

NOTES -

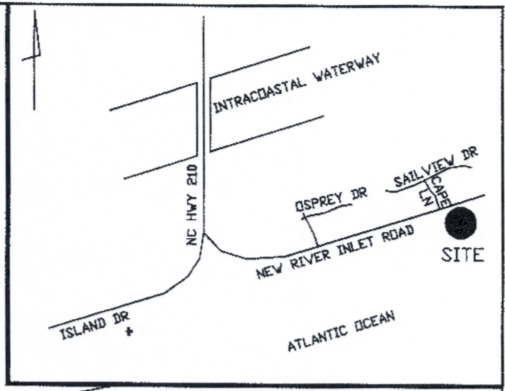
1. THIS SURVEY IS OF AN EXISTING PARCEL OF LAND.
2. SUBJECT TO RESTRICTIVE COVENANTS, EASEMENTS OF RECORD, ZONING ORDINANCE, & UNDERGROUND UTILITIES, IF ANY.
3. NO TITLE SEARCH BY SURVEYOR.
4. REFERENCES; MB 41, PG 30; MB 67, PG 78; DB 1703, PG 748; DB 4064, PG 46
5. THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. FLOOD ZONE: AE-12' & VE-13 BASE FLOOD ELEVATION. COMMUNITY PANEL 3720-428700-K, EFFECTIVE DATE 8/19/20; FLOOD ZONES SCALED FROM FIRM MAPS
6. ZONE: NORTH TOPSAIL BEACH B-2
7. SETBACKS: FRONT: 20', SIDE: 8', REAR: 10'
8. A SMALL PORTION OF THIS PROPERTY IS LOCATED IN AN ORW (OUTSTANDING RESOURCE WATERS) AEC
9. THE ENTIRE LOT IS LOCATED WITHIN A COASTAL BARRIER RESOURCE SYSTEM UNIT EFFECTIVE 10-01-1983.
10. NO KNOWN WETLANDS EXIST ON THIS PROPERTY
11. HEIGHT OF THE PROPOSED STRUCTURE IS 28.2'
12. AREA BY COORDINATE METHOD.
13. A PORTION OF THIS PROPERTY IS LOCATED WITHIN AN OCEAN HAZARD 80' AREA OF ENVIRONMENTAL CONCERN (AEC).
14. REFER TO STORMWATER PERMIT SW8971115 MOD. FORM SWU-103

IMPERVIOUS CALCULATIONS:

TRACT 1 (NO WORK BEING COMPLETED ON THIS PARCEL AT THIS TIME)
 DEEDED LOT AREA(TRACT 1 & 2) - 51,117 SF (1.17 AC)
 EXISTING IMPERVIOUS SURFACE = 28,992 SF
 TOTAL IMPERVIOUS COVERAGE (PER DEED) = 28,992 SF (52.8%)
 TOTAL ALLOWABLE IMPERVIOUS PER SW8971115 MOD. SWU-103 = 30,517 SF

TRACT 2
 DEEDED LOT AREA(TRACT 1 & 2) - 109,086 SF (2.50 AC)
 EXISTING IMPERVIOUS SURFACE = 18,185 SF
 PROPOSED RESTROOM EXPANSION/DECK = 434 SF
 TOTAL IMPERVIOUS COVERAGE (PER DEED) = 18,619 SF (17.1%)
 TOTAL ALLOWABLE IMPERVIOUS PER SW8971115 MOD. SWU-103 = 25,957 SF

THE PROPOSED WORK FOR THE PROJECT IS TO INSTALL RESTROOMS AND ADDITIONAL STORAGE AREA FOR THE FISHING PIER. THE RESTROOMS AND STORAGE AREA WILL BE CONSTRUCTED ON THE WEST SIDE OF THE EXISTING BUILDING (AS SHOWN). THE EXISTING RESTROOMS ON THE INSIDE OF THE BUILDING ARE TO BE REMOVED AND REPLACED WITH THE NEW OUTSIDE RESTROOMS. NO ADDITIONAL RESTROOMS WILL BE ADDED. THE CONSTRUCTION TIME IS ESTIMATED TO BE 16 WEEKS.



VICINITY MAP (NTS)

L & R HAVEN, LLC
 DB 5446, PG 397
 ZONING R-10

LINE TABLE

L1	N00°11'24"W	12.67'
L2	N73°40'39"E	4.43'
L3	S00°12'01"W	21.17'
L4	N06°49'44"E	25.50'
L5	N02°16'33"W	44.69'
L6	S80°32'18"W	8.02'
L7	N01°06'16"W	32.77'

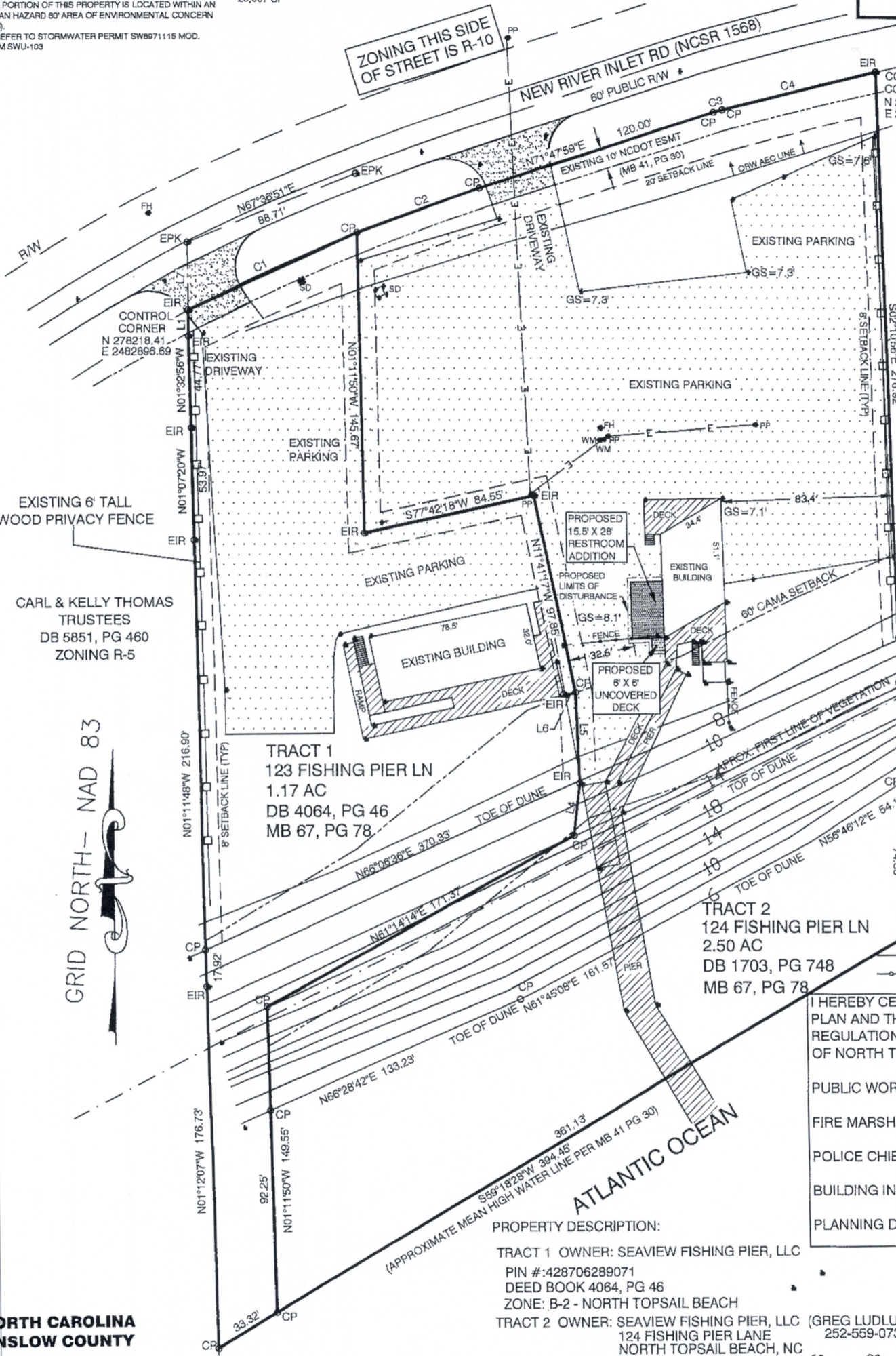
CURVE TABLE

C1	R=966.48'	CB=N65°27'19"E	90.23'
C2	R=966.48'	CB=N69°48'37"E	63.56'
C3	R=1354.00'	CB=N74°03'48"E	4.43'
C4	R=1354.00'	CB=N75°47'03"E	76.89'

JOHN HALEAN & DAVID PRATT, et al
 DB 5561, PG 627
 ZONING R-10

LEGEND:

- 1/2" SET IRON ROD, SIR
- EXISTING IRON ROD, EIR
- EXISTING IRON PIPE, EIP
- P - PINCHED PIPE
- D - PIPE OR ROD DISTURBED
- ⊙ NO POINT SET
- EP - EDGE OF PAVEMENT
- EPK - EXISTING PK NAIL
- CC - CONTROL CORNER
- SD - STORM DRAIN
- WM - WATER METER
- FH - FIRE HYDRANT
- R/W - RIGHT OF WAY
- RWM - RIGHT OF WAY MOMUMENT
- PP - POWER/UTILITY POLE
- CH - CHORD
- GS - EXISTING GROUND ELEVATION
- OVERHEAD UTILITY LINE
- FENCE



I HEREBY CERTIFY THAT I HAVE REVIEWED THE PLAN AND THE PLAN MEETS OR EXCEEDS THE REGULATIONS AND ORDINANCES OF THE TOWN OF NORTH TOPSAIL BEACH.

PUBLIC WORKS DIRECTOR *[Signature]*
 FIRE MARSHAL *[Signature]*
 POLICE CHIEF *[Signature]*
 BUILDING INSPECTOR *[Signature]*
 PLANNING DIRECTOR *[Signature]*

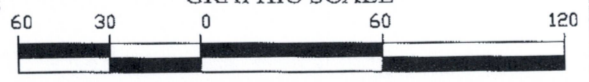
PROPERTY DESCRIPTION:

TRACT 1 OWNER: SEAVIEW FISHING PIER, LLC
 PIN #: 428706289071
 DEED BOOK 4064, PG 46
 ZONE: B-2 - NORTH TOPSAIL BEACH

TRACT 2 OWNER: SEAVIEW FISHING PIER, LLC
 124 FISHING PIER LANE
 NORTH TOPSAIL BEACH, NC
 PIN #428706381059
 DEED BOOK 1703, PG 748
 ZONE: B-2 - NORTH TOPSAIL BEACH

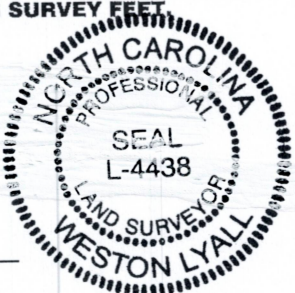
(GREG LUDLUM)
 252-559-0733

GRAPHIC SCALE



NORTH CAROLINA ONSLOW COUNTY

I, WESTON LYALL, PROFESSIONAL LAND SURVEYOR NUMBER L-4438, CERTIFY THAT THIS PLOT PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION FROM (MAP BOOK 41 PAGE 30) AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY: CLASS OF SURVEY: B; POSITIONAL ACCURACY: 500 RMS; TYPE OF GPS FIELD PROCEDURE: VRSRTKGPS; DATUM: NAD83 "2007", NAVD88; GEIOD MODEL: GEIOD 03; COMBINED GRID FACTOR: 0.9999606; UNITS: US SURVEY FEET



12/23/23
[Signature]
WESTON LYALL
 REGISTRATION NUMBER L-4438

PRELIMINARY PLOT PLAN

SEAVIEW FISHING PIER, LLC

124 FISHING PIER LANE NORTH TOPSAIL BEACH, NC
 TRACT 1 AND 2 BEING RECORDED IN MAP BOOK 41 PAGE 30
 STUMP SOUND TOWNSHIP
 ONSLOW COUNTY

**R1: DECEMBER 23, 2023
 JUNE 5, 2023**

SCALE: 1" = 60'

WESTON LYALL, PE, PLS, PLLC

214 HIGHWAY 17 N. SUITE 1
 HOLLY RIDGE, NC 28445
 910-329-9961 FIRM #P-0937