

Questionnaire A – Applicant Cover Information and Procedures for Liquor License

The Novi City Council will consider whether an applicant's proposal for a liquor license is reasonable when measured against the information contained within this completed application. Please answer each question thoroughly. All answers should be typed or printed legibly and neatly in black ink. If the space provided is insufficient for a complete answer, use additional sheets of paper, following the same format used in the questionnaire and attach to that part of the application. Failure to provide all required information or attachments could result in delay or denial of liquor license. All liquor license applications are subject to final approval by the Novi City Council. Please refer to Novi Alcoholic Liquor Ordinance, Articles I-II.

1(a). **Applicant's personal information:**

Name: Robert Kalaj

Address: _____

Phone: _____

1(b). **Business location information:**

Name: Ardiana's Restaurant

Address: 41602 W. 10 mile Road
Novi, MI 48375

Phone: 248-349-2470

NOTE: If the applicant is a partnership, you must include the name and address of each partner and attach a copy of the partnership agreement. If the applicant is a privately held corporation, you must include the name and address of each corporate officer, member of the board of directors and/or stockholders. Attach a copy of the articles of incorporation.

2. Type of liquor license applying for (circle all those that apply): *(The rest answered on attached paper)*

☒ Class C ☐ Resort ☐ Tavern ☐ Club ☐ Hotel A B ☒ Quota ☐ Transfer ☐ Microbrewery/Brewpub

Theme of Proposed Business: _____

3. Street address and legal description of the property where liquor license is sought:

CITY OF NOVI, MICHIGAN

Liquor License Application

Questionnaires A and B

Page A-1

3. Street address and legal description of the property where liquor license is to be located:

41602 W. 10 MILE ROAD, NOVI, MICHIGAN 48375

T1N, R8E, SEC 23 PART OF SE 1/4 BEG AT PT DIST N 89-35-00 W 220 FT FROM SE SEC COR, TH N 89-35-00 W 710.80 FT, TH N 00-25-00 E 60 FT, TH S 89-35-00 E 86 FT, TH N 00-25-00 E 400 FT, TH ALG CURVE CONCAVE SELY, RAD 200 FT, CHORD BEARS N 45-25-00 E 282.84 FT, DIST OF 314.16 FT, TH S 89-35-00 E 586.72 FT, TH S 00-35-00 W 440 FT, TH N 89-35-00 W 160 FT, TH S 00-35-00 W 220 FT TO BEG 11.02 A

Questionnaire B – Administrative Background Information for Liquor License

1. What is the applicant's management experience in the alcohol/liquor business?

The theme of the proposed business is a warm, family-owned dining experience rooted in tradition, authenticity, and community. Ardiana's Restaurant specializes in homemade European and American fusion cuisine, offering a unique and flavorful twist that sets us apart from other establishments. Every dish is crafted with love, using time-honored family recipes and fresh, high-quality ingredients. The atmosphere is elegant yet inviting, designed to make guests feel at home while enjoying a memorable and satisfying meal. Our goal is to create a space where people gather not just to eat, but to connect—to celebrate milestones, enjoy meaningful conversations, and feel a true sense of belonging.

2. What is the applicant's general business management experience?

The applicant has over 20 years of experience in the restaurant and hospitality industry, including 13 years as the owner and operator of the current establishment. Throughout this time, they have been directly responsible for all aspects of business management, including staffing, training, budgeting, vendor relations, customer service, and compliance with health and safety regulations. Their hands-on leadership and long-term success reflect a deep understanding of operational efficiency, team development, and responsible service. This extensive experience ensures the applicant is well-equipped to manage a licensed establishment with professionalism and accountability.

3. What is the applicant's general business reputation?

The applicant has built and maintained an outstanding reputation within the Novi community through over a decade of consistent, high-quality service and community involvement. As a long-standing business owner, the applicant is known for professionalism,

integrity, and a genuine commitment to supporting local events, organizations, and causes. Their positive relationships with patrons, neighboring businesses, and local officials reflect a strong and respected presence in the community.

4. What is the applicant's financial status and ability to build and/or operate the proposed facility on which the proposed liquor license is to be located?

The applicant is financially stable and fully capable of operating the proposed facility. With over 13 years of successful ownership and management of the current restaurant, they have demonstrated strong financial responsibility and consistent business performance. The establishment is fully built and operational, with all necessary infrastructure in place. The applicant has a proven track record of maintaining financial solvency, managing operational costs effectively, and sustaining long-term profitability, ensuring their ability to responsibly support and maintain a liquor license.

5. What are the applicant's past criminal convictions involving moral turpitude, violence or alcoholic liquors?

No past criminal convictions.

6. Does the applicant use alcoholic beverages to excess?

No, the applicant does not consume alcohol and has never engaged in its use.

7. What is the effect that the issuance of a license would have upon the economic development of the surrounding area?

The issuance of a liquor license will positively contribute to the economic development of the surrounding area by enhancing the restaurant's ability to attract a broader customer base and increase revenue. This growth directly supports local employment opportunities and encourages continued investment in the neighborhood. In addition, the license will help draw new visitors to this part of Novi—many of whom may not have previously considered dining there due to limited full-service options. With a more complete dining experience, including beer, wine, and cocktails, we can bring renewed energy and activity to a corner of the city that is full of potential. As a long-standing business committed to quality, hospitality, and community connection, we are proud to be part of the effort to revitalize this area, foster new growth, and help it thrive as a vibrant destination for both locals and visitors.

8. What effect would the issuance of a license have on the health, welfare and safety of the general public?

The issuance of a liquor license will be managed with a strong commitment to the health, welfare, and safety of the general public. The applicant prioritizes responsible alcohol service

through comprehensive staff training programs, including compliance with state laws, recognizing signs of intoxication, and preventing sales to minors. Additionally, the restaurant enforces strict safety protocols such as regular monitoring of patron behavior, collaboration with local law enforcement when necessary, and maintaining a secure, welcoming environment. These measures ensure that the establishment operates responsibly and contributes positively to the community's overall safety and well-being.

9. Has the applicant received responses from the Police Department, Building Department and/or Fire Department with regard to the proposed facility?

The applicant maintains positive and collaborative relationships with these agencies to ensure full compliance with all safety and regulatory requirements.

10. What is the public need or convenience for issuance of a liquor license for this facility at the proposed location?

The issuance of a liquor license at our restaurant represents more than just an operational upgrade—it's a meaningful opportunity to better serve and grow with the community we've been proud to be a part of for over 13 years. Our passion has always been creating homemade, high-quality meals in a warm, welcoming environment. Time and again, our loyal guests have shared that the only thing missing from their experience is the ability to enjoy a glass of beer, wine, or a cocktail alongside their food. By offering that option, we will be able to meet a long-standing request from our community and attract new patrons who have avoided us due to the lack of that offering. This will strengthen our role as a local gathering place. This step not only supports the continued growth of our business but also contributes to the economic and social vitality of Novi. We're deeply committed to growing with our community, and this license is an important part of that shared future.

11. What is the uniqueness of the proposed facility when contrasted against other existing or proposed facilities and the compatibility of the proposed facility to surrounding architecture and land use?

The proposed facility is unique in every sense—blending deep community roots, elevated and heartfelt hospitality, and a thoughtfully designed space that stands apart from other existing or proposed establishments in the area. As a family-owned restaurant proudly serving the Novi community for over 13 years, we are known for our exceptional homemade food made with love, warm and genuine hospitality, and the kind of community connection that only comes from true local commitment. Unlike many newer or chain-style establishments, our restaurant reflects authenticity, tradition, and care. Every dish is made from scratch with real ingredients and family-driven passion. Our approach is personal and heartfelt, something that can't be replicated by larger corporate models. Beyond the food itself, our interior design has been meticulously curated to offer an elegant, modern dining experience unlike anything else in the immediate area.

The ambiance rivals that of high-end establishments in surrounding communities, offering Novi residents the same elevated feel—without needing to leave the city. From the moment guests walk in, they're surrounded by refined details, cozy touches, and a welcoming atmosphere that balances modern class with traditional charm. The facility is also fully compatible with the surrounding architecture and land use. Located in a well-established area, the restaurant is part of a plaza that was recently remodeled and given a beautiful facelift—adding fresh character and appeal to the neighborhood. The building and the exterior remain clean, professional, and respectful of the surrounding aesthetic. The addition of a liquor license will enhance our offerings without altering the structure or peaceful presence we've proudly maintained. Instead, it will help us continue to grow as a uniquely cherished part of Novi's dining and community experience.

12. Does the facility to which the proposed liquor license is to be issued comply with the applicable building, plumbing, electrical and fire prevention codes and zoning statutes and ordinances applicable to the City of Novi? Has the applicant received information from the appropriate departments?

Yes, the facility is fully compliant with all applicable building, plumbing, electrical, fire prevention codes, and zoning ordinances set forth by the City of Novi. It is located in a plaza where there has always been a restaurant establishment in that space for over 40 years. We have consistently maintained our establishment to meet or exceed all required safety and operational standards. The applicant has received the appropriate information and guidance from the relevant city departments and has never had any issues of non-compliance. We take great pride in operating a safe, well-maintained, and respectful facility within the community.

13. What effect will the facility to which the proposed liquor license is to be issued have upon vehicular and pedestrian traffic in the area?

The issuance of a liquor license is not expected to negatively impact vehicular or pedestrian traffic in the area. The facility is located within an established commercial zone and is supported by a large, well-designed parking lot that provides ample space and easy traffic flow for both vehicles and pedestrians. We have operated at this location for over 13 years without any traffic-related concerns. Any increase in business resulting from the license will be managed with the same level of care and responsibility we've always upheld, ensuring continued safety and convenience for our guests and the surrounding community.

14. What is the proximity of the proposed business facility to other similarly situated licensed liquor facilities?

There are a few similarly licensed facilities located within a mile of the proposed business, reflecting the area's established and growing dining scene. However, our restaurant offers a unique, family-owned experience centered around homemade food, warm hospitality,

and genuine community connection. The presence of nearby licensed establishments demonstrates a healthy demand for full-service dining options, and our liquor license would complement—not compete with—what already exists. Moreover, we are deeply committed to helping revive and reinvigorate this part of Novi. By enhancing our offerings and drawing more local support, we hope to breathe new life into the area, and create an even more vibrant, welcoming space for residents and visitors who have been waiting patiently for us to serve beer, wine, and cocktails.

15. What is the proximity of the proposed facility to complimentary uses such as office and commercial development?

The proposed facility is located in close proximity to a variety of complementary uses, including office buildings, retail centers, and several automotive dealerships. Positioned within a well-established commercial area, the restaurant is easily accessible to employees, customers, and visitors from nearby businesses. Over the years, we've become a convenient and trusted dining destination for local professionals—whether for lunch, casual meetings, or after-work meals. The addition of a liquor license will enhance our ability to serve this surrounding commercial community while contributing to a more dynamic and connected local business environment.

16. What effect would the proposed facility have upon the surrounding neighborhood and/or business establishments, including impacts upon residential areas, church and school districts?

The proposed facility is located in a well-established area surrounded by schools, churches, offices, small businesses, and long-time residential neighborhoods. We are proud to be situated near Novi Community School District and directly near Holy Family Church, with many local offices and businesses nearby. As a family-owned restaurant serving the community for over 13 years, we have always operated with deep respect and care for our neighbors. The addition of a liquor license will be managed with that same sense of responsibility and community awareness. Our goal is to enhance the dining experience—not alter the character of the neighborhood. We remain committed to providing a safe, welcoming, and family-friendly environment that reflects the values of the community around us. Beyond that, we are passionate about helping to revive this part of Novi—bringing renewed energy, welcoming back longtime residents, and attracting new guests who may not have visited before. We believe this license will allow us to grow thoughtfully and serve as a catalyst for even greater connection, vibrancy, and support among local businesses and families.

17. What proposed or actual commitments are being made by the applicant to establish permanency in the community?

The applicant is deeply rooted in the Novi community, having lived here for nearly 30 years and proudly owned and operated the restaurant for the past 13 years. This is not just a business—it's a lifelong commitment and a true family legacy. Our intention is to continue operating and growing the restaurant for generations to come, eventually passing it forward to our children so they can carry on what we've built with love, pride, and dedication. We are incredibly proud to live and own a business in a community that means so much to us. Our ties to Novi are personal and permanent, and we are fully committed to continuing to serve and uplift the area we call home. The restaurant is more than a place to eat—it's a reflection of our family's story and our devotion to a community we cherish deeply.

18. What utilities are available to serve the facility?

The facility is located in a well-established commercial plaza and is fully equipped with all essential utilities, including water, sewer, gas, electricity, and telecommunications. This location has been operating as a restaurant for many decades, with a long history of reliable utility infrastructure in place. All systems are active and maintained to meet current operational standards, ensuring safe, efficient, and uninterrupted service for both guests and staff.

19. What other factors should the Novi City Council consider?

As proud owners of Ardiana's Restaurant for the past 13 years and residents of Novi for nearly 30 years, we ask the Novi City Council to consider the deep commitment, heart, and purpose behind this request. Ardiana's has always been more than just a restaurant—it is a family-run labor of love, a reflection of our roots, and a place where the community gathers to enjoy homemade meals prepared with care and tradition. We've worked tirelessly to make Ardiana's a local staple—where people feel welcomed, cared for, and connected through food that's made from the heart. Every member of our family works in the restaurant, and every dish we serve carries the warmth of that love. It means the world to us to be part of this city we cherish so deeply, and we are honored to call Novi our home. For years, our loyal customers have asked us the same question: "Why don't you serve beer, wine, or cocktails?" The truth is, it's the one piece missing from the experience we want to offer. With a liquor license, we can not only fulfill that long-standing request but also welcome new guests who have been waiting for this addition to visit us. We truly believe this next step will help revitalize our part of Novi and strengthen the local dining scene while staying true to everything we stand for—community, quality, and heartfelt hospitality. We humbly and respectfully ask for your consideration and support in granting this license. This opportunity would mean the world to our family, our customers, and the neighborhood we proudly serve. Thank you for believing in small businesses like ours and for allowing us the chance to grow with the city we love. We are truly proud to be

part of such an incredible community.
God bless you all!

Saturday & Sunday
mornings
only

ARDIANA'S BRUNCH
Saturdays & Sundays only

FRESH QUICHE

[Homemade & Gluten-Free. Served with dressed organic mixed greens]

SPINACH & FETA 17
[Contains Onion]

ROASTED VEGETABLE 17
Zucchini, broccoli, onion, mushroom, pepper, cheese

TUSCAN 17
Tomato, basil, mozzarella, potato

FROM THE HEN HOUSE

CROQUE MADAME 16
Ham & gruyere cheese sandwich with béchamel sauce and sunny side up egg

SHAKSHUKA 16
Eggs poached in a homemade stew of tomatoes, olive oil, peppers, onion, garlic, cumin, paprika & cayenne pepper

BREAKFAST TACOS 16
Homemade chorizo, scrambled eggs, jack cheese, pico de gallo, salsa verde, & chipotle sauce

AVOCADO TOAST 16
Topped with avocado, tomatoes, scrambled eggs, feta, evoo & crushed red pepper

BREAKFAST WRAP 16
Eggs, chorizo, grilled potatoes, cheddar, pico de gallo, chipotle sauce & salsa verde

TRADITIONAL BREAKFAST 8 |Add Meat +4|
Two eggs, potatoes & homemade multi-grain toast

THE A|R SPECIAL 14
Two eggs, bacon & sausage links, potatoes OR pancakes & homemade multi-grain toast

EGGS BENEDICT
Made with homemade English muffins

LOS ALTOS 17

Choice of homemade chorizo or barbacoa, poached eggs, pico de gallo, hollandaise and paprika.
Served with dressed organic mixed greens

FLORENTINE 15

Poached eggs, tomatoes, sauteed spinach, hollandaise, topped with paprika. Served with Potatoes

SMOKED SALMON 19

Smoked salmon, avocado, poached eggs, hollandaise, dill and capers. Served with potatoes

TRADITIONAL 15

Poached eggs, ham, hollandaise, and topped with paprika. Served with Potatoes

BREAKFAST BOWLS

|Served with two any style eggs, homemade multi grain toast & homemade jam|
|Upgrade toast to homemade english muffin +2 or homemade cinnamon raisin toast +1|

BARBACOA BREAKFAST BOWL 17

Homemade barbacoa beef, potatoes, tomatoes, fresh jalapenos, onions, monterey cheese,
cilantro, chipotle sauce & salsa verde

TOMATO PESTO BREAKFAST BOWL 16

Potatoes, artichoke, spinach, feta, red pepper & tomato pesto

DOWN SOUTH BREAKFAST BOWL 16

Grilled redskin potatoes, bacon, green peppers, red onions, mushrooms & cheddar

OMELETTES

|Upgrade toast to homemade english muffin +2 or homemade cinnamon raisin toast +1|

CHORIZO OMELETTE 17

Homemade chorizo, jalapeno, onion, monterey cheese, pico de gallo, salsa verde & avocado.
Served with homemade corn tortillas

PROTEIN OMELETTE 17

Grilled chicken breast, egg whites, spinach, tomatoes & feta.
Choice of breakfast potatoes or dressed organic mixed greens

MEAT LOVERS OMELETTE 16

Bacon, sausage, ham & american cheese
Choice of breakfast potatoes or dressed organic mixed greens

COUNTRY OMELETTE 16

Bacon, tomatoes, onions, green peppers & swiss cheese
Choice of breakfast potatoes or dressed organic mixed greens

SWEET CREATIONS

All our batters are homemade from scratch

CHICKEN & WAFFLES 18

Bacon & cheddar stuffed waffle, topped with our homemade signature fried chicken

LIMONCELLO PANCAKES 15

NUTELLA PANCAKES 15

TRADITIONAL PANCAKES 12

STRAWBERRY WHITE CHOCOLATE \$15

Choice of waffle or pancake. white chocolate chips, fresh strawberries, whipped cream

CARAMEL BANANA 15

Choice of waffle or pancake. bananas, homemade caramel sauce, nutella & whipped cream

RASPBERRY BLISS PANCAKES 15

Stuffed with raspberries, white chocolate chips & whipped cream

STRAWBERRY SHORTCAKE FT 15

French toast stuffed with fresh strawberries & cream

FRENCH TOAST 12

NUTELLA CRÊPE 12

Fresh bananas, nutella & whipped cream

BERRY CRÊPE 12

Fresh berries, homemade three berry sauce & whipped cream

RONALD'S CRÊPE 12

Homemade limoncello sauce, three berry sauce & whipped cream

PLUM & GOAT CHEESE CREPE 12

Homemade plum sauce and goat cheese. & whipped cream

LUNCH

SALADS

Add chicken +6, gyro meat +6 or salmon +10

ARDIANA'S SPINACH SALAD

Roasted red peppers, feta cheese, red onions, olives, and creamy balsamic

14

MARIZABELA CHICKEN SALAD

Organic mixed greens, bacon, chicken, feta cheese, cucumbers, olives, tomatoes, tortilla strips, and white wine vinaigrette

18

GREEK SALAD

Tomatoes, chickpeas, feta cheese, pepperoncini, olives, cucumbers, beets and greek dressing

12

ATHENIAN SALAD

Feta, onions, green peppers, olives, tomatoes, celery, cucumbers, beets, dill, and greek dressing

14

MICHIGAN CHICKEN SALAD 18

Organic mixed greens, grilled chicken, gorgonzola cheese, dried cherries, walnuts, & raspberry vinaigrette

CAESAR SALAD 12

Romaine, parmigiano reggiano, croutons, tossed in our homemade dressing

MAURICE SALAD 18

Ham, chicken, American & Swiss cheese, hard bodied egg & gherkin pickles. Maurice dressing

BISTRO COBB SALAD 18

Chicken, bacon, tomatoes, gorgonzola cheese, avocado and boiled egg. Ranch dressing

HANDHELDS

Add Fries or Soup +3 Add Greek or Caesar salad +5

AVOCADO CHICKEN WRAP

Grilled chicken, avocado, lettuce, tomatoes and feta cheese

13

CRISPY CHICKEN WRAP 13

Homemade fried chicken breast, cheddar, lettuce, tomatoes and mild chipotle mayo

LAMB GYRO 12

Tomatoes, onions & tzatziki sauce.

CHICKEN GYRO 12

Lettuce, tomatoes, onions & tzatziki sauce

Daily Mon. - Sat.

DINNER

STARTERS

STEAK BITES 22

Juicy chunks of filet mignon with our signature sauce

EGGPLANT PARMESAN 18

Lightly breaded eggplant layered in homemade pomodoro sauce and cheese

ARDIANA'S CRISPY CHICKEN 16

Hand battered and fried chicken breast

ROASTED BRUSSEL SPROUTS 16

Caramelized onions, bacon, candied
walnuts and balsamic glaze

FROMAGE FRIT 14

Homemade lightly breaded fried cheese

ARANCINI 16

Lamb & veal, peas, and mozzarella saffron risotto balls

SALADS

Add chicken +6, gyro meat +6 or salmon +10

ARDIANA'S SPINACH SALAD

Roasted red peppers, feta cheese, red onions, olives, and creamy balsamic 14

MARIZABELA CHICKEN SALAD

Organic mixed greens, bacon, chicken, feta cheese, cucumbers, olives, tomatoes, tortilla
strips, and white wine vinaigrette 18

GREEK SALAD

Tomatoes, chickpeas, feta cheese, pepperoncini, olives, cucumbers, beets and greek
dressing 12

ATHENIAN SALAD

Feta, onions, green peppers, olives, tomatoes, celery, cucumbers, beets, dill, and greek
dressing 14

MICHIGAN CHICKEN SALAD

Organic mixed greens, grilled chicken, gorgonzola cheese, dried cherries, walnuts, and
raspberry vinaigrette 18

CAESAR SALAD

Romaine, parmigiano reggiano, croutons, tossed in our homemade dressing 12

Continued Next Page

DINNER

PASTA

PASTA ARDIANA

Sautéed mushrooms, onions, roasted red pepper and tomato cream sauce 22

CHICKEN PARMESAN

Lightly breaded chicken served with marinara rigatoni 24

SALMON PASTA

Pan seared salmon, broccolini & cream sauce 28

SHRIMP ALFREDO

24

ENTREE

GOAT CHEESE CHICKEN

Grilled chicken, goat cheese, basil, sun dried tomatoes, rigatoni pasta & alfredo sauce 24

CHICKEN LIMONE

Sautéed chicken, lemon, capers, artichoke, and roasted potato 24

CHICKEN KEBAB

Grilled chicken, green and red peppers, onions and baked rice 24

TUSCANY CHICKEN

Roasted red peppers, grilled onions, mushrooms, mozzarella cheese and roasted potato 24

LAMB SHANK

Baked lamb shank, rice and roasted vegetables 34

SHORT RIB

Braised short rib over garlic mashed potato 32

BEEF STROGANOFF

Beef chunks and mushrooms in a savory sauce served over noodles 28

SEAFOOD

PROVENÇAL SALMON \$27

Tomato, basil, garlic, chives, evoo, and roasted potato

MAHI MAHI \$27

lemon, capers, artichoke, sundried tomato, basil, and roasted potato 27

MEDITERRANEAN WHITE FISH

Broiled white fish and baked rice topped with evoo, lemon, red onion, cucumbers, and tomatoes 26

Add a Greek or Caesar salad to accompany your dinner +5

Continued Next Page

DINNER

KIDS MENU

Served with drink

CHICKEN STRIPS & FRIES 8

RIGATONI PASTA 8

Marinara or alfredo sauce

SIDES

SIGNATURE PARMESAN FRIES 7

HOMEMADE MAC & CHEESE 12

BROCCOLINI 9

ROASTED VEGETABLE 9

GRILLED CHICKEN BREAST 9

GYRO MEAT 9

RICE OR GRILLED POTATOES 7

MASHED POTATO 7

BEVERAGES

Coke 350, Diet Coke 350, Sprite 350, Lemonade 350 Ginger Beer 4

San Pellegrino Sparkling Natural Mineral Water 4

COFFEE

Coffee 300 Espresso 2, Cappuccino 5, Latte 6, Cold Brew 4,

Signature European Hot Chocolate 5

TEA

Chai Latte 6, Matcha Latte 6

Hot Tea: Earl Grey 4, Breakfast 4, Lemon Ginger 4, Chamomile 4, Peppermint 4,

Unsweetened Iced Tea 350

Sweetened Raspberry Iced Tea 350

Arnold Palmer 350

HOUSEMADE DESSERTS

Suggested tableside by server.

Mon - Fri only
11-4 only

LUNCH SPECIALS

|Add Fries +3| |Add Soup +3| |Add Greek Salad +5| |Add Caesar Salad +5|

QUICHE \$16

Fresh daily homemade quiche selections served with dressed organic mixed greens

CROQUE MADAME \$15

Ham & gruyere cheese sandwich with béchamel sauce and sunny side up egg

A|R BURGER \$15

Handmade smashed patties, applewood bacon, cheddar cheese, grilled onions, lettuce, tomatoes, pickles, mayo & chipotle sauce

TUNA TWIST SANDWICH \$15

Multi-grain bread, tuna, swiss cheese, fresh spinach, grilled onion, avocado & chipotle sauce

CHICKEN CAPRESE SANDWICH \$14

Homemade focaccia bread, grilled chicken, mozzarella, spinach, tomatoes, balsamic, & pesto

AVOCADO CHICKEN WRAP \$13

Grilled chicken, avocado, lettuce, tomatoes & feta cheese

CRISPY CHICKEN WRAP \$13

Homemade fried chicken, cheddar, lettuce, tomatoes & mayo

CHICKEN CAESAR WRAP \$13

Grilled chicken, romaine lettuce, parmesan reggiano & caesar dressing

LAMB GYRO \$12

Tomatoes, onions & tzatziki sauce

CHICKEN GYRO \$12

Lettuce, tomatoes, onions & tzatziki sauce

A|J CHIPOTLE BOWL \$18

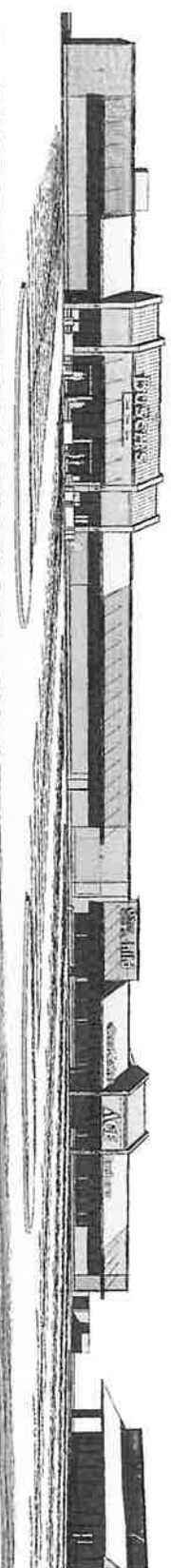
Rice, black beans, pico de gallo, fajita veggies, cheddar jack cheese, salsa verde & chipotle sauce

Choice of: Chicken or Barbacoa Beef

NOVI TEN SHOPPING CENTER RENOVATION

41400-41774 W. Ten Mile Road

Novi, Michigan 48375



Index of Drawings

NO.	DESCRIPTION	DATE
1	GENERAL NOTES	10/1/00
2	SECTION 01000 - GENERAL NOTES	10/1/00
3	SECTION 02000 - FOUNDATIONS	10/1/00
4	SECTION 03000 - CONCRETE	10/1/00
5	SECTION 04000 - STEEL	10/1/00
6	SECTION 05000 - PAINTS AND COATINGS	10/1/00
7	SECTION 06000 - ROOFING	10/1/00
8	SECTION 07000 - FLOORING	10/1/00
9	SECTION 08000 - PARTITIONS	10/1/00
10	SECTION 09000 - GLASS	10/1/00
11	SECTION 10000 - ELEVATORS	10/1/00
12	SECTION 11000 - MECHANICAL	10/1/00
13	SECTION 12000 - ELECTRICAL	10/1/00
14	SECTION 13000 - TELECOMMUNICATIONS	10/1/00
15	SECTION 14000 - SPECIALTIES	10/1/00
16	SECTION 15000 - SIGNAGE	10/1/00
17	SECTION 16000 - FURNITURE	10/1/00
18	SECTION 17000 - PLANTING	10/1/00
19	SECTION 18000 - IRRIGATION	10/1/00
20	SECTION 19000 - EXTERIOR LIGHTING	10/1/00
21	SECTION 20000 - INTERIOR LIGHTING	10/1/00
22	SECTION 21000 - AUDIO/VIDEO	10/1/00
23	SECTION 22000 - SECURITY	10/1/00
24	SECTION 23000 - SAFETY	10/1/00
25	SECTION 24000 - ACCESSIBILITY	10/1/00
26	SECTION 25000 - HISTORIC PRESERVATION	10/1/00
27	SECTION 26000 - ENVIRONMENTAL	10/1/00
28	SECTION 27000 - ARCHITECTURAL MODEL	10/1/00
29	SECTION 28000 - CONSTRUCTION MANAGEMENT	10/1/00
30	SECTION 29000 - PROJECT CLOSEOUT	10/1/00

Note: The following drawings were prepared by professional consultants under separate contract to the owner and are included here for reference only.

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1	GENERAL NOTES	10/1/00
2	SECTION 01000 - GENERAL NOTES	10/1/00
3	SECTION 02000 - FOUNDATIONS	10/1/00
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5	SECTION 04000 - STEEL	10/1/00
6	SECTION 05000 - PAINTS AND COATINGS	10/1/00
7	SECTION 06000 - ROOFING	10/1/00
8	SECTION 07000 - FLOORING	10/1/00
9	SECTION 08000 - PARTITIONS	10/1/00
10	SECTION 09000 - GLASS	10/1/00
11	SECTION 10000 - ELEVATORS	10/1/00
12	SECTION 11000 - MECHANICAL	10/1/00
13	SECTION 12000 - ELECTRICAL	10/1/00
14	SECTION 13000 - TELECOMMUNICATIONS	10/1/00
15	SECTION 14000 - SPECIALTIES	10/1/00
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21	SECTION 20000 - INTERIOR LIGHTING	10/1/00
22	SECTION 21000 - AUDIO/VIDEO	10/1/00
23	SECTION 22000 - SECURITY	10/1/00
24	SECTION 23000 - SAFETY	10/1/00
25	SECTION 24000 - ACCESSIBILITY	10/1/00
26	SECTION 25000 - HISTORIC PRESERVATION	10/1/00
27	SECTION 26000 - ENVIRONMENTAL	10/1/00
28	SECTION 27000 - ARCHITECTURAL MODEL	10/1/00
29	SECTION 28000 - CONSTRUCTION MANAGEMENT	10/1/00
30	SECTION 29000 - PROJECT CLOSEOUT	10/1/00

Code Data

2015 International Building Code
2015 International Fire Code
2015 International Energy Conservation Code
2015 International Existing Building Code
2015 International Residential Code
2015 International Vehicle Code
2015 International Zoning Ordinance
2015 Michigan Building Code
2015 Michigan Fire Code
2015 Michigan Energy Code
2015 Michigan Existing Building Code
2015 Michigan Residential Code
2015 Michigan Vehicle Code
2015 Michigan Zoning Ordinance

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2015 International Vehicle Code
2015 International Zoning Ordinance
2015 Michigan Building Code
2015 Michigan Fire Code
2015 Michigan Energy Code
2015 Michigan Existing Building Code
2015 Michigan Residential Code
2015 Michigan Vehicle Code
2015 Michigan Zoning Ordinance

General Notes

1. The owner has provided the following data for the project:
2. The project is located at 41400-41774 W. Ten Mile Road, Novi, Michigan 48375.
3. The project is a renovation of an existing building.
4. The project is a 100,000 square foot building.
5. The project is a 100,000 square foot building.
6. The project is a 100,000 square foot building.
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29. The project is a 100,000 square foot building.
30. The project is a 100,000 square foot building.

Site to Dimensioning

See Section 01000 for details.

Location Map



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General Notes

1. All work shall be in accordance with the latest edition of the Michigan Department of Transportation (MDOT) Standard Specifications for Construction, and the latest edition of the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings.

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Specific Demolition Notes

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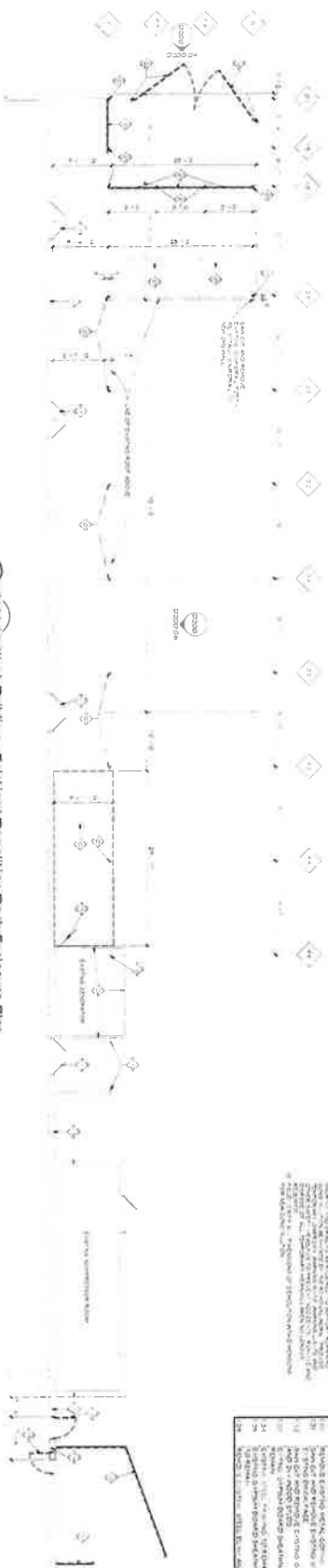
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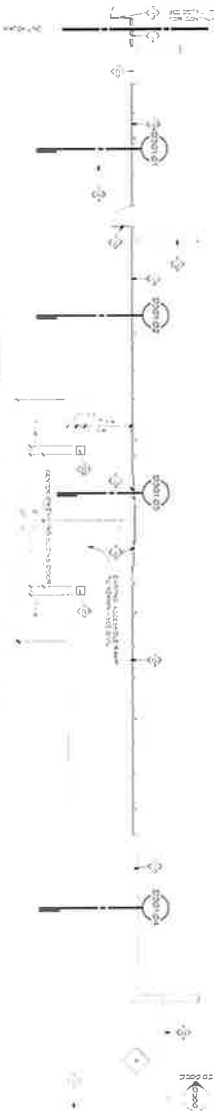
SEAGRAM+HAWKINS
ASSOCIATES
ARCHITECTS
& PLANNERS, INC.

37000 International Hwy
Suite 100
Mn 55354
P: 954-932-0001
F: 954-932-0088
www.s-ha.com

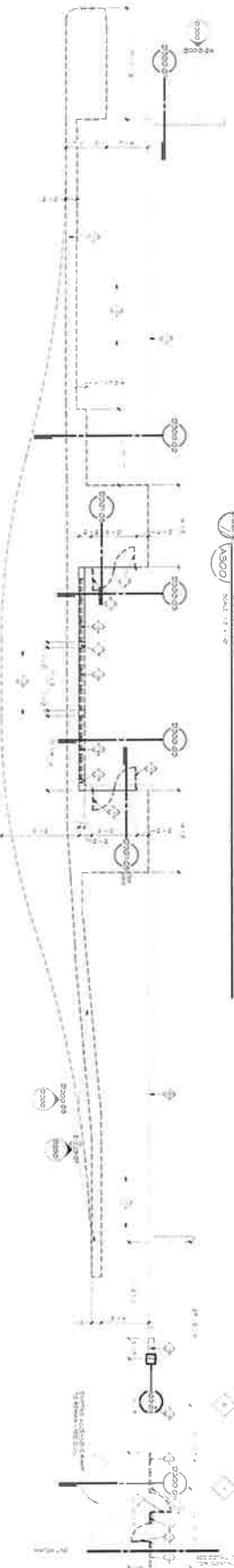
D1000 West Building - Existing/ Demolition Dock Enclosure Plan



D1000 West Building - Existing/ Demolition Sidewalk Plan, Partial



D1001 West Building - Existing/ Demolition Sidewalk Plan, Partial



PROJECT NAME:
NORTON SHOPPING
CENTER
RENOVATION

PROJECT LOCATION:
41400-41774 W. Ten
Mile Road
Novi, Michigan 48375

DATE / REVISION:
July 19, 2023 Revision
August 1, 2023 Revised

Sheet Title:
West Building -
Existing/
Demolition
Sidewalk Plans

Project Number:
2534

Sheet Number:
D100

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General Demolition Notes

- 1. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED IN ACCORDANCE WITH THE FOLLOWING NOTES.
- 2. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED IN ACCORDANCE WITH THE FOLLOWING NOTES.
- 3. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED IN ACCORDANCE WITH THE FOLLOWING NOTES.
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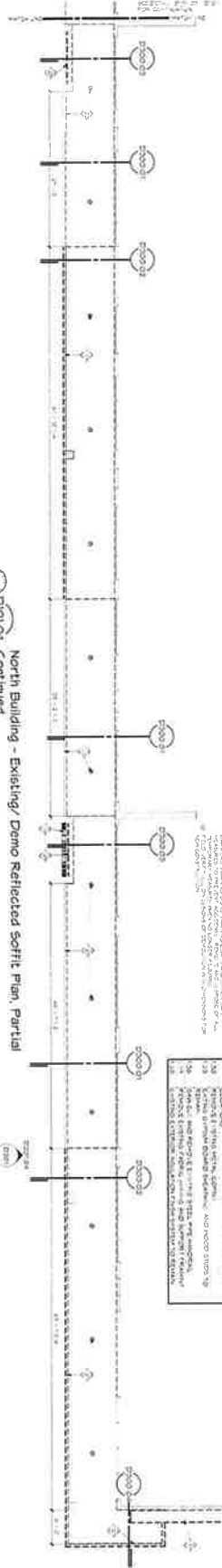
General Notes

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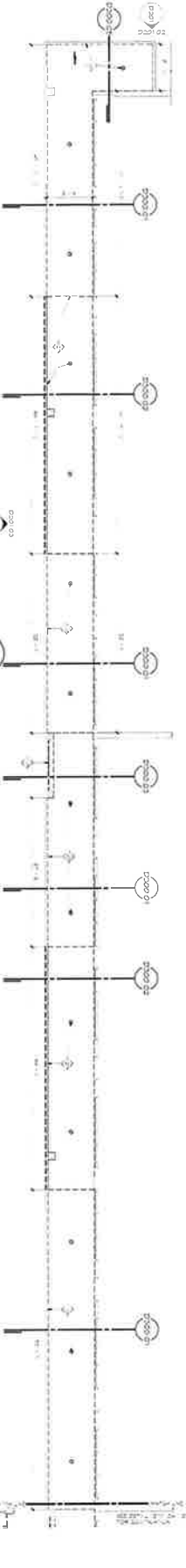


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ASSOCIATES
ARCHITECTS
& PLANNERS INC.

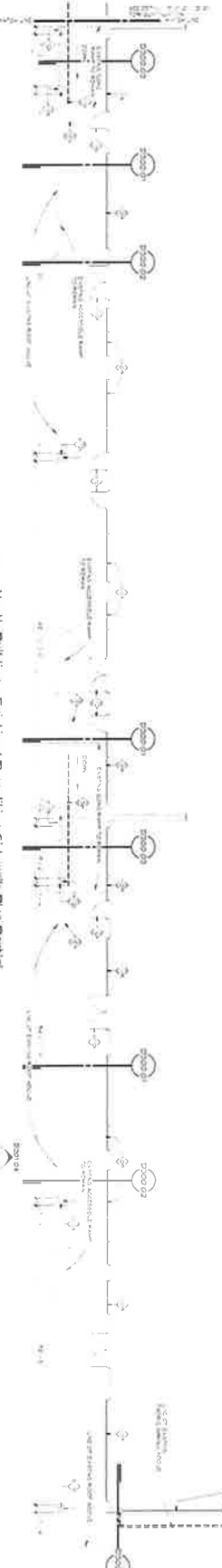
27000 Administrative Hwy
Suite 100
P.O. Box 552 • 48068
Novi, Michigan 48068
P: 480-552-6098
F: 480-552-6099
www.staarchitects.com



D101a North Building - Existing/ Demo Reflected Soffit Plan, Partial



D101b North Building - Existing/ Demo Reflected Soffit Plan, Partial



D101d North Building - Existing/ Demo Reflected Soffit Plan, Partial



D101f North Building - Existing/ Demo Reflected Soffit Plan, Partial

D101g North Building - Existing/ Demo Reflected Soffit Plan, Partial



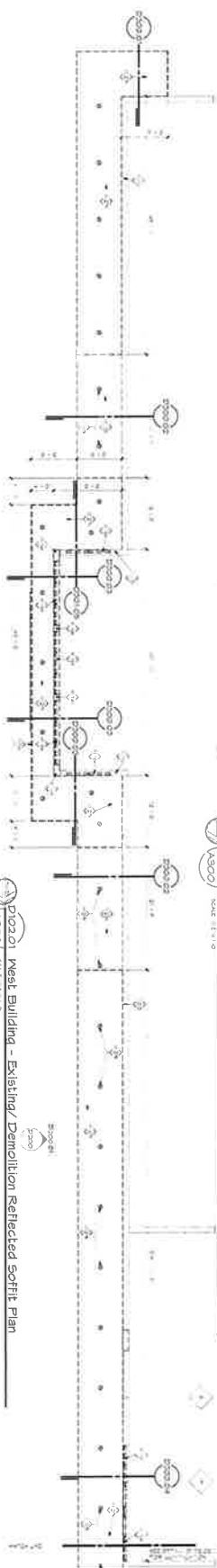
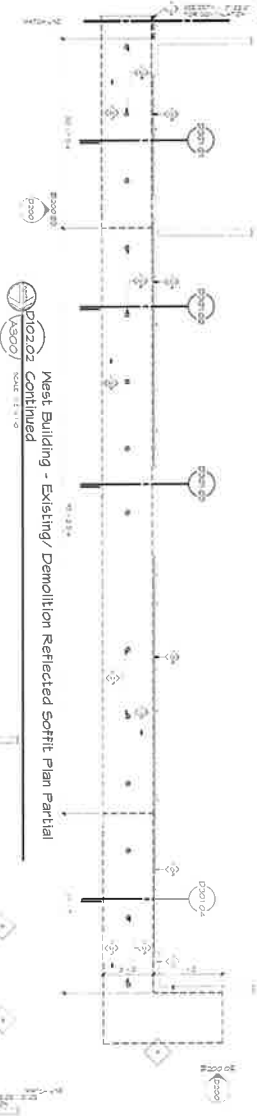
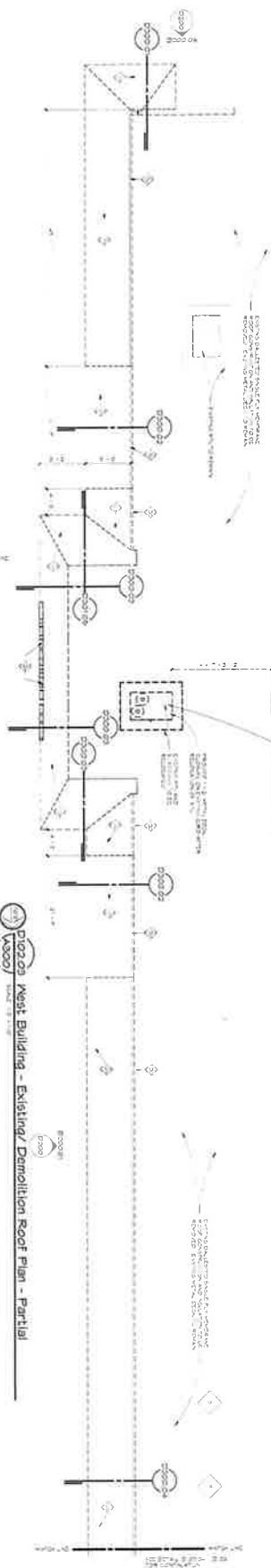
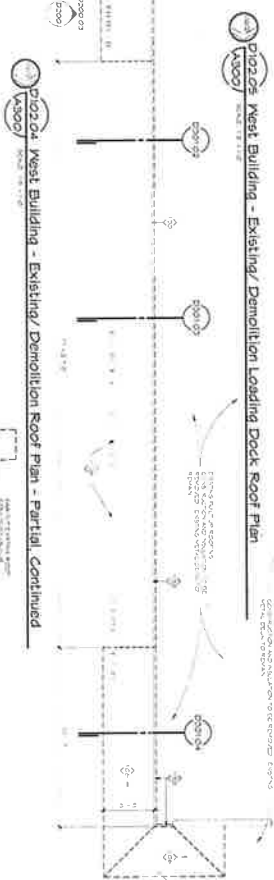
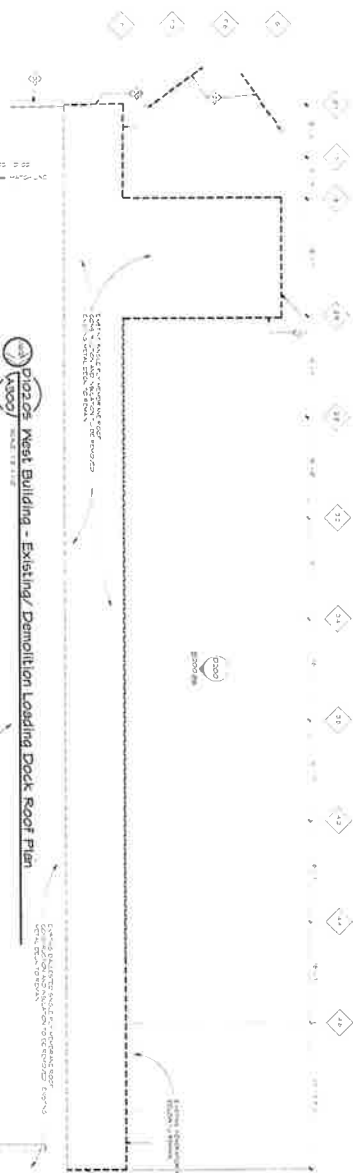
Project Name:
NOVI TEN SHOPPING
CENTER
RENOVATION

Project Location:
41400-41774 W. Ten
Mile Road
Novi, Michigan 48068

Sheet Title:
North Building -
Existing/
Demolition
Sidewalk Plan &
Reflected Soffit
Plan

Project Number:
2534

Sheet Number:
D101



General Demolition Notes

Specific Demolition Notes

[illegible]

General Notes

[illegible][illegible]

STA

**SIEGAL/TUOMAILL
ASSOCIATES
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29200 northwestern Hwy

suite 160
southfold, mi 48034
p • 248 • 393 • 00 • 31
f • 248 • 393 • 00 • 35
www.sfn.michrods.com

10

10

2

1

project name:

NOVITEN SHOW
CENTER
RENOVATION

project location:
41400-41774 W
Mile Road
Novi, Michigan

date/ revision:

August 1, 2009

sheet title
West Building

Existing/
Demolition
Reflected S

& Roof Plan

project number:

2534
sheet number:

D102
REC'D - 02/20/24

General Demolition Notes

1. DEMOLITION SHALL BE ACCORDING TO THE FOLLOWING NOTES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.
4. ALL DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED OF AT AN APPROVED LANDFILL.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL REMAINING STRUCTURES AND UTILITIES.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. THE CONTRACTOR SHALL MAINTAIN A SAFE WORK AREA AT ALL TIMES.
8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES.
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SEGA/LOWMAN ASSOCIATES ARCHITECTS & PLANNERS INC.
20200 Northwestern Hwy
Suite 100
Farmington Hills, MI 48334
P: 248-324-0000
F: 248-324-0000
WWW.SEGALOWMAN.COM

D103.04 North Building - Existing/ Demolition North Elevation, Partial
D101 SCALE 1/8" = 1'-0"

D103.03 North Building - Existing/ Demolition North Elevation, Partial
D101 SCALE 1/8" = 1'-0"

D103.02 North Building - Existing/ Demolition Roof Plan, Partial Continued
A101 SCALE 1/8" = 1'-0"

D103.01 North Building - Existing/ Demolition Roof Plan, Partial
A101 SCALE 1/8" = 1'-0"

PROJECT NAME:
NOVI TEN SHOPPING
CENTER
RENOVATION

PROJECT LOCATION:
41400-41774 W. Ten
Mile Road
Novi, Michigan 48375

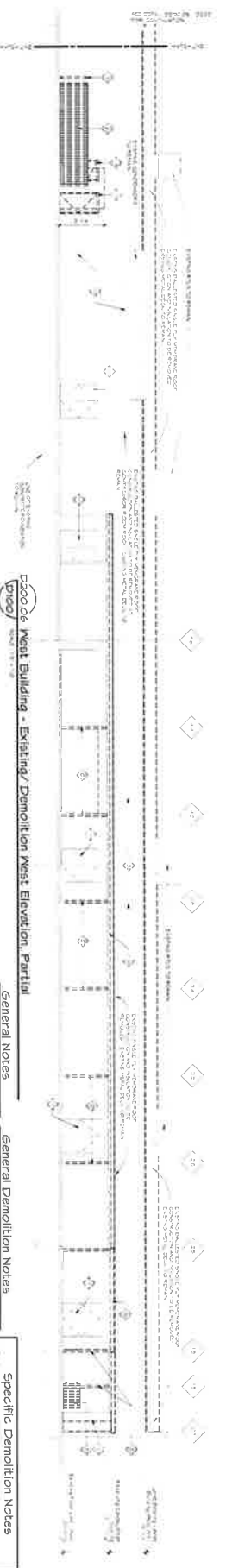
DATE: 10/01/2017
DRAWN BY: J. H. HARRIS
CHECKED BY: J. H. HARRIS
APPROVED BY: J. H. HARRIS

SHEET TITLE:
North Building -
Existing/
Demolition Roof
Plan & Exterior
Elevations

PROJECT NUMBER:
2534

SHEET NUMBER:
D103

CSW/WH 02/2021



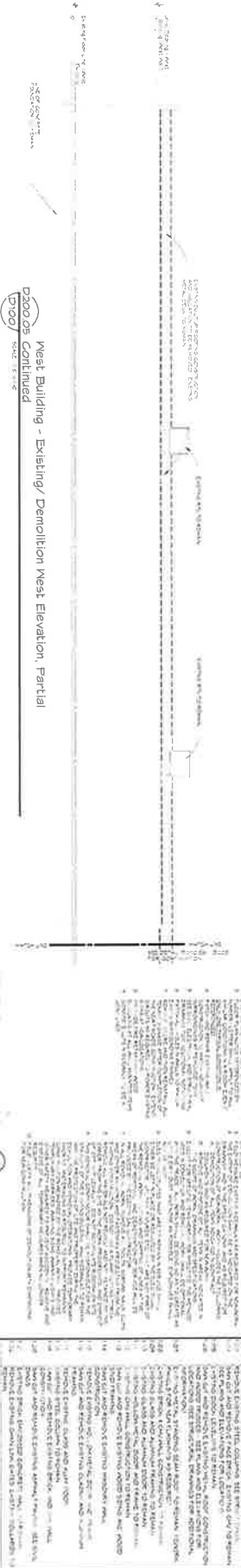
STA
SIEGA/NOUMALA
ASSOCIATES
ARCHITECTS
& PLANNERS INC.
27000 Independence Hwy
Suite 100
Livonia, MI 48150
P + 248 252 0000
F + 248 252 0004
WWW.STA-ARCHITECTS.COM

D20006 West Building - Existing/ Demolition West Elevation, Partial
D20006
Scale: 1/8" = 1'-0"

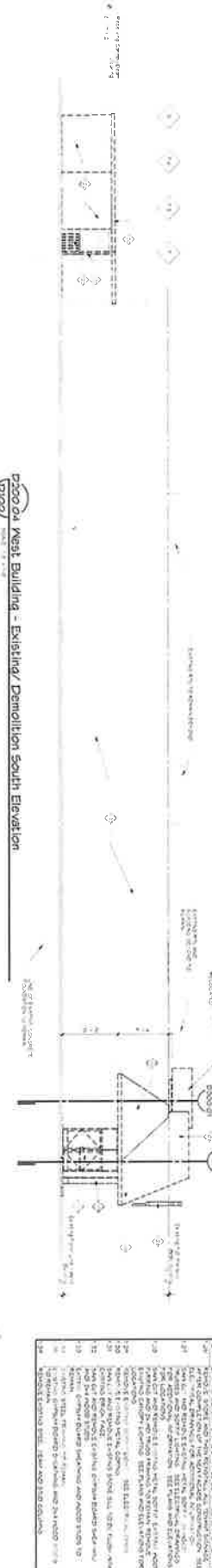
General Notes

General Demolition Notes

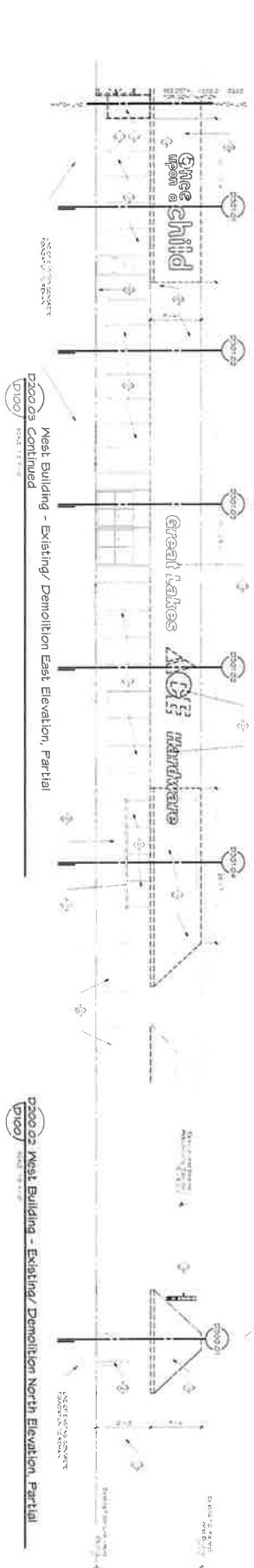
Specific Demolition Notes



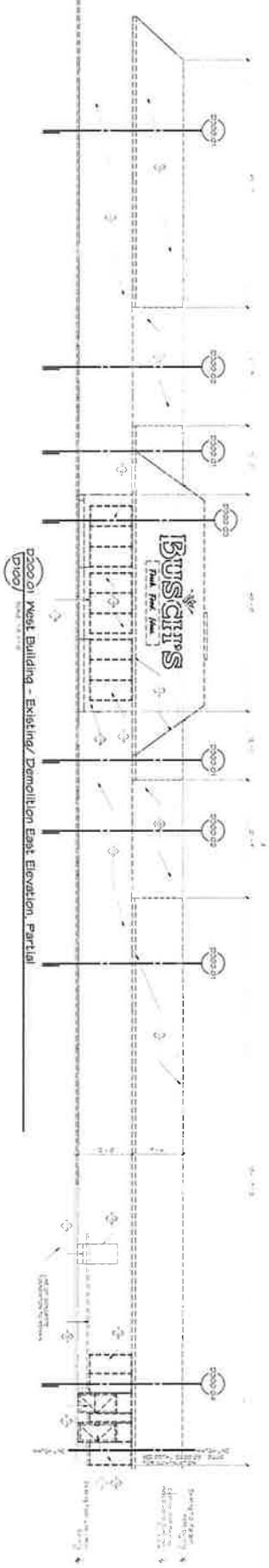
D20005 West Building - Existing/ Demolition West Elevation, Partial
D20005
Scale: 1/8" = 1'-0"



D20004 West Building - Existing/ Demolition South Elevation
D20004
Scale: 1/8" = 1'-0"



D20003 West Building - Existing/ Demolition East Elevation, Partial
D20003
Scale: 1/8" = 1'-0"



D20001 West Building - Existing/ Demolition East Elevation, Partial
D20001
Scale: 1/8" = 1'-0"

D20002 West Building - Existing/ Demolition North Elevation, Partial
D20002
Scale: 1/8" = 1'-0"

NO.	DESCRIPTION
1	EXISTING BUILDING - WEST ELEVATION, PARTIAL
2	DEMOLITION
3	EXISTING BUILDING - WEST ELEVATION, PARTIAL
4	DEMOLITION
5	EXISTING BUILDING - WEST ELEVATION, PARTIAL
6	DEMOLITION
7	EXISTING BUILDING - WEST ELEVATION, PARTIAL
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64	DEMOLITION
65	EXISTING BUILDING - WEST ELEVATION, PARTIAL
66	DEMOLITION
67	EXISTING BUILDING - WEST ELEVATION, PARTIAL
68	DEMOLITION
69	EXISTING BUILDING - WEST ELEVATION, PARTIAL
70	DEMOLITION
71	EXISTING BUILDING - WEST ELEVATION, PARTIAL
72	DEMOLITION
73	EXISTING BUILDING - WEST ELEVATION, PARTIAL
74	DEMOLITION
75	EXISTING BUILDING - WEST ELEVATION, PARTIAL
76	DEMOLITION
77	EXISTING BUILDING - WEST ELEVATION, PARTIAL
78	DEMOLITION
79	EXISTING BUILDING - WEST ELEVATION, PARTIAL
80	DEMOLITION
81	EXISTING BUILDING - WEST ELEVATION, PARTIAL
82	DEMOLITION
83	EXISTING BUILDING - WEST ELEVATION, PARTIAL
84	DEMOLITION
85	EXISTING BUILDING - WEST ELEVATION, PARTIAL
86	DEMOLITION
87	EXISTING BUILDING - WEST ELEVATION, PARTIAL
88	DEMOLITION
89	EXISTING BUILDING - WEST ELEVATION, PARTIAL
90	DEMOLITION
91	EXISTING BUILDING - WEST ELEVATION, PARTIAL
92	DEMOLITION
93	EXISTING BUILDING - WEST ELEVATION, PARTIAL
94	DEMOLITION
95	EXISTING BUILDING - WEST ELEVATION, PARTIAL
96	DEMOLITION
97	EXISTING BUILDING - WEST ELEVATION, PARTIAL
98	DEMOLITION
99	EXISTING BUILDING - WEST ELEVATION, PARTIAL
100	DEMOLITION

project name:
NOVITEN SHOPPING
CENTER
RENOVATION

project location:
41400-41474 W. Ten
Mile Road
Novi, Michigan 48075

DATE PREPARED:
11/14/2014
BY: J. H. HARRIS
CHECKED: J. H. HARRIS
APPROVED: J. H. HARRIS

sheet title:
West Building -
Existing/
Demolition
Exterior
Elevations

project number:
2534

sheet number:
D200

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General Demolition Notes

1. All existing structures to be demolished shall be removed in accordance with the following notes.
2. All existing structures to be demolished shall be removed in accordance with the following notes.
3. All existing structures to be demolished shall be removed in accordance with the following notes.
4. All existing structures to be demolished shall be removed in accordance with the following notes.
5. All existing structures to be demolished shall be removed in accordance with the following notes.
6. All existing structures to be demolished shall be removed in accordance with the following notes.
7. All existing structures to be demolished shall be removed in accordance with the following notes.
8. All existing structures to be demolished shall be removed in accordance with the following notes.
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Specific Demolition Notes

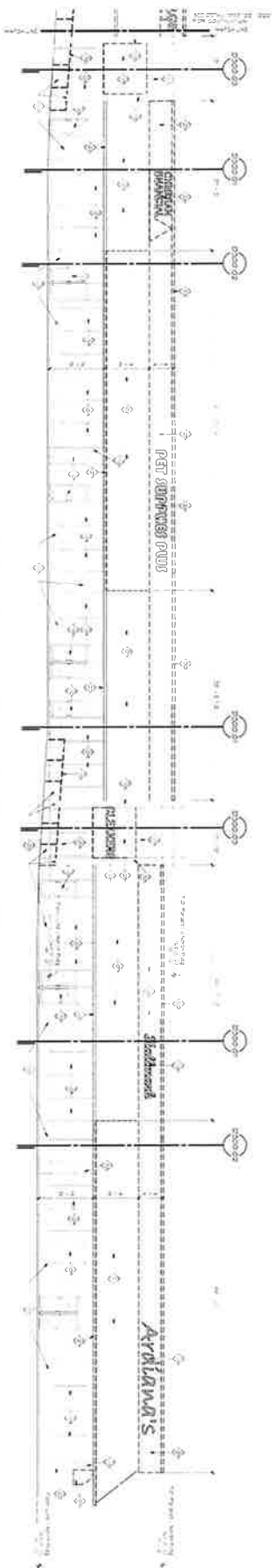
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General Notes

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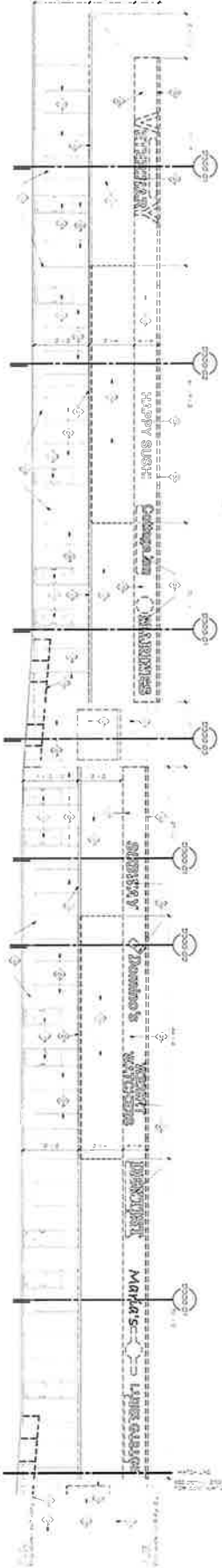


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& PLANNERS INC.
3000 KENNEDY BLVD
SUITE 100
DALLAS, TEXAS 75201
TEL: 214-242-0000
WWW.STA-ARCHITECTS.COM



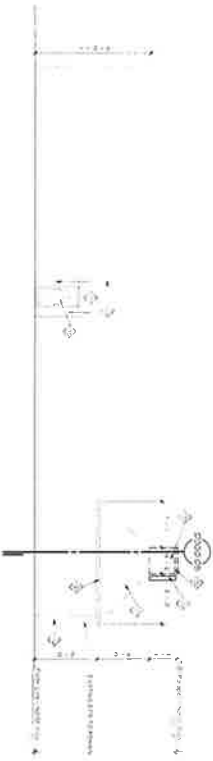
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D201
SCALE 1/8" = 1'-0"



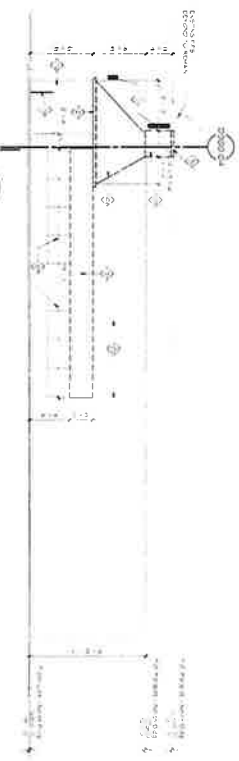
D201.03 North Building - Existing/Demolition South Elevation (Partial).

D201
SCALE 1/8" = 1'-0"



D201.02 North Building - Existing/Demolition West Elevation

D201
SCALE 1/8" = 1'-0"



D201.01 North Building - Existing/Demolition East Elevation

D201
SCALE 1/8" = 1'-0"

PROJECT NAME:
NOVITEN SHOPPING
CENTER
RENOVATION

PROJECT LOCATION:
41400-41774 W. Ten
Mile Road
Novi, Michigan 48375

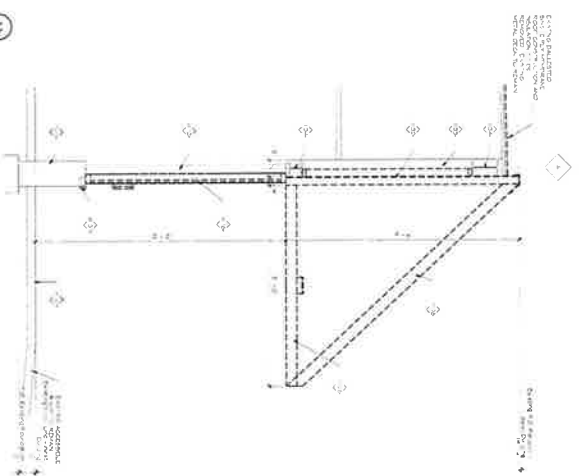
DATE/REVISION:
1. 10/1/2011
2. 10/1/2011
3. 10/1/2011
4. 10/1/2011

SHEET TITLE:
North Building -
Existing/
Demolition
Exterior
Elevations

PROJECT NUMBER:
2534

SHEET NUMBER:
D201

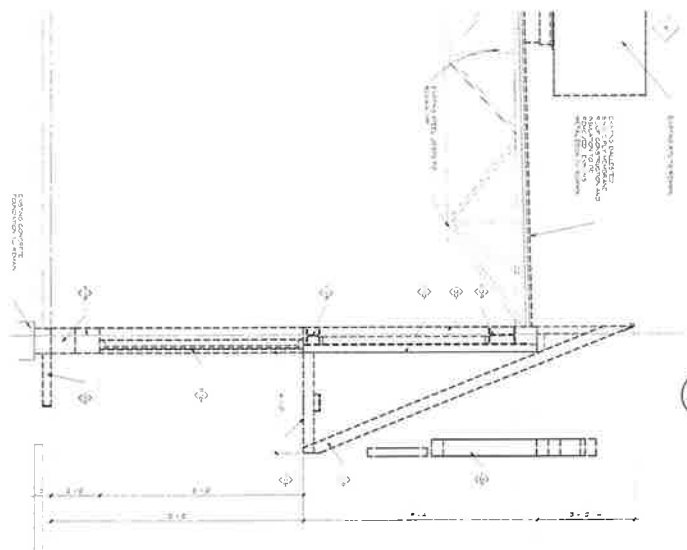
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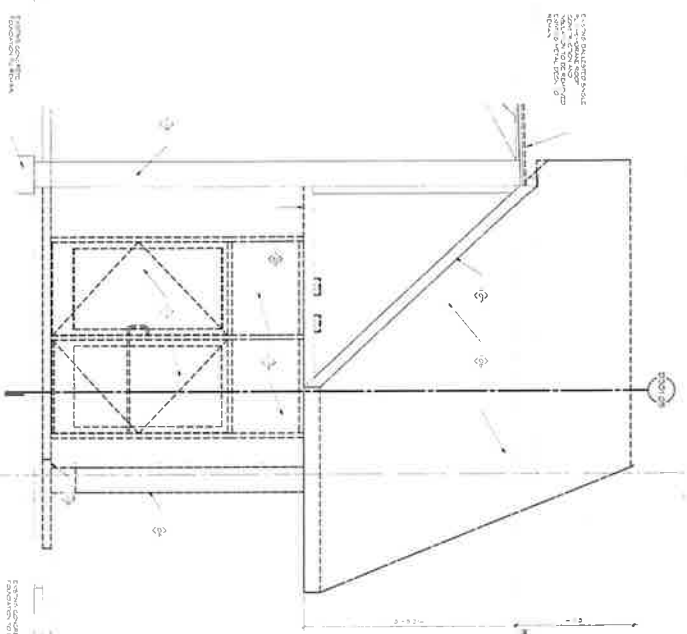
General Demolition Notes

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General Notes

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Specific Demolition Notes

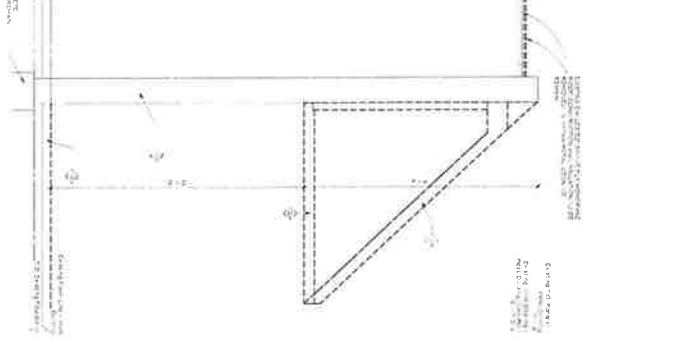
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100

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& PLANNERS INC.

PO BOX 100
Southfield, MI 48034
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F • 248 • 363 • 0066
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project name:
NOVI TEN SHOPPING
CENTER
RENOVATION

date/revision:
 * July 10 2003 Revise
 * July 24 2003 NCS
 * August 1 2003 Permits

Sheet title:

West Building - Existing/Demolition Wall Sections

project number:
2534

file number:
D300

copyright: 02/2021

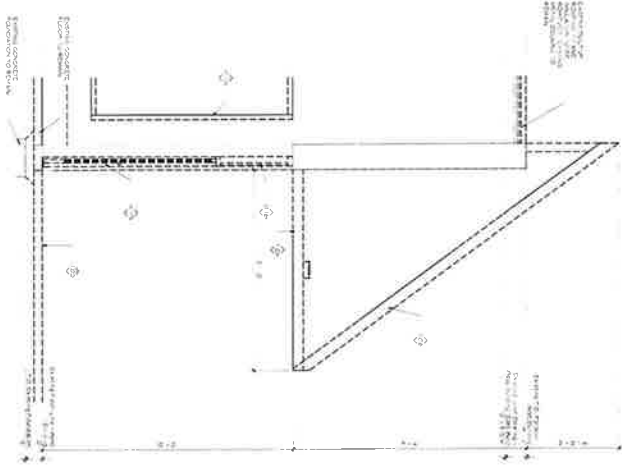
General Demolition Notes

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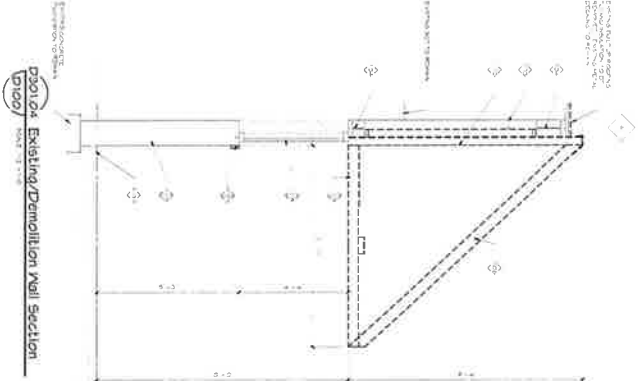
General Notes

The authors thank Dr. Robert J. Anderson for his critical review of the manuscript.

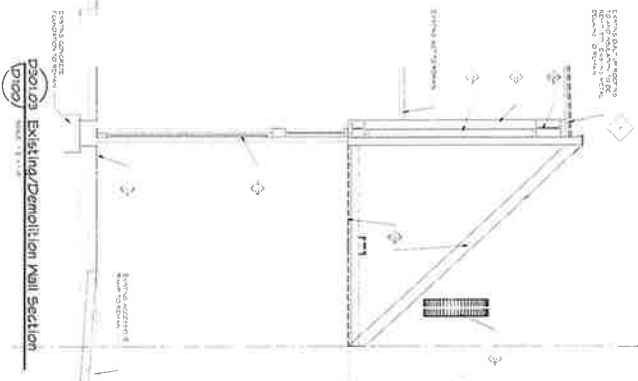
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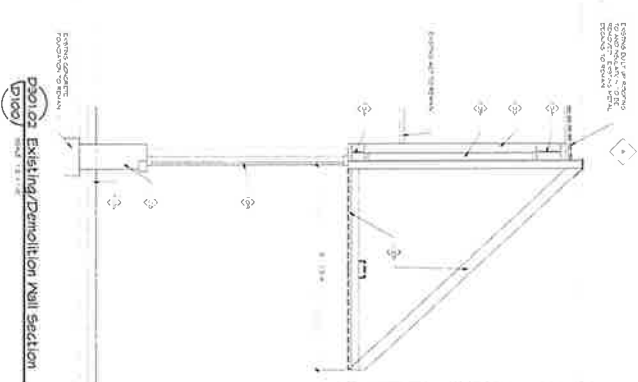
330105 Existing/Demolition Wall Section
 (P100) SCALE: 1/2" = 1'-0"



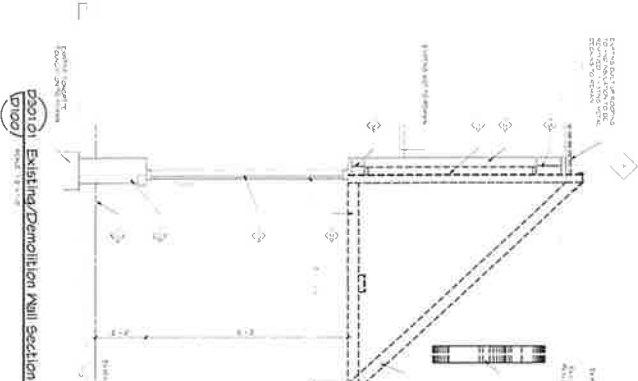
D30104 Existing/Demolition Wall Section



030103 Existing/Demolition Wall Section
 (P100) Sheet 1 of 1



DP0102 Existing/Demolition Wall Section
DP100/



D30101 Existing/Demolition Mill Sect
D100/

project name:
NOV TEN SHOPPING
CENTER
RENOVATION

Project location:
41400-41774 W. Ten
Mile Road
Novi, Michigan 48375

date/revision	
July 05, 2023	Review
July 28, 2023	Review
August 8, 2023	Review

sheet title:
West Building -
Existing/Demolition
Wall Sections

project num
2534

D301

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project name:
NOVI TEN SHOP
CENTER
RENOVATION

project location:
41400-41774 W.
Mile Road
Novi, Michigan 48164

data/revision:

sheet title:

Existing/Dem
Wall Section

project number:
0534

sheet number:
D301

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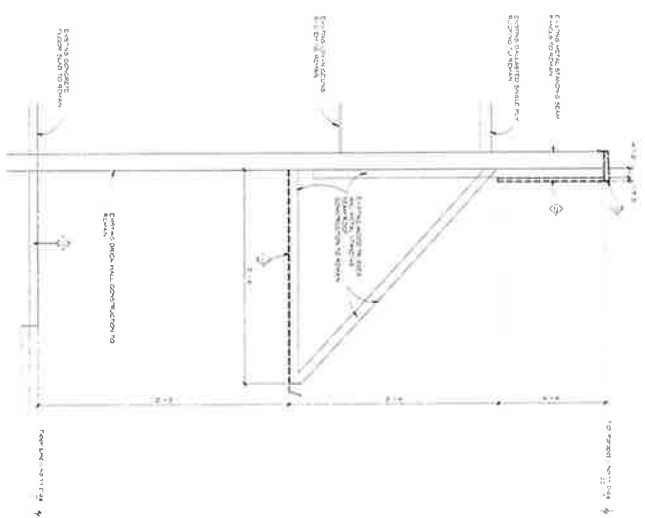
SIEGAL/DIMAU
ASSOCIATES
ARCHITECTS
& PLANNERS INC.
25000 Northwestern Hwy
Suite 100
Farmington Hills, MI 48334
P: 248-452-4009
F: 248-452-4006
www.siegal-dimau.com

General Notes

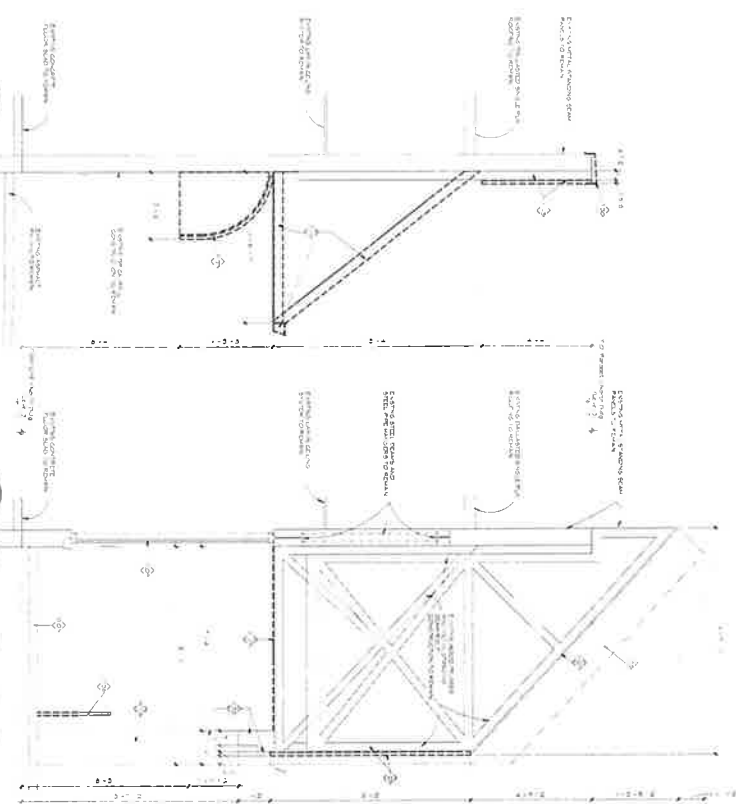
1. All work shall be in accordance with the latest edition of the Michigan Building Code and all applicable local codes and ordinances.
2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The contractor shall maintain access to all adjacent properties at all times during the construction process.
4. The contractor shall be responsible for the safety of all workers and the public during the construction process.
5. The contractor shall be responsible for the protection of all existing utilities and structures on the site.
6. The contractor shall be responsible for the removal and disposal of all debris and waste materials in accordance with applicable regulations.
7. The contractor shall be responsible for the installation of all new materials and components in accordance with the manufacturer's specifications.
8. The contractor shall be responsible for the completion of all work within the specified time frame.
9. The contractor shall be responsible for the maintenance of accurate records of all construction activities.
10. The contractor shall be responsible for the payment of all subcontractors and suppliers in a timely manner.

Specific Demolition Notes

1. All existing structures shall be demolished in accordance with the Michigan Building Code and all applicable local codes and ordinances.
2. The contractor shall be responsible for the removal and disposal of all debris and waste materials in accordance with applicable regulations.
3. The contractor shall be responsible for the installation of all new materials and components in accordance with the manufacturer's specifications.
4. The contractor shall be responsible for the completion of all work within the specified time frame.
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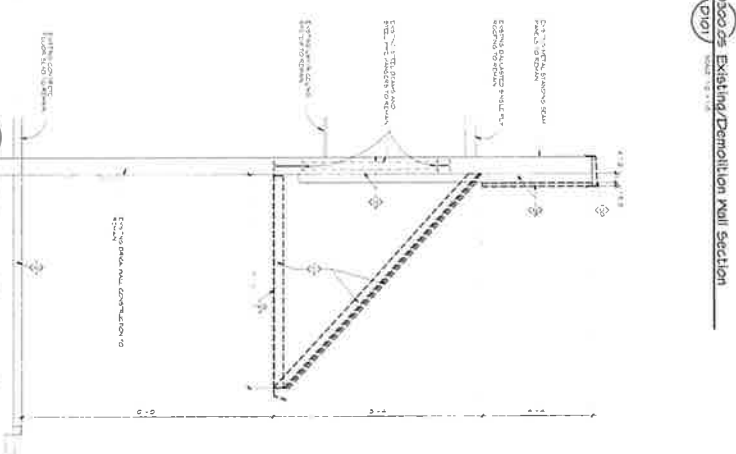


D300-05 Existing/Demolition Wall Section
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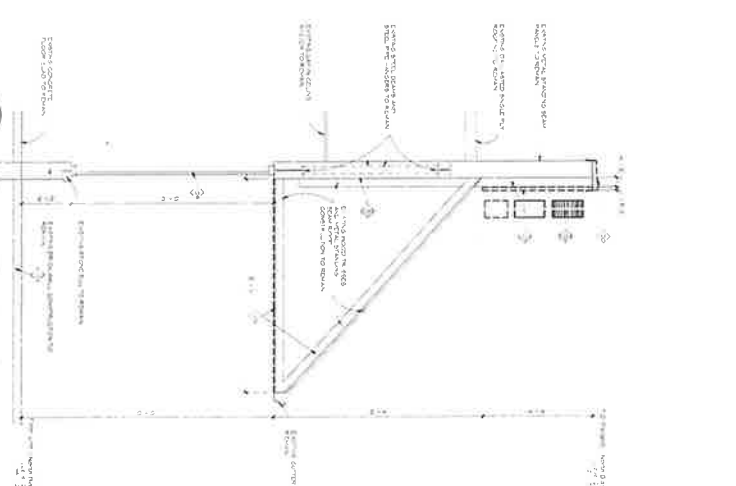


D300-04 Existing/Demolition Wall Section
Scale: 1/8" = 1'-0"

D300-03 Existing/Demolition Wall Section
Scale: 1/8" = 1'-0"



D300-02 Existing/Demolition Wall Section
Scale: 1/8" = 1'-0"



D300-01 Existing/Demolition Wall Section
Scale: 1/8" = 1'-0"

NOV TEN SHOPPING
CENTER
RENOVATION
Project location:
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Mile Road
Novi, Michigan 48375

project number:
2534
sheet number:
D302

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www.sia-architect.com

Plan Notes - New York

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK CITY DEPARTMENT OF CITY PLANNING AND CONSTRUCTION (DCP) AND THE NEW YORK CITY DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) REGULATIONS.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK CITY DEPARTMENT OF CITY PLANNING AND CONSTRUCTION (DCP) AND THE NEW YORK CITY DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) REGULATIONS.

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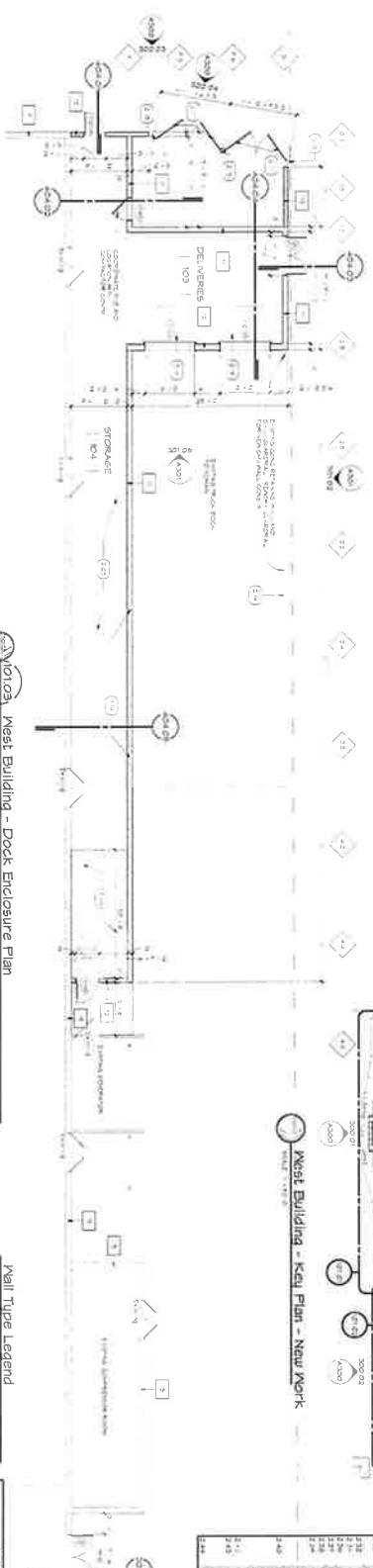
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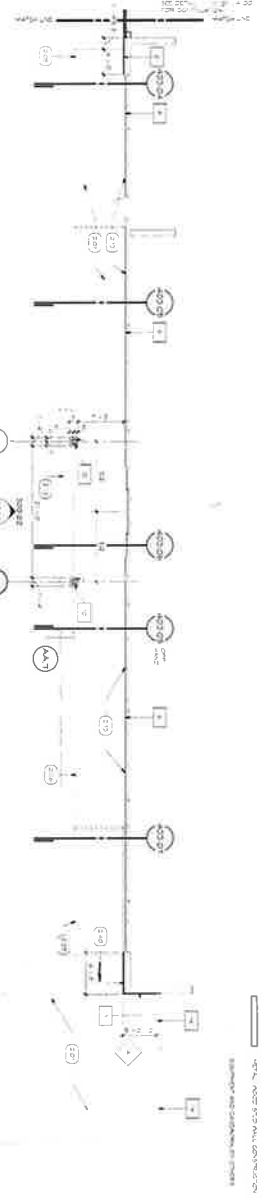
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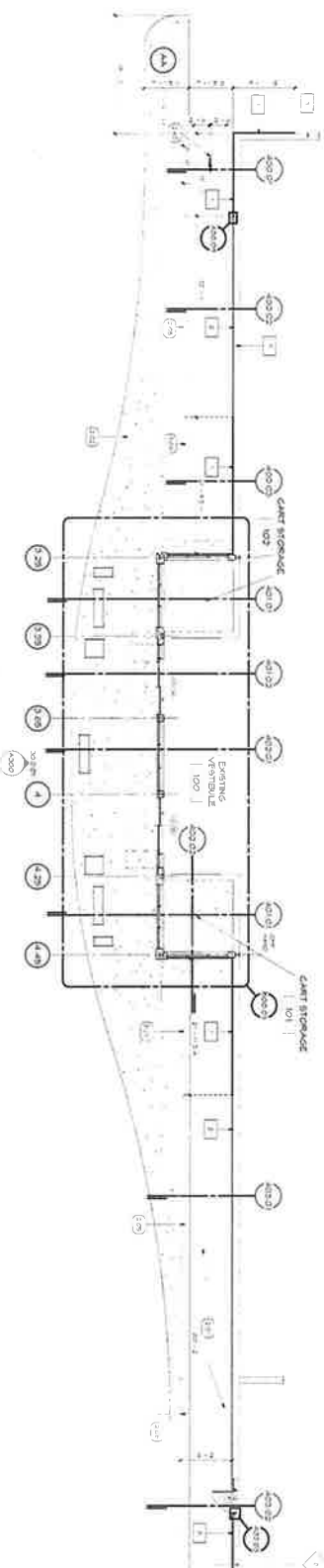


NO103 West Building - Dock Enclosure Plan

NO104 West Building - Key Plan - New York



NO102 West Building - Sidewalk Plan Partial Continued - New York



NO101 West Building - Sidewalk Plan - New York

Mail Type Legend

EXISTING MAIL CONSTRUCTION
NEW MAIL CONSTRUCTION
STAIRS AND CORRIDORS TO BE REMOVED

Mail Schedule Legend

Mail Type	Mail Schedule
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General Notes

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK CITY DEPARTMENT OF CITY PLANNING AND CONSTRUCTION (DCP) AND THE NEW YORK CITY DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) REGULATIONS.
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CLIENT REVISIONS:

- Jan 14 2013 Review
- April 1 2013 Review
- April 1 2013 Review

Project name:
NOV TEN SHOPPING CENTER RENOVATION

Project location:
41400-41774 W. Ten Mile Road
Novi, Michigan 48375

Sheet title:
West Building - Sidewalk Plan, New York

Project number:
2534

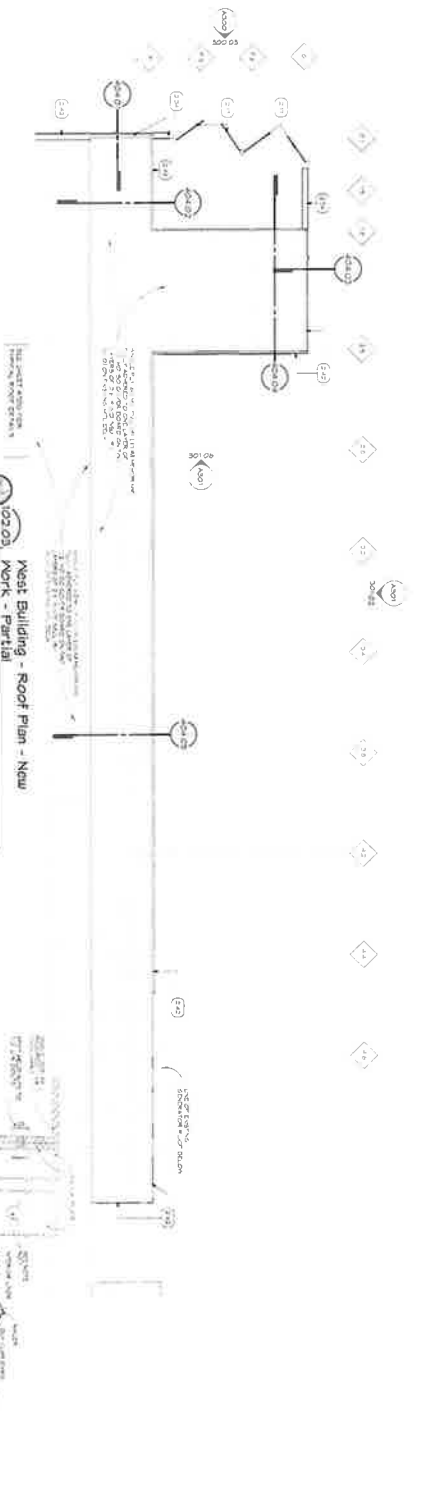
Sheet number:
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 2700 West 10th Avenue
 Suite 100
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PLAN NOTES - NEW WORK

Project Location: 3100 West 10th Avenue, Denver, CO 80202
 Project Name: West Building - Roof Plan - New Work
 Project Number: 2534
 Project Date: 10/1/2023
 Project Status: In Progress
 Project Manager: [Name]
 Project Engineer: [Name]
 Project Architect: [Name]
 Project Planner: [Name]
 Project Designer: [Name]
 Project Draftsman: [Name]
 Project Checker: [Name]
 Project Approver: [Name]



General Notes

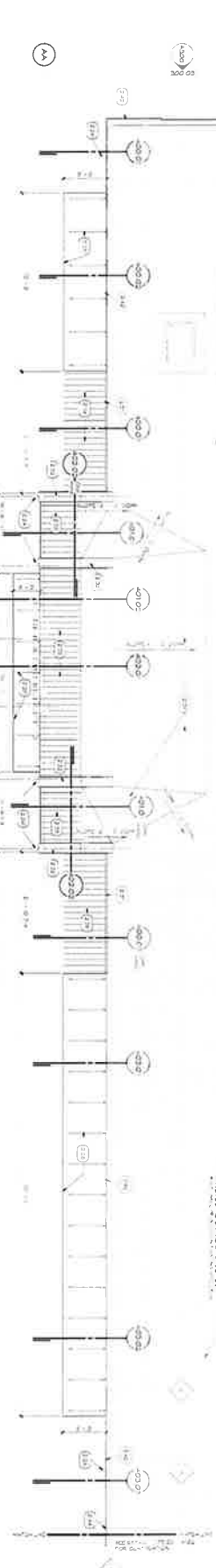
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project name
 NOVI TEN SHOPPING CENTER
 RENOVATION
 project location
 41400-41774 W. Ten Mile Road
 Novi, Michigan 48375

102.04 Mech CURP



102.02 West Building - Roof Plan - New Work - Partial Continued



102.01 West Building - Roof Plan - New Work - Partial Continued

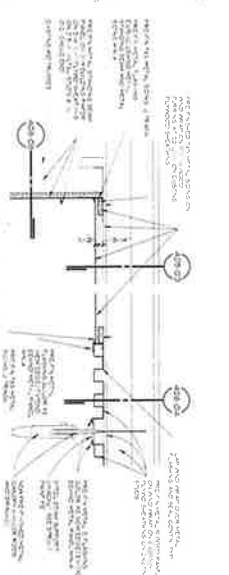


project number
 2534
 sheet number
 A102

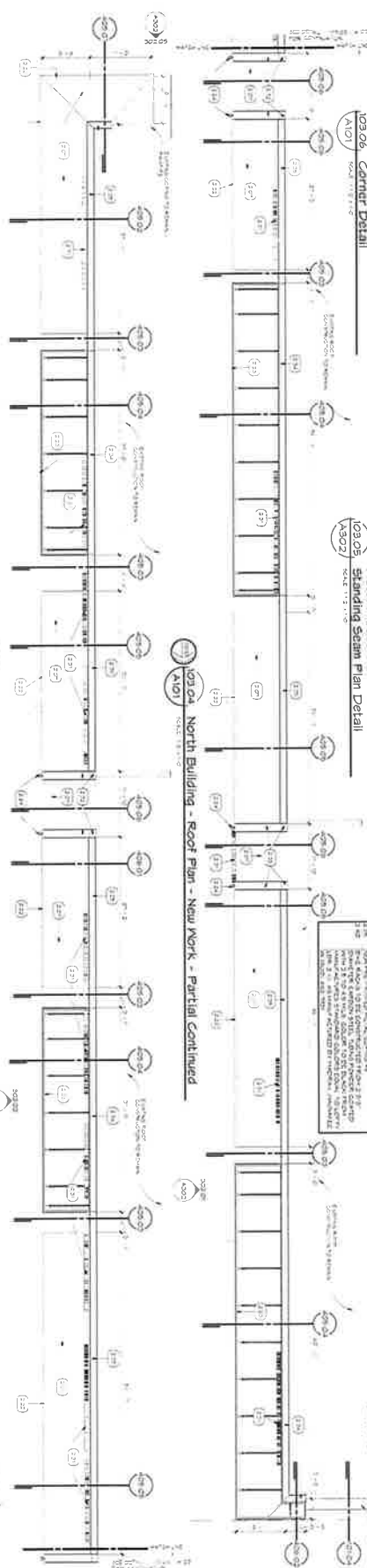
date / revision
 July 18 2023 Issue
 August 1 2023 Revised

sheet title
 West Building - Roof Plan, New Work

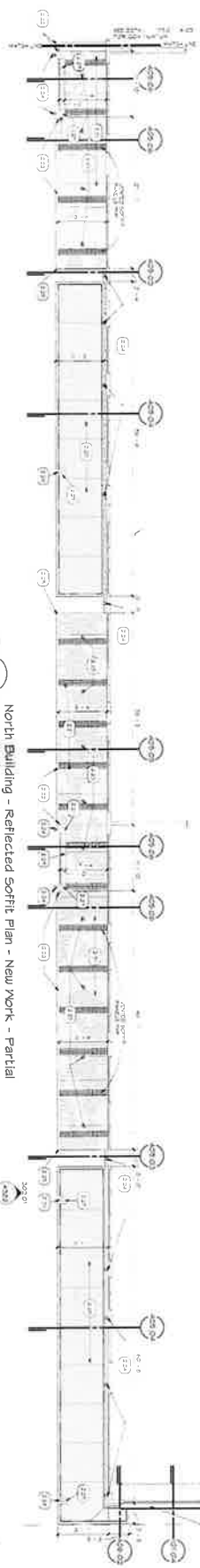
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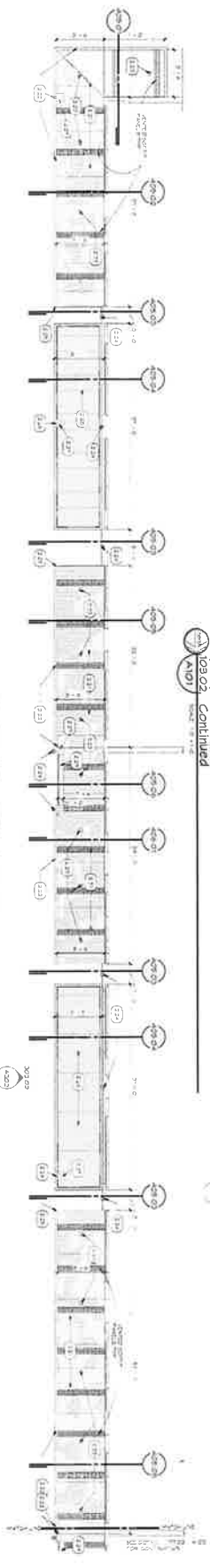
Pre-Fin Metal T&G Siding to
Metal Ribbed Panel to Metal
Standing Seam Plan Detail



103.03 North Building - Roof Plan - New Work - Partial Continued



103.02 North Building - Reflected Soffit Plan - New York - Partial
Continued



North Building - Reflected Soffit
Plan - New Work, Partial

[illegible]

DATE: _____ TIME: _____

Figure 1. A schematic diagram of the experimental design. The subjects were divided into two groups: the control group and the experimental group. The control group received a standard training program, while the experimental group received a modified training program. The results of the training program were compared between the two groups.

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www.cta-technics.com

project name:
**NOVI TEN SHOPPING
CENTER
RENOVATION**

diplo? rrrrrrrr ON:

- * July 30 - 30 : \$20 : New
- * May 12 - 20 :
- * August 1 : 20 :
- *
- *
- *
- *

sheel title:

North Building -
Roof Plan and
Reflected Soffit
Plan, New Work

project number:
2534

sheet number:
A103

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[illegible]

project location
41400-41774 W. Ten
Mile Road
Novi, Michigan 48375

- July 10 2023 Review
- July 24 2023
- August 1 2023

project number
2534

A200

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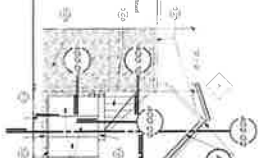
Elevation Notes - Neill Work

[illegible]

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1



General Notes

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR BRIDGE CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT THE PROJECT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.
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9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT THE PROJECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.

Elevation Notes - New Work

1. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR BRIDGE CONSTRUCTION.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.



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 11444 352nd Ave
 Suite 100
 Minneapolis, MN 55425
 Phone: (612) 835-1000
 Fax: (612) 835-1001
 Email: info@siegamdmalla.com

PROJECT NAME:
 NOV TEN SHOPPING CENTER RENOVATION

PROJECT LOCATION:
 41400-41774 W. Ten Mile Road
 Novi, Michigan 48375

DRAWING NUMBER:
 A301

DATE:
 JULY 15, 2023

BY:
 [Signature]

CHECKED BY:
 [Signature]

APPROVED BY:
 [Signature]

SCALE:
 AS SHOWN

NOTES:
 SEE ELEVATION NOTES FOR DETAILS

REVISIONS:
 1. REVISED FOR PERMITTING

DATE:
 JULY 15, 2023

BY:
 [Signature]

CHECKED BY:
 [Signature]

APPROVED BY:
 [Signature]

SCALE:
 AS SHOWN

NOTES:
 SEE ELEVATION NOTES FOR DETAILS

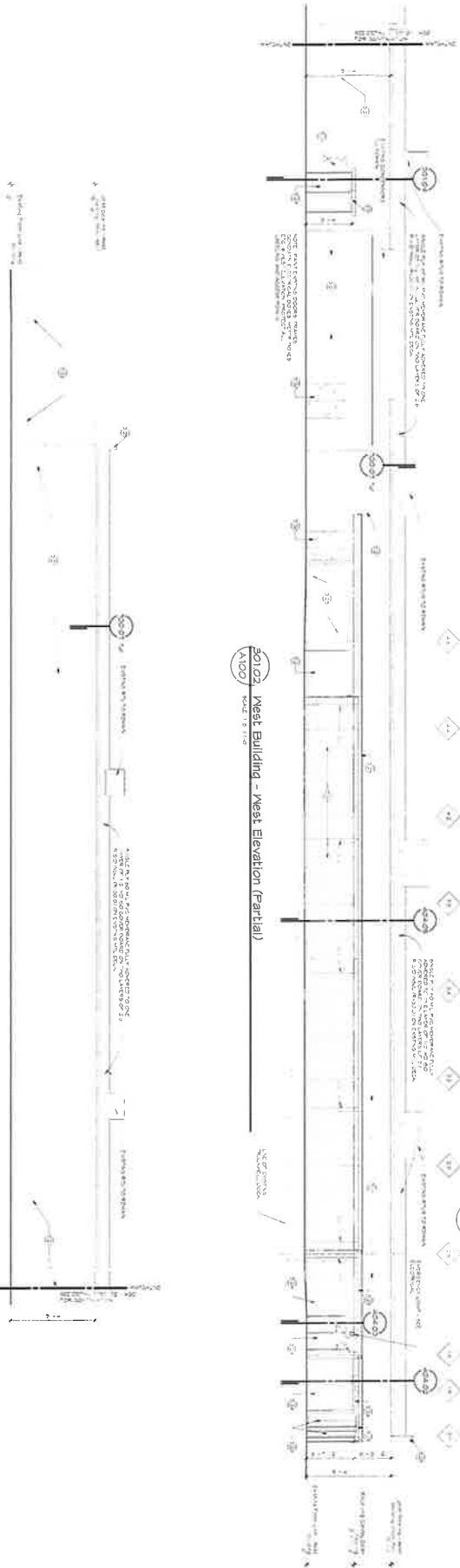
REVISIONS:
 1. REVISED FOR PERMITTING

DATE:
 JULY 15, 2023

BY:
 [Signature]

CHECKED BY:
 [Signature]

APPROVED BY:
 [Signature]



30103 West Building - North Elevation
 SCALE: 1/8" = 1'-0"

30102 West Building - West Elevation (Partial)
 SCALE: 1/8" = 1'-0"

30101 West Building - West Elevation (Partial) Continued
 SCALE: 1/8" = 1'-0"

30106 Truck Dock Elevation
 SCALE: 1/8" = 1'-0"

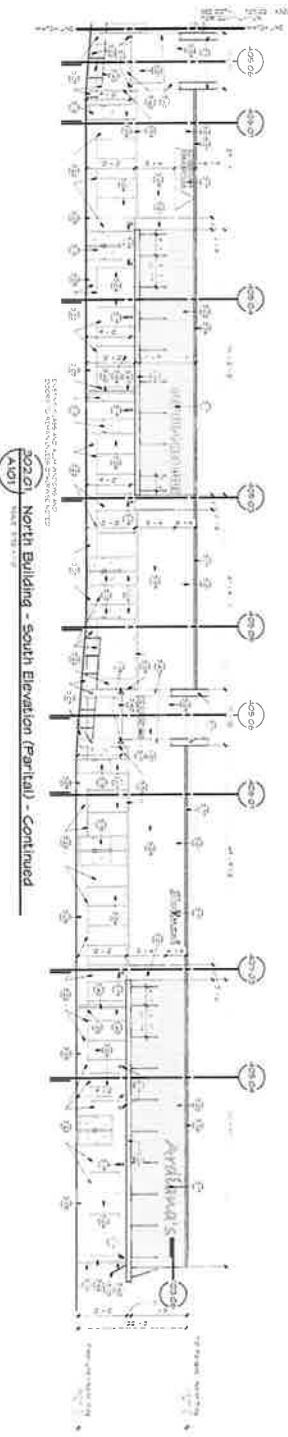
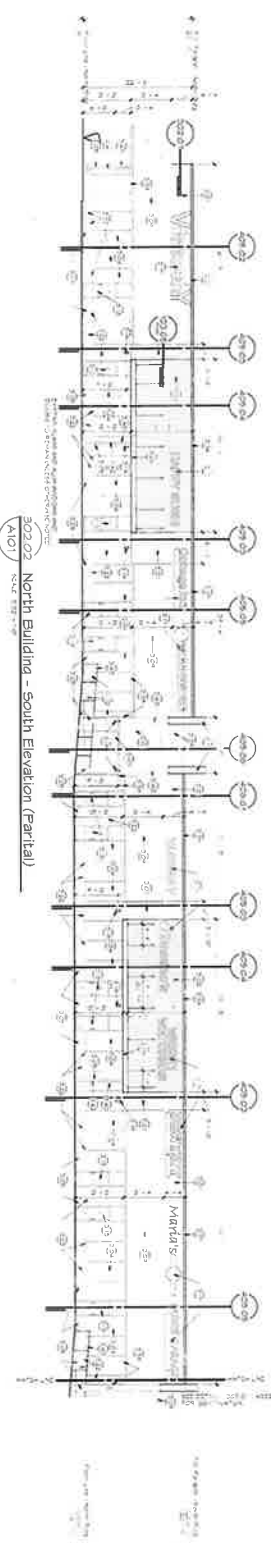
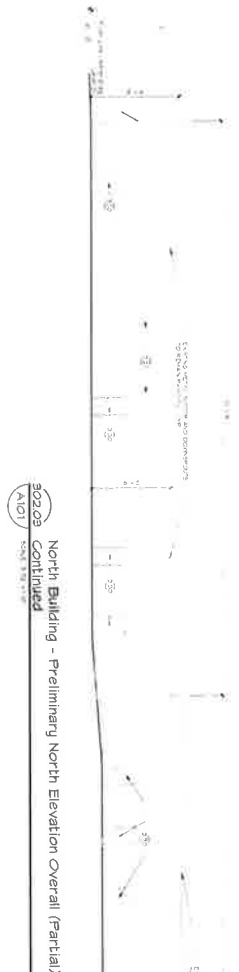
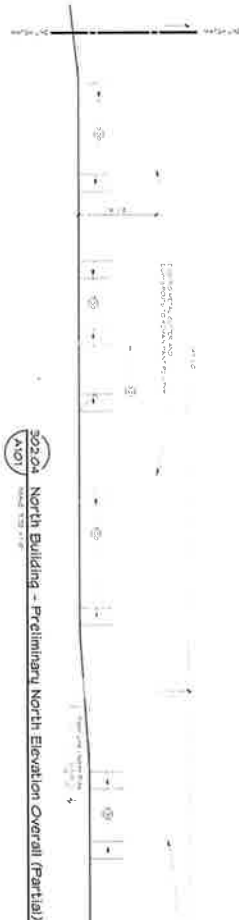
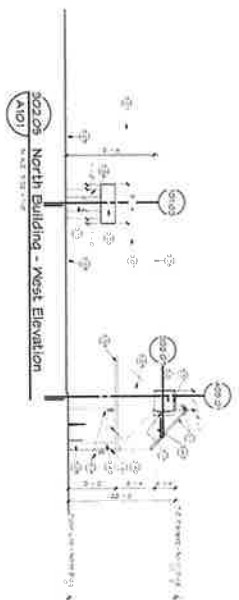
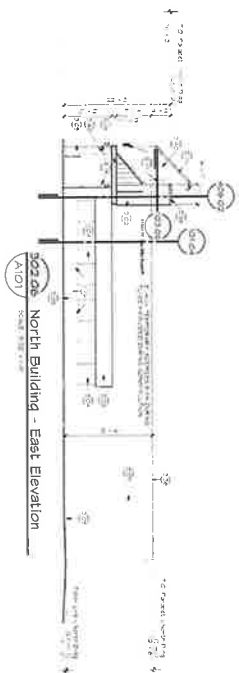
30104 Section 26
 SCALE: 1/8" = 1'-0"

30105 New Door Lintel
 SCALE: 1/8" = 1'-0"

PROJECT NUMBER:
 2534

SHEET NUMBER:
 A301

DATE:
 JULY 15, 2023

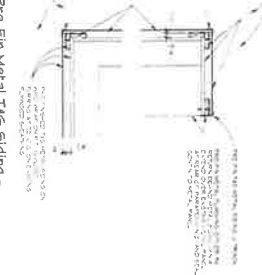


ELEVATION NOTES - NEW WORK

1. See notes on sheet 302.0a for general notes.
2. All new work shall be in accordance with the latest edition of the Building Code of America (BCA) and the International Building Code (IBC).
3. All new work shall be in accordance with the latest edition of the National Fire Protection Association (NFPA) and the International Fire Code (IFC).
4. All new work shall be in accordance with the latest edition of the American Institute of Steel Construction (AISC) and the American Institute of Steel Construction (AISC).
5. All new work shall be in accordance with the latest edition of the American Institute of Steel Construction (AISC) and the American Institute of Steel Construction (AISC).
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9. All new work shall be in accordance with the latest edition of the American Institute of Steel Construction (AISC) and the American Institute of Steel Construction (AISC).
10. All new work shall be in accordance with the latest edition of the American Institute of Steel Construction (AISC) and the American Institute of Steel Construction (AISC).

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302.0i
A101
Pre-Fin Metal Tie Siding -
Outside Corner



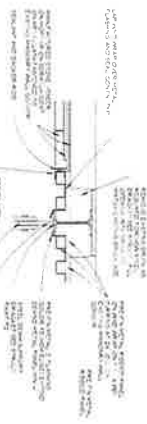
General Notes

1. See notes on sheet 302.0a for general notes.
2. All new work shall be in accordance with the latest edition of the Building Code of America (BCA) and the International Building Code (IBC).
3. All new work shall be in accordance with the latest edition of the National Fire Protection Association (NFPA) and the International Fire Code (IFC).
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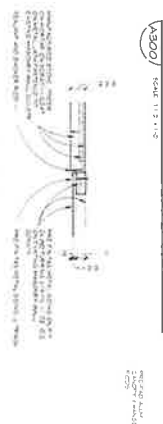
filled hatch
2534
sheet number:
A302
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project name:
NOW TEN SHOPPING
CENTER
RENOVATION
project location:
41400-41774 W. Ten
Mile Road,
Now, Michigan 48375

DATE/ REVISION
• July 10, 2001 Issue
• August 1, 2003 Revised



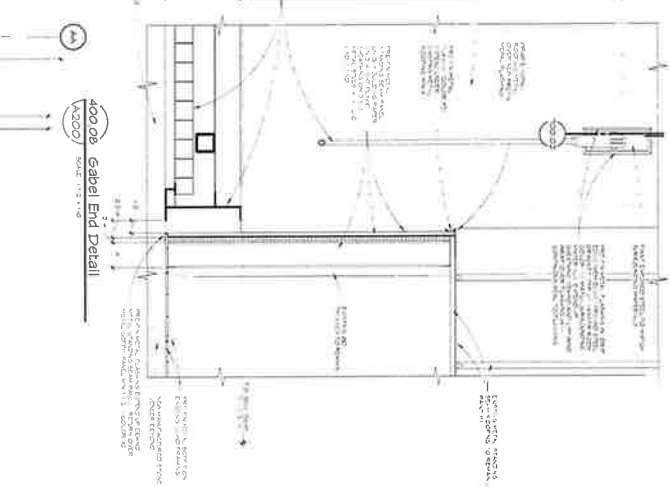
400.01 Parapet Detail @ Metal Ribbed Panel
 SCALE: 1/2" = 1'-0"



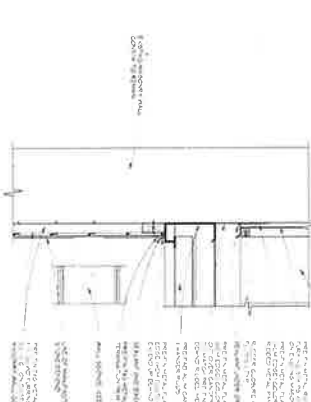
400.02 Gable End Detail
 SCALE: 1/2" = 1'-0"



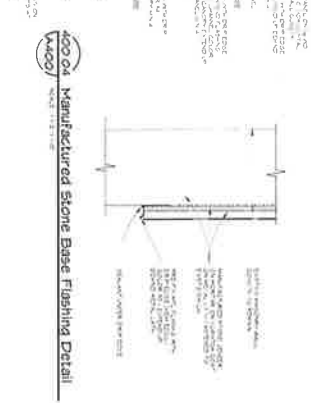
400.03 Manufactured Stone Veneer to Pre-Fin Metal Ribbed Panel
 SCALE: 1/2" = 1'-0"



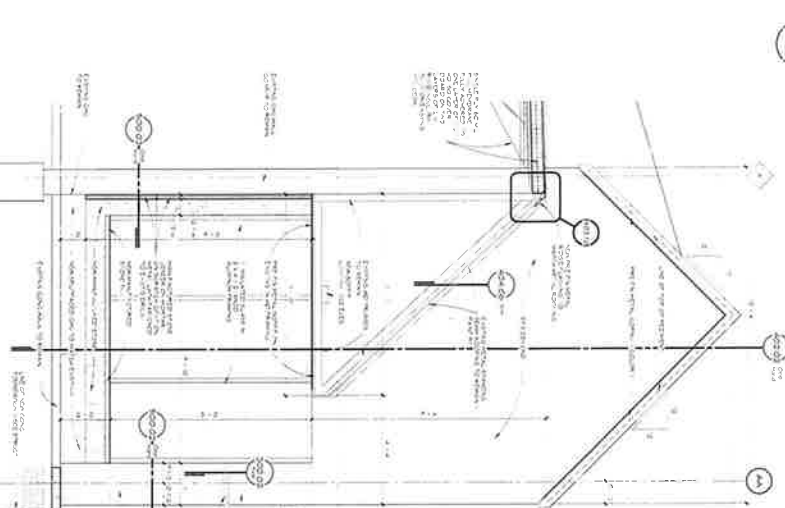
400.04 Manufactured Stone Base Flashing Detail
 SCALE: 1/2" = 1'-0"



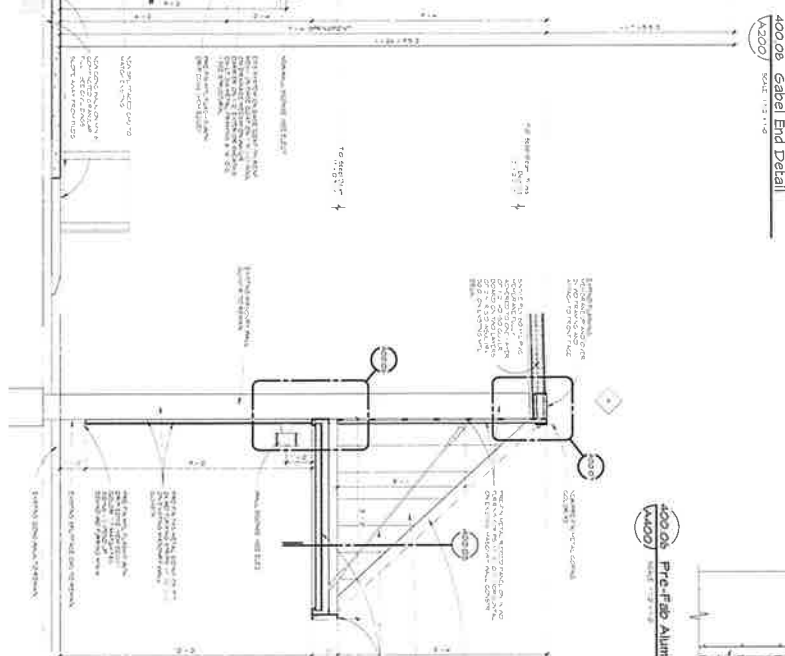
400.05 Parapet Detail @ Manufactured Stone
 SCALE: 1/2" = 1'-0"



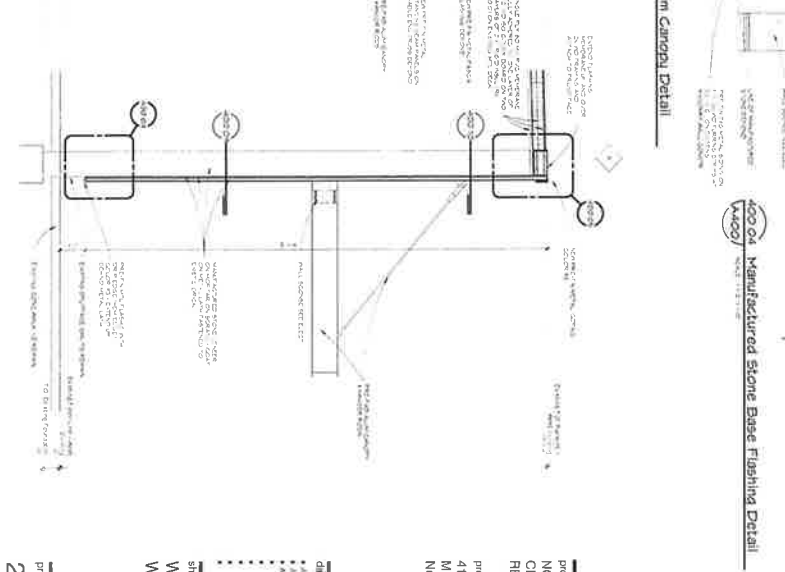
400.06 Pre-Fin Aluminum Canopy Detail
 SCALE: 1/2" = 1'-0"



400.01 Wall Section
 SCALE: 1/2" = 1'-0"



400.02 Wall Section
 SCALE: 1/2" = 1'-0"



400.03 Wall Section
 SCALE: 1/2" = 1'-0"

Project Name:
 NOV TEN SHOPPING
 CENTER
 RENOVATION

Project Location:
 41400-41774 W. Ten
 Mile Road
 Novi, Michigan 48375

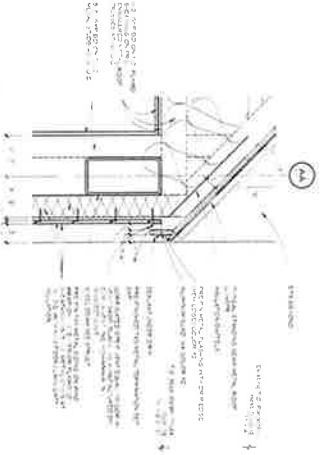
Client / Architect:
 • July 18, 2008 Review
 • August 1, 2008 Review
 • August 1, 2008 Review

Sheet Title:
 West Building -
 Wall Sections

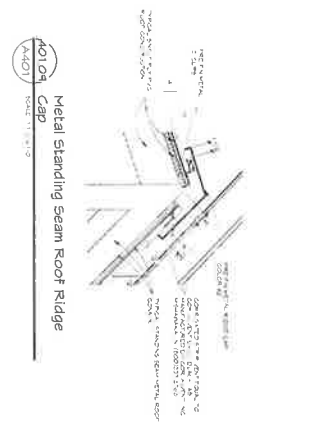
Project Number:
 2534

Sheet Number:
 A400

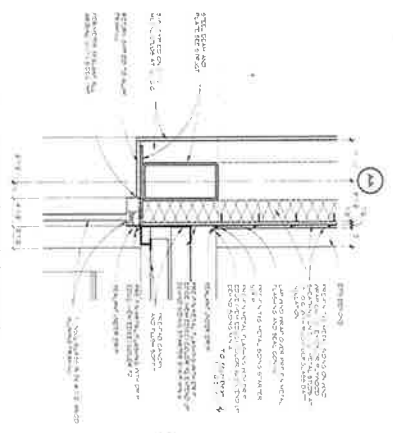
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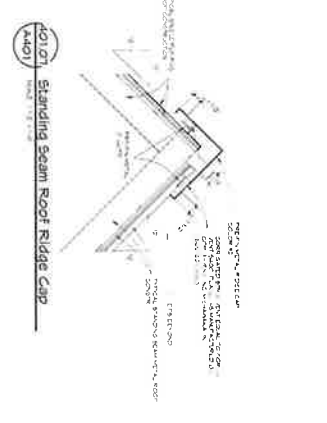
A401A Standing Seam Roof Edge Detail
SCALE: 1/2" = 1'-0"



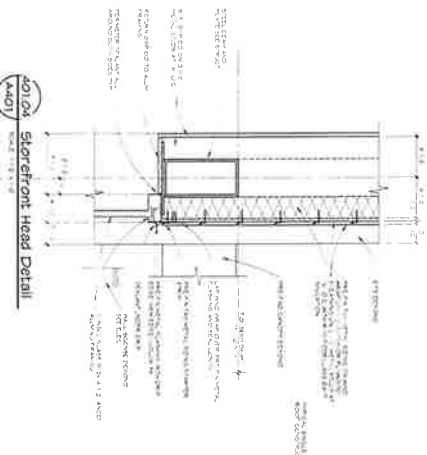
A401B Metal Standing Seam Roof Ridge
SCALE: 1/2" = 1'-0"



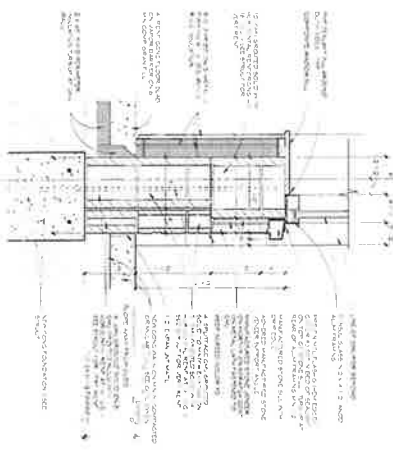
A401C Storefront Head at Pre-Fab
SCALE: 1/2" = 1'-0"



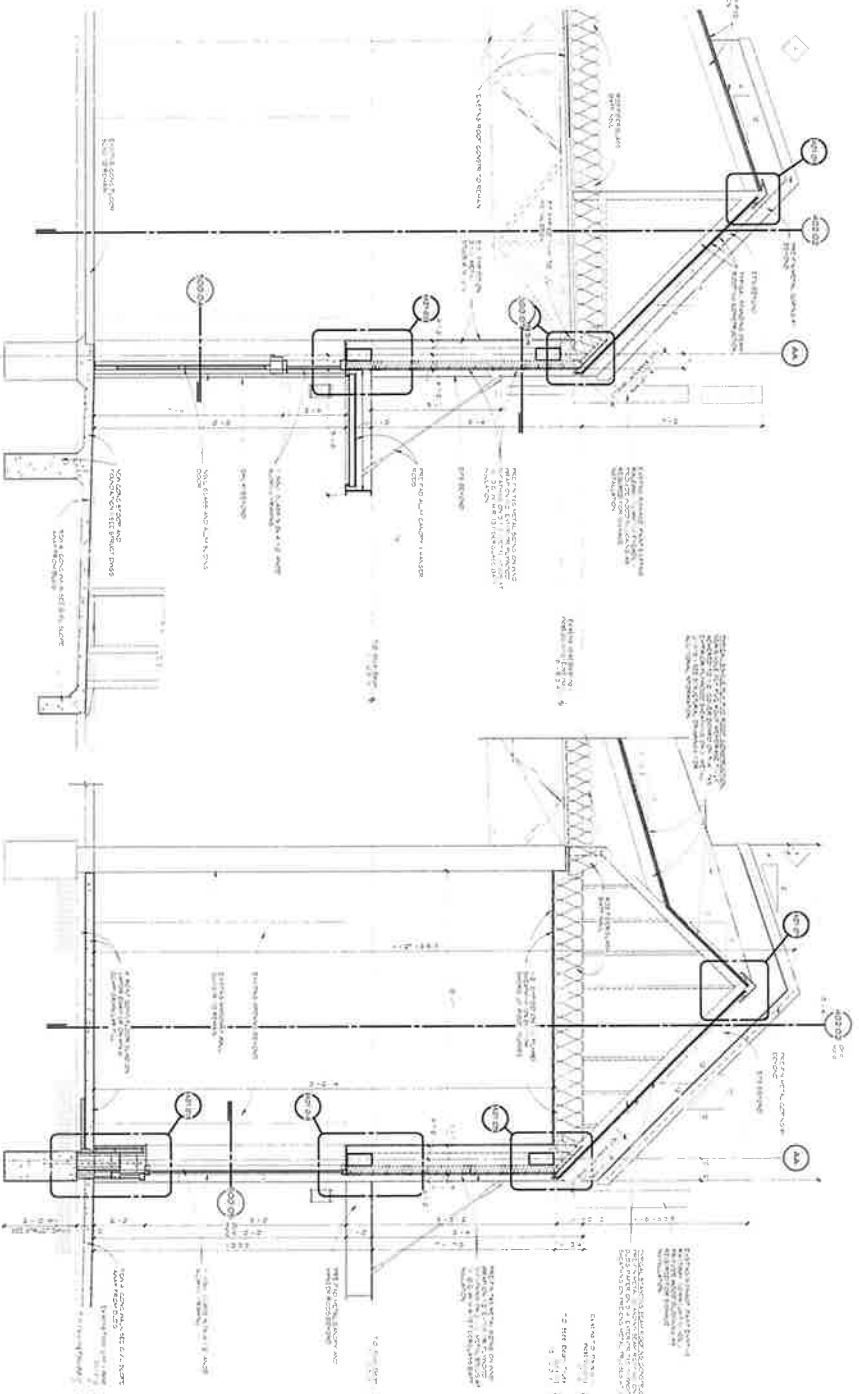
A401D Standing Seam Roof Ridge Cap
SCALE: 1/2" = 1'-0"



A401E Storefront Head Detail
SCALE: 1/2" = 1'-0"



A401F Section 1A - Callout 1
SCALE: 1/2" = 1'-0"



A401G Wall Section
SCALE: 3/4" = 1'-0"

Project Name:
NORTEN SHOPPING
CENTER
RENOVATION

Project Location:
41400-41774 W. Ten
Mile Road
Novi, Michigan 48375

Client:
NORTEN SHOPPING
CENTER
RENOVATION

Architect:
SIEGAL/UDOMALA
ASSOCIATES
ARCHITECTS
& PLANNERS INC.

Scale:
3/4" = 1'-0"

Sheet Title:
West Building -
Wall Sections

Project Number:
2534

Sheet Number:
A401

Date:
July 10, 2023

Revised:
August 1, 2023

Drawn By:
J. D. Udomala

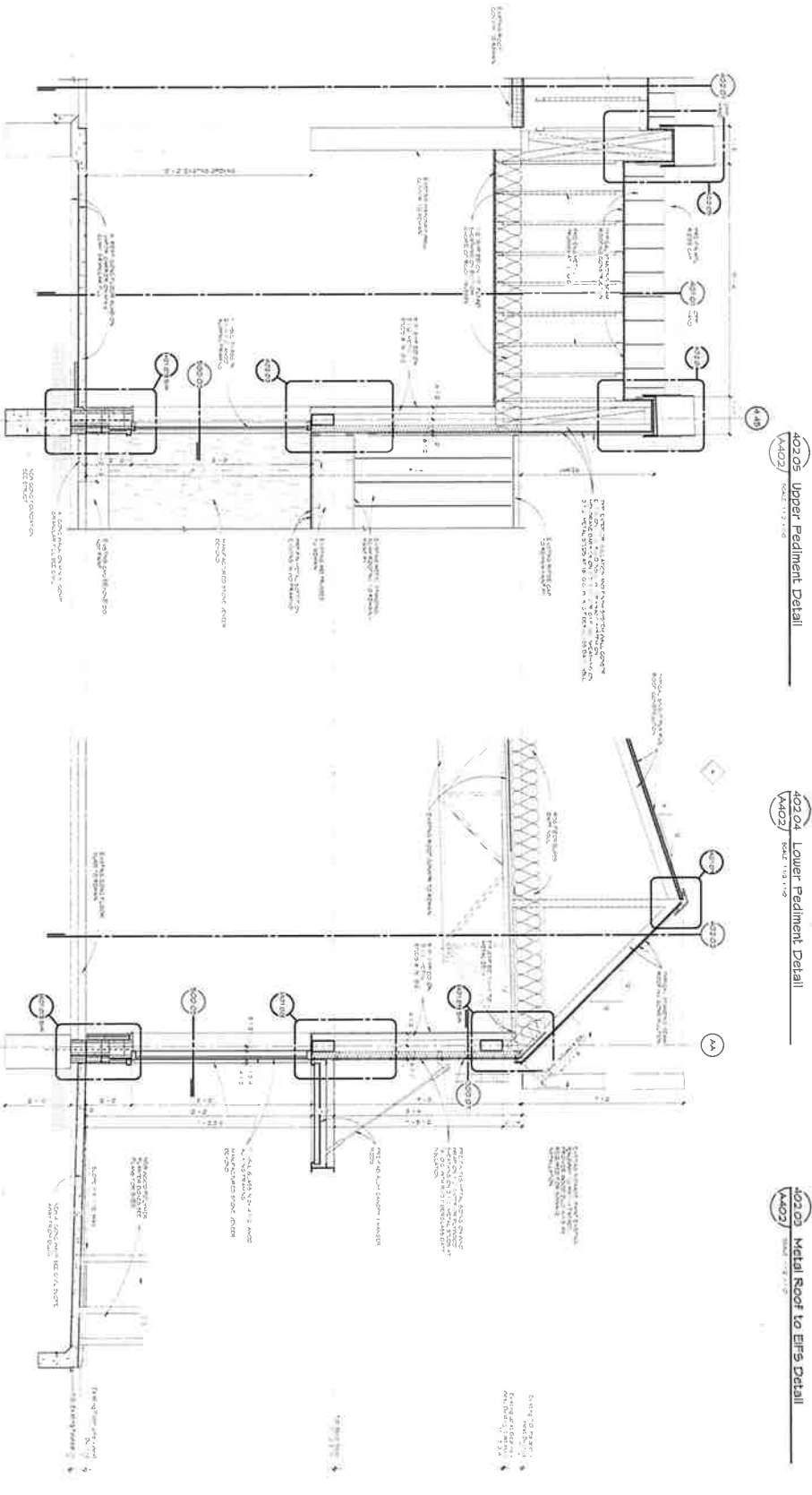
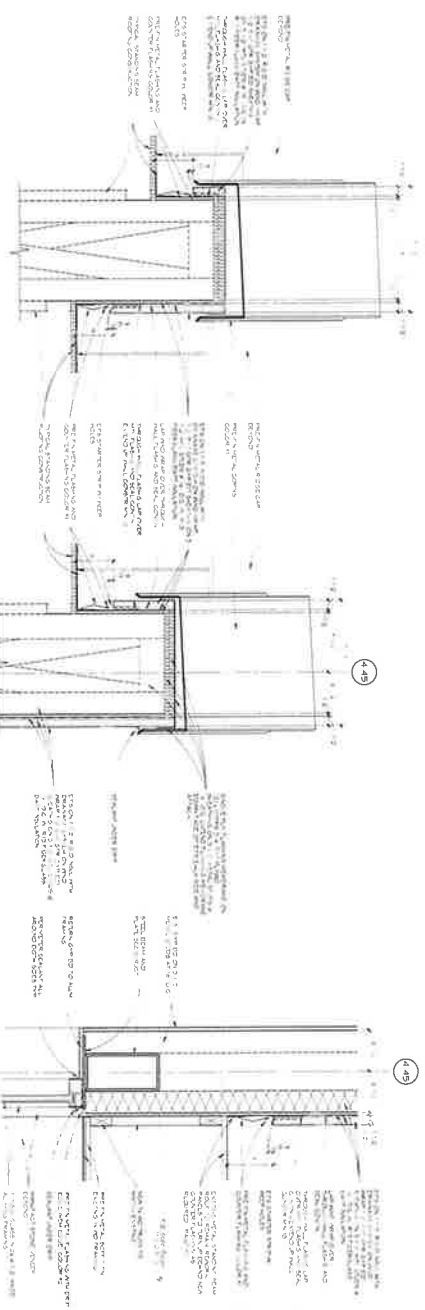
Checked By:
J. D. Udomala

Approved By:
J. D. Udomala



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& PLANNERS INC.

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Northbrook, IL 60062
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project name:
NOV TEN SHOPPING
CENTER
RENOVATION

project location:
41400-41774 W. Ten
Mile Road
Novi, Michigan 48375

drawn/revised by:
AUGUST 2023
AUGUST 2023

sheet title:
West Building
Wall Sections

project number:
2534

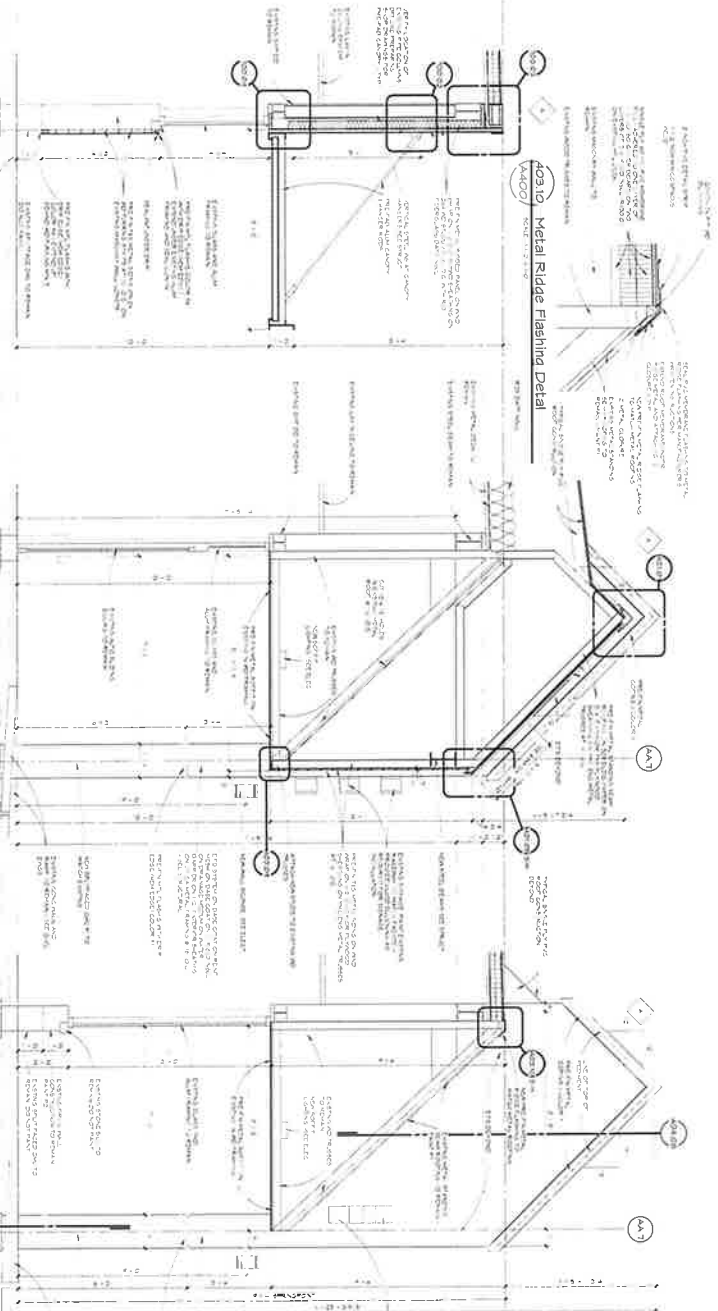
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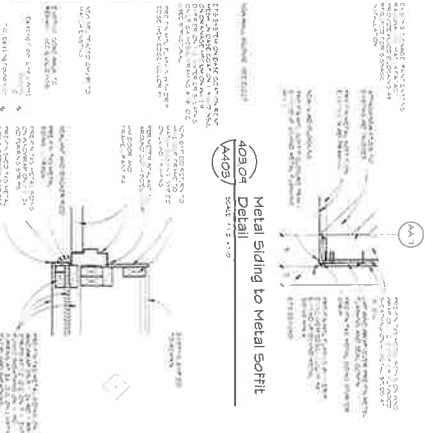
SEIGALUDOMALA
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& PLANNERS INC.

20000 Midway Road
Suite 100
Midway, IL 60059
P: 708.333.4444
F: 708.333.4444
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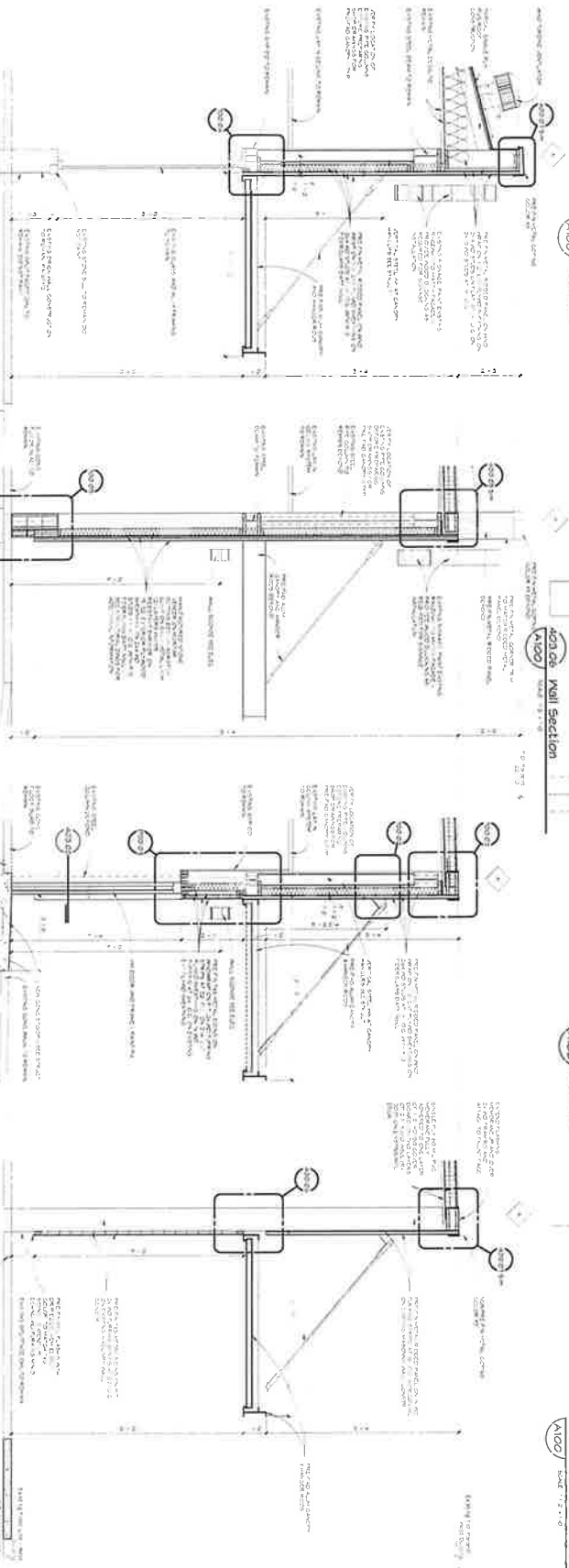


A403.10 Metal Ridge Flashing Detail
SCALE: 1/2" = 1'-0"

A403.09 Mail Section
SCALE: 1/2" = 1'-0"



A403.08 Pre-Fin Metal T&G Sliding Detail
SCALE: 1/2" = 1'-0"



A403.07 Mail Section
SCALE: 1/2" = 1'-0"

A403.06 Mail Section
SCALE: 1/2" = 1'-0"

A403.05 Mail Section
SCALE: 1/2" = 1'-0"

A403.04 Mail Section
SCALE: 1/2" = 1'-0"

A403.01 Mail Section
SCALE: 1/2" = 1'-0"

project name:
NOVI TEN SHOPPING
CENTER
RENOVATION

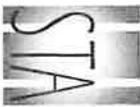
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41400-4174 W. Ten
Mile Road
Novi, Michigan 48375

sheet title:
West Building
Wall Sections

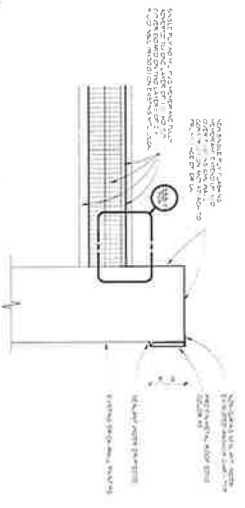
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A403

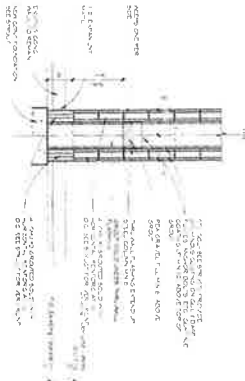
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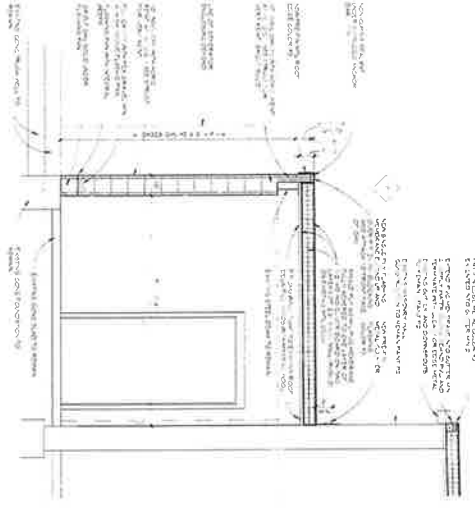
SEGA/1100MMA
ASSOCIATES
ARCHITECTS
& PLANNERS INC.
2700 Northwestern Hwy
Suite 160
Bloomington, MN 55425
P: 612-292-8000
F: 612-292-8001
WWW.STA-ARCHITECTS.COM



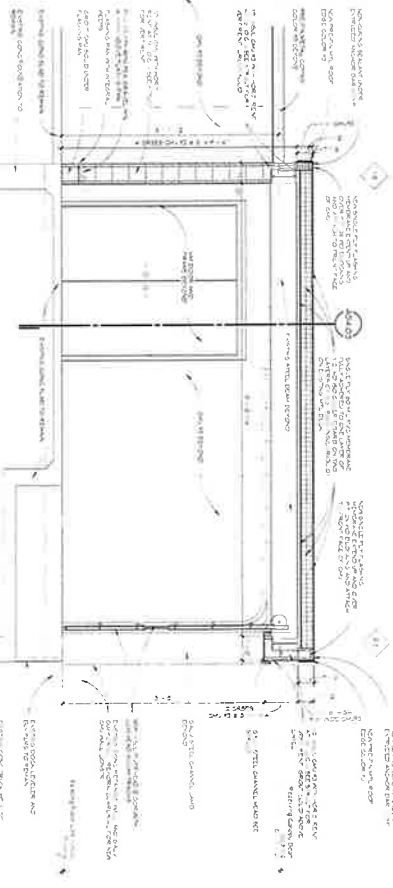
404.03 New Metal Roof Edge Detail
A103 SCALE 1/8" = 1'-0"



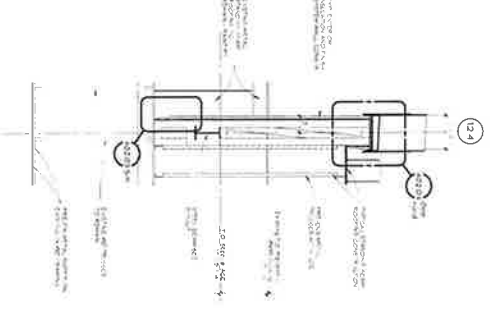
404.01 Column Base Detail
A103 SCALE 3/4" = 1'-0"



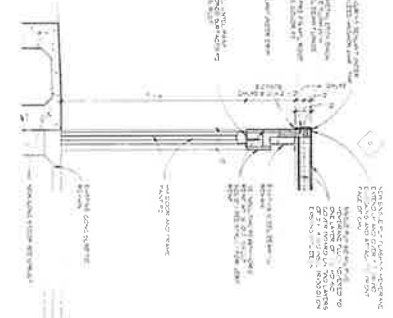
404.05 Wall Section
A100 SCALE 1/2" = 1'-0"



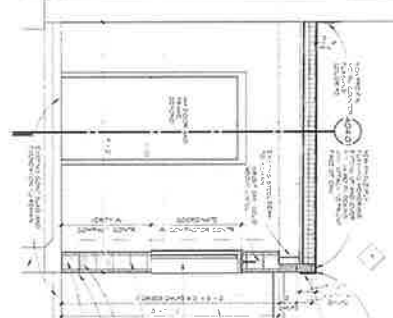
404.04 Wall Section
A103 SCALE 3/4" = 1'-0"



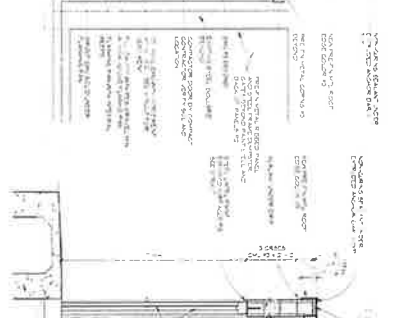
404.06 ACE Pediment Detail
A100 SCALE 1/2" = 1'-0"



404.08 Wall Section
A100 SCALE 1/2" = 1'-0"



404.02 Wall Section
A100 SCALE 1/2" = 1'-0"



404.01 Wall Section
A100 SCALE 1/2" = 1'-0"

PROJECT NAME:
NOV TEN SHOPPING
CENTER
RENOVATION
PROJECT LOCATION:
41400-41774 W. Ten
Mile Road
Novi, Michigan 48375

DATE: (REVISED)
4 JULY 10 2003 Revised
4 AUGUST 1 2003 Revised
PROJECT:
West Building
Wall Sections

PROJECT NUMBER:
2534

SHEET NUMBER:
A404

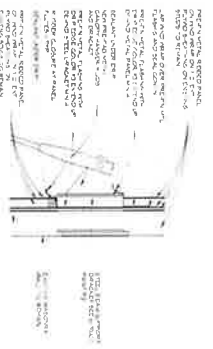
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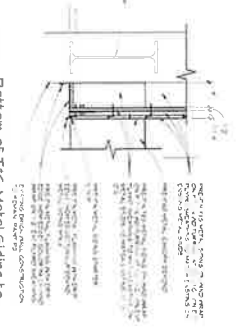
project name:
NOVI TEN SHOPPING
CENTER
RENOVATION

project number:
2534

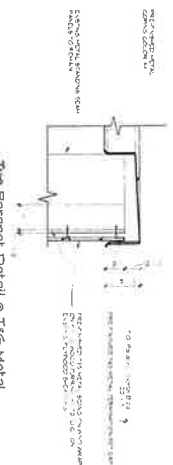
Copyright 02 2021



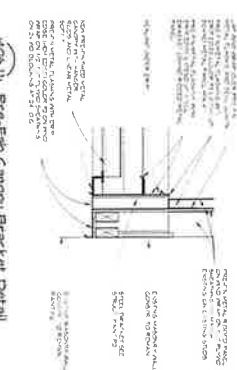
A406.12
Pre-Fab Canopy Hanger Rod
Detail



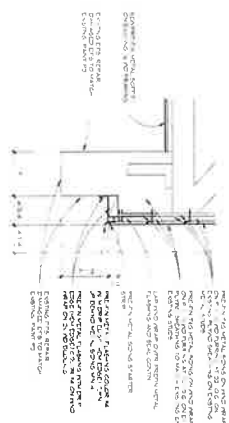
A406.10
Bottom of T16 Metal Sliding to
Detail



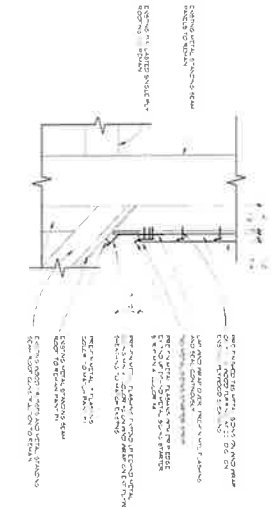
A406.08
Tip Parapet Detail @ T16 Metal
Detail



A406.11
Pre-Fab Canopy Bracket Detail



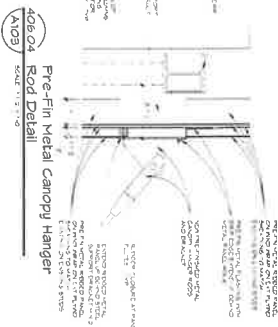
A406.09
Bottom of T16 Metal Sliding to
Detail



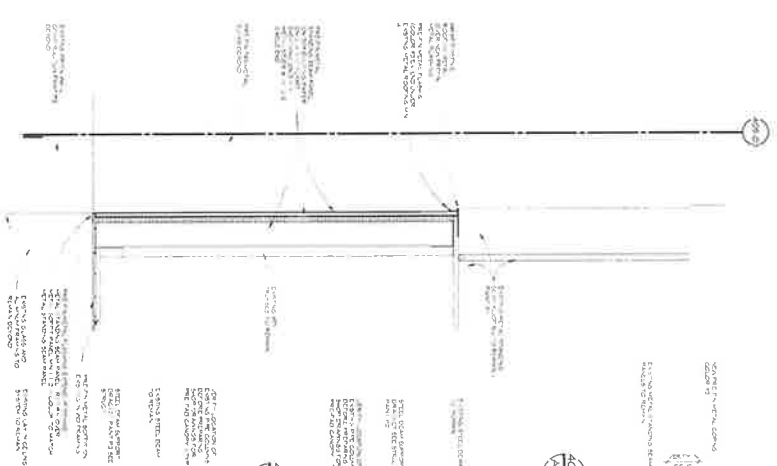
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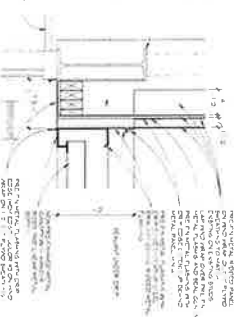
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Tip Parapet Detail @ Ribbed
Metal Panel



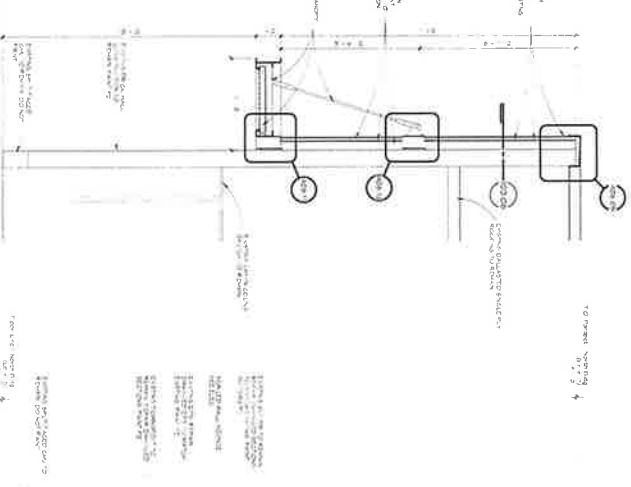
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Pre-Fin Metal Canopy Hanger
Detail



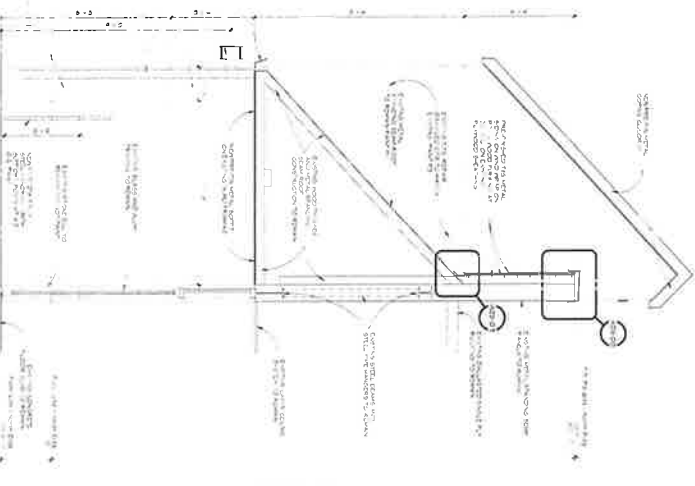
A406.06
Gable End Detail



A406.03
Pre-Fin Metal Canopy Detail



A406.02
Wall Section



A406.01
Wall Section

PROJECT NAME:
NORTH TEN SHOPPING
CENTER
RENOVATION
PROJECT LOCATION:
41400-41774 W. Ten
Mile Road
Novi, Michigan 48375

OWNER:
NORTH TEN SHOPPING
CENTER
RENOVATION
ARCHITECT:
SEGA/JOHNSON
ASSOCIATES
ARCHITECTS
& PLANNERS INC.

SHEET NAME:
North Building
Wall Sections

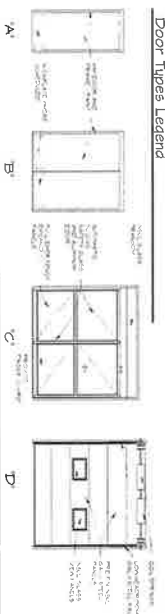
PROJECT NUMBER:
2534
SHEET NUMBER:
A406
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DOOR SCHEDULE

NO.	SYMBOL	DESCRIPTION	QTY
1	1	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
2	2	6'0" x 8'0" Solid Core Door	1
3	3	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
4	4	6'0" x 8'0" Solid Core Door	1
5	5	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
6	6	6'0" x 8'0" Solid Core Door	1
7	7	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
8	8	6'0" x 8'0" Solid Core Door	1
9	9	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
10	10	6'0" x 8'0" Solid Core Door	1
11	11	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
12	12	6'0" x 8'0" Solid Core Door	1
13	13	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
14	14	6'0" x 8'0" Solid Core Door	1
15	15	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
16	16	6'0" x 8'0" Solid Core Door	1
17	17	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
18	18	6'0" x 8'0" Solid Core Door	1
19	19	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
20	20	6'0" x 8'0" Solid Core Door	1

ROOM SCHEDULE

NO.	SYMBOL	DESCRIPTION	QTY
1	1	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
2	2	6'0" x 8'0" Solid Core Door	1
3	3	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
4	4	6'0" x 8'0" Solid Core Door	1
5	5	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
6	6	6'0" x 8'0" Solid Core Door	1
7	7	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
8	8	6'0" x 8'0" Solid Core Door	1
9	9	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
10	10	6'0" x 8'0" Solid Core Door	1
11	11	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
12	12	6'0" x 8'0" Solid Core Door	1
13	13	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
14	14	6'0" x 8'0" Solid Core Door	1
15	15	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
16	16	6'0" x 8'0" Solid Core Door	1
17	17	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
18	18	6'0" x 8'0" Solid Core Door	1
19	19	6'0" x 8'0" Solid Core Door with 1/2" Glass Insert	1
20	20	6'0" x 8'0" Solid Core Door	1



Plan Notes - New Work

1. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

2. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

3. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

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13. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

14. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

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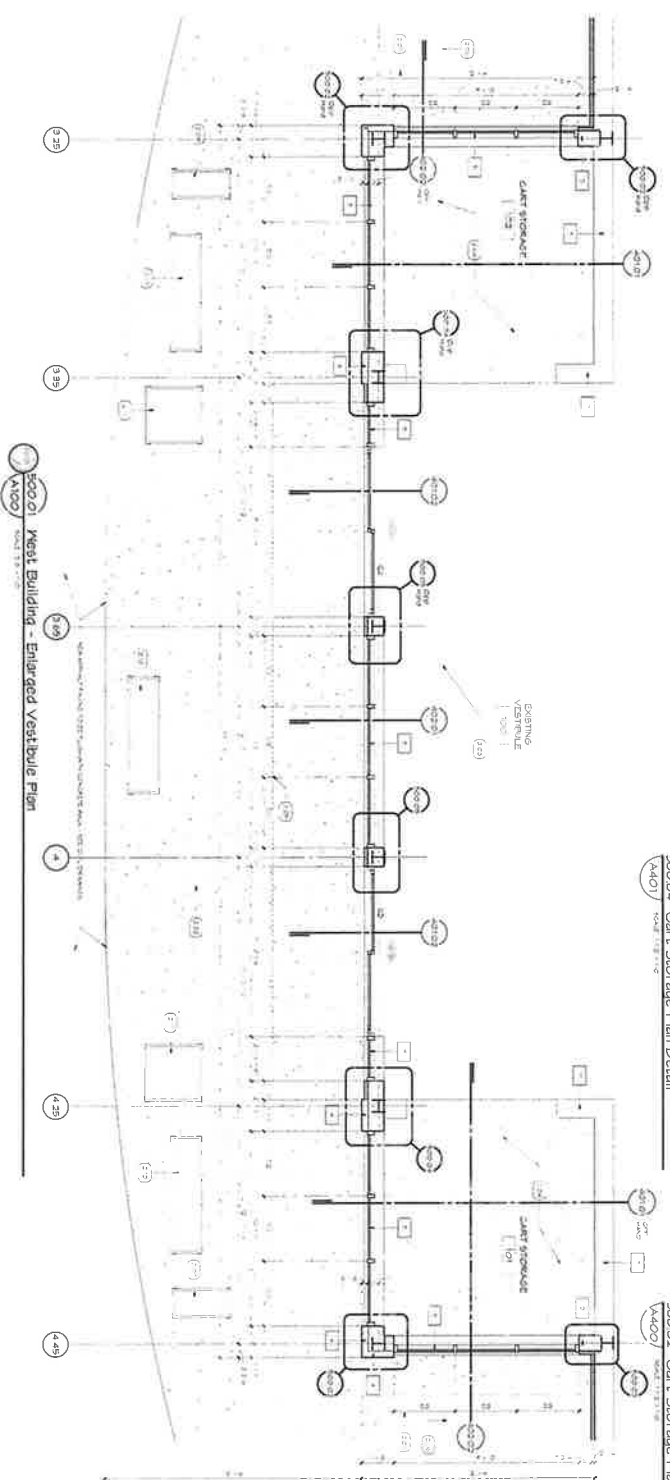
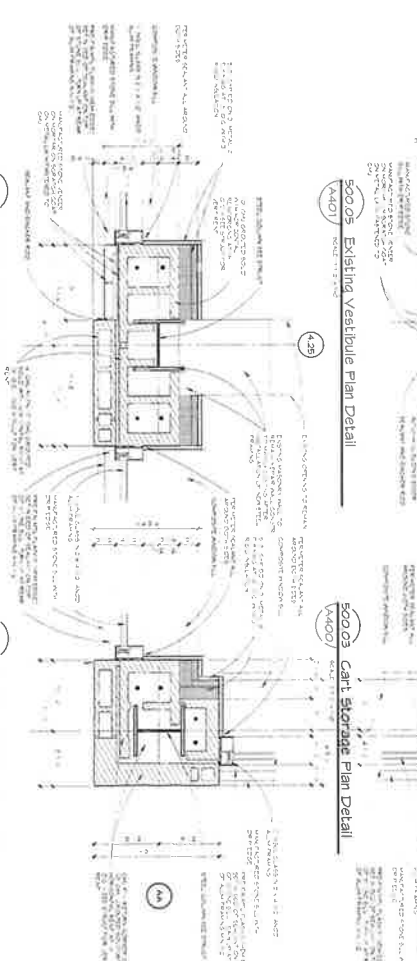
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17. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

18. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

19. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

20. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.



General Notes

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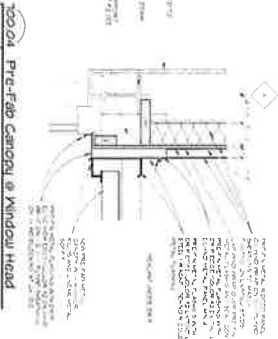
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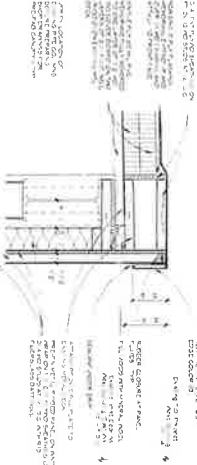
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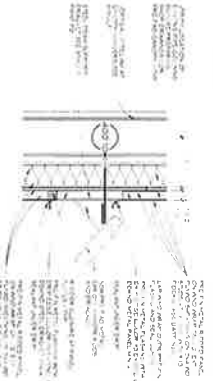
SEAGRAM+HAWORTH
 ASSOCIATES
 ARCHITECTS
 & PLANNERS INC.
 20000 WOODBRIDGE BLVD
 SUITE 100
 BOSTON, MA 02124
 TEL: 617-552-1000
 FAX: 617-552-1001



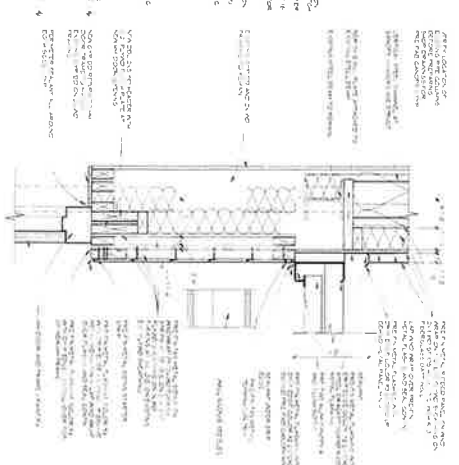
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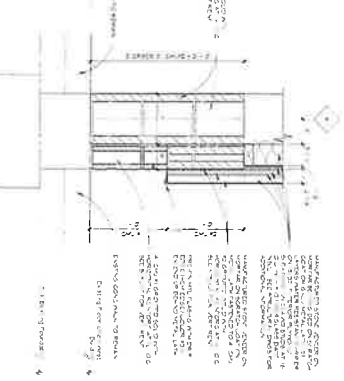
100-03 New Parapet Detail
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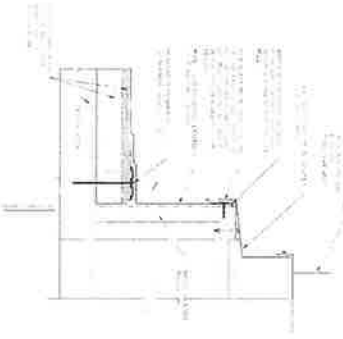
100-02 Pre-Fab Canopy Hanger Rod
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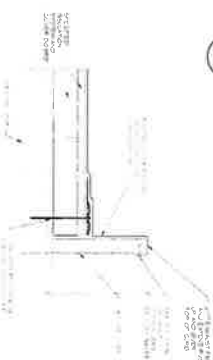
100-01 Detail @ New HM Door
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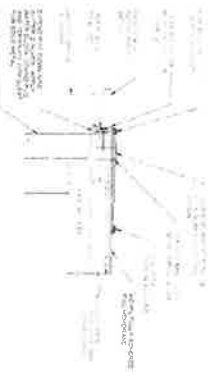
100-05 Door Mill @ Stone Veneer
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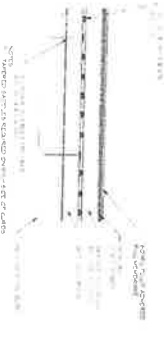
100-04 Typical Curb with Slip Flashing
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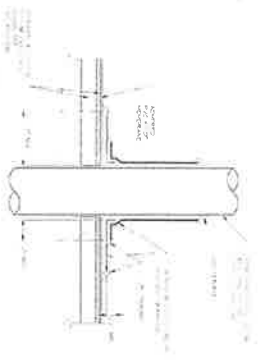
100-03 Typical Up and Over Curb
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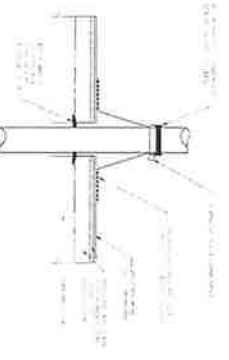
100-07 Edge Metal with Gutter Detail
 SCALE: 1/8" = 1'-0"



100-06 New Roof Profile
 SCALE: 1/8" = 1'-0"



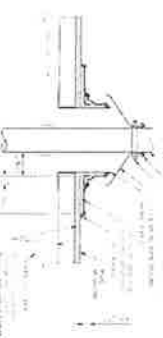
100-15 Field Wrapped Roof Penetration
 SCALE: 1/8" = 1'-0"



100-13 Typical Pipe Boot Detail
 SCALE: 1/8" = 1'-0"



100-12 Typical Membrane Base
 SCALE: 1/8" = 1'-0"



100-10 Non-Curved Alternate Detail
 SCALE: 1/8" = 1'-0"



cityofnovi.org

Receipt: 14336

07/23/25

Page

The sum of: \$1,210.00

ARDIANA'S RESTAURANT LLC

41602 W. 10 MILE RD.
NOVI MI 48375

LIQUOR

QUOTA APPLICATION

1,210.00

Total

1,210.00

TENDERED:

CHECKS

5217

1,210.00

Signed: _____