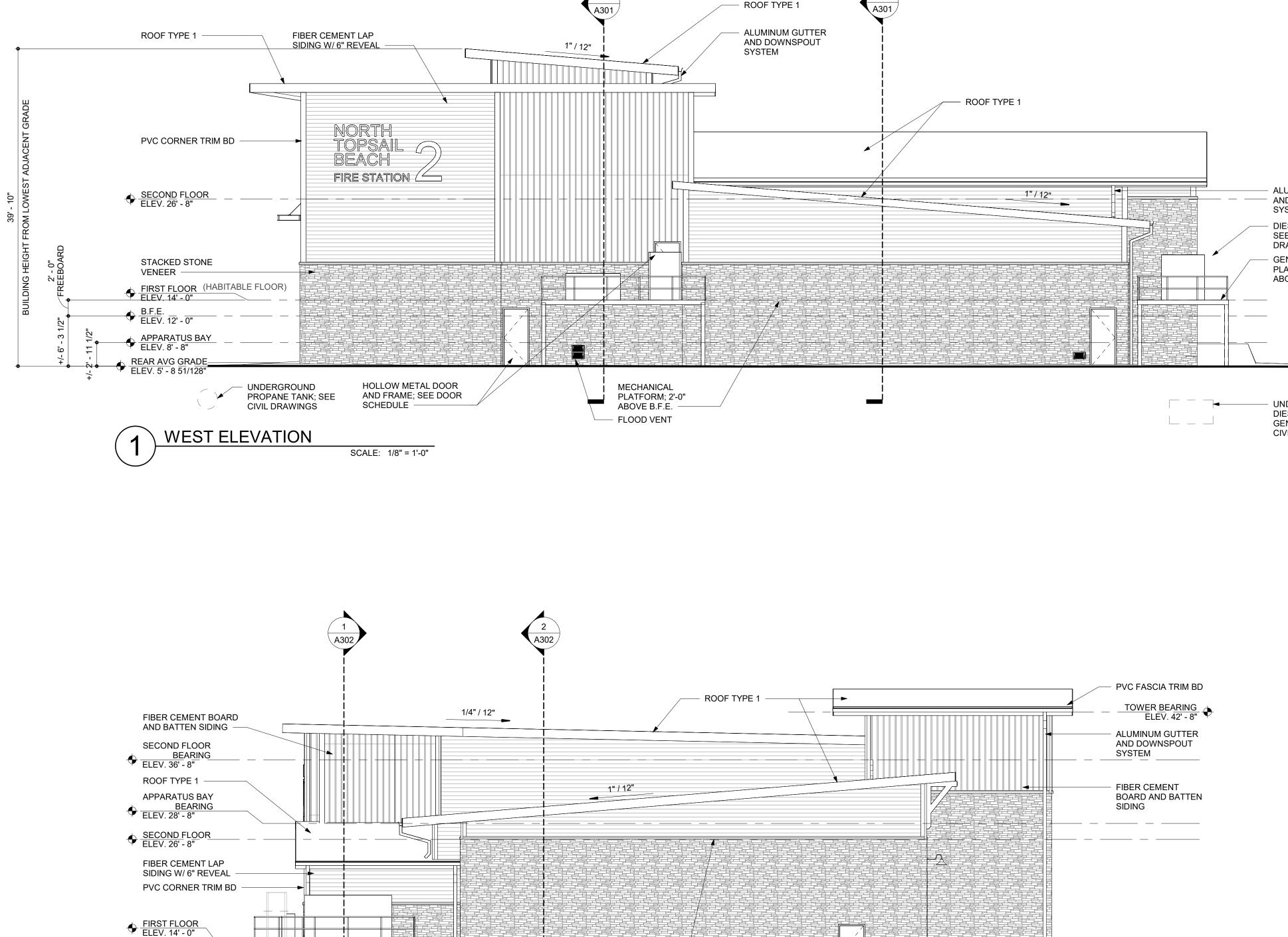




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- UNDERGROUND DIESEL TANK FOR GENERATOR; SEE CIVIL DRAWINGS

122 CINEMA DRIVE WILMINGTON, NC 2	8403
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	201 RIGHT © 2023

BECKER

MORGAN

G R O U P

ARCHITECTURE ENGINEERING

<u>North Carolina</u> 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403 910.341.7600

<u>Maryland</u> 312 West Main St, Suite 300 Salisbury, MD 21801

410.546.9100

<u>Delaware</u> 309 S Governors Ave

Dover, DE 19904

www.beckermorgan.com

Town of North Topsail Beach

FOUNDED IN 1980 Nature's Tranquil Beauty NORTH CAROLINA

PARAMOUNTE ENGINEERING, INC.

CBHF ENGINEERS PLLC

PME ENGINEERS

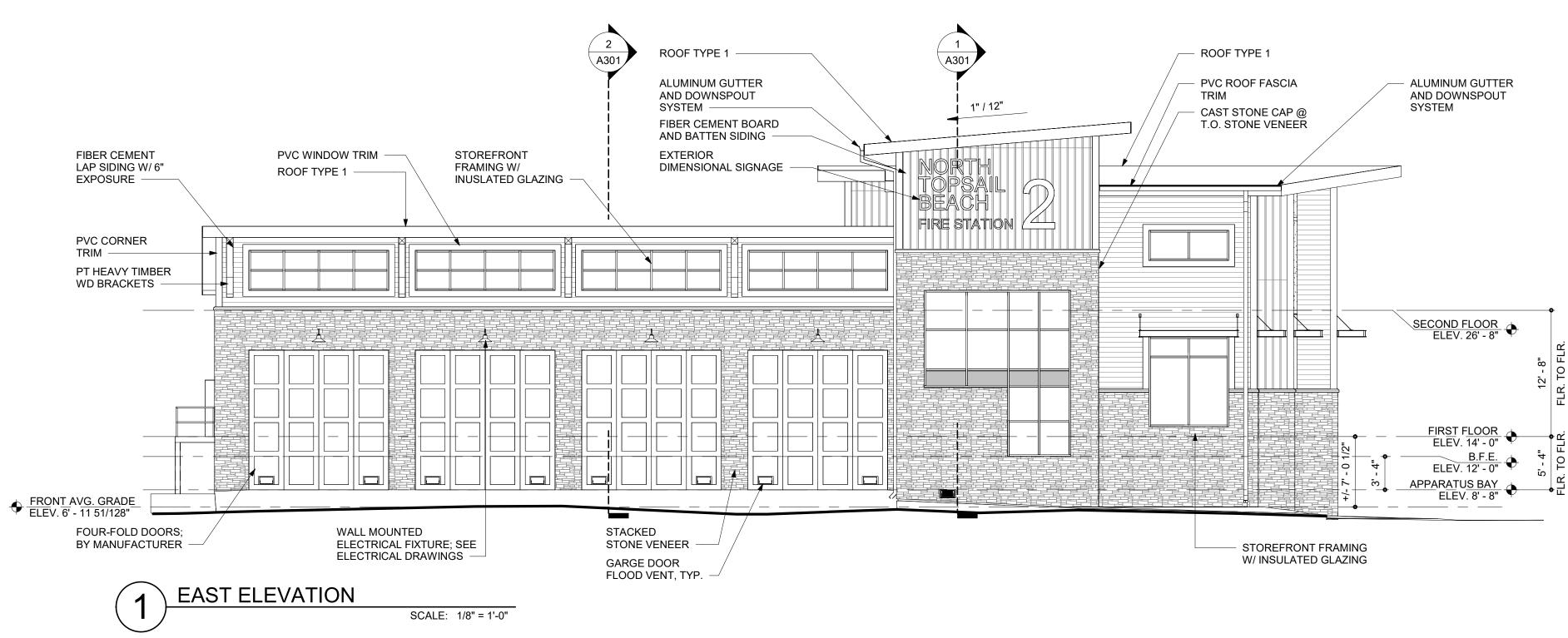
ph 910-791-4000

CIVIL ENGINEERING

2246 YAUPON DRIVE

WILMINGTON, NC 28401

302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700







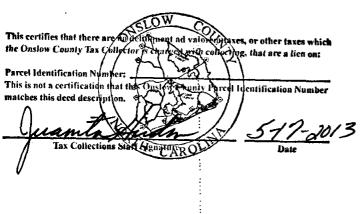
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Page 1 of 1

## EXHIBIT 3

Doc ID: 010491360001 Type: CRP Recorded: 05/17/2013 at 11:44:17 Fee Amt: \$26.00 Page 1 of 1 Revenue Tax: \$0.00 Onslow County, NC Rebecca L. Pollard Reg. of Deeds BK 3989 PG 84



nese In Tus H This deed presented to The Onslow Co Ta DateSIIII3Clear /:∐ce

Return to: Brian E. Edes 5002 Randall Parkway Wilmington, NC 28403

Parcel No. OUDUS9 040481

OUITCLAIM DEED

Stamps: \$ 0.00

STATE OF North Carolina

**COUNTY OF Onslow County** 

BRIEF DESCRIPTION FOR THE INDEX: Lots 12 and 13 in Block twenty-four, Ocean City

THIS QUITCLAIM DEED, made and entered into this the 4<sup>th</sup> day of May, 2013, by and between North Topsail Beach Volunteer Rescue & EMS, Inc., of Onlsow County, NC, hereinafter called Grantor, and the Town of North Topsail Beach, North Carolina, of Onslow County, hereinafter called Grantee;

<u>WITNESSETH</u> That said Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars to him in hand paid, the receipt of which is hereby acknowledged, has remised and released and by these presents does remise, release, convey and forever quitclaim unto the Grantee and his/her heirs and/or successors and assigns all right, title, claim, and interest of the Grantor in and to a certain tract or parcel of land lying and being in Onslow County, State of North Carolina, and more particularly described as follows:

All of Lots twelve (12) and thirteen (13) in Block twenty-four (24), more particularly shown and described on a plat of survy entitled "Revised Map of a Portion of Ocean City on Topsail Island, North Carolina, dated February 6, 1974, by H. M. Loughlin, Registered Land Surveyor

THE PROPERTY hereitabove described was acquired by Grantor by instrument recorded in Book 751 at page 495 of the October 9, 1985 county registry

TO HAVE AND TO HOLD the aforesaid tract or parcel of land and all privileges thereunto belonging to her, the Grantee and her heirs and/or successors and assigns, free and discharged from all right, title, claim or interest of Grantor or anyone claiming by, through, or under him.

The Designation Granter and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

(SEAL) Gunner Matthews (SEAL)

STATE OF North Carolina COUNTY OF Ouslow County . I. Con2. Four a Notary Public for the aforesaid County and State, hereby certify that Gunnar Matthews personally appeared before me this day and acknowledged the due execution of the foregoing instrument. WITNESS my hand and seal this 4th day of May, 2013.

'ar

-ztan_	, Notary Public (Notarial Seal)	CHUN LINOU NOTARY Z PUBLIC	VER
	:	FUT PNOVER CC	E

CALL

My Commission Expires: <u>
Decher</u> 12, 2016 STATE OF NORTH CAROLINA

Sown of North Topsail Beach EXHIBIT 4

Joann M. McDermon, Mayor Mike Benson, Mayor Pro Tem

Aldermen: Alfred Fontana Richard Grant Tom Leonard Connie Pletl



Certification of Public Notice

In accordance with NCGS § 160D-4-6 (b) and North Topsail Beach Unified Development Ordinance (UDO) §2.06 Table 2-1, I hereby certify that on February 17, 2023, a notice of a public hearing for the Commercial Plan Review: Fire Station #2, 3304 Gray Street, was sent by first-class mail, to all owners of property abutting 3304 Gray Street. The list of owners and addresses was prepared from Onslow County Tax Records:

BAILEY EVESTER B & BRENDA B 3626 SUFFOLK ST DURHAM, NC 27707

CARTER HACKNEY & HUDSON LLC 102 OXFORD RD LUMBERTON, NC 28358

On February 14, 2023, a Notice was posted at Town Hall, and on the Town's website and distributed to the "sunshine list." Notice was posted on the property subject to the request at least ten days prior to the scheduled hearing.

Certified:

D. word Sliv

Deborah J. Hill, MPA AICP CZO CFM

**Planning Director** 

cc: file

#### TOWN OF NORTH TOPSAIL BEACH BOARD OF ALDERMEN

Alice Derian, ICMA-CM

Town Manager Melinda Mier

Town Clerk

Wednesday, March 1, 2023, 11:00 a.m. 2008 Loggerhead Court, North Topsail Beach NC 28460 Pursuant to NCGS § 160D-601 and the Town's Unified Development Ordinance §2.06 and §2.07.01, notice is hereby given that a regular meeting of the North Topsail Beach Board of Aldermen will be held at 2008 Loggerhead Court, North Topsail Beach NC on Wednesday, March 1, 2023, 11:00 a.m. Hearings will be conducted to receive input on: Commercial Plan Review: Fire Station #2, 3304 Gray Street; Proposed Amendment §6.05 Off-Street Parking And Loading Requirement; Proposed Amendment § 4.03.20, § 11.02 Duplex; Proposed Amendment § 4.03.07 Fences. All information pertaining to these public hearings may be viewed at the Town Hall by appointment only Monday through Friday between the hours of 8:00 am and 5:00 pm. For more information, please contact: Deborah J. Hill MPA AICP CFM CZO, Planning Director dhill@northtopsailbeachnc.gov 910-328-1349

February 11 & 18, 2023

Jacksonville Daily News

2008 Loggerhead Court North Topsail Beach, NC 28460

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NAME OF PROJECT: NOR	TH TOPSAIL BEACH FIRE	STATION #2							
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	CBHF Engineers, PLLC	TROY O. GRADY	043801	910.791.4000	tgrady@cbhfengineers.com	2. L	INLIMITED AREA APF	LICABLE UND	ER CON
SPRINKLER-STANDPIPE	PFBFB ENGINEERING, PLLC	DAVID STACY, PE	046319	910.600.7780	dstacy@pbfpe.com				
	Woods Engineering, PA	ADAM SISK	041563	910.343.8007	adam@woodseng.com	5. F	RONTAGE INCREAS	E IS BASED ON	N THE UI
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CONSTRUCTED:       CURRENT OCCUPANCY(S) (Ch. 3)       BUSINESS         RENOVATED:       PROPOSED OCCUPANCY(S) (Ch. 3)       BUSINESS         RISK CATEGORY (Table 1604.5):       CURRENT       N/A       I       III       IIII       IIII       IIII <td>0</td>		0							
		<b></b> -	· · · · ·		<b>DN</b> <i>I</i> <b>DN</b> <i>I <b>DN</b><i>I <b>DN</b><i>I <b>DN</b><i>I</i> <b>DN</b><i>I <b>DN</b><i>I</i> <b>DN</b><i>I</i> <b>DN</b><i>I</i> <b>DN</b><i>I</i> <b>DN</b><i>I</i> <b>DN</b><i>I <b>DN</b><i>I</i> <b>DN</b><i>I</i> <b>DN</b><i>I <b>DN</b><i>I <b>DN</b><i>I</i> <b>DN</b><i>I <b>DN</b><i>I</i> <b>DN</b><i>I <b>DN</b><i>I <b>DN</b><i>I <b>DN</b><i>I</i> <b>DN</b><i>I <b>DN</b><i>I <b>DN</b><i>I <b>DN</b><i>I</i> <b>DN</b><i>I <b>D</b></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i></i>	Bearing	Walls		
OWNER OR AUTHORIZED AGENT_ALICE DERIAN_         PHONE #_910.328.134.9         E-Mail_         NO.         AND USE         PER STORY         (ACTUAL)           CONCED BYF.         Conty         State         addrian@profthipsailbeachr.gov         1         BUILINGSES.B         4.759.9F         2         ERSIDE TURAL         RESIDENTIAL-R2         2         3         STOARGE - 92         3         <									
								>30'	0
						Nonbear	ing Walls and		0
									-
	ING (SQ. FT.) N	EW (SQ. FT.)	RENO/AL	TER (SQ. FT.)	SUB-TOTAL				-
	-	-		-		Sou	th		-
	<u>-</u>	-		-					-
	-	-		-		supportir	ng beams and joists		
	-			-			· ·		
	-	649 SF		-	-	Roof Co	nstruction, including		0
1ST FLOOR	-	8,550 SF		-	-				0
BASEMENT	-	-		-		Columns	Supporting Roof		
TOTAL	1	1,643 SF		-	-				
ALLOWABLE AREA:						Corridor	Separation		
	( )							ation	
	□ A-2 □ A-3 □ A-4 □	A-5							
_								g Separation	
							•	itting reduction	IN/A
				r (			-	-	
			า-ง บบเทยบร	ı ∐H-4 HE		PERCE	NTAGE OF WAL	L OPENIN	G CAL
			4 5			(FEET) F	ROM PROPERTY LIN		
							5 TO LESS THAN 10	UNPROTECT	TED / SPRIN
MERCANTILE							10 TO LESS THAN 15	UNPROTECT	TED / SPRIN
RESIDENTIAL	R-2 R-3 R-4								
			H-PILED			LIFE S	AFETY SYSTEM	REQUIRE	IENTS
			SED	REPAIR GARA	GE				
UTILITY AND MISCELLAN						EXIT SIC	GNS:		YE
ACCESSORY OCCUPANCY		R-2 RESIDENTIAL	/ S-2 STORAG	E					
		I/A				=-		<b></b>	
SPECIAL Provisions (Chapte	er 5 - List Code Sections):_	N/A							NTS:
MIXED OCCUPANCY:	NO YES SEPARA	TION:_1HR.	EXCEPTIC	DN:					
Non-Separated Use (	508.3)						ASSUMED AND REA	L PROPERTY L	INE LOO
						•	EXTERIOR WALL OP	ENING AREA V	VITH RE
				'B			OCCUPANT LOADS	FOR EACH ARE	EA
	+			<1		•	COMMON PATH OF	TRAVEL DISTA	
			-			•	CLEAR EXIT WIDTHS	6 FOR EÁCH EX	
-	+		-	<u> </u>		•			NT LOAD
							ACTUAL OCCUPÀNT	LOAD FOR EA	
							STRUCTURE IS PRO	VIDED FOR PL	JRPOSE
						•	LOCATION OF DOOF	RS WITH DELA	YED EGI
						•	LOCATION OF DOOF	RS WITH ELEC	TROMAG
						•	LOCATION OF EMER	RGENCY ESCAI	
						•	THE SQUARE FOOT	AGE OF EACH	SMOKE
							NOTE ANY CODE EX		

# **BUILDING CODE SUMMARY**

(B)		(C)	(D)
TABLE 506	.2 <sup>4</sup> AREA	AREA FOR	ALLOWABLE AREA
SPRINKLERED	SPRINKLERED	FRONTAGE	PER STORY OR UNLIMITED
	69,000 SF		
	48,000 SF		48,000 SF
	78,000 SF		
	E COMPUTED THU OPEN SPACE HAV )		UM WIDTH(F)

AY = \_\_\_\_(W) (do not exceed 30)  $E I_f = 100 [F/P - 0.25] \times W/30 = (\%)$ 

NDITIONS OF SECTION 507.

ER OF STORIES IN THE BUILDING x D (MAXIMUM 3 STORIES) (506.2) ARAGES MUST COMPLY WITH 406.5.4.

INSPRINKLERED AREA VALUE IN TABLE 506.2

ALLOWABLE ABLES 504.3 & 504.4)	SHOWN ON PLANS	CODE REFERENCE
75 FEET	40 FEET	
4 STORIES	2 STORIES	
ntity is not based on Table t comply with Table 412.3 comply with Table 406.5.	.1.	

	RATING	DETAIL #		DESIGN # FOR	DESIGN
'D	PROVIDED* (W/ REDUCTION)	AND SHEET #	FOR RATED	RATED PENETRATION	# FOR RATED
			ASSEMBLY		JOINTS
2					
		2G / A002	UL# U-905		
IN			UL# U-419		
N			UL# U-419		

## LCULATIONS:

PENINGS TION 05.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
RINKLERED (S)	25%	
RINKLERED (S)	45%	
TS:		
YES		
VES		

-5 =S ES 🗌 PARTIAL

TIONS (Chapter 7) DCATIONS (if not on the site plan) ESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8) S IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.2)

(1006.2.1 & 1006.3.2(1))

CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON

T DOOR

ING WHERE FIRE RATED FLOOR / CEILING AND/OR ROOF ES OF OCCUPANCY SEPARATION

WARE (1008.1.10.)

GRESS LOCKS AND THE AMOUNT OF DELAY (1010.1.9.7) AGNETIC EGRESS LOCKS (1010.1.9.9)

OLD-OPEN DEVICES DOWS (1030)

REA (202)

ABOVE

E COMPARTMENT FOR OCCUPANCY CLASSIFICATION I-2 (407.5) Y CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ACCESSIBLE DWELLING UNITS (SECTION 1107) NOT APPLICABLE

R R	TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106) SEE CIVIL DRAWINGS

LOT OR	TOTAL # OF PA	RKING SPACES	# OF ACCE	TOTAL #			
PARKING AREA	REQUIRED PROVIDED F		REGULAR WITH	VAN SPACES WITH		ACCESSIBLE	
			5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	PROVIDED	SEI
PARKING AREA	77	77	1	N/A	N/A	11	PR
TOTAL							

#### PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	WATERCLOSETS			URINALS LAVATORIES			SHOWERS	SHOWERS DRINKING FOUNTA	OUNTAINS	
	MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX	/ TUBS	REGULAR	ACCESSIBLE
มุ EXIST'G										
K NEW										
<sup>か</sup> REQ'D										

**Special Approval:** (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

## ENERGY SUMMARY

ENERGY REQUIREMENTS:

THE FOLLOWING DATA SHALL BE CONSIDERED MINIMUM AND ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE NORTH CAROLINA ENERGY CONSERVATION CODE SHALL ALSO BE PROVIDED. EACH DESIGNER SHALL FURNISH THE REQUIRED PORTIONS OF THE PROJECT INFORMATION FOR THE PLAN DATA SHEET. IF PERFORMANCE METHOD, STATE THE ANNUAL ENERGY COST FOR THE STANDARD REFERENCE DESIGN VS ANNUAL ENERGY COST FOR THE PROPOSED DESIGN.

EXISTING BUILDING ENVELOPE COMPLIES WITH CODE: \_\_\_ YES (the remiander of this section is not applicable) NO EXEMPT BUILDING: YES Provide code or statutory reference:

CLIMATE ZONE: 3A

METHOD OF COMPLIANCE:

If 'Other' specify source here:

PRESCRIPTIVE	(ENERGY CODE
PERFORMANCE	(ENERGY CODE
PRESCRIPTIVE	(ASHRAE 90.1)
PERFORMANCE	(ASHRAE 90.1)
PERFORMANCE	(OTHER)

THERMAL ENVIELORE (Dress printing restless of subs)

NO

ERMAL ENVELOPE (Prescriptive method only)		
ROOF/CEILING ASSEMBLY (each assembly) DESCRIPTION OF ASSEMBLY	STEEL FRAMING / ABOVE DECK	
U-VALUE OF TOTAL ASSEMBLY R-VALUE OF INSULATION	R-25ci	
SKYLIGHTS IN EACH ASSEMBLY		
	N EACH ASSEMBLY	
EXTERIOR WALLS (each assembly)		
DESCRIPTION OF ASSEMBLY	STEEL FRAMING / CMU	
U-VALUE OF TOTAL ASSEMBLY R-VALUE OF INSULATION	R-13 + R-7.5ci	
OPENINGS (windows or doors with glazing) U-VALUE OF ASSEMBLY	U-0.45	
SOLAR HEAT GAIN COEFFICIENT	U-0.25	
PROJECTION FACTOR DOOR R-VALUES	U-0.77	
WALLS BELOW GRADE (each assembly) DESCRIPTION OF ASSEMBLY	СМU	
R-VALUE OF INSULATION	R-7.5ci	
FLOORS OVER UNCONDITIONED SPACE (each assembl	lv)	
DESCRIPTION OF ASSEMBLY	.,	
U-VALUE OF TOTAL ASSEMBLY		
FLOORS SLAB ON GRADE (each assembly)		
DESCRIPTION OF ASSEMBLY	SLAB ON GRADE	
R-VALUE OF INSULATION	N/A	
HORIZONTAL / VERTICAL REQUIREMENT		

AD

			BECKER
STRUCTURAL DESIGN	SEE STRUCTURAL DR	AWINGS	
DESIGN LOADS: IMPORTANCE FACTORS:	SNOW (ls) SEISMIC (le)		ARCHITECTURE
LIVE LOADS:	ROOF MEZZANINE	PSF	E N G I N E E R I N G <u>North Carolina</u> 2222 Jacoble Drive Suite 120
GROUND SNOW LOAD: WIND LOAD: SEISMIC DESIGN CATEGORY: PROVIDE THE FOLLOWING SEI RISK CATEGORY (TABLE 16 SPECTRAL RESPONSE ACC SITE CLASSIFICATION (ASC DATA SOUR BASIC STRUCTURAL SYST	004.5)       I       II         CELERATION       S <sub>S</sub>	PSF MPH (ASCE-7-16)  C D RS: III IV %g S <sub>1</sub> %g C D E F PRESUMPTIVE DUAL W/ SPECIAL MOMENT FRAME	EL
ANALYSIS PROCEDURE: ARCHITECTURAL, MECHAN	SIMPLIFIED	EQUIVALENT LATERAL FORCE DYNAMIC	NORTH TOPSAIL BE
LATERAL DESIGN CONTROL: SOIL BEARING CAPACITIES: FIELD TEST (PROVIDE COP PRESUMPTIVE BEARING CA PILE SIZE, TYPE AND CAPAC	APACITY	PSF	FOUNDED IN 1990 Nature's Tranquil Beauty NOT <b>CBHF ENGINEERS PLLC</b> PME ENGINEERS
MECHANICAL SUMMARY MECHANICAL SYSTEMS, SERVIO THERMAL ZONE WINTER DRY BULB SUMMER DRY BULB SUMMER DRY BULB SUMMER DRY BULB SUMMER DRY BULB SUMMER DRY BULB BUILDING DESIGN CONDIT WINTER DRY BULB SUMMER DRY BULB BUILDING HEATING LOAD BUILDING COOLING LOAD BUILDING COOLING LOAD MECHANICAL SPACING CO UNITARY DESCRIPTION OF HEATING EFFICIEN SIZE CATEGORY, I COULING EFFICIEN SIZE CATEGORY, I CHILLER SIZE CATEGORY, I CHILLER SIZE CATEGORY, I LIST EQUIPMENT EFFICIEN ELECTRICAL SYSTEM AND EQUINE METHOD OF COMPLIANCE: ENERGY CODE: P ASHRAE 90.1: P LIGHTING SCHEDULE LIGHTING SCHEDULE LIGHTING SCHEDULE NUMBER OF LAMPS BALLAST TYPE USED TOTAL WATTAGE PE	Y SEE MECHANICAL DRA	AWINGS         IENT	2246 YAUPON DRIVE WILMINGTON, NC 28401 ph 910-791-4000 PARAMOUNTE ENGINEERING CIVIL ENGINEERING 122 CINEMA DRIVE WILMINGTON, NC 28403 ph 910-791-6707 fax 910-791-6760 WOODS ENGINEERING 254 N. FRONT STREET, SUITE 201 WILMINGTON, NC 28401 ph 910-343-8007 fax 910-343-8088 EXHIBIT 5
TOTAL EXTERIOR W/ ADDITIONAL PRESCRIPTIVE C     C406.2 MORE EFFIC     C406.3 REDUCED LI     C406.4 ENHANCED I     C406.5 ON-SITE REM     C406.6 DEDICATED	ATTAGE SPECIFIED VS ALL COMPLIANCE CIENT HVAC EQUIPMENT PI IGHTING POWER DENSITY DIGITAL LIGHTING CONTRO	ERFORMANCE	BEACH FIRE STATION #2 3304 GRAY STREET NORTH TOPSAIL BEACH, N 28460 PROGRESS DRAWINGS NOT FOR CONSTRUCTION NOT FOR PERMITS 01/27/23

0 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700 www.beckermorgan.com Town of TH TOPSAIL BEACH 1990 Nature's Tranquil Beauty NORTH CAROLIN ENGINEERS PLLC

MOUNTE ENGINEERING, INC. NGINEERING EMA DRIVE

## HIBIT 5



## ORTH TOPSAIL ACH FIRE ATION #2

GRAY STREET TH TOPSAIL BEACH, NC

PROGRESS
DRAWINGS

Mark Date Description PROJECT NO: 2021025.02 01.30.2023 DATE: SCALE: DRAWN BY: EJS PROJ MGR: BMR G002

Town of North Topsail Beach

Joann M. McDermon, Mayor Mike Benson, Mayor Pro Tem

Aldermen: Alfred Fontana Richard Grant Tom Leonard Connie Pletl





Alice Derian, ICMA-CM Town Manager

> Melinda Mier Town Clerk

Nature's Tranquil Beauty Zoning Board of Adjustment Monday, January 30, 2023, 5:30 p.m. ORDER

To Whom It May Concern:

The Board of Adjustment for the Town of North Topsail Beach, Onslow County, North Carolina, held a public hearing on January 30, 2023 to consider Case #VF-23-01, a variance request by the Town of North Topsail Beach from Unified Development Ordinance §7.05(G), to allow for construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach NC, not otherwise permissible by the Town of North Topsail Beach Development Ordinance.

Having considered all technical evaluations, all relevant factors, all standards specified in Unified Development Ordinance 97.04(E)(4)(a) - (k) and having heard all of the evidence and arguments presented at the hearing by all sworn witnesses, included as a summary of FINDINGS OF FACT, the Board makes the following CONCLUSIONS:

- A showing of good and sufficient cause has been made;
- A determination that failure to grant the variance would result in exceptional hardship; and
- A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, or extraordinary public expense, create nuisance, cause fraud on or victimization of the public, or conflict with existing local laws or this article.

**THEREFORE**, on the basis of the foregoing, it is ORDERED that a variance be granted from the Town's higher standard of enforcing v-zone development standards in an AE zone identified in Unified Development Ordinance § 7.05 (G), to allow for construction of Fire Station 2 at 3304 Gray Street, North Topsail Beach NC, that the design meets or exceeds NFIP AE flood zone requirements for commercial/non-residential development with 12-foot base flood elevation and 2-foot freeboard including dry floodproofing of the below regulatory flood where the use is anything other than parking, access, or storage.

Any person aggrieved by the decision of the Appeal Board may appeal such decision to the Court, as provided in North Carolina General Statutes Chapter 7A.

Ordered this 30<sup>th</sup> day of January, 2023:

3 clas

Hanna McCloud Chair

Certified:

Kathryn-Winzler Secretary