COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETINGDATE:** August 11, 2026

REGARDING: **50905 Nine Mile Road #50-22-31-100-009 (PZ26-0035)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant
Jeff & Loricel Escote

Variance Type
Dimensional Variance

Property Characteristics

Zoning District:	this property is zoned Residential Acreage (RA)
Location:	north of Eight Mile Road, east of Napier Road
Parcel #:	50-22-31-100-009

Request
The applicant is requesting variances from City of Novi Zoning Ordinance Section 4.19.1.E.iii to permit an aggregate accessory structure area of 3,965 sq. ft. (1,500 sq. ft. maximum allowed, variance of 2,465 sq. ft).

II. STAFF COMMENTS:

The applicant is seeking a dimensional variance to allow an increase of 2,465 square feet regarding the aggregate accessory structure allotment on a property. The property is 1.85 acres.

The property currently has (2) existing detached accessory structures and the proposed home will include an attached garage. The combination of the three will exceed the maximum allotment of 1,500 SF in an R-A zoning district.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we ***grant*** the variance in Case No. **PZ26-0035**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____ _____ _____.

   (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____ _____ _____.

   (b) The property is unique because_____ _____ _____.

   (c) Petitioner did not create the condition because_____ _____ _____.

   (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____ _____ _____.

   (e) The relief if consistent with the spirit and intent of the ordinance because _____ _____.

   (f) The variance granted is subject to:

      1. _____.
      2. _____.
      3. _____.
      4. _____.

2. I move that we ***deny*** the variance in Case No. **PZ26-0035** sought by _____, for _____ because Petitioner has not shown practical difficulty requiring_____ _____ _____.

   (a) The circumstances and features of the property including _____ _____ are not unique because they exist generally throughout the City.

   (b) The circumstances and features of the property relating to the variance request are self-created because _____ _____ _____.

   (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____ _____ _____.

   (d) The variance would result in interference with the adjacent and surrounding properties by _____ _____ _____.

   (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____ _____ _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi

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ZONING BOARD OF APPEALS APPLICATION

RECEIVED
JUN 30 2026
CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: $220.00
Meeting Date: 8/11/26
ZBA Case #: PZ 26-0035

I. PROPERTY INFORMATION (Address of subject ZBA Case)

PROJECT NAME / SUBDIVISION: Jeff & Loricel Escote
ADDRESS: 50905 Nine Mile
LOT/SIUTE/SPACE #:
SIDWELL #: 50-22-31 -100 -009 — May be obtain from Assessing Department (248) 347-0485
CROSS ROADS OF PROPERTY: Napier and Nine Mile
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? ☐ YES ☑ NO
REQUEST IS FOR: ☑ RESIDENTIAL ☐ COMMERCIAL ☐ VACANT PROPERTY ☐ SIGNAGE
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? ☐ YES ☑ NO

II. APPLICANT INFORMATION

A. APPLICANT

NAME: John DePorre
ORGANIZATION/COMPANY: DePorre Building LLC
ADDRESS: 4076 W. Maple Rd., Ste. B | CITY: Bloomfield | STATE: MI | ZIP CODE: 48301

B. PROPERTY OWNER ☐ CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER

EMAIL ADDRESS:
Jeffrey & Loricel Es
ORGANIZATION/COMPANY:
ADDRESS: 50905 Nine Mile Rd. | CITY: Northville | STATE: MI | ZIP CODE: 48167

III. ZONING INFORMATION

A. ZONING DISTRICT

☑ R-A ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4 ☐ RM-1 ☐ RM-2 ☐ MH
☐ I-1 ☐ I-2 ☐ RC ☐ TC ☐ TC-1 ☐ OTHER _____

B. VARIANCE REQUESTED

INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:

1. Section 4.19.1 Variance requested 1465 SF variance
2. Section _____ Variance requested _____
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

IV. FEES AND DRAWNINGS

A. FEES

☑ Single Family Residential (Existing) $220 ☐ (With Violation) $275 ☐ Single Family Residential (New) $275
☐ Multiple/Commercial/Industrial $330 ☐ (With Violation) $440 ☐ Signs $330 ☐ (With Violation) $440
☐ House Moves $330 ☐ Special Meetings (At discretion of Board) $660

B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF

- Dimensioned Drawings and Plans
- Site/Plot Plan
- Existing or proposed buildings or addition on the property
- Number & location of all on-site parking, if applicable
- Existing & proposed distance to adjacent property lines
- Location of existing & proposed signs, if applicable
- Floor plans & elevations
- Any other information relevant to the Variance application

ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☐ DIMENSIONAL ☐ USE ☐ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☑ ADDITION TO EXISTING HOME/BUILDING ☐ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature _____ Date 6/24/25

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature _____ Date 06/19/2026

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED ☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals _____ Date _____

Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
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REVIEW STANDARDS
DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
☑ Not Applicable ☐ Applicable If applicable, describe below:

and/or

b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
☑ Not Applicable ☐ Applicable If applicable, describe below:

and/or

c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
☑ Not Applicable ☐ Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Home did not have attached garage when purchased by current owners. Homeowner was not aware existing barn SF would count against an attached garage.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The new garage will be used in utility for personal use. The accessibility of an attached garage is necessary for homeowner.

Standard #4. Minimum Variance Necessary.

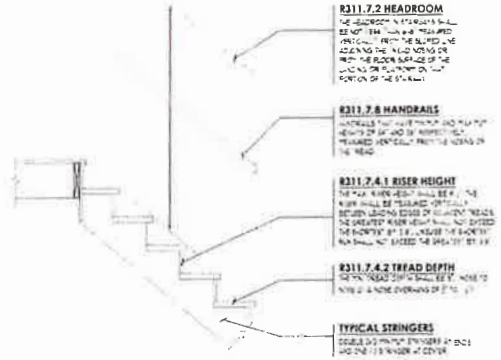
Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

It is not possible to make the proposed garage smaller due to homeowner usage.

Standard #5. Adverse Impact on Surrounding Area.

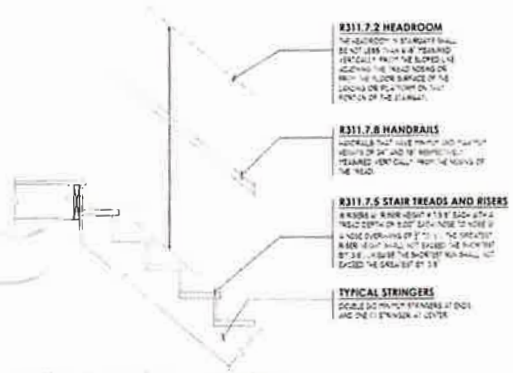
Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

This will not affect any soil of drainage.



EXTERIOR STAIR DETAIL

SCALE: 3/4" = 1'-0"



FIRST FLOOR TO SECOND FLOOR STAIR DETAIL

SCALE: 3/4" = 1'-0"

GENERAL NOTES

WOOD TRUSS SPECIFICATIONS

- Design and construction of the trusses, including Truss Design Drawings, shall be in accordance with the "National Design Standard for Wood Construction" and the "Truss Construction" by the American Forest & Paper Association (AF&PA) and the "Truss Plate Institute" (TPI) and the "Truss Design Standard".
1. Trusses are to be spaced as indicated on the plans, the plans are based on the truss manufacturer's standard spacing, if required to meet manufacturer requirements.
2. The truss manufacturer of record must provide truss layout for review and approval prior to fabrication and installation. Truss layout must show all truss locations, spacing, and load conditions.
3. Design loads

FLOOR JOIST LOADING CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
FIRST FLOOR LOADING
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 50 P.S.F.
GROUND FLOOR LOADING
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 50 P.S.F.
FLOOR LOADING FOR WALKS & LIGHTWEIGHT STORAGE
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
LIVE LOAD 40 P.S.F.
DEAD LOAD 20 P.S.F.
TOTAL LOAD 60 P.S.F.

ROOF TRUSS LOADING CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
TOP CHORD
LIVE LOAD 20 P.S.F. (NO GROUND SNOW LOAD BELOW)
DEAD LOAD 10 P.S.F.
BOTTOM CHORD
ATTIC ACCESS STAIR OR LOW STORAGE
LIVE LOAD 10 P.S.F.
ATTIC WITH TABLE STAIRS OR STORAGE
LIVE LOAD 20 P.S.F.
DEAD LOAD 10 P.S.F.
SNOW LOAD TO BE ADDED TO TOP CHORD BY OTHERS

EXT. DECK JOIST LOADING CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
DECK LOADING
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.

DECK LOADING CRITERIA
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240
DECK LOADING
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.

SNOW LOAD TO BE ADDED TO TOP CHORD BY OTHERS
NORTHVILLE TWP. OAKLAND COUNTY
GROUND SNOW LOAD 30 P.S.F.

- 0.5% increase in equivalent stresses for short term loading is allowed. Only loading shall be accounted for per the current "Wind Load Resistance Design" Code requirements.
- Add additional dead and storage live loads per the current "Storage Residence Code" requirements.
- The notched or other special features shall be designed along the appropriate dead load and live load, per those lines. Partial dead loads shall also be considered where appropriate.
- All concrete pier footed floor decks shall be 2 x 10 P.T. or 2 x 8 P.T. Douglas fir or better.

HANDLING AND ERECTION SPECIFICATIONS

1. Trusses are to be handled with care and are susceptible to damage during handling, hoisting, erection, and bracing and must be kept in order to avoid damage and assembly of the trusses.
2. Temporary and permanent bracing for holding the trusses in a straight and upright position is always required and shall be designed and installed by the erecting contractor. Improper bracing may result in "Domino" effect collapse of the trusses to adjacent bracing or partial collapse of the trusses.
3. Permanent bracing and connections in accordance with the state of the "National Design Standard" as published by the American Forest & Paper Association and the "T.P.I. and D.S.B.D." as well as the truss plate manufacturer. Permanent bracing consists of diagonal and longitudinal bracing installed adjacent to members of the truss framework. The spacing of trusses has to be continuously braced by roof sheathing when otherwise stated on the truss shop drawings. Bracing should be installed in accordance with the "Wood Truss Construction Standards".
4. Construction loads greater than the design loads of the trusses are not to be applied to the trusses at any time.
5. Not loads shall be applied to the truss until all fastening and bracing is completed.
6. The sizes shown on the truss shop drawing are the minimum dimensions of members, except where shown. The truss manufacturer is responsible for the design of the truss members and connections.
7. Truss manufacturer is responsible for providing detailed truss shop drawings showing all dimensions and connection details, which are to be stamped by a licensed professional engineer and approved by the architect prior to fabrication.

SOIL REQUIREMENTS & EARTH WORK AND CONCRETE

- All soil conditions and respective remarks should be reviewed prior to construction. Any fill material shall be a sand gravel mixture compacted to 95 max. density as determined by ASTM D-1557.
1. Provide an opening for an engineer's inspection of the footing bearing soil prior to pouring concrete. Minimum of 3000 psi.
2. Notify the engineer immediately if the soil is of lesser bearing capacity, a value over 3000 psf at the time the footings are dug for the new structure bearing capacity.

R404.1.9 Backfill placement

Backfill shall not be placed against the wall until the wall has sufficient strength and has been braced to prevent damage by the backfill.

R506.2.1 Fill

Fill materials and placement of materials and type of materials. The fill shall be compacted to assure uniform support of the slab and, except where approved, the fill depths shall not exceed 24 inches for sand-gravel or gravel and 8 inches for earth.

R506.2.3 Vapor retarder

A six mil polyethylene or approved vapor retarder with joints lapped not less than 6 inches and placed between the concrete floor slab and the base course or the prepared subgrade where no base course is used.

Concrete work shall conform to the requirements of ACI 318-14 "Specifications for Structural Concrete for Building" except as modified as follows or as otherwise noted herein.

1. Concrete shall have a minimum of 3,000 psi 28 day compressive strength, unless noted otherwise. Maximum water cement ratio not to exceed 6 gallons per sack. Exterior concrete exposed to weather shall have a minimum of 4000 psi 28 day compressive strength + 0.5% air entrainment.
2. The use of accelerators, water reducers or other admixtures is not allowed without prior approval from the architect.
3. Concrete shall be placed in accordance with ACI 318-14 Section 26.5.1 and 26.5.2 and ACI 301-16 Section 5.3.1 and 5.3.2.

Note: Concrete in freezing weather:

Care must be taken when placing concrete in freezing weather and the finish work and exterior features of walks and slabs, must be duly given. Drainage near glass or covered work shall be performed as per other approved systems of materials and methods and at the same time shall be in accordance with ACI 306 "Cold Weather Concreting" by Committee 306 of the American Concrete Institute.

Backfill:

A drainage system is not required when the foundation is founded on undisturbed ground or properly compacted fill in accordance with the current Soil Classification System. Unclassified fill is not acceptable.

STRUCTURAL STEEL SPECIFICATIONS

1. Structural steel shapes, plates, and bars are to be ASTM A-36 unless noted otherwise. Structural steel shall be designed and constructed per the "AISC Manual of Steel Construction" for the Design, Fabrication and Erection of Steel for Buildings and the latest edition of the AISC "Manual Of Steel Construction".
2. Steel columns are to be ASTM A-501 hot rolled. Structural tubing shall be ASTM A500 grade B Type 43.
3. Welds and workmanship are to be made AISC Specifications for Welding in Building Construction, and shall be the EXXX electrodes unless noted otherwise.
4. Bolted connections shall be ASTM A-325 bolts (greased or tightened "snug" unless noted otherwise).

REINFORCING STEEL SPECIFICATIONS

- Reinforcing bars (rebars) shall be of the conform to ASTM-615 grade 60 deformed bars and shall be free of oil, dirt, and rust.
1. Welded wire fabric shall be per to ASTM A-185 and be supplied in the form of flat sheets.
2. No reinforcing may be placed and welded, tied in place and properly placed of a length or connected to a by means of and connection. If necessary, should be at any the concrete is poured.
3. Bending and splicing bars a minimum of 36 diameters and shall be in the minimum of 24 inches.
4. Welding of reinforcing steel is not allowed.

STAIRWAYS AND HANDRAILS

R311.7 Stairways

Stairways shall be not less than 36 inches (914 mm) in clear width at or above the rail with the permitted height not less than the required height for rail, handrails and rail projects more than 4.5 inches (114 mm) on either side of the stairway, and the minimum clear width of the stairway at and below the handrail height, including handrails and stairways shall not be less than 31.5 inches (800 mm) where a handrail is installed on one side and 27 inches (686 mm) where handrails are provided on both sides.

Exception: The width of spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.8 Handrails

Handrails shall be provided on at least one side of each continuous run of treads or flights with four or more risers.

R311.7.8.1 Handrail height

Handrail height, measured vertically from the sloped plane adjacent to the tread nosing, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

Exceptions:

1. The use of a handrail height of 28 inches (711 mm) over the lower handrail is permitted where a second handrail is installed at a height of 34 inches (864 mm).
2. Where handrail fittings or brackets are used to provide continuous handrail gripping surfaces, the maximum height shall be adjusted or relocated in the vicinity of a flight, the maximum height shall be measured to the top of the uppermost handrail fitting or bracket.

SMOKE ALARMS

R314.3 Smoke alarms

Smoke alarms shall be installed in the following locations:

1. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
2. On each additional story of the dwelling, including basements and habitable attics but shall not include crawl spaces and uninhabitable attics. In dwellings or dwelling units with more than one story, smoke alarms shall be interconnected and hard-wired.

When more than one smoke alarm is required to be installed within an individual dwelling unit, the alarm devices shall be interconnected in such a manner that the actuation of one alarm will actuate all of the alarms within the dwelling unit.

CARBON MONOXIDE DETECTOR

A Carbon Monoxide detector shall be installed in the vicinity of the bedrooms, within 15 feet, measured horizontally, of bedrooms. Carbon Monoxide detectors shall be installed outside of bedrooms, within the dwelling unit adjacent to attached garage, and in areas adjacent to any fuel-burning appliances. Carbon Monoxide Detectors may not be placed within fifteen feet of fuel-burning heating or cooking appliances such as gas stoves, furnaces or fireplaces or in an area very hot, very cold, very wet or very humid.

FLASHING AND WEEPHOLES

R703.8 Flashing

Flashing shall be installed beneath the first course of masonry above finished ground level above the foundation wall or slab and at other points of support, including structural floors, shelf angles and lintels, when such masonry is designed in accordance with Section R703.7. See Section R703.8 for additional requirements.

R703.8.6 Weepholes

Weepholes shall be provided in the outside wythe of masonry walls at a minimum spacing of 33 inches (838 mm) on center. Weepholes shall not be less than 3/16 inch (5 mm) in diameter. Weepholes shall be located immediately above the flashing.

R703.8.4 Flashing

Approved corrosion-resistant flashing shall be applied in such a manner to prevent entry of water into the wall. Flashing shall be installed in all exterior walls at any structural framing components that extend through the exterior wall. Flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashing shall be installed at all of the following locations:

1. Exterior windows and doors. Flashing at exterior windows and door openings shall extend to the surface of the exterior wall finish or to the weatherstrip or other means for subsequent drainage.
2. At the intersection of chimneys or other masonry construction with frame or masonry walls and projecting trim shall be flashed in such a manner as to prevent entry of water into the wall system.
3. Under and at the ends of masonry, wood or metal copings and sills.
4. Continuously above all projecting wood trim.
5. Where exterior porches, decks or stairs attach to a wall or frame, shall be flashed so as to prevent the penetration.
6. At all other locations where flashing is required by other sections of this code.

FIREPLACES

R302.1 Chimney support

Chimneys shall be supported on a foundation as required by the building code. Footings shall be poured at least 12 inches (305 mm) thick and shall extend beyond each side of the fireplace opening a minimum of 12 inches (305 mm). The width of the footing shall be at least 24 inches (610 mm) in length and shall be reinforced as required for the fireplace opening.

EGRESS WINDOW REQUIREMENTS

1. Minimum clear opening of 5.7 sq. ft. required for basements.
2. Minimum clear opening of 5.0 sq. ft. for all bedrooms.
3. Minimum clear opening min. of 24 inches.
4. Minimum clear opening min. of 20 inches.
5. Maximum sill height of 44 inches.

AREAS THAT REQUIRE SAFETY GLAZING

R308.4 Hazardous locations

The following locations shall be considered as hazardous locations for the purposes of glazing:

R308.4.1 Glazing in doors

Glazing in fixed and operable panels of swinging, sliding and bi-fold doors shall be considered to be a hazardous location.

Exceptions:

1. Glazed openings of a size through which a 3 inch (76 mm) diameter sphere is not able to pass.
2. Decorative glazing.

R308.4.2 Glazing adjacent to doors

Glazing in a single fixed or operable panel adjacent to a door shall be considered hazardous if the bottom exposed edge of the glazing is less than 60 inches (1524 mm) above the walking surface and it meets any of the following:

1. Where the glazing is within 24 inches (610 mm) of the door in the plane of the door in a closed position.
2. Where the glazing is within 60 inches (1524 mm) horizontally of the closed door and the glazing is within 60 inches (1524 mm) of the walking surface.

Exceptions:

1. Decorative glazing.
2. Where there is an intervening wall or other permanent barrier between the door and the glazing.
3. Where glazing is adjacent to the hinge side of an outswing door and there is no more than a 9 inch (229 mm) diameter sphere can be rotated to be within the hazardous locations.
4. Glazing that is adjacent to the fixed panel of pivot doors.

R308.4.3 Glazing in walls

Glazing in walls and fixed or operable panels that meet any of the following conditions shall be considered to be a hazardous location:

1. The exposed area of an individual pane is larger than 9 square feet (0.836 m2).
2. The bottom edge of the glazing is less than 18 inches (457 mm) above the floor.
3. The top edge of the glazing is more than 36 inches (914 mm) above the floor.
4. One or more walking surfaces are within 36 inches (914 mm) measured horizontally and in a straight line of the glazing.

Exceptions:

1. Decorative glazing.
2. Where a horizontal rail is installed on the interior side of the glazing to be 34 inches (864 mm) high above the walking surface. This rail must be capable of withstanding a horizontal load of 50 pounds per linear foot (0.738 kN/m) without deflecting the glass and be a minimum of 1.5 inches (38 mm) from the glass edge.
3. Glazed panels in housing units and other similar buildings where the bottom edge of the glass is 25 feet (7620 mm) or more above grade, a roof, walkway or other gross or gross level or inclined plane (maximum 45 degrees (0.79 rad)) of horizontal surface adjacent to the glass exterior.

R308.4.4 Glazing in guards and railings

Glazing in guards and railings, including balustrades, balcony guards and handrails, regardless of area or height, above a walking surface shall be considered to be a hazardous location.

R308.4.5 Glazing adjacent to stairs and ramps

Glazing where the bottom exposed edge of the glazing is less than 36 inches (914 mm) above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered to be a hazardous location.

Exceptions:

1. Where a rail is installed on the accessible side(s) of the glazing that is 34 inches (864 mm) high above the walk surface. This rail must be capable of withstanding a horizontal load of 50 pounds per linear foot (0.738 kN/m) without deflecting the glass and have a cross-section no greater than 2.5 inches (38 mm).
2. Glazing 36 inches (914 mm) or more measured horizontally from the walking surface.

R308.4.7 Glazing adjacent to the bottom stair landing

Glazing adjacent to the landing at the bottom of a stairway where the glazing is within 36 inches (914 mm) above the landing and within a distance of 60 inches (1524 mm) horizontally is considered to be a hazardous location.

Exception:

The glazing is protected by a guard complying with Section R312 and the top of the guard is more than 36 inches (914 mm) above the ground.

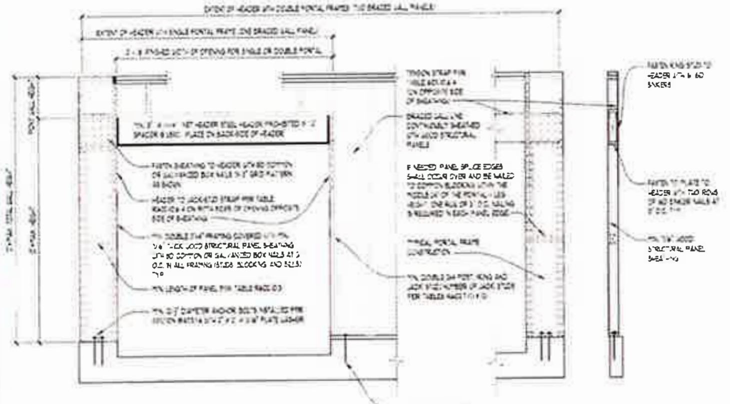
CLIENT / PROJECT

ESCOTE
RENOVATION
50905 9 MILE RD.

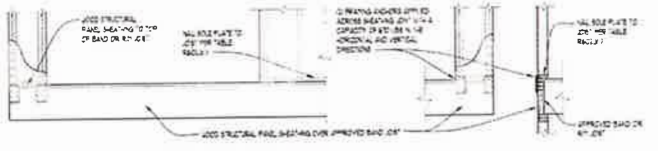
JOB No.:
DRAWN:
CHECKED:
FRAMED:
REVIEW:
FINAL:
REVISION:

SCALE
PER PL

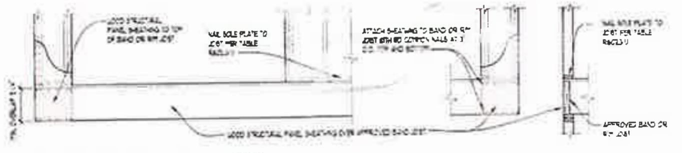
SHEET
GN



OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION
WHERE PORTAL SHEATHING DOES NOT LAP OVER BAND OR RIM JOIST



OVER RAISED WOOD FLOOR - OVERLAP OPTION
WHERE PORTAL SHEATHING LAPS OVER BAND OR RIM BOARD

FIGURE R602.10.6.4

METHOD CS-PF: CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

NOT TO SCALE

FOR SI: 1 Inch = 25.4 mm, 1 foot = 304.8 mm

TABLE R602.10.6.4

TENSION STRAP CAPACITY FOR RESISTING WIND PRESSURES PERPENDICULAR TO METHODS PFH, PFG AND CS-PF BRACED WALL PANELS

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (feet)	MAXIMUM TOTAL WALL HEIGHT (feet)	MAXIMUM OPENING WALL HEIGHT (feet)	TENSION STRAP CAPACITY REQUIRED (pounds)					
				Ultimate Design Wind Speed V_{ult} (mph)					
				110	115	130	110	115	130
				Exposure B			Exposure C		
2 x 4 No. 2 Grade	0	10	18	1,000	1,000	1,000	1,000	1,000	1,050
	1	10	9	1,000	1,000	1,000	1,000	1,000	1,750
			16	1,000	1,025	2,050	2,075	2,500	3,950
			18	1,000	1,275	2,375	2,400	2,850	DR
	2	10	9	1,000	1,000	1,475	1,500	1,875	3,125
			16	1,775	2,175	3,525	3,550	4,125	DR
			18	2,075	2,500	3,950	3,975	DR	DR
	3	12	9	1,150	1,500	2,450	2,675	3,175	DR
			16	2,875	3,375	DR	DR	DR	DR
			18	3,425	3,975	DR	DR	DR	DR
	4	12	9	2,275	2,750	DR	DR	DR	DR
			12	3,225	3,775	DR	DR	DR	DR
2 x 6 Stud Grade	2	12	9	1,000	1,000	1,700	1,700	2,025	3,050
			16	1,825	2,150	3,225	3,225	3,675	DR
			18	2,200	2,550	3,725	3,750	DR	DR
	4	12	9	1,450	1,750	2,700	2,725	3,125	DR
			16	2,050	2,400	DR	DR	DR	DR
			18	2,350	2,800	DR	DR	DR	DR

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
a. DR = Design Required.
b. [illegible]

TABLE R602.3 (5)

SIZE, HEIGHT AND SPACING OF WOOD STUDS a

STUD SIZE (inches)	BEARING WALLS					NONBEARING WALLS	
	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
2x3 b	-	-	-	-	-	10	16
2x4	10	24 c	16 c	-	24	14	24
3x4	10	24	24	16	24	14	24
2x5	10	24	24	-	24	16	24
2x6	10	24	24	16	24	20	24

[illegible]

TABLE R703.8.3.1

ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER a,b,c,d

SIZE OF STEEL ANGLE a,c,d (inches)	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF 1/2" OR EQUIVALENT REINFORCING BARS b,d
3x3x1/4	6'-0"	4'-6"	3'-0"	1
4x3x1/4	8'-0"	6'-0"	4'-6"	1
5x3-1/2x5/16	10'-0"	8'-0"	6'-0"	2
6x3-1/2x5/16	14'-0"	9'-6"	7'-0"	2
2-6x3-1/2x5/16	20'-0"	12'-0"	9'-6"	4

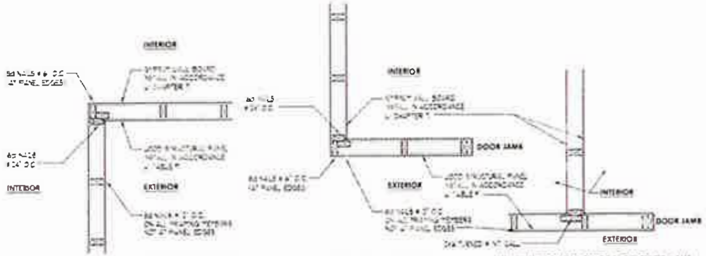
[illegible]

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT CONCRETE BASEMENT WALLS

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT - BAR SIZE AND SPACING (INCHES)											
		Soil classes and design lateral soil (psf per foot of depth)											
		GW, GP, SW, SP 30				GM, GC, SM, SM-SC and ML 45				SC, ML-CL and inorganic CL 60			
		Minimum nominal wall thickness (inches)											
		6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	4 @ 35	NR	NR	NR
	6	NR	NR	NR	NR	5 @ 48	NR	NR	NR	5 @ 36	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	5 @ 47	NR	NR	NR
	6	NR	NR	NR	NR	5 @ 42	NR	NR	NR	6 @ 43	5 @ 48	NR	NR
	7	5 @ 46	NR	NR	NR	6 @ 42	5 @ 46	NR	NR	6 @ 34	6 @ 48	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	4 @ 38	NR	NR	NR	5 @ 43	NR	NR	NR
	6	4 @ 37	NR	NR	NR	5 @ 37	NR	NR	NR	6 @ 37	5 @ 43	NR	NR
	7	5 @ 40	NR	NR	NR	6 @ 37	5 @ 41	NR	NR	6 @ 34	6 @ 43	NR	NR
	8	6 @ 43	5 @ 47	NR	NR	6 @ 34	6 @ 43	NR	NR	6 @ 27	6 @ 32	6 @ 44	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	4 @ 35	NR	NR	NR	5 @ 40	NR	NR	NR
	6	4 @ 34	NR	NR	NR	6 @ 48	NR	NR	NR	6 @ 36	6 @ 39	NR	NR
	7	5 @ 36	NR	NR	NR	6 @ 34	5 @ 37	NR	NR	6 @ 33	6 @ 38	5 @ 37	NR
	8	6 @ 38	5 @ 41	NR	NR	6 @ 33	6 @ 38	5 @ 37	NR	6 @ 24	6 @ 29	6 @ 39	4 @ 48
	9	6 @ 34	6 @ 46	NR	NR	6 @ 26	6 @ 30	6 @ 41	NR	6 @ 19	6 @ 23	6 @ 30	6 @ 39
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	4 @ 33	NR	NR	NR	5 @ 38	NR	NR	NR
	6	5 @ 48	NR	NR	NR	6 @ 45	NR	NR	NR	6 @ 34	5 @ 37	NR	NR
	7	6 @ 47	NR	NR	NR	6 @ 34	6 @ 48	NR	NR	6 @ 30	6 @ 35	6 @ 48	NR
	8	6 @ 34	5 @ 38	NR	NR	6 @ 30	6 @ 34	6 @ 47	NR	6 @ 22	6 @ 26	6 @ 35	6 @ 45
	9	6 @ 34	6 @ 41	6 @ 48	NR	6 @ 23	6 @ 27	6 @ 35	4 @ 48	DR	6 @ 22	6 @ 27	6 @ 34
	10	6 @ 28	6 @ 33	6 @ 45	NR	DR	6 @ 23	6 @ 29	6 @ 38	DR	6 @ 22	6 @ 22	6 @ 28

[illegible]



(B) INSIDE CORNER DETAIL

(A) OUTSIDE CORNER DETAIL

(C) INTERSECTION OF INTERIOR AND EXTERIOR WALLS

WALL BRACING DETAIL

NO SCALE

LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL
TABLE #1

LENGTH OF BRACED WALL PANEL (INCHES)				MAXIMUM OPENING HEIGHT NEXT TO BRACED WALL PANEL (% OF WALL HEIGHT)
8-FOOT WALL	9-FOOT WALL	10-FOOT WALL	12-FOOT WALL**	
48"	54"	60"	72"	100%
32"	36"	40"	48"	85%
24"	27"	30"	36"	65%

THESE VALUES CAN BE REDUCED BY 50% IF SHEATHING IS PROVIDED ON INTERIOR AND EXTERIOR. 12 FOOT WALL STUDS SUPPORTING ONLY A ROOF SHALL BE 2 X 4 @ 16" O.C. 12 FOOT WALL STUDS SUPPORTING ONE OR TWO FLOORS AND A ROOF SHALL BE 2 X 6 @ 16" O.C.

TABLE R404.1.2(1)

MINIMUM HORIZONTAL REINFORCEMENT FOR CONCRETE BASEMENT WALLS

MAXIMUM UNSUPPORTED HEIGHT OF BASEMENT WALL (feet)	LOCATION OF HORIZONTAL REINFORCEMENT
≤ 8	One No. 4 bar within 12 inches of the top of the wall story and one No. 4 bar near mid height of the wall story
> 8	One No. 4 bar within 12 inches of the top of the wall story and one No. 4 bar near third points in the wall story

[illegible]

DESI
CREATIVE COLLA

WWW.TRIHOMED
40200 GRAND RI
SUITE 3
NOVI, MI 4
PHONE: (248)-
FAX: (248)-

CLIENT / PROJECT

ESCOTE
RENOVATION
50905 9 MILE RD

JOB No.
DRAWN:
CHECKED:
FRAMED:
REVIEW:
FINAL:
REVISION:

SCAL
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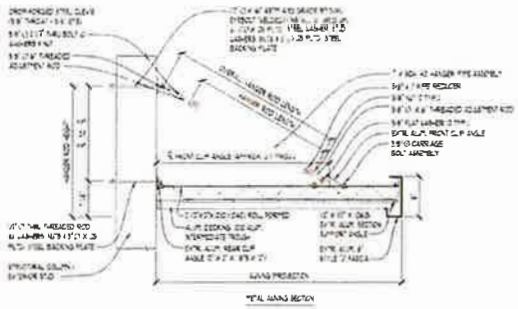
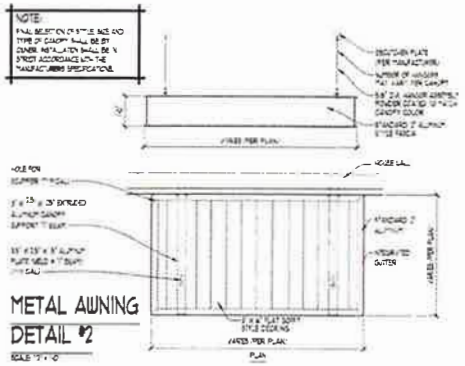
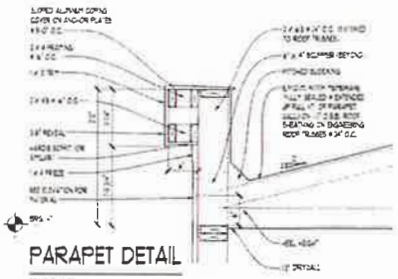


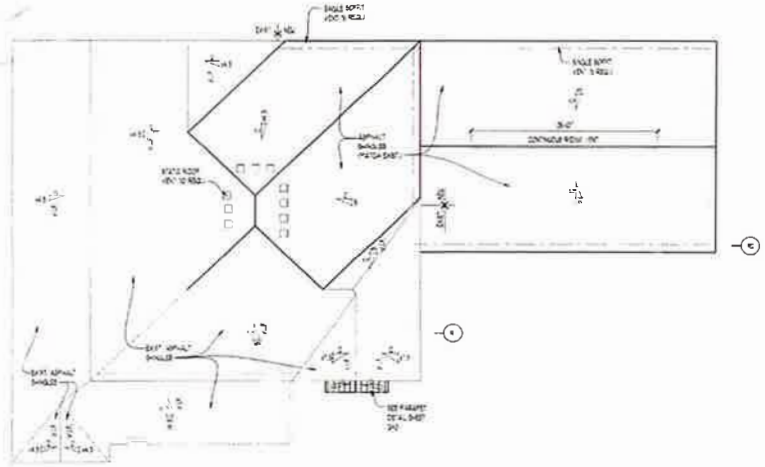
METAL AWNING DETAIL



METAL AWNING DETAIL #2



PARAPET DETAIL



ROOF PLAN

AREA R1 CALCULATIONS

AREA R2 CALCULATIONS:

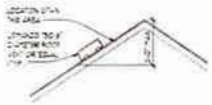
ROOF PLAN NOTES

ATTIC VENTILATION NOTE:

LEGEND

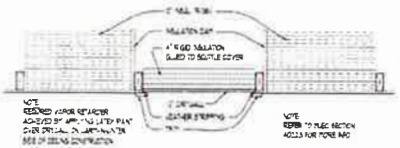
ATTIC VENTILATION TYPE:

NOTE:



TYP. ROOF VENT PLACEMENT

ATTIC ACCESS HEADROOM SCHEMATIC



ATTIC ACCESS DETAIL

DESI

CLIENT / PROJECT

ESCOTE RENOVATION 50905 9 MILE RD.

JOB No.
DRAWN:
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DEMOLITION NOTES

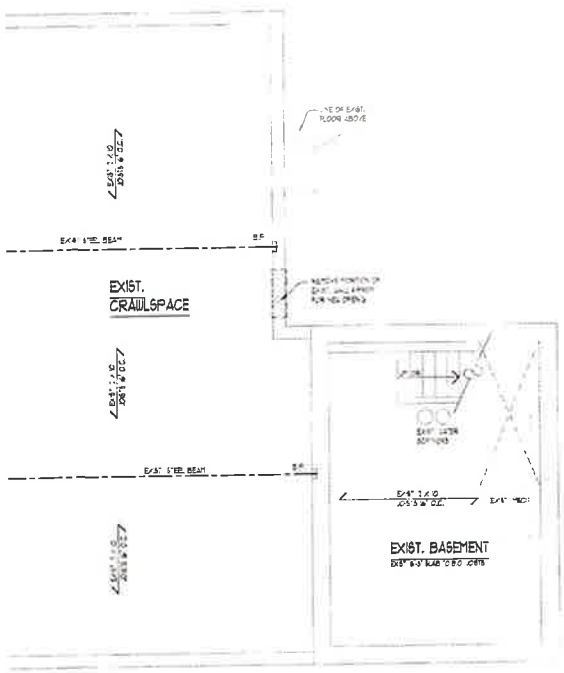
1. EXTERIOR GRADE SHALL BE INSPECTED AND LOCATIONS WHERE THE GRADE IS HIGHER THAN THE SILL PLATE. WOOD CLOSER THAN 6(6) OF ROT. ANY ROTTED WOOD SHALL BE REPAIRED AND REPLACED AND THEN SPOT TREATED WITH BORON OR AN EQUIVALENT PRESERVATIVE.
2. NEW SILICONE SEALANT SHALL BE APPLIED AROUND ANY OPENINGS THROUGH THE FOUNDATION WALLS, SILLS, ETC.
3. ALL VERTICAL CRACKS NOTED SHALL BE TUCK POINTED WITH AN EPOXY MORTAR.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SUBTRADES.
5. ALL WORK TO BE DONE BY LICENSED CONTRACTORS.
6. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS AND DIMENSIONS AND TO NOTIFY THE DESIGN ASSOCIATES OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO CONSTRUCTION/DEMOLITION.
7. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION RELATED DEBRIS, TRASH, RUBBISH, ETC., AND DISPOSE OF ALL MATERIALS IN A LEGAL MANNER. CONTRACTOR IS TO KEEP THE PROJECT AREA CLEAN AT ALL TIMES.
8. CONTRACTOR SHALL NOTIFY, COORDINATE, AND SCHEDULE ANY AND ALL DISCONNECTIONS OF EXISTING UTILITY SERVICES WITH THE OWNER PRIOR TO THE WORK BEING DONE.
9. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETAIN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
10. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT AGAINST DAMAGE DURING ALL PHASES OF CONSTRUCTION.
11. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
12. ALL DRAWINGS ARE SCHEMATIC. EXTENT OF DEMOLITION SHOWN IS APPROXIMATE. FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
13. ALL STRUCTURAL MEMBERS ARE TO REMAIN UNLESS NOTED OTHERWISE.

NOTE:

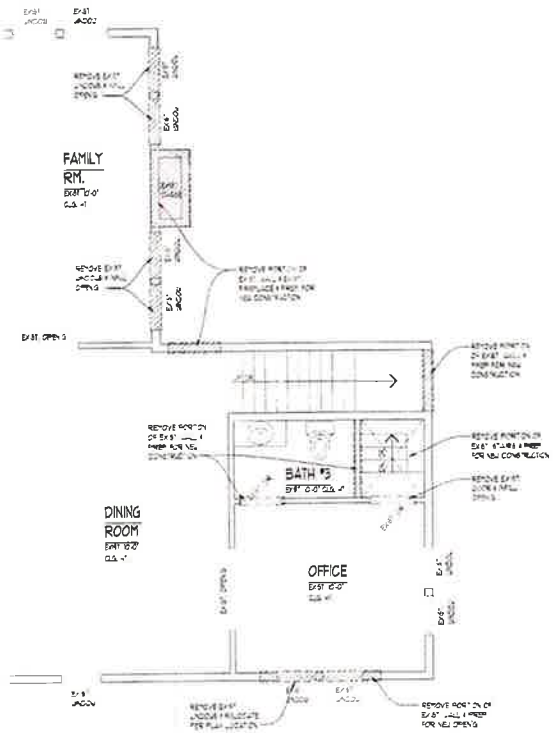
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. A
DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AN
GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS
INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION

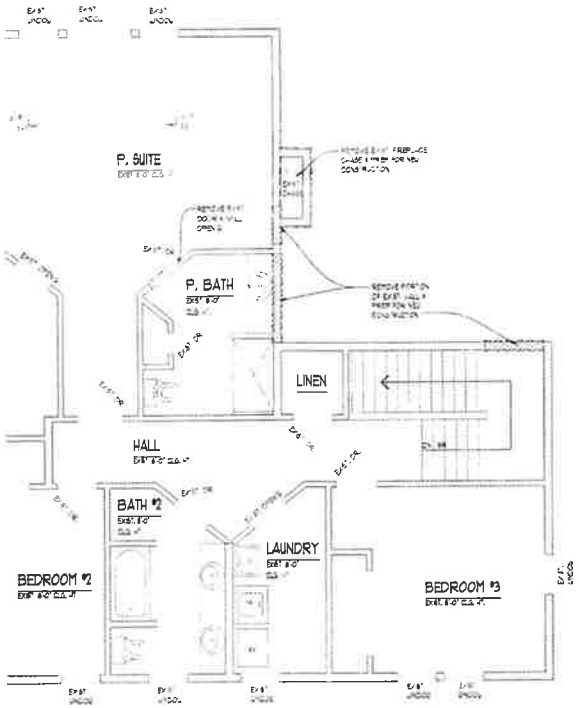
PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKE



PARTIAL DEMOLITION /
EXIST. FOUNDATION PLAN



PARTIAL DEMOLITION /
EXIST. FIRST FLOOR PLAN



PARITAL DEMOLITION /
EXIST. SECOND FLOOR PLAN

DES
CREATIVE GR

WWW.TKHOM
4000 GRAND
SUITE
NOVEL M
PHONE: (24
FAX: (24

CLIENT / PROJECT
ESCOTE RENOVATION

JOB No.
DRAWN:
CHECKED:
FRAMED:
REVIEW:
FINAL:
REVISION:

SCA
PER

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D

NOTE:
PROVIDE [illegible] 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE [illegible] JACK STUD & KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE [illegible] FOR LADDER FRAMING UNDER ALL JAMBER FLOOR PARALLEL PARTITIONS

NOTE:
GROUT ALL CONCRETE BLOCK CORES SOLID THAT BEARING ROOF LOADS FROM ABOVE (TYPICAL)

NOTE:
[illegible] 4000 BEAM
[illegible] STEEL BEAM

[illegible] BRG WALL
[illegible] BRG WALL ABOVE
[illegible] BRG WALL & BRG WALL ABOVE

■ POINT LOAD
⊗ POINT LOAD FROM ABOVE

FOUNDATION NOTES

NOTE:
ALL FOOTINGS ARE DESIGNED FOR 2000 PSF SOIL BEARING CAPACITY & 30 PSF ROOF SNOW LOAD. FOR VARYING CONDITIONS REFER TO TABLE R403.1.1(1) & R403.1.1(2) OF THE 2009 IRC

1. ALL COLUMNS SHOWN SHALL BE 3" DIA. SCHEDULE 40 STANDARD STEEL PIPE COLUMN ON 30" x 30" x 8" DEEP CONC. FTG. TOP OF CONCRETE FTG TO BE 4" BELOW FINISH BASEMENT SLAB TYPICAL UNLESS NOTED OTHERWISE
2. LARGE STEEL BEAMS REST ON FOUNDATION WALLS IN 8" DEEP BEAM POCKET. APPROXIMATELY 2ND SLAB REQUIRED
3. AS REQUIRED DROP FOYER FLOOR 5-BEARING 14" FOR HOMEOWNER TILE INSTALLATION
4. VERIFY ALL UTILITY LOCATIONS W/ BUILDER
5. PROVIDE SHORING AT BEAMS DURING CONSTRUCTION
6. PROVIDE LADDERING JOIST ON ALL BEARING PARALLEL JOIST THAT DOES NOT LAND DIRECTLY ON A JOIST
7. PROVIDE SOLID BLOCKS UNDER ALL BEARING CONDITIONS
8. GROUT SOLID AT BEARING CONDITIONS WHERE BLOCK IS USED
9. PROVIDE 1" (25.4 MM) RIGID, RIGID PERIMETER INSULATION AT ALL BASEMENT SLABS THAT ARE LESS THAN 10" BELOW EXTERIOR FINISHED GRADE
10. BASEMENT CEILING HEIGHTS MAY VARY AT LOCATIONS DEPENDING ON MECHANICAL DROPS, LOW STRUCTURAL BEAMS, & REQUIRED ON ANY FINISHED CEILING TREATMENTS

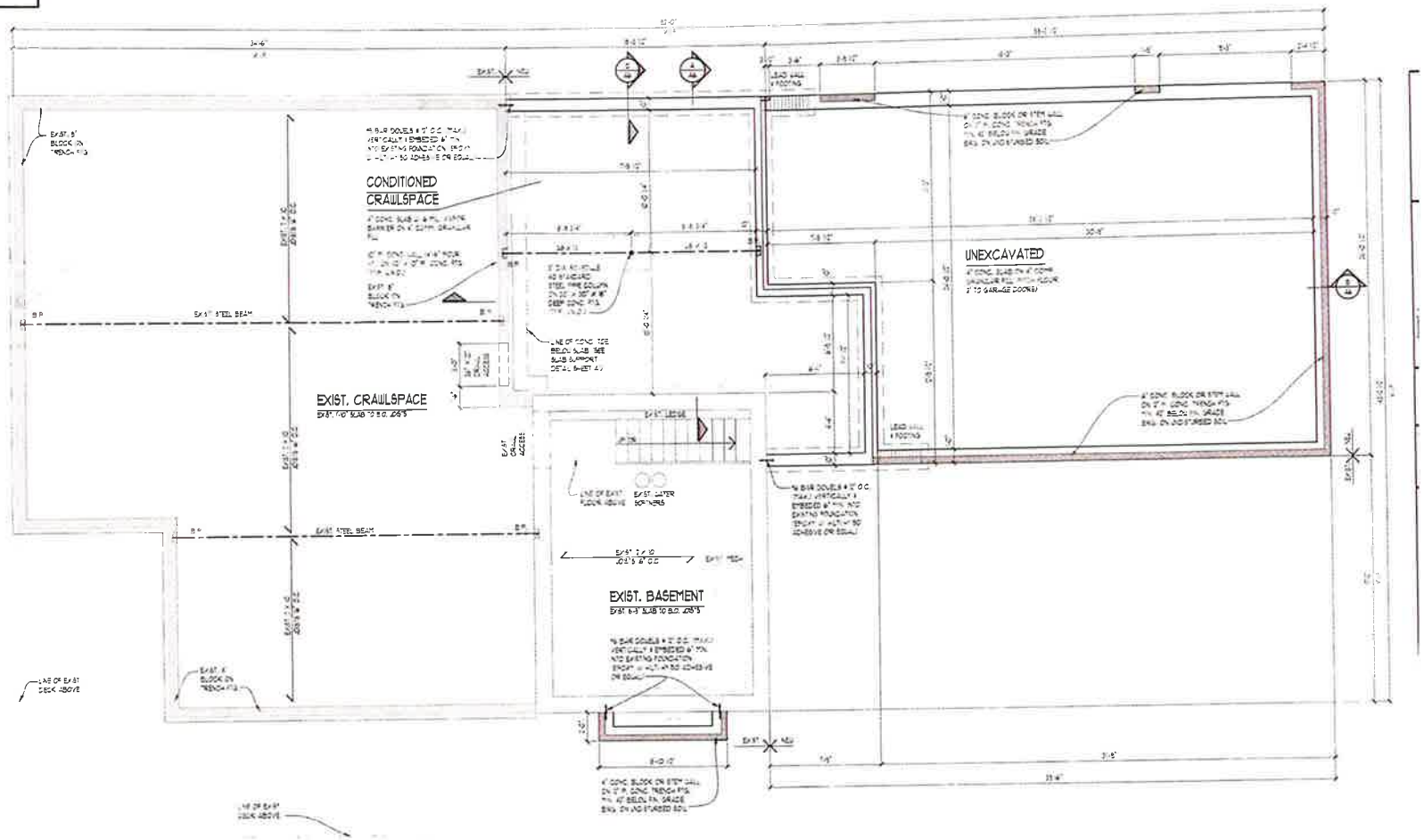
LOT INFORMATION:

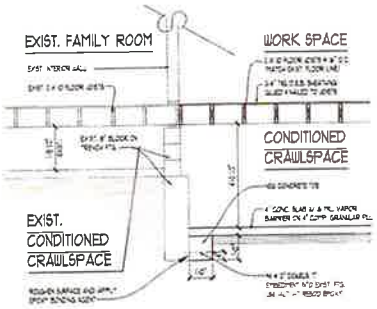
CITY / TOWNSHIP	[illegible]
ZONE	[illegible]
MINIMUM SETBACKS	
FRONT	40
REAR	50
SIDE / TOTAL	[illegible]
MAX ROOF HEIGHT MEASURED	35 FROM ON TOP OF ROOF
LOT COVERAGE	[illegible]
LOT SIZE	[illegible]
MAX FF	[illegible]
HOUSE FOOTPRINT	[illegible]
FRONT PORCH	[illegible]
ATTACHED GARAGE	[illegible]
TOTAL FOOTPRINT (INCL GR + LOT SIZE MINUS FF + [illegible])	

NOTE:
INFORMATION DEEMED RELIABLE BUT NOT GUARANT
DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACT
GENERAL CONTRACTOR TO VERIFY ALL FIELD CON
INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING D

PRIOR TO BIDDING / TRUSS FABRICATION / MATER





SLAB SUPPORT DETAIL

A
A1

FOUNDATION PLAN

PLAN NOTES

INTERIOR WALLS:

EXTERIOR WALLS:

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS OR EQUIVALENT (R302.5.1 THIS SECTION REQUIRED)
2. VENT ALL EXHAUST FANS TO EXTERIOR
3. OVERHANGS BE CONSTRUCTED ALL RULES AND VENTS THAT PENETRATE ROOF BEHIND THE RIDGE
4. INSTALL WATER SUPPLY AND DRAIN BOX (PER BOX) AT WASHING MACHINE LOCATION
5. USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE
6. ALL FIRST FLOOR INTERIOR DOORS TO BE FRAMED FOR 8'-0" TALL DOORS ALL SECOND FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" TALL DOORS UNLESS NOTED OTHERWISE VERIFY W/ BUILDER
7. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION
8. PROVIDE SOLEPLATE BLOCKS UNDER ALL BEARING CONDITIONS
9. GARAGE WALLS TO BE 2X6 STUDS FOR OVER 10'-0" TALL
10. ALL EXTERIOR SLIDING GLASS DOORS TO BE VERIFIED W/ BUILDER PRIOR TO CONSTRUCTION

NOTE:
PROVIDE MINIMUM 4" HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS UNLESS NOTED OTHERWISE

NOTE:
PROVIDE MINIMUM JACK STUD & KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE

NOTE:
PROVIDE MINIMUM JOIST OR LOOSE HEATING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

WALL KEY
NEW STUD WALL
EXISTING STUD WALL TO REMAIN

NOTE:
PORCH CLG. TYPE PER BUILDER'S SPEC

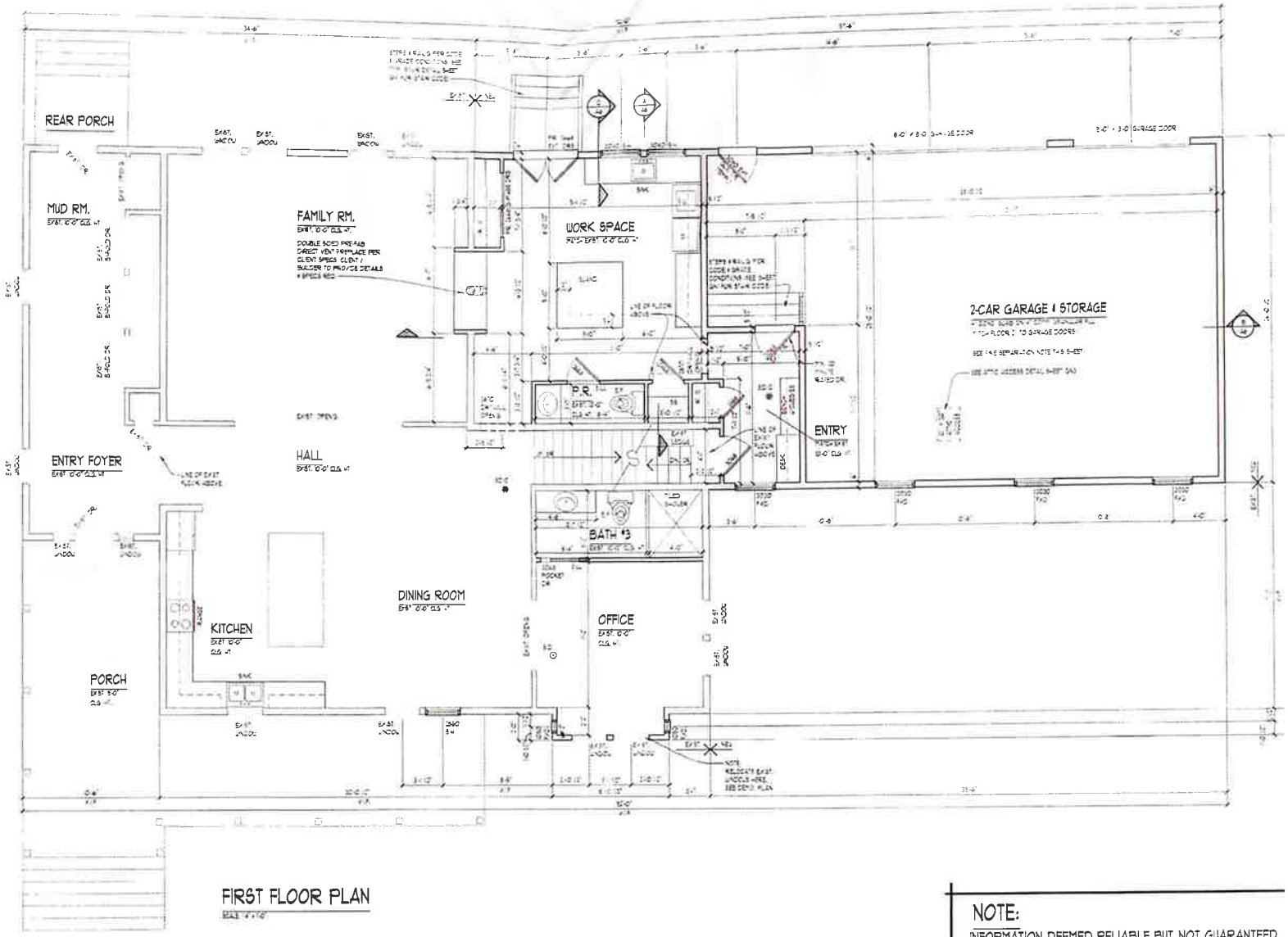
NOTE:
ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED W/ BATTERY BACKUP PER CODE

NOTE:
DOOR & WINDOW LOCATIONS
ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL THEY ARE ON OR 4" INCHES FROM PERPENDICULAR WALL UNLESS NOTED OTHERWISE

NOTE:
VERIFY FINISHED FLOOR AREAS FOR TILE WITH BUILDER

FREPLACE NOTE
ALL FREPLACE DIMENSIONS & ROUGH OPENINGS TO BE VERIFIED W/ MANUFACTURER SPECS INCLUDING BUT NOT LIMITED TO WALL DEPTH, HEARTH, OTHER CLEARANCES ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SPECS TO CARPENTER PRIOR TO FRAMING

FIRE SEPARATION NOTE
FIRE SEPARATION: RULE 6
GARAGE SPACE BETWEEN HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5 INCH TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8 INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2 INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. DROP CLG. UNDER FLR. ABV ENCLOSE MECHANICAL AND STRUCTURAL ELEMENTS VERIFY W/ BLDR.



FIRST FLOOR PLAN

NOTE:
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITION INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECT

PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TA

PLAN NOTES

INTERIOR WALLS:
2" X 4" NON-LOAD BEARING WALLS BUILT ON FLOOR PLATE ON THE GOOD SIDE OF THE 2" X 4" STUDS, 3 1/2" THICK TYPICAL UNLESS NOTED OTHERWISE. ALL DIMENSIONS TAKEN FROM FACE OF STUDS

EXTERIOR WALLS:
SIDING AND/OR MASONRY OVER 1/2" GYPSUM SHEATHING ON THE GOOD SIDE OF 2" X 6" STUDS @ 16" O.C. OR AS NOTED. WALL TO BE PERFORMANCE COMPLIANCE REPORT. 1/2" GYPSUM WALL BOARD GLUE & SCREW. WALL TO BE 6 1/2" THICK WITH SIDING AND 10" THICK WITH MASONRY TYPICAL UNLESS NOTED OTHERWISE. ALL DIMENSIONS TAKEN FROM FRAMING FLOOR PLANS OR FOUNDATION CONTROL SEPARATION PLAN

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD OR FIRE RATED DOORS OR EQUIVALENT PER 2006 IRC SECTION R302.5.1
2. VENT ALL EXHAUST FANS TO EXTERIOR
3. WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEHIND MAIN RIDGE
4. INSTALL WATER SUPPLY AND DRAIN BOX SHEET BOX AT WASHING MACHINE LOCATION
5. USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE
6. ALL FIRST FLOOR INTERIOR DOORS TO BE PRIMED FOR 6-8" TALL DOORS. ALL SECOND FLOOR INTERIOR DOORS TO BE PRIMED 6-8" TALL DOORS UNLESS NOTED OTHERWISE. VERIFY W/ BUILDER
7. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION
8. PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS
9. GARAGE WALLS TO BE 2X6 STUDS IF OVER 9'-0" TALL
10. ALL EXTERIOR SLIDING GLASS DOORS TO BE VERIFIED W/ BUILDER FOR ACTIVE DIRECTION

WALL KEY

NEW 5"/0" WALL

EXISTING 5"/0" WALL TO REMAIN

NOTE: S.D. / S.D.C.
ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED W/ BATTERY BACK-UP PER CODE

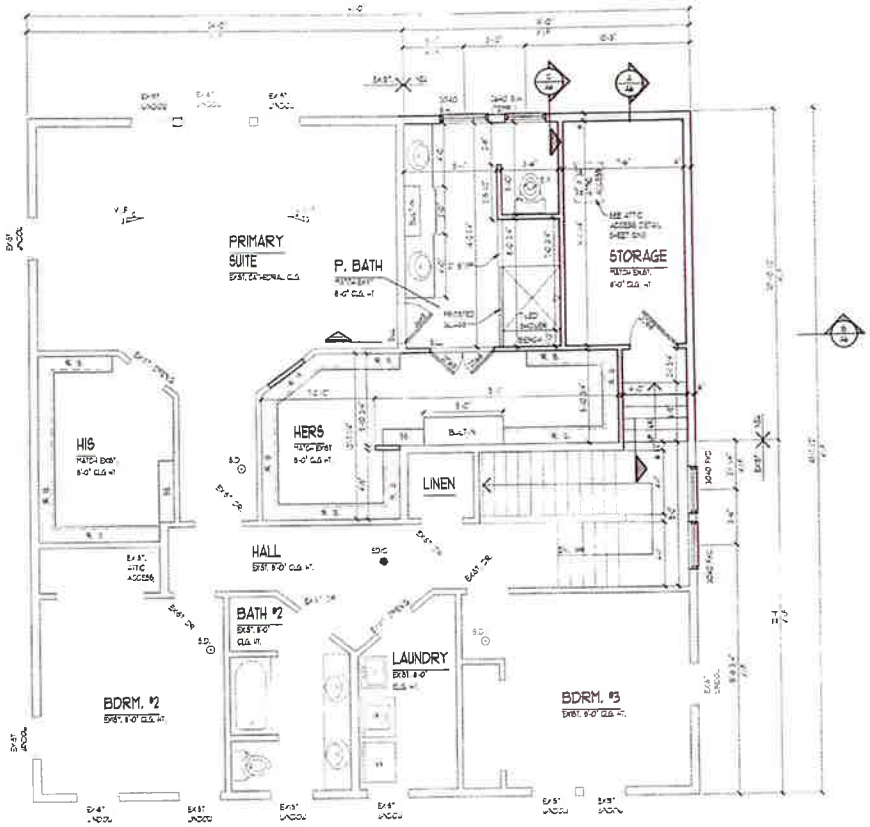
NOTE:
DOOR & WINDOW LOCATIONS
ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4 INCHES FROM PERPENDICULAR WALL FACE OF STUDS UNLESS NOTED OTHERWISE

NOTE:
VERIFY TILE/WOOD FLOOR AREAS FOR TILE W/ BUILDER

NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

NOTE:
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED
DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURE
GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITI
INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRE

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ELEVATION NOTES

1. ALL ROOF SECTIONS TO BE 7/16 SHEATHING OVER WATER SHIELD AND SHINGLES
2. PROVIDE ICE & WATER SHIELD TO 6'-0" COVERAGE AT ALL VALLEYS
3. PROVIDE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION
4. METAL FLASHING AS REQUIRED BY CODE
5. ROOF & VENT HOODS AS REQUIRED BY CODE
6. PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DRAINAGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES
7. CONTRACTOR TO VERIFY CLEARANCE OF MASONRY FROM TO BUILDING BRICK RACK

TYPICAL WINDOW DESIGNATION

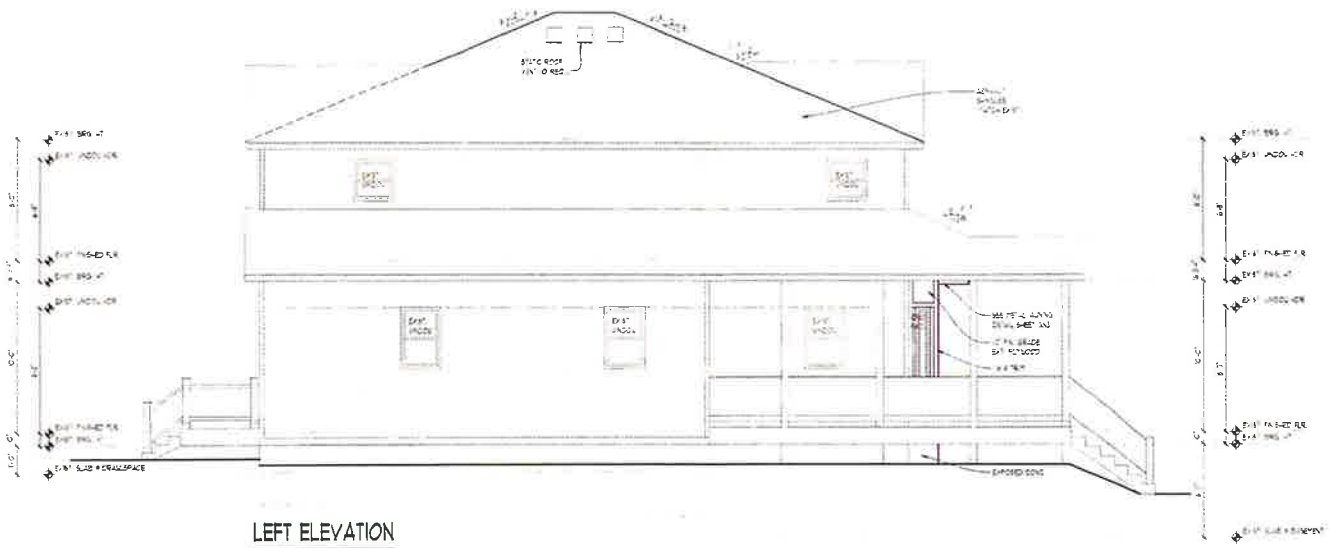
NOTE
GENERAL REFERENCE FOR ROOM OPENING SIZES ONLY. CONTRACTOR SHOULD VERIFY AREA FOR EXACT WINDOW SIZES & REQUIREMENTS

NOTE
ALL ASSEMBLY FRAMING TO BE VERIFIED BY BUILDER/HOMEOWNER PRIOR TO ORDERING WINDOWS

NOTE
CONTRACTOR MUST VERIFY ALL WINDOW SIZES & NOTIFY DESIGNER

NOTE:
OVERHANG DIMENSIONS ON PLANS FROM SHEATHING ONLY

NOTE:
ALL WOOD SIDING OVER 8" ABOVE EXTERIOR GRADE SURFACE BELOW TO BE TREATED OR HEAT TREATED OR HAVE DURABILITY PER CODE REQUIREMENTS



LEFT ELEVATION

NOTE:

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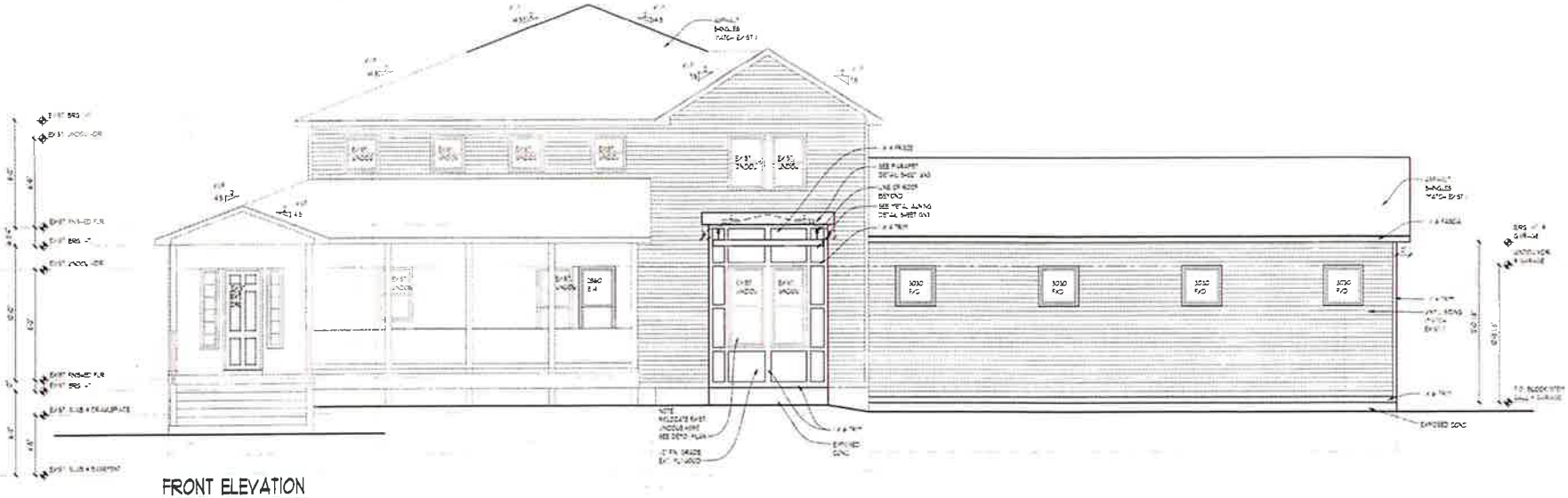
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION

PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF



FRONT ELEVATION

DESI

CREATIVE COLLA

WWW.TKHOMEB
41200 GRAND RI
SUITE 10
NOVI, MI 4
PHONE: (248)-4
FAX: (248)-4

CLIENT / PROJECT

ESCOTE
RENOVATION
50905 9 MILE RD.

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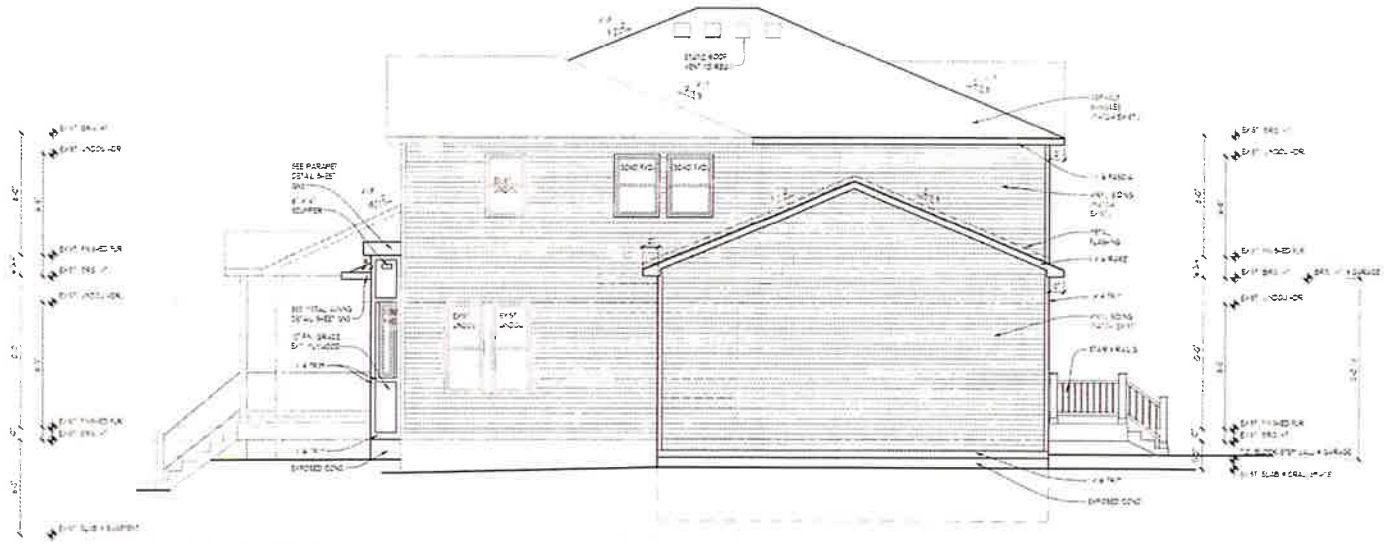

RIGHT ELEVATION

REAR ELEVATION

ELEVATION NOTES

TYPICAL WINDOW DESCRIPTION

NOTE:

NOTE:

NOTE:

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

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- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION

PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

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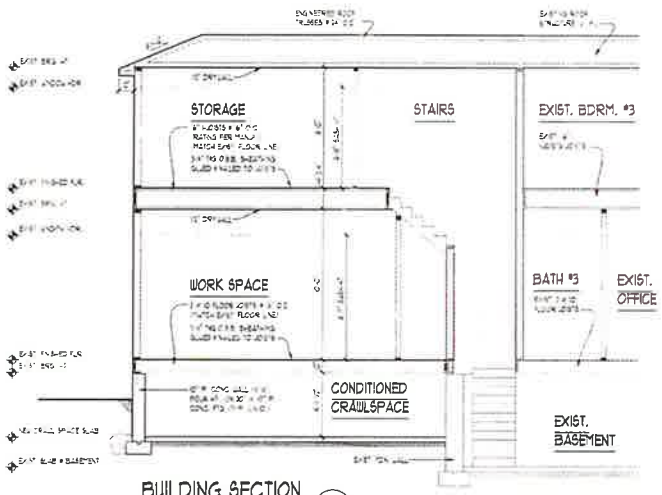
NOTE:

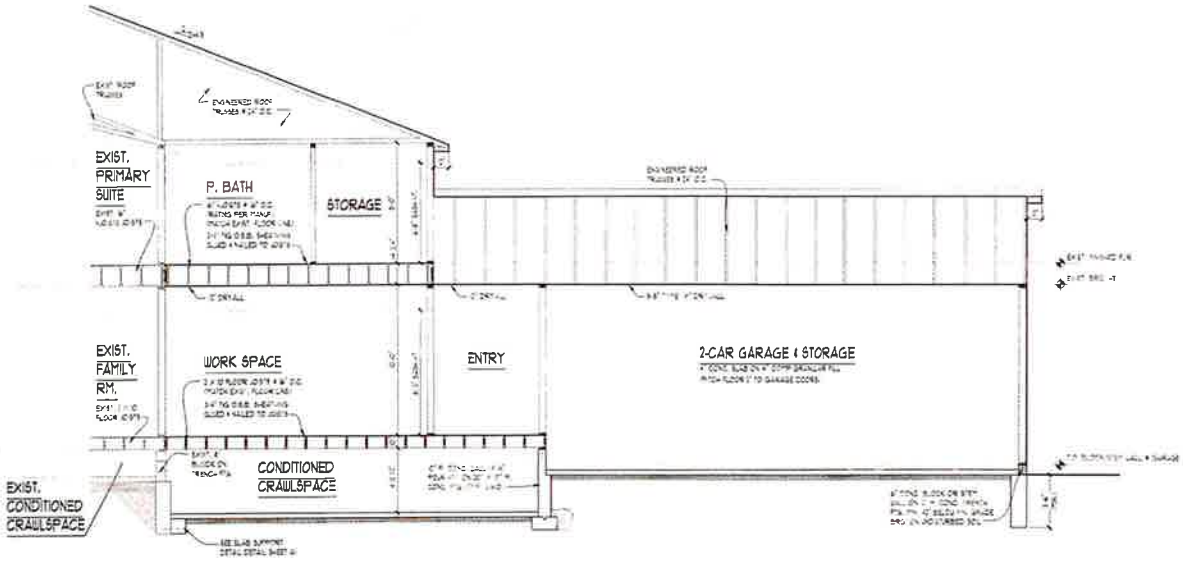
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION

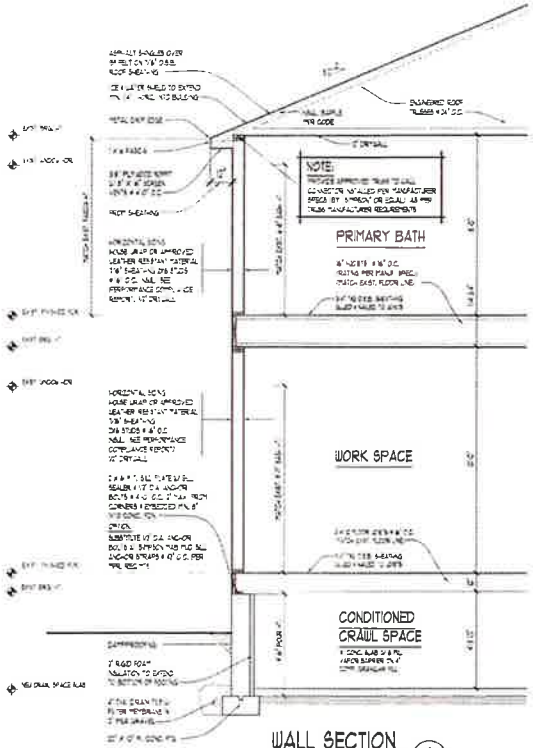
PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOF



BUILDING SECTION C A1-A3



BUILDING SECTION B A1-A3



WALL SECTION 4 A1-A3

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NOTE:

NOTE:

NOTE:

NOTE:

GROUT ALL CONCRETE BLOCK CORNER SOLID AT SUPPORT POINT

NOTE:

WOOD BEAM

STEEL BEAM

BRG WALL

BRG WALL ABOVE

PONY WALL

PONY WALL ABOVE

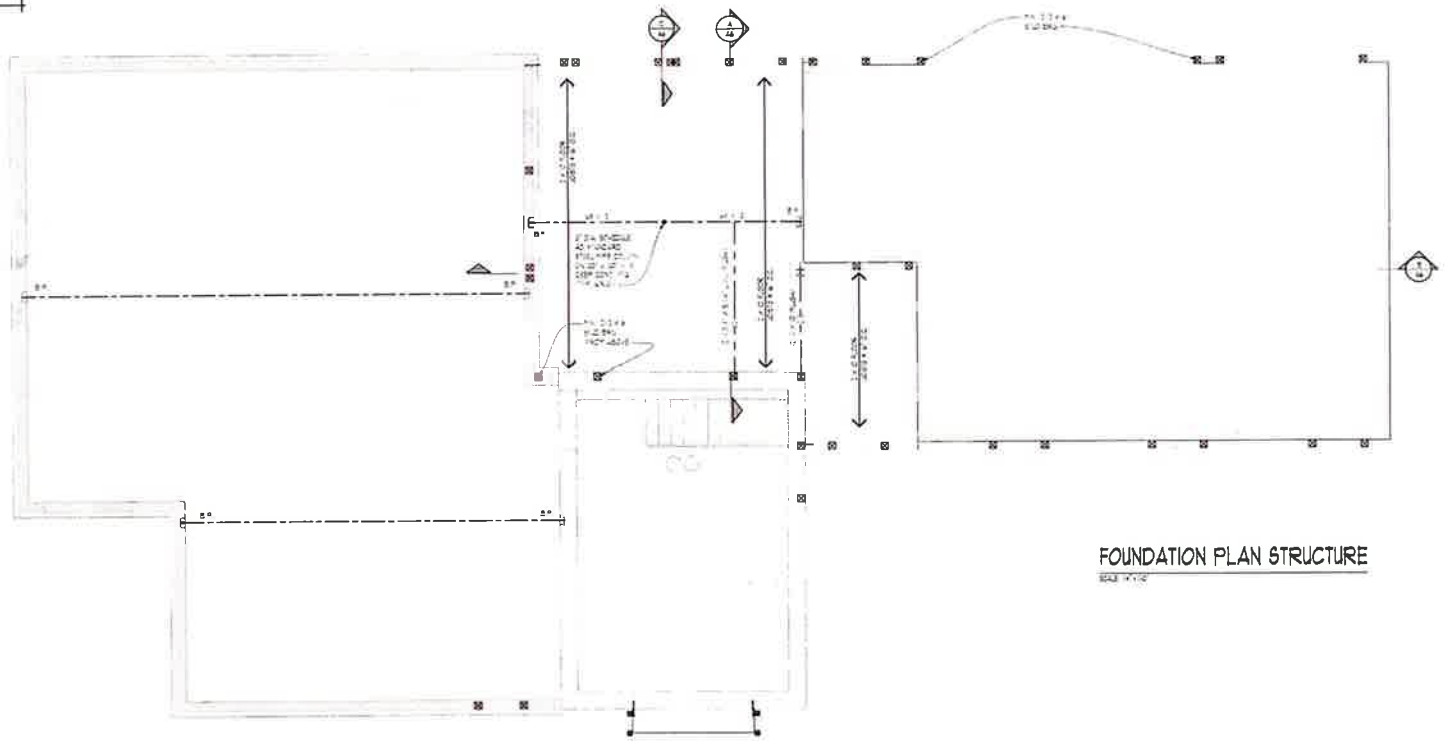
GENERAL BRACING NOTES

1. WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2018 IRC CODE
3. BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3
4. EXTERIOR BRACED WALL PANELS SURFACE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-SFP METHOD AS PRESCRIBED IN SECTION R602.10.4.1 AND
5. ALL SHEATHABLE SURFACES OF EXTERIOR WALLS, INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS, SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL. ASP SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE NAILED WITH 8d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
6. LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-SFP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5

(1) PROVIDE NO COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS

(2) R602.10.6 WALLS SHALL TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN TYPE 5 OF TABLE R602.10.1

(3) SEE CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CSPF) SHEET FOR NON-HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED THAT BE MINIMUM 3 1/2" OF SOLID SAWN OR LAMINATED VENEER LUMBER (LVL).



FOUNDATION PLAN STRUCTURE

SCALE: 1/4"=1'-0"

DESI

CREATIVE COLLA

NEW VISIONEER
4020 GRAND RIV
SUITE 30
NOVI, MI 48
PHONE: (248) 4
FAX: (248)-4

CLIENT / PROJECT

ESCOTE
RENOVATION
50905 9 MILE RD.

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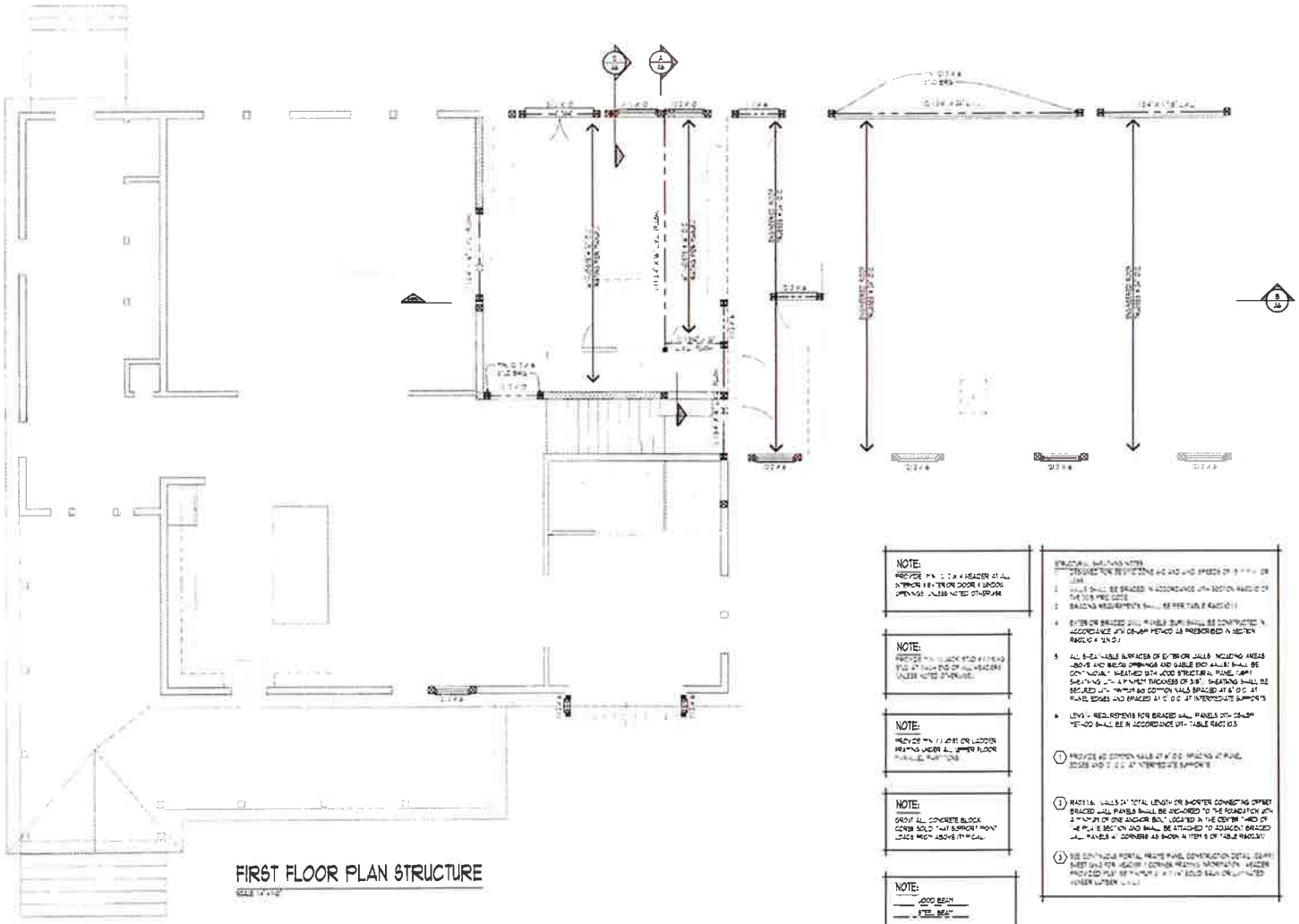

FIRST FLOOR PLAN STRUCTURE

NOTE:

NOTE:

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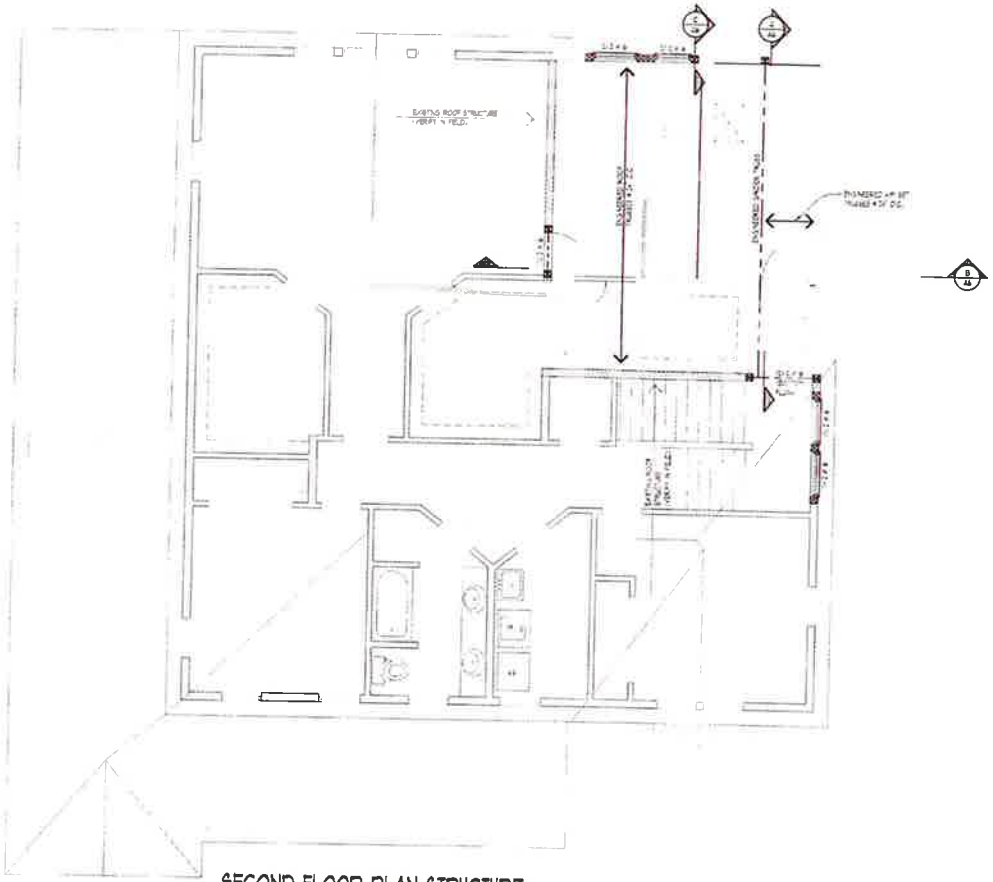

SECOND FLOOR PLAN STRUCTURE

NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE.

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE:
GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE:
WOOD BEAM
STEEL BEAM
BRG WALL
BRG WALL ABOVE
BRG WALL BRG WALL ABOVE
POINT LOAD
POINT LOAD FROM ABOVE

STRUCTURAL SHEATHING NOTES
1. DESIGNED FOR SEISMIC ZONE 3-C AND WIND SPEEDS OF 85 M.P.H. OR LESS
2. WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2015 IRC CODE
3. BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3
4. EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH GB-WSP METHOD AS PRESCRIBED IN SECTION R602.10.4.1.2
5. ALL SHEATHABLE SURFACES OF EXTERIOR WALLS INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS SHALL BE CONTINUOUSLY SHEATHED WITH GOOD ENGINEERING PRACTICE. WHEN BRACING WITH A PANEL THICKNESS OF 7/16" SHEATHING SHALL BE NEXT TO THE STUDS AS COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
6. LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN GB-WSP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5

(1) PROVIDE 8D COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS

(2) BASED ON WALL STUD LENGTH OR SHORTER CONNECTING STRUT BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN TYPE 2 IN TABLE R602.10.3

(3) SEE CONTINUOUS RIGID WALL FRAME WALL CONSTRUCTION DETAIL (SHEET S-1) FOR HOLD-DOWN CONNECTOR FASTENING INFORMATION. HOLD-DOWN FASTENERS MUST BE MINIMUM 5/8" DIA. BOLTS ONLY UNLESS NOTED OTHERWISE

DES
CREATIVE CO
WWW.THOMM
40200 GRAND
SUITE
NOVI, M
PHONE
FAX

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