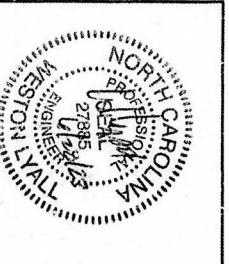


**////// SINGLE PLY SHEARWALL**  
**===== DOUBLE PLY SHEARWALL**  
**===== DOUBLET PLY SHEARWALL**  
 1) PANELS MAY BE INSTALLED WITH FACE GRANK  
 EITHER PARALLEL OR PERPENDICULAR TO STUDS.  
 2) WALL SPACING SHALL BE 8" ON CENTER ALONG  
 VERTICAL EDGES OF PANEL AND 8" AT INTERMEDIATE  
 VERTICAL FRAMING SPACINGS AT DOUBLE TOP  
 PLATES. DOUBLE ENDITION PLATES, SANG CORNERS AND  
 GIRDERS SHALL BE A DOUBLE ROW OF 8" COMMON  
 NAILS (8d-18) SPACED AT 12" ON CENTER  
 CONNECTIONS SHALL BE SHOWN OVERLAP  
 GIRDERS THEIR FULL DEPTH.  
 9) BLOCKING SHALL BE REQUIRED AT ALL JOINTS  
 SHEARWALLS. TOP AND BOTTOM PLATES SHALL BE  
 SECURED TO TRUSS USING 3" x 6" SCREWS, 2" LONG,  
 AT 4" ON CENTER TO SECURE PLATE TO WOOD TRUSS  
 SHEARWALL LENGTH. THE INSTALLED THE ENTIRE  
 TRUSS SHALL BE SECURED USING 4" x 6" SCREWS 3"  
 9) DOOR HEADERS AT INTERIOR WOOD SHEARWALL  
 LOCATIONS SHALL BE A MIN. 2x4x10 WITH PLYWOOD  
 LAPPING BEAM SECURE PLYWOOD TO BEAMS AS  
 SHOWN ON THIS PLAN.

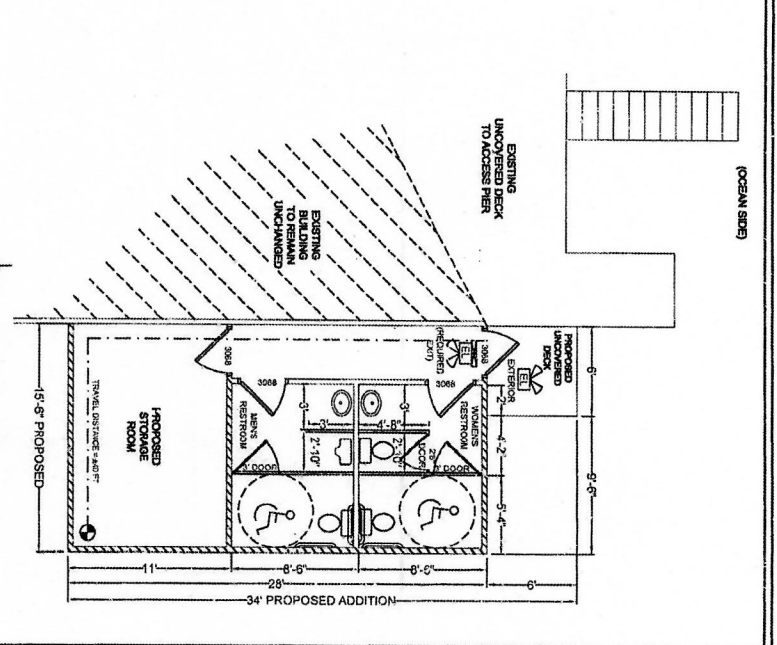
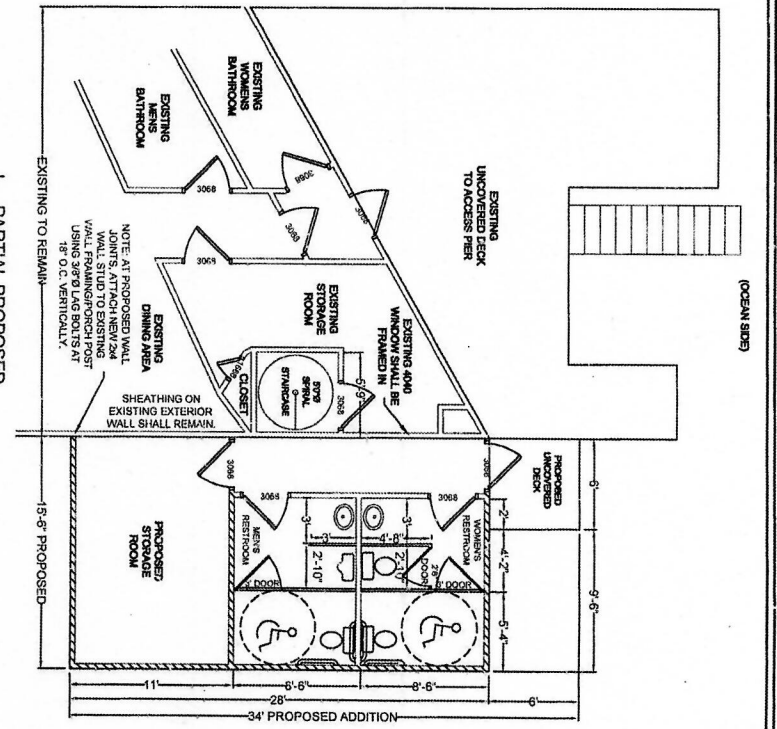
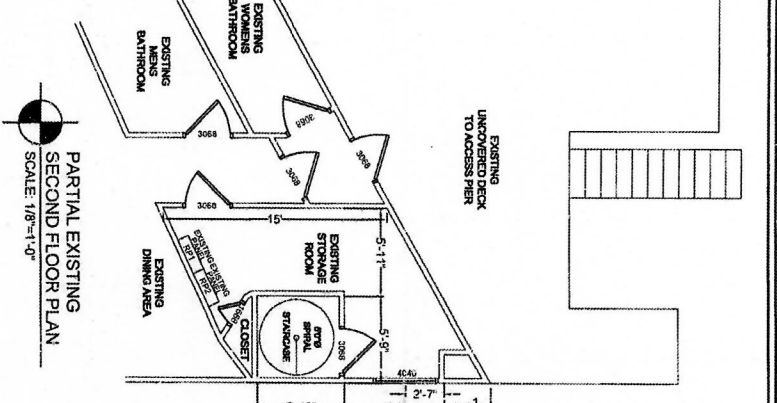
**CONDITIONED SQUARE FOOTAGE**  
 (PER FINISH FLOOR, G.I.)  
 EXISTING FIRST FLOOR: 1,890 SF  
 EXISTING SECOND FLOOR: 1,258 SF  
 PROPOSED SECOND FLOOR: 765 SF  
 EXISTING THIRD FLOOR: 765 SF  
 TOTAL CONSTRUCTION: 4,738 SF  
 (EXISTING & PROPOSED)  
 EXISTING SECOND FLOOR UNCOVERED DECK: 79' 7"  
 PROPOSED SECOND FLOOR UNCOVERED DECK: 36' 5"  
 TOTAL FOUNDATION FOOTPRINT: 3,070 SF

**EMERGENCY LIGHT WITH 90  
 MINUTE BATTERY BACKUP TO  
 PROVIDE 1 FOOT-CANDLE AT  
 WALKING SURFACE.**

**THIS IS A FINAL SET OF PLANS PREPARED FOR  
 PERMITS AND CONSTRUCTION. ANY  
 CHANGES OR QUESTIONS SUBJECT TO  
 THESE PLANS (E/C) WILL BE THE CURB OF  
 THE ARCHITECT. ALL CHANGES TO BE  
 APPROVED BY THE ARCHITECT. THE DESIGNER  
 ACCEPTS RESPONSIBILITY FOR THE DESIGN AND  
 CONSTRUCTION OF THE BUILDING.**

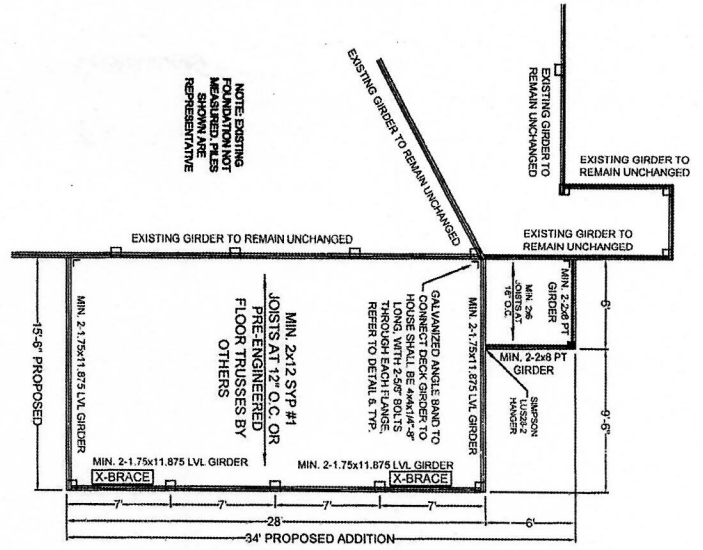


<b>WESTON LYALL, PE, PLS, PLLC</b>	
SEAVIEW PIER ADDITION 124 FISHING PIER LN, NORTH TOPSAIL BEACH, NC	WESTON LYALL, PE, PLS, PLLC 214 US HIGHWAY 71N, SUITE 1 HOLLYRIDGE, NC 28445 PHONE: 910.329.9951 FIRM #P-39257
EXISTING & PROPOSED FLOOR PLANS & LIFE SAFETY PLAN	STRUCTURAL & CIVIL ENGINEERING & LAND SURVEYING
DATE: 6/28/2023	DRAWN BY: GP
FILENAME: SEAVIEW.dwg	SHEET: 5 OF 10



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODES, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD BUILDING PRACTICES. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.  
 THESE PLANS CANNOT BE REDRAWN OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS CONSENT OF WESTON LYALL, PE, PLS, PLLC. ANY PARTY THAT TAKES PART IN DOING SO IS IN VIOLATION OF COPYRIGHT LAWS.

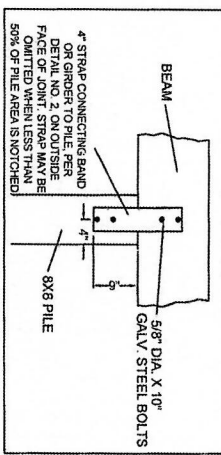
OCEAN SIDE



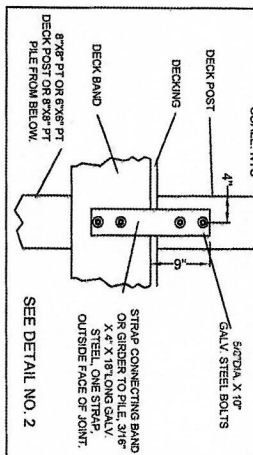
**PILE DEPTH AND CAPACITY LEGEND**

(1)	6"x6" PT PILES 18' DEEP W/ 4,000# CAP.
(5)	6"x6" PT PILES 18' DEEP W/ 10,000# CAP.

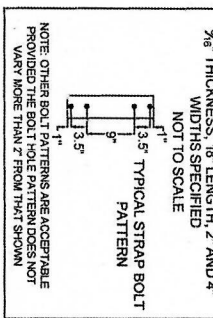
DETAIL NO. 1 - TYPICAL PILE CONNECTION  
NOT TO SCALE



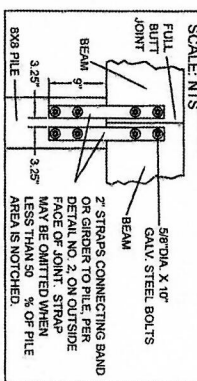
DETAIL NO. 4 - TYPICAL PORCH POST CONNECTION  
SCALE: NTS



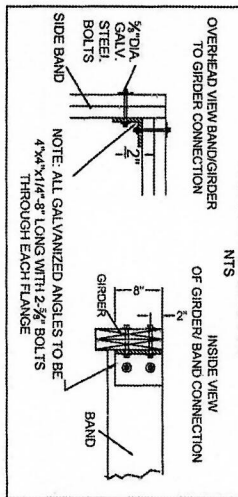
DETAIL NO. 2 - GALVANIZED STEEL STRAPS.  
3/8\"/>



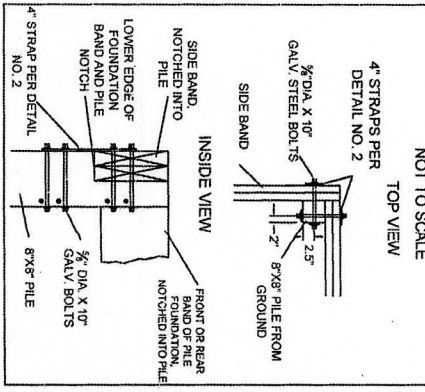
DETAIL NO. 5 - TYPICAL BUTT JOINT CONNECTION  
SCALE: NTS



DETAIL NO. 6 - TYPICAL GALVANIZED ANGLE BAND CONNECTIONS  
NTS



DETAIL NO. 3 - TYPICAL FOUNDATION CORNER CONNECTIONS  
NOT TO SCALE  
TOP VIEW

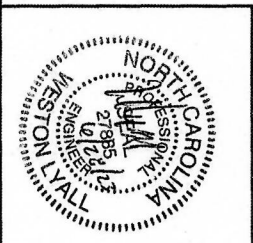


THIS IS A FINAL SET OF PLANS INTENDED FOR PERMITTING AND CONSTRUCTION. PERMISSIVE PLANS OR ANY OTHER CONNECTION TO THESE PLANS WILL BE THE CARE OF THE BUILDER. CHANGES OR DEVIATIONS FROM THESE PLANS WILL BE AT THE RISK OF THE BUILDER. WESTON LYALL, PE, PLS, PLLC

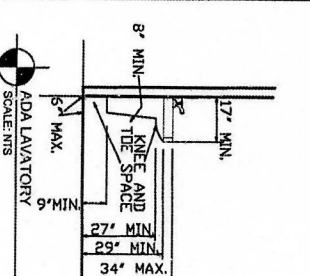
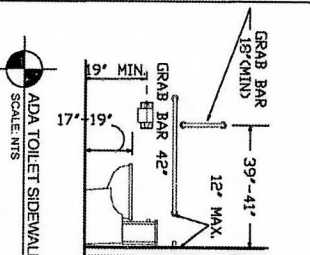
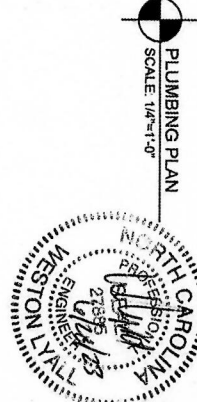
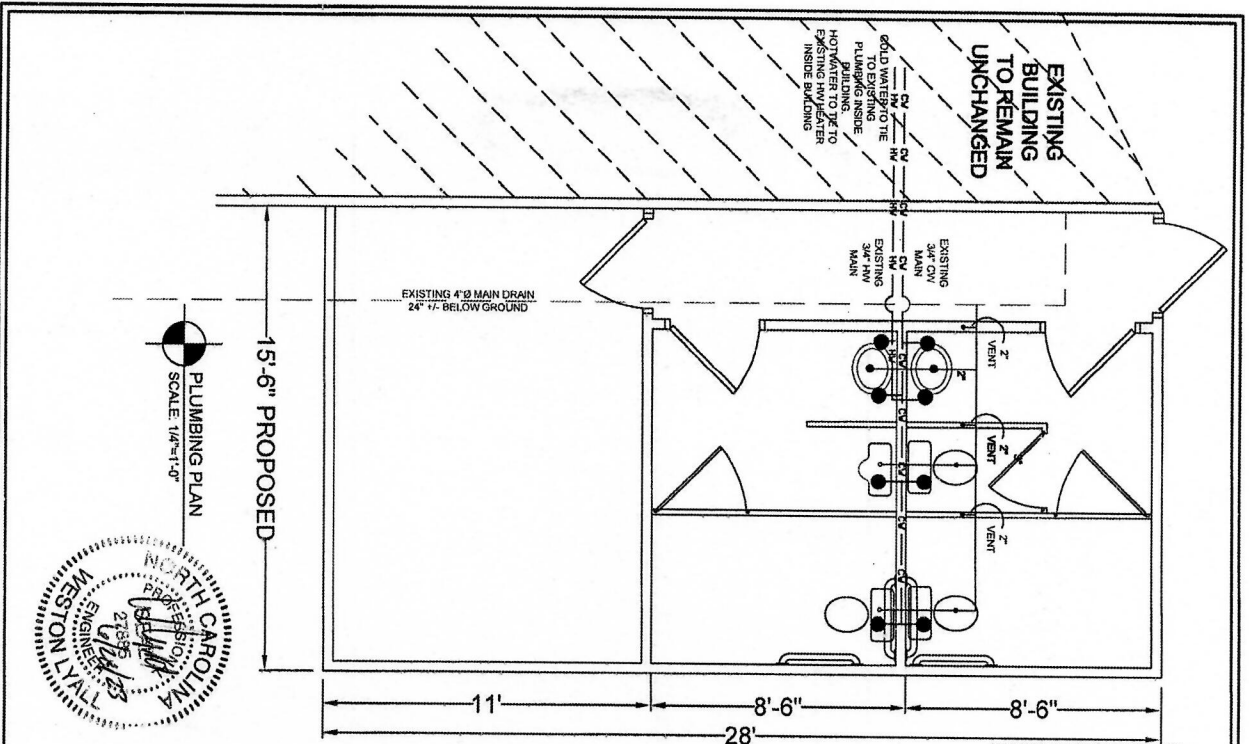
**STRUCTURAL LOADS:**  
 FLOOR DEAD LOAD - 20 PSF  
 FLOOR LIVE LOAD - 100 PSF  
 INT. WALL DEAD LOAD - 8 PSF  
 EXT. WALL DEAD LOAD - 10 PSF  
 ROOF LIVE LOAD - 20 PSF  
 ROOF DEAD LOAD - 20 PSF  
 WIND - 150 MPH W/ ASCE 7-10

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OR CONSTRUCTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD BUILDING PRACTICES. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

THESE PLANS CANNOT BE REPRINTED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS CONSENT OF WESTON LYALL, PE, PLS, PLLC. ANY PARTY THAT TAKES PART IN DOING SO IS IN VIOLATION OF COPYRIGHT LAWS.



<b>WESTON LYALL, PE, PLS, PLLC</b>	
SEAVIEW PIER ADDITION 124 FISHING PIER LN NORTH TOPSAIL BEACH, NC	WESTON LYALL, PE, PLS, PLLC 21415 HIGHWAY 17N, SUITE 1 HOLLY RIDGE, NC 28445 PHONE: 910 329-9961 FIRM #P-0927
FOUNDATION PLAN & FRAMING DETAILS	STRUCTURAL & CIVIL LAND SURVEYING
DATE: 6/29/2023	DRAWN BY: GP
	FILENAME: SEAVIEW.dwg
	SHEET: 8 OF 10



EXISTING BUILDING TO REMAIN UNCHANGED

HOT WATER TO BE TO EXISTING BUILDING INSIDE BUILDING

EXISTING 4" Ø MAIN DRAIN  
24" V. BELOW GROUND

15'-6" PROPOSED

11' 8'-6" 8'-6" 28'-0"

ALL FIXTURES & APPLIANCES PER CODE

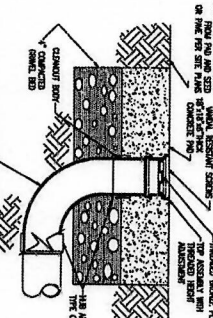
**TYPICAL PLUMBING LEGEND**

WATER CUT-OFF	FLOOR DRAIN
VENT PER CODE	CLEAN-OUT
BACK FLOW PREVENTOR	HOT WATER PREVENTION
COLD WATER PIPING	GRADE CLEAN-OUT

NOTE: 1. ALL FLOORS AND WALLS HAVE FINISH MATERIALS. IN OTHER THAN FINISH MATERIALS, TOILET RENTALS AND SINKS, HAVE A SMOOTH, HARD, IMPERMEABLE SURFACE. THE SINKS, TOILETS, AND SINKS, SHALL HAVE A SMOOTH, HARD, IMPERMEABLE SURFACE TO A HEIGHT OF 4 FEET ABOVE FINISH FLOOR LEVEL. THE WALLS SHALL HAVE A SMOOTH, HARD, IMPERMEABLE SURFACE TO A HEIGHT OF 4 FEET ABOVE FINISH FLOOR LEVEL. THE WALLS SHALL HAVE A SMOOTH, HARD, IMPERMEABLE SURFACE TO A HEIGHT OF 4 FEET ABOVE FINISH FLOOR LEVEL.

**LEGEND & ABBREVIATIONS**

ADDITIONAL ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
ADDITIONAL ABBREVIATION	DESCRIPTION	ADDITIONAL ABBREVIATION	DESCRIPTION
ADDITIONAL ABBREVIATION	DESCRIPTION	ADDITIONAL ABBREVIATION	DESCRIPTION



**GENERAL CONSTRUCTION NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, THE INTERNATIONAL PLUMBING CODE, AND THE INTERNATIONAL MECHANICAL CODES.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AND THE COUNTY ENGINEER. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AND THE COUNTY ENGINEER.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AND THE COUNTY ENGINEER. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AND THE COUNTY ENGINEER.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AND THE COUNTY ENGINEER. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AND THE COUNTY ENGINEER.

**WESTON LYALL, PE, PLS, PLLC**

SEAVIEW PIER ADDITION  
124 FISHING PIER LN  
NORTH TOPSAIL BEACH, NC

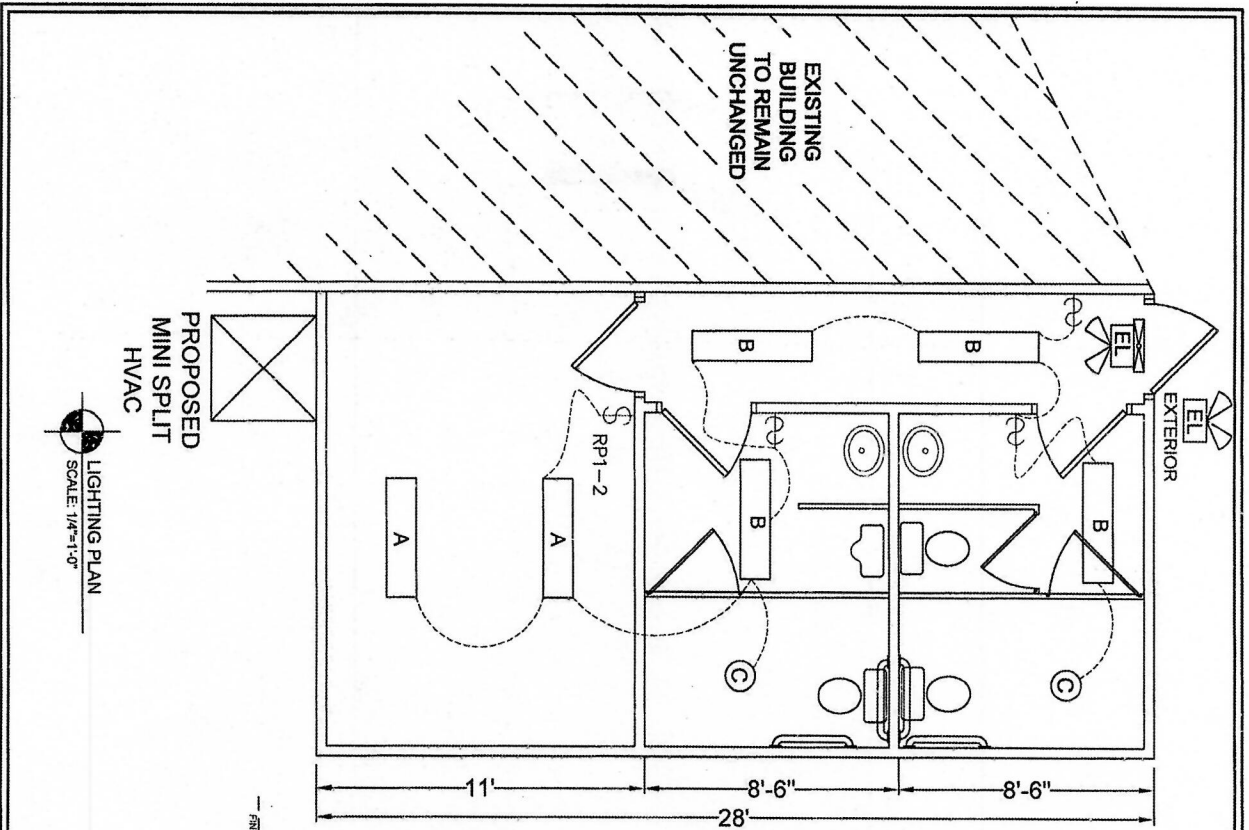
PLUMBING PLAN

DATE: 6/28/2023  
DRAWN BY: GP  
FILENAME: SEAVIEW.dwg  
SHEET: 7 OF 10

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO OBTAIN ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.



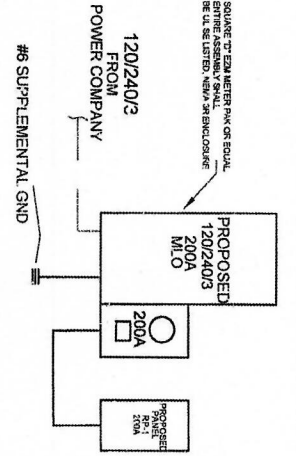
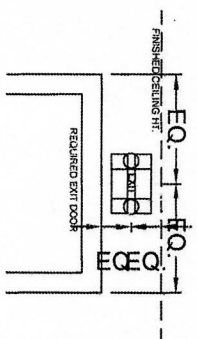




NOTE: ALL ELECTRICAL COMPONENTS (I.E. WIRING, CONNECTIONS, SIZES, MATERIAL, ETC.) SHALL BE PER CURRENT NEC.

ELECTRICAL LEGEND

- \$ MOTOR RATED DISCONNECT SWITCH
- \$ THREE-WAY POLE SWITCH
- \$ SINGLE POLE SWITCH
- \$ GROUND FAULT CIRCUIT INTERRUPTER
- 110 OUTLET
- EXIT LIGHT
- EMERGENCY LIGHT WITH 90 MINUTE BATTERY BACKUP TO PROVIDE 1 FOOT-CANDLE AT WALKING SURFACE



LIGHT FIXTURE SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	LAMP/FIXTURE	VOLTS	WATTS/FIXTURE
A	LITHONIA	CMNS L86 2L	2	120	30
B	LITHONIA	CMNS L46 2L	4	120	50
C	BROAN	LIGHTFAN (COMBO)	1	120	188

OTHER OR DIFFERENT LIGHT FIXTURES BY OWNER IS ACCEPTABLE AS LONG AS ALL WATTAGE AND LIGHTING METS DESIGN AND CODE

THIS IS A FINAL SET OF PLANS PREPARED FOR THE CONTRACTOR AND OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THESE PLANS ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE CONTRACT. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE ARCHITECT. APPROVED AT THE DESK OF THE ARCHITECT: WESTON LYALL, PE, PLS, PLLC



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR SPECIFICATIONS AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND IN ACCORDANCE WITH GOOD BUILDING PRACTICES. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

THESE PLANS CANNOT BE REPRODUCED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS CONSENT OF WESTON LYALL, PE, PLS, PLLC. ANY PARTY THAT TAKES PART IN DOING SO IS IN VIOLATION OF COPYRIGHT LAWS.

**WESTON LYALL, PE, PLS, PLLC**

SEAVIEW PIER ADDITION  
124 FISHING PIER LN.  
NORTH TOPSAIL BEACH, NC

WESTON LYALL, PE, PLS, PLLC  
214 US HIGHWAY 17N, SUITE 1  
HOLDEN, NC 27545  
PHONE: 910.290.2981  
FIRM #P-02837

STRUCTURAL & CIVIL  
ENGINEERING &  
LAND SURVEYING

LIGHTING PLAN

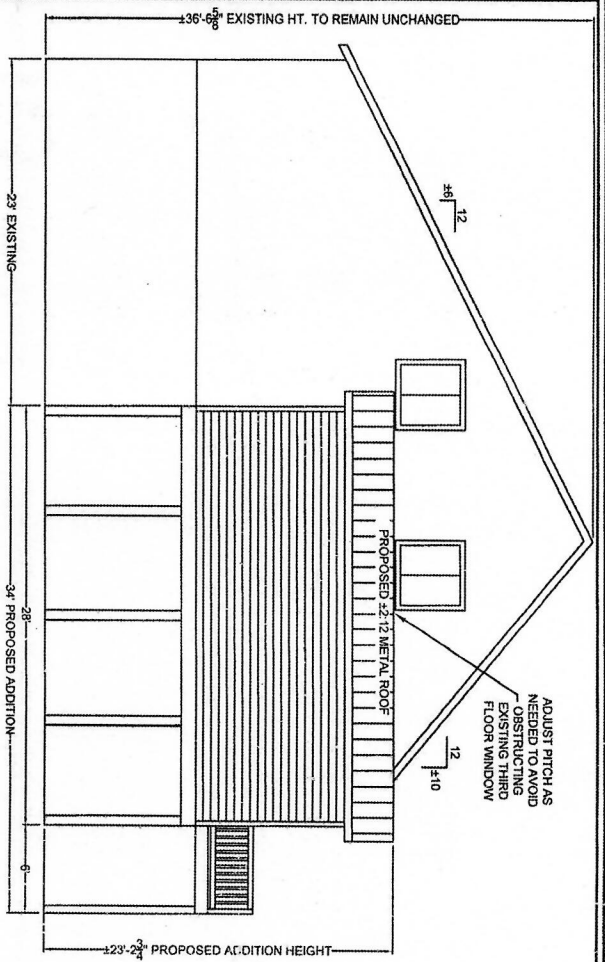
DATE: 6/29/2023

DRAWN BY: GP

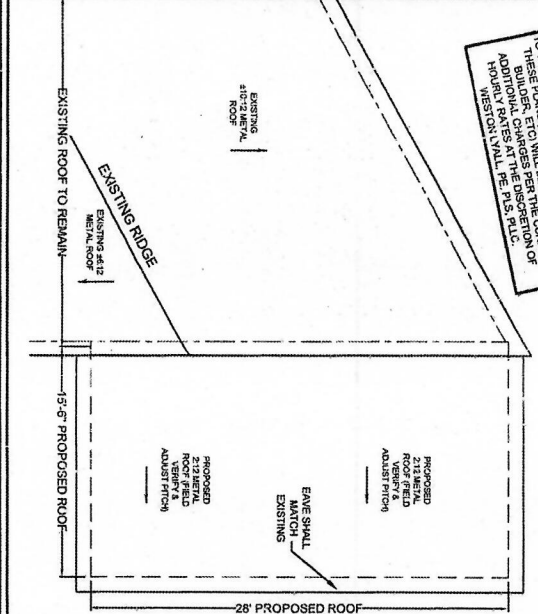
FILENAME: SEAVIEW.dwg

SHEET: 9 OF 10





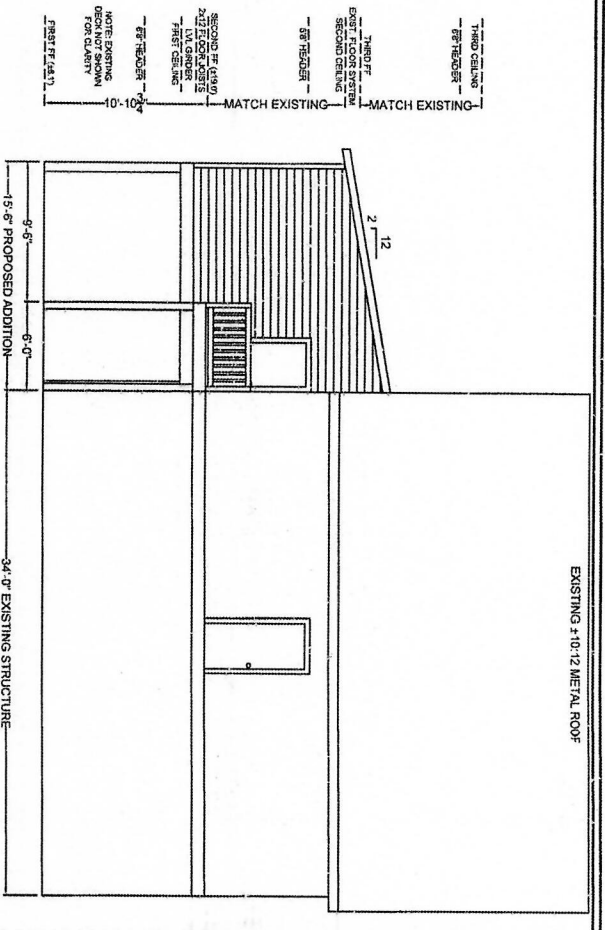
**RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF FRAMING PLAN**  
SCALE: 1/8"=1'-0"

**EDGE OF ROOF/ HIP/ RIDGE**  
EXISTING WALL SHEEDERS BELOW  
PROPOSED WALL BELOW

**ROOF SHEATHING & FRAMING SPECIFICATIONS:**  
1) ALL RAFTERS SHALL BE 2x10 AT 16" O.C. #2 SYP. REQUIRED.  
2) SHEATHING ATTACHED PER CODE. BLOODING AS ON EACH SIDE OF EACH RAFTER.  
3) SIMPSON HIGAL SURGICEMENTS AT BEARING END



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"

**GENERAL NOTES:**  
1- ALL DIMENSIONS ARE TO BE VERIFIED BY OWNER/CONTRACTOR PRIOR TO CONSTRUCTION. ADJUST HEIGHTS AND WIDTHS AS REQUIRED.  
2- ALL DIMENSIONS ARE TO BE VERIFIED BY OWNER/CONTRACTOR PRIOR TO CONSTRUCTION. ADJUST HEIGHTS AND WIDTHS AS REQUIRED.  
3- ONLY USE MATERIALS BELOW FLOOR LINE THAT ARE EITHER TREATED OR MOISTURE RESISTANT.  
4- VERIFY WINDOW SIZES AND LOCATION BY OWNER/CONTRACTOR PRIOR TO CONSTRUCTION.  
5- VERIFY WINDOW SIZES AND LOCATION BY OWNER/CONTRACTOR PRIOR TO CONSTRUCTION.  
6- FIELD VERIFY ALL STEEP STAIRS.  
7- THE DOWNERS BY SIMPSON  
8- LUMBER IS SPECIFIED AS #2 SYP. AT 19% MOISTURE UNLESS NOTED OTHERWISE. LUMBER IS SPECIFIED WITH GRADE PS1 AND E24.010 & UNLESS NOTED OTHERWISE OTHERWISE. CONTRACTOR SHALL ENSURE DOWNERS END FINISH TO FOUNDATION.  
9- CONCRETE DROPS ARE SELECTIVELY SHOWN ON FOUNDATION PLAN AND SHALL BE VERIFIED BY CONTRACTOR OWNER.  
10- ALL CONCRETE SHALL BE MINIMUM 3,000 PSI AT 28 DAYS.  
11- ALL PROPOSED WALLS SHALL BE 2x4 #2 SYP. 16" O.C. UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE 2x2x10 IN. 4" WALLS AND HEADER HEIGHTS SHALL BE 8'-0" UNLESS NOTED OTHERWISE.  
12- INSULATION SHALL MEET OR EXCEED CURRENT CODE.  
13- ROOF FRAMING SHALL BE DESIGNED TO BEAR ON EXTERIOR WALLS ONLY UNLESS OTHERWISE NOTED.  
14- PILE FOUNDATION DESIGN IS BASED ON AN OPEN GROUND FLOOR WITH NO ENCLOSURES.  
15- RECEIPT OF THESE PLANS BY OWNER/CONTRACTOR AND ALL OTHERS ACKNOWLEDGE THEY ACCEPT THIS PLAN IN EVERY WAY TO BE CORRECT. ANY DISPUTE OR CORRECTION MUST BE ADDRESSED PRIOR TO CONSTRUCTION.  
16- THE ADDITION CHANGES AFTER RECEIPT OF THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.  
17- OSHA REGULATIONS WERE NOT TAKEN INTO CONSIDERATION FOR THIS DESIGN. CONTRACTOR SHALL VERIFY ALL REGULATIONS AND CORRECT ANY POTENTIAL HAZARDS PRIOR TO CONSTRUCTION.



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDING AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD BUILDING PRACTICES. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

THESE PLANS CANNOT BE REBORN OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS CONSENT OF WESTON LYALL, PE, PLS, PLLC. ANY PARTY THAT TAKES PART IN DOING SO IS IN VIOLATION OF COPYRIGHT LAWS.

**WESTON LYALL, PE, PLS, PLLC**

WESTON LYALL, PE, PLS, PLLC  
214 HIGHWAY 17N, SUITE 1  
HOLLY RIDGE, NC 28845  
PHONE: 910-329-9981  
FIRM #P-0897

DATE:	6/28/2023	DRAWN BY:	GP	FILENAME:	SEAVIEW.dwg	SHEET:	4 OF 10
SEAVIEW PIER ADDITION 124 FISHING PIER LNT, NORTH TOPSAIL BEACH, NC		ELEVATIONS & ROOF FRAMING PLAN		STRUCTURAL & CIVIL ENGINEERING & LAND SURVEYING			

**2018 APPENDIX B  
BUILDING CODE SUMMARY  
FOR ALL COMMERCIAL PROJECTS  
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)  
(Reproduce the following data on the building plans sheet 1 or 2)**

Name of Project: SEAVIEW PIER  
Address: 124 FISHING PIER LN, NORTH TOPSAIL BEACH, NC Zip Code: 28560  
Proposed Use:  ASSEMBLY A-2  MECHANICAL DESIGN IS FOR THE BATHROOM RE-LOCATION ONLY  
Over/Underground Agency: GREG LUMMUS Phone # 1-252-759-0723 E-Mail: FISHINGPIER@SEAVIEWPIER.COM  
Owned By:  City/County  Private  County/INS/DLC  State  NC  
Code Enforcement Jurisdiction:  City/NORTH TOPSAIL  County/INS/DLC  State  NC

**LEAD DESIGN PROFESSIONAL:**

DESIGNER	EMAIL	NAME	LICENSE #	TELEPHONE #	EMAIL
Architectural	N/A	WESTON LYALL, PE			
Civil	N/A				
Mechanical	WESTON LYALL, PE			(910) 929-3964	
Electrical	WESTON LYALL, PE			(910) 929-3964	
Plumbing	WESTON LYALL, PE			(910) 929-3964	
Mechanical	WESTON LYALL, PE			(910) 929-3964	
Structural	N/A				
Remainder	WESTON LYALL, PE			(910) 929-3964	
Other	ELDRIDGE, AN	WESTON LYALL, PE		(910) 929-3964	

**2018 EDITION OF NC CODE FOR:**  New Construction  Addition  Alteration  Repair  Uplift  
**EXISTING:**  Reconstruction  Alteration  Repair  
**RENOVATED:** (date) \_\_\_\_\_ **CURRENT USE(S)** (C/A, 3):  A-2 (RESTAURANT)  A-3 (SPELLO, BECHP)  
**PROPOSED USE(S)** (C/A, 3):  A-2 (RESTAURANT)  A-3 (SPELLO, BECHP)

**BASIC BUILDING DATA**

Construction Type	Check all that apply	Fire District	Building Height (feet)	Ground Building Area	Floor	Existing (SQ FT)	New (SQ FT)	Sub-TOTAL
1-A	<input type="checkbox"/>	No	423'-5" (ADDITION ONLY)		6 <sup>th</sup> Floor	N/A	N/A	
1-B	<input type="checkbox"/>	Yes			5 <sup>th</sup> Floor	N/A	N/A	
1-C	<input type="checkbox"/>	Yes			4 <sup>th</sup> Floor	N/A	N/A	
1-D	<input type="checkbox"/>	Yes			3 <sup>rd</sup> Floor	765 SF	494 SF	1,259 SF
1-E	<input type="checkbox"/>	Yes			2 <sup>nd</sup> Floor	1,530 SF	N/A	1,530 SF
1-F	<input type="checkbox"/>	Yes			Mezzanine	N/A	N/A	
1-G	<input type="checkbox"/>	Yes			1 <sup>st</sup> Floor	1,530 SF	N/A	1,530 SF
Basement	<input type="checkbox"/>	Yes				N/A	N/A	
<b>TOTAL</b>								<b>4,259 SF</b>

**2018 NC Administrative Code and Rules**

**ALLOWABLE AREA**

Occupancy:  A-1  A-2  A-3  A-4  A-5

Business:  B-1  B-2  B-3  B-4  B-5

Educational:  E-1  E-2  E-3

Factory:  F-1  F-2  F-3

Handicapped:  H-1  H-2  H-3  H-4  H-5

Industrial:  I-1  I-2  I-3  I-4  I-5

Mercantile:  M-1  M-2  M-3  M-4

Residential:  R-1  R-2  R-3  R-4

Storage:  S-1  S-2  S-3  S-4

Utility and Miscellaneous:  U-1  U-2  U-3  U-4  U-5

Accessory Occupancies:  A-1  A-2  A-3  A-4  A-5

Assembly:  A-1  A-2  A-3  A-4  A-5

Business:  B-1  B-2  B-3  B-4  B-5

Educational:  E-1  E-2  E-3

Factory:  F-1  F-2  F-3

Handicapped:  H-1  H-2  H-3  H-4  H-5

Industrial:  I-1  I-2  I-3  I-4  I-5

Mercantile:  M-1  M-2  M-3  M-4

Residential:  R-1  R-2  R-3  R-4

Storage:  S-1  S-2  S-3  S-4

Utility and Miscellaneous:  U-1  U-2  U-3  U-4  U-5

Accessory Occupancies:  A-1  A-2  A-3  A-4  A-5

Assembly:  A-1  A-2  A-3  A-4  A-5

Business:  B-1  B-2  B-3  B-4  B-5

Educational:  E-1  E-2  E-3

Factory:  F-1  F-2  F-3

Handicapped:  H-1  H-2  H-3  H-4  H-5

Industrial:  I-1  I-2  I-3  I-4  I-5

Mercantile:  M-1  M-2  M-3  M-4

Residential:  R-1  R-2  R-3  R-4

Storage:  S-1  S-2  S-3  S-4

Utility and Miscellaneous:  U-1  U-2  U-3  U-4  U-5

Accessory Occupancies:  A-1  A-2  A-3  A-4  A-5



**ALLOWABLE HEIGHT**

1. Permitted area increase from Section 506.2 are computed as:  
 a. Perimeter which forms a public way or open space having 20 feet minimum width = N/A... (F)  
 b. Total Building Perimeter = N/A... (F)  
 c. Ratio (F/P) = N/A... (F)  
 d. W = Minimum width of public way = N/A... (W)  
 e. Ratio (F/P) = N/A... (F)  
 f. The maximum increase per Section 506.3 is 40 feet.  
 2. The maximum increase per Section 506.3 is 40 feet.  
 3. Single-story building L = 300 feet  
 4. Maximum Building Area = total number of stories in the building X E (905.4)  
 5. Maximum number of open parking spaces must comply with Table 405.3.3. The maximum area of air traffic control towers must comply with Table 412.1.

**2018 NC Administrative Code and Rules**

**WESTON LYALL, PE, PLS, PLLC**

SEAVIEW PIER ADDITION  
124 FISHING PIER LN,  
NORTH TOPSAIL BEACH, NC

APPENDIX B "CODE SUMMARY"

DATE: 6/28/2023 DRAWN BY: GP FILENAME: SEAVIEW.AWG SHEET: 1 OF 10

STRUCTURAL & CIVIL ENGINEERING & LAND SURVEYING

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDERS TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDING AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD BUILDING PRACTICES. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

THESE PLANS CANNOT BE REDRAWN OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS CONSENT OF WESTON LYALL, PE, PLS, PLLC. ANY PARTY THAT TAKES PART IN DOING SO IS IN VIOLATION OF COPYRIGHT LAWS.





**FIRE PROTECTION REQUIREMENTS**

REQUIREMENT	SEPARATION DISTANCE (FEET)	REQUIRED (REDUCED)	DETAIL #	DESIGN #	DESIGN FOR	DESIGN #
Structural Frame, including columns, girders, beams, etc.	0	N/A				
Roof/Walls	>20	0				
Walls	>20	0				
Exterior	>20	0				
Walls	>20	0				
Roofs	>20	0				
Interior	N/A					
Nonbearing Walls and Partitions	N/A					
Exterior Walls	N/A					
Exit	N/A					
Walls	N/A					
Roofs	N/A					
Floor Construction including supporting beams and joists	N/A					
Roof Construction including supporting beams and joists	N/A					
Steel Decking - Flat	N/A					
Steel Decking - Other	N/A					
Concrete Slab-on-Grade	N/A					
Concrete Slab-on-Wall	N/A					
Pan-Fram Wall Separation	N/A					
Stair-Frame Separation	N/A					
Truss Separation	N/A					
Incidental Use Separation	N/A					

**LIFE SAFETY SYSTEM REQUIREMENTS**

- Emergency Lighting:  No  Yes
- Exit Signs:  No  Yes
- Smoke Detection Systems:  No  Yes
- Panic Hardware:  No  Yes

**LIFE SAFETY PLAN REQUIREMENTS**

- Life Safety Plan Sheet #: 5
- Fire and/or smoke rated wall locations (Chapter 7):
- Assumed and real property line locations:

2012 NC Administrative Code and Policies

- Exterior wall opening area with respect to distance to assumed property lines (105.3)
- Existing structures within 30' of the proposed building
- Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.2)
- STORAGE=300 SQ.FT./OCCUPANT**

STORAGE: BATHROOMS=434 SF/300= 2 OCCUPANTS  
STORAGE AREA= 440'

- Occupant loads for each area
- TOTAL OF 2 OCCUPANTS FOR ADDITION ONLY**
- Exit access travel distances (101.7)
- 200' (ASSEMBLY PER TABLE 1017.2 NCSCC)**
- Common path of travel distances (101.4.3 & 1028.3)

- Dead end lengths (101.8.4)
- Clear exit widths for each exit door
- 36" DOOR MINIMUM**
- Minimum calculated occupant load capacity each exit door can accommodate based on egress width (1003.1)
- ADDITION: 2 OCCUP= 40.25 - 0.4' REQUIRED. (1) 36" DOOR PROVIDED**

- Aerial occupant load for each exit door (1 REQUIRED EXITS)
- ADDITION (1 EXIT) 2 OCCUP PER DOOR**

- A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purpose of occupancy separation
- Location of doors with panic hardware (1008.1.10)

- Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
- Location of doors with electromechanical egress locks (1008.1.9.8)
- Location of doors equipped with hold-open devices
- Location of emergency escape windows (1029)
- The square footage of each smoke compartment (607.4)
- Note any code exceptions or table notes that may have been utilized regarding the items above

**ACCESSIBLE DWELLING UNITS (SECTION 1107)**

TOTAL UNITS	ACCESSIBLE UNITS	TYPE A UNITS	TYPE B UNITS	TOTAL ACCESSIBLE UNITS
N/A	N/A	N/A	N/A	N/A

**ACCESSIBLE PARKING (SECTION 1106)**

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS	132' ACCESS	8' ACCESS	5' ACCESS	TOTAL # ACCESSIBLE PROVIDED
TOTAL								

2012 NC Administrative Code and Policies

**STRUCTURAL DESIGN (ADDITION ONLY)**

**DESIGN LOADS:**

**Importance factors:** Wind (Iw) = 1, Seismic (Is) = 1

**Level loads:** Roof = 20 psf, Mezzanine = N/A psf, Floor = 100 psf

**Ground Snow Load:** 15 psf

**Wind Load:** Basic Wind Speed = 150 mph (ASCE 7-10), Exposure Category = B, Importance Factor = 1.00, Wind Base Shears (for MWYRS) = Vy = 16.9 K, Vz = 9.3 K

**SEISMIC DESIGN CATEGORY:** A, B, C, D

Provide the following Seismic Design Parameters:  
Occupancy Category (Table 604.5) = I, II, III, IV  
Seismic Response Acceleration Sa = 0.1, 0.2, 0.3, 0.4, 0.5, 0.6, 0.7, 0.8, 0.9, 1.0, 1.2, 1.5, 2.0, 2.5, 3.0, 3.5, 4.0, 4.5, 5.0, 5.5, 6.0, 6.5, 7.0, 7.5, 8.0, 8.5, 9.0, 9.5, 10.0, 10.5, 11.0, 11.5, 12.0, 12.5, 13.0, 13.5, 14.0, 14.5, 15.0, 15.5, 16.0, 16.5, 17.0, 17.5, 18.0, 18.5, 19.0, 19.5, 20.0, 20.5, 21.0, 21.5, 22.0, 22.5, 23.0, 23.5, 24.0, 24.5, 25.0, 25.5, 26.0, 26.5, 27.0, 27.5, 28.0, 28.5, 29.0, 29.5, 30.0, 30.5, 31.0, 31.5, 32.0, 32.5, 33.0, 33.5, 34.0, 34.5, 35.0, 35.5, 36.0, 36.5, 37.0, 37.5, 38.0, 38.5, 39.0, 39.5, 40.0, 40.5, 41.0, 41.5, 42.0, 42.5, 43.0, 43.5, 44.0, 44.5, 45.0, 45.5, 46.0, 46.5, 47.0, 47.5, 48.0, 48.5, 49.0, 49.5, 50.0, 50.5, 51.0, 51.5, 52.0, 52.5, 53.0, 53.5, 54.0, 54.5, 55.0, 55.5, 56.0, 56.5, 57.0, 57.5, 58.0, 58.5, 59.0, 59.5, 60.0, 60.5, 61.0, 61.5, 62.0, 62.5, 63.0, 63.5, 64.0, 64.5, 65.0, 65.5, 66.0, 66.5, 67.0, 67.5, 68.0, 68.5, 69.0, 69.5, 70.0, 70.5, 71.0, 71.5, 72.0, 72.5, 73.0, 73.5, 74.0, 74.5, 75.0, 75.5, 76.0, 76.5, 77.0, 77.5, 78.0, 78.5, 79.0, 79.5, 80.0, 80.5, 81.0, 81.5, 82.0, 82.5, 83.0, 83.5, 84.0, 84.5, 85.0, 85.5, 86.0, 86.5, 87.0, 87.5, 88.0, 88.5, 89.0, 89.5, 90.0, 90.5, 91.0, 91.5, 92.0, 92.5, 93.0, 93.5, 94.0, 94.5, 95.0, 95.5, 96.0, 96.5, 97.0, 97.5, 98.0, 98.5, 99.0, 99.5, 100.0

**LATERAL DESIGN CONTROL:** Emptique  Wind

**SOIL BEARING CAPACITIES:** Field Test (provide copy of test report) \_\_\_\_\_ psf, Presumptive Bearing capacity \_\_\_\_\_ psf, Pile size, type, and capacity \_\_\_\_\_ psf

**SPECIAL INSPECTIONS REQUIRED:**  Yes  No

**PLUMBING/FITURE REQUIREMENTS (TABLE 202.1)**

USE	WATER CLOSET	URINALS	SHOWER	DRAINAGE
EXISTING	1	1	1	1
NEW	1	2	1	1
REQUIRED	1	2	1	1

Special Approval: (Local Jurisdiction, Department of Insurance, OSC, DEP, DHEH, ICC, etc. describe below)

2012 NC Administrative Code and Policies

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION, AND SPECIFICATIONS AS REQUIRED BY N.C. UNIFORM BUILDING CODE LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD BUILDING PRACTICES. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

THESE PLANS CANNOT BE REPRINTED OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS CONSENT OF WESTON LYALL, PE, PLS, PLLC. ANY PARTY THAT TAKES PART IN DOING SO IS IN VIOLATION OF COPYRIGHT LAWS.

WESTON LYALL, PE, PLS, PLLC	WESTON LYALL, PE, PLS, PLLC 214 US HIGHWAY 1A, SUITE 1 HOLLY SPRING, NC 28445 PHONE: 919.220.9981 FAX: 919.220.9987
SEAVIEW PIER ADDITION	STRUCTURAL & CIVIL ENGINEERING & LAND SURVEYING
NORTH TOPSAIL BEACH, NC	
APPENDIX B "CODE SUMMARY"	
DATE: 6/28/2023	DRAWN BY: GP
	FILENAME: SEAVIEW.dwg
	SHEET: 2 OF 10

THIS IS A PLAN FOR THE SEAVIEW PIER ADDITION TO THE WESTON LYALL, PE, PLS, PLLC PROJECT. THE CLIENT HAS AGREED TO THE TERMS AND CONDITIONS OF THE PROFESSIONAL SERVICES AGREEMENT AND HAS AUTHORIZED THE ENGINEER TO PROVIDE THIS PLAN TO THE LOCAL AGENCIES AND TO THE PUBLIC.

**ENERGY REQUIREMENTS:** The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

**ENERGY SUMMARY (ADDITION ONLY)**

Climate Zone:  3  4  5

Method of Compliance: (Energy Code)  
 Prescriptive (Energy Code)  
 Performance (ASHRAE 90.1)  
 Prescriptive (ASHRAE 90.1)  
 Performance (ASHRAE 90.1)

**THERMAL ENVELOPE**

**Roof/Ceiling Assembly (each assembly)**

Description of assembly: RAIN GUTTERS AT 16" OC.  
 U-Value of total assembly: 0.0853  
 R-Value of Insulation: R-28  
 Skylights in each assembly: N/A  
 U-Value of skylight: N/A  
 total square footage of skylights in each assembly: N/A

**Exterior Walls (each assembly)**

Description of assembly: VOID 8x4 FRAMED WALLS  
 U-Value of total assembly: 0.0855  
 R-Value of Insulation: R-19  
 Openings (Windows or doors with glazing):  
 U-Value of assembly: \_\_\_\_\_  
 Solar heat gain coefficient: \_\_\_\_\_  
 projection factor: \_\_\_\_\_  
 Door R-Values: \_\_\_\_\_

**Walls below grade (each assembly)**

Description of assembly: N/A  
 U-Value of total assembly: N/A  
 R-Value of Insulation: N/A

**Floors over unconditioned space (each assembly)**

Description of assembly: N/A  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of Insulation: \_\_\_\_\_

**Floors slab on grade**

Description of assembly: N/A  
 U-Value of total assembly: 0  
 R-Value of Insulation: 0  
 Horizontal/vertical equipment slab head: \_\_\_\_\_

2021 NC Administrative Code and Policies

**MECHANICAL SYSTEMS SERVICE SYSTEMS AND EQUIPMENT (ADDITION ONLY)**

**Thermal Zone**  
 winter dry bulb: 27  
 summer dry bulb: 91

**Interior design conditions**  
 winter dry bulb: 70  
 summer dry bulb: 75  
 relative humidity: 55

**Building heating load:** 10,000 BTU

**Building cooling load:** 10,000 BTU

**Mechanical Spacing Conditioning System**

Unitary:  
 description of unit: COOPER & HUNTER MHU-SPLIT  
 heating efficiency: 83.1 SEER  
 cooling efficiency: 83.1 SEER  
 size category of unit: 18,000 BTU

Boiler:  
 size category: If oversized, state reason: N/A

Chiller:  
 size category: If oversized, state reason: N/A

List equipment efficiencies: SEE MECHANICAL PLAN

**ELECTRICAL SUMMARY**

**ELECTRICAL SYSTEM AND EQUIPMENT**

**Method of Compliance:**

Energy Code:  Prescriptive  Performance  
 ASHRAE 90.1:  Prescriptive  Performance

**Lighting schedule (each fixture type)**

lamp type required in fixture: SEE FIXTURE SCHEDULE  
 number of lamps in fixture: SEE FIXTURE SCHEDULE  
 ballast type: SEE FIXTURE SCHEDULE  
 number of ballasts in fixture: SEE FIXTURE SCHEDULE  
 total wattage per fixture: SEE FIXTURE SCHEDULE  
 total interior wattage specified vs. allowed (whole building or space by space):  
 total exterior wattage specified vs. allowed (whole building or space by space):  
NO EXTERIOR WATTAGE SHOWN

**Additional Prescriptive Compliance**

506.2.1 More Efficient Mechanical Equipment  
 506.2.2 Reduced Lighting Power Density  
 506.2.3 Energy Recovery Ventilation Systems  
 506.2.4 High Efficiency Service Water Heating  
 506.2.5 On-Site Supply of Renewable Energy  
 506.2.6 Automatic Daylighting Control Systems

2021 NC Administrative Code and Policies

THIS IS A FINAL SET OF PLANS. ANY CHANGES FOR PERMITS AND CONSTRUCTION MUST BE MADE TO THESE PLANS AND CONDUCTED BY THE DESIGNER. ANY CHANGES TO THESE PLANS WILL BE THE DESIGNER'S RESPONSIBILITY. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL SYSTEMS AND EQUIPMENT.



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD BUILDING PRACTICES. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

THESE PLANS CANNOT BE REPAIRED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS CONSENT OF WESTON LYALL, PE, PLS, PLLC. ANY PARTY THAT TAKES PART IN DOING SO IS IN VIOLATION OF COPYRIGHT LAWS.

**WESTON LYALL, PE, PLS, PLLC**

SEAVIEW PIER ADDITION  
 124 FISHING PIER LN.  
 NORTH TOPSAIL BEACH, NC

APPENDIX B CODE SUMMARY

DATE: 6/28/2023 DRAWN BY: GP FILE NAME: SEAVIEW.dwg SHEET: 3 OF 10

WESTON LYALL, PE, PLS, PLLC  
 214 US HIGHWAY 17N, SUITE 1  
 HOLLY RIDGE, NC 28445  
 PHONE: 910-329-9961  
 FIRM #: 0337

STRUCTURAL & CIVIL  
 ENGINEERING &  
 LAND SURVEYING