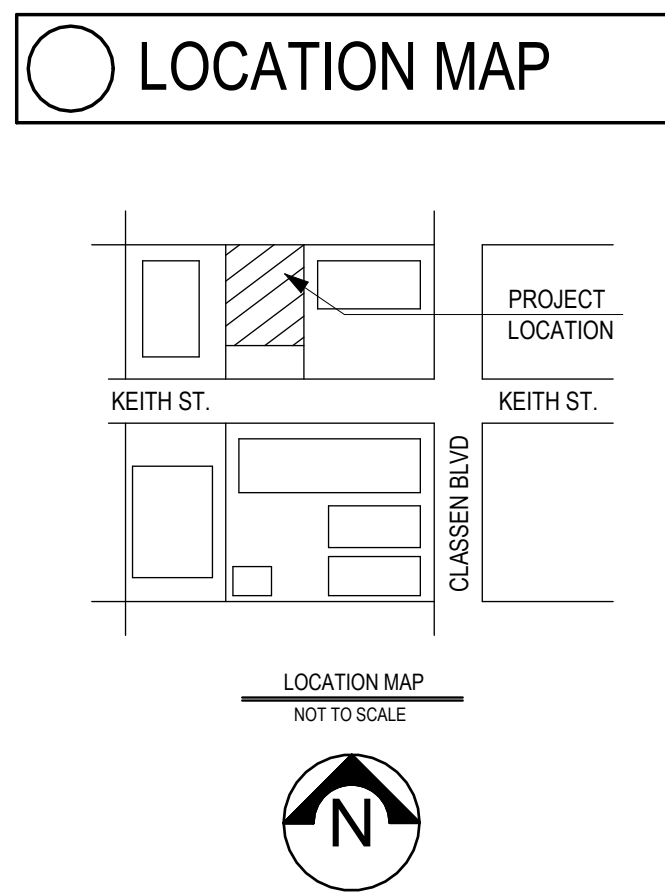
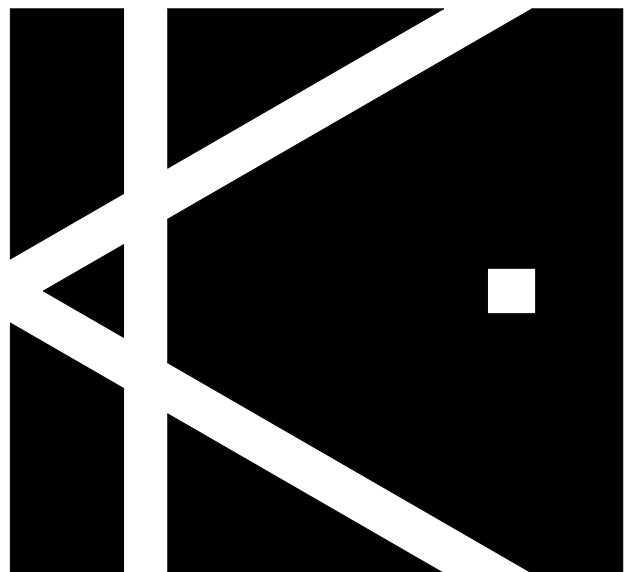


325 KEITH ST, NORMAN, OKLAHOMA



FV001	DRAWING INDEX, CONTACT INFO. & ABBREVIATIONS
FV101	EXISTING SITE PLAN
FV201	EXISTING BASEMENT FLOOR PLAN
FV202	EXISTING FLOOR PLAN
FV203	EXISTING ROOF PLAN
FV204	EXISTING EXTERIOR ELEVATIONS
FV205	EXISTING EXTERIOR ELEVATIONS
FV301	EXISTING INTERIOR ELEVATIONS

OWNER:	MILLER, MICHELLE
PROJECT ADDRESS:	325 KEITH ST, NORMAN, OKLAHOMA
ARCHITECT:	KRITTENBRINK ARCHITECTURE, LLC
CONTACT:	MARK KRITTENBRINK, PRINCIPAL
	PROJECT ARCHITECT: MARK KRITTENBRINK
	119 W. MAIN ST.
	NORMAN, OKLAHOMA 73069
OFFICE:	405-579-7883
PROJECT DESCRIPTION:	EXISTING BUILDING RENOVATION
LEGAL DESCRIPTION:	CLASSEN MILLER W50' OF LOTS 1, 2, 3 AND 4 BLK 7
SQUARE FOOTAGES:	EXISTING TOTAL SF 1249
	EXISTING PORCHES SF 197
	EXISTING DECK SF 151

1. THIS PROJECT'S DESIGN AND CONSTRUCTION DOCUMENTS, IN PART OR IN TOTAL, SHALL NOT BE USED FOR ANY PROJECT OTHER THAN THIS PROJECT, UNLESS AGREED TO IN WRITING BY THIS PROJECT'S ARCHITECT.
2. ALL CONSTRUCTION SHALL MEET ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES, LATEST EDITIONS AS WELL AS SPECIAL ORDINANCES AND/OR REGULATIONS.
3. DO NOT SCALE OFF PLANS!
4. CALL 811 OR VISIT INDIANA811.ORG FOR EXACT LOCATION OF ALL UTILITIES PRIOR TO START OF CONSTRUCTION.
5. THE CONTRACTOR IS TO VISIT THE SITE TO UNDERSTAND THE PROJECT'S SCOPE AND EXISTING CONDITIONS. IF THE EXISTING CONDITIONS DIFFER FROM THE ARCHITECT'S PLANS, CONTACT THE ARCHITECT IN WRITING PRIOR TO THE BID OPENING AND IN TIME FOR THE ARCHITECT TO ISSUE AN ADDENDUM.
6. WHEN THERE ARE CONFLICTS BETWEEN ANY SECTIONS OF THE SPECIFICATIONS AND THE PLANS OR BETWEEN THE PLANS AND SPECIFICATIONS, THE MOST STRICT SHALL APPLY. FOR CLARIFICATIONS, PLEASE CONTACT THE ARCHITECT IN WRITING PRIOR TO THE BID OPENING AND IN TIME FOR THE ARCHITECT TO ISSUE AN ADDENDUM.
7. NO WORK SHALL BE STARTED AT THE SITE UNTIL PROPER PERMITS ARE IN PLACE, SHOP DRAWINGS/SUBMITTALS HAVE BEEN APPROVED, AND A PRE-CONSTRUCTION MEETING WITH OWNER, CONTRACTOR, AND ARCHITECT ARE IN ATTENDANCE.
8. THE CONTRACTOR SHALL GIVE THE ARCHITECT 48 HOURS PRIOR NOTICE IN WRITING THAT THE PROJECT IS READY FOR EACH INSPECTION.
9. THE CONTRACTOR IS TO PROVIDE EMERGENCY FIRE EXTINGUISHERS READILY AVAILABLE AND PROPERLY MAINTAINED AS PER LOCAL FIRE PROTECTION REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING PROPER SAFETY PRECAUTIONS IN COMPLETING THE WORK.
11. REVIEW ANY CONFLICTS OR POTENTIAL PROBLEM AREAS WITH THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. IF WORK IS IN PROGRESS WHEN CONFLICTS OR PROBLEMS ARE DISCOVERED, STOP WORK ON THE AREA IN QUESTION UNTIL A SOLUTION HAS BEEN WORKED OUT WITH THE ARCHITECT OR OWNER.
12. THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMANCE GUARANTEED TO THE BEST OF THE OWNER AT THE SITE SHOWN ON THE PLANS AND IN THE SPECIFICATIONS ONLY. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSONS INVOLVED IN THE PROJECT.

A	AMP	DISP	DISPENSER	HDCP	HANDICAPPED	OA	OVERALL
ABV	ABOVE	DIV	DIVISION	HDW	HARDWARE	O/C	ON CENTER
ACC	AIR CONDITIONING	DL	DEAD LEAD	HDWD	HARDWOOD	OD	OUTSIDE DIAMETER
ACOUS	ACOUSTIC	DN	DOWN	HM	HOLLOW METAL	OHVD	OVERHEAD
ACT	ACUSTICAL TILE	DR	DOOR	HORIZ	HORIZONTAL	OPNG	OPENING
ADD	ADDENDUM	DS	DOWNSPOUT	HR	HOUR	OPP	OPPOSITE
ADJ	ADJACENT/ADJUSTABLE	DTL	DETAIL	HT	HEIGHT		
AFF	ABOVE FINISH FLOOR	E	EAST	HVAC	HEATING VENTILATING & AIR CONDITIONING	PART	PARTITION
ALT	ALTERNATE	EA	EAST	HW	HOT WATER	PERF	PERFORATED
ALUM	ALUMINUM	E	EAST			PERIM	PERIMETER
ANOD	ANODIZED	EC	ELECTRICAL CONTRACTOR	ID	INSIDE DIAMETER	PKCT	POCKET
APPROX	APPROXIMATE	EJ	EXPANSION JOINT	IN	INCH	PL	PLATE
ARCH	ARCHITECT(URAL)	ELEC	ELECTRICAL	INCAN	INCANDESCENT	PLAM	PLASTIC LAMINATE
		ELEV	ELEVATOR/ELEVATION	INCL	INCLUDE	PLAS	PLASTER
		EMER	EMERGENCY	INSUL	INSULATION	PLYWD	PLYWOOD
BD	BOARD			INT	INTERIOR	PNL	PANEL
BLOG	BUILDING	ENG	ENGINEER			PR	PAIR
BLK	BLOCK	EQ	EQUAL			PRCST	PRE-CAST
BLKG	BLOCKING	EST	ESTIMATE	JT	JOINT	PSF	POUNDS PER SQUARE FOOT
BGM	BEAM / BENCH MARK	EW	EACH WAY	JST	JOIST	PSI	POUNDS PER SQUARE INCH
BRG	BEARING	EW	ELECTRIC WATER COOLER			PT	PRESSURE TREATED
BSMT	BASEMENT	(E) EXIST	EXISTING	KIT	KITCHEN	PTD	PAPER TOWEL DISPENSER
BTM	BOTTOM	EXT	EXTERIOR	LAV	LAVATORY	PNT	POINT
CAB	CABINET	FA	FIRE ALARM	LT	LIGHT	PVC	POLYVINYL CHLORIDE
CER	CERAMIC	FD	FLOOR DRAIN	LTWT	LIGHTWEIGHT	PVMT	PAVEMENT
CLASH	COUNTER FLASHING	FE	FIRE EXTINGUISHER	LVR	LOUVER		
CI	CAST IRON	FEC	FIRE EXTINGUISHER CABINET			R	RISE/RADIUS
CIP	CAST IN PLACE	FF	FINISH FLOOR	MAS	MASONRY	RA	RETURN AIR
CJ	CONSTRUCTION JOINT	FI	FIRE HYDRANT	MAT	MATERIAL	RCP	REFLECTED CEILING PLAN
CL	CLING	FHC	FIRE HOSE CABINET	MAX	MAXIMUM	RD	ROOF DRAIN
CLR	CLEAR/CLEARANCE	MBR	MEMBER	MCR	MECHANICAL CONTRACTOR	RECD	RECESSED
CMU	CONCRETE MASONRY UNIT	FLASHG	FLASHING	MECH	MECHANICAL	REF	REFER
CNTR	COUNTER	FLUOR	FLUORESCENT	MECH	MECHANICAL	REFR	REFRIGERATOR
COL	COLUMN	FOUND	FOUNDATION	MEMB	MEMBRANE	REIN	REINFORCING
CONC	CONCRETE	FT	FOOT	MANF	MANUFACTURER	REQD	REQUIRED
CONST	CONSTRUCTION	FTG	FOOTING	MH	MAN HOLE	REV	REVISION
CONT	CONTINUOUS	FURR	FURRING	MIN	MINIMUM	RH	ROBE HOOK
CORR	CORROGATED			MIR	MIRROR	RM	ROOM
CRPT	CARPET	GA	GAUGE	MISC	MISCELLANEOUS	RO	ROUGH OPENING
CRT	CERAMIC TILE	GALV	GALVANIZED	MTD	MOUNTED	R&S	ROD & SHELF
CTR	CENTER	GB	GRAB BAR	MO	MASONRY OPENING		
CU FT	CUBIC FOOT	GC	GENERAL CONTRACTOR	MOD	MODULAR	S	SOUTH
CU YD	CUBIC YARD	GEN	GENERAL	MTL	METAL	SA	SUPPLY AIR
CW	COLD WATER	GL	GLASS/GLAZING	MUL	MULLION	SC	SOLID CORE
		GL BL	GLASS BLOCK			SCHED	SCHEDULE
D	DEEP/DEPTH	GR	GRADE	N	NORTH	SD	SOAP DISPENSER
DBL	DOUBLE	GYP	GYPSPUM	NA	NOT APPLICABLE	SEC	SECTION
DEMO	DEMOLITION	GWB	GYPSPUM WALL BOARD	NIC	NOT IN CONTRACT	SH	SHEET
DF	DRINKING FOUNTAIN			NO	NUMBER	SIM	SIMILAR
DIA	DIAMETER	HB	HOSE BIB	NOMN	NOMINAL	SJ	SCORED JOINT
DIAG	DIAGONAL	HC	HOLLOW CORE	NLS	NOT TO SCALE	SNP	SANITARY NAPKIN DISPENSER
DIM	DIMENSION	HDR	HEADER			SPECS	SPECIFICATIONS

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Miller Michelle
Residence
325 Keith St, Norman
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FIELD
VERIFICATION SET
12.03.2024

[illegible]

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0	00-00-00	BID ISSUE
0	00-00-00	CONST. ISSUE

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CCG	MLK

SHEET TITLE

DRAWING INDEX,
CONTACT INFO. &
ABBREVIATIONS

SHEET NO.

FV001





STRUCTURAL CONSULTANT:
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SHEET TITLE:

EXISTING FIRST FLOOR PLAN

FV20



KRITTENBRIN

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Miller Michelle
Residence
325 Keith St, Norman
Oklahoma

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REVISIONS		

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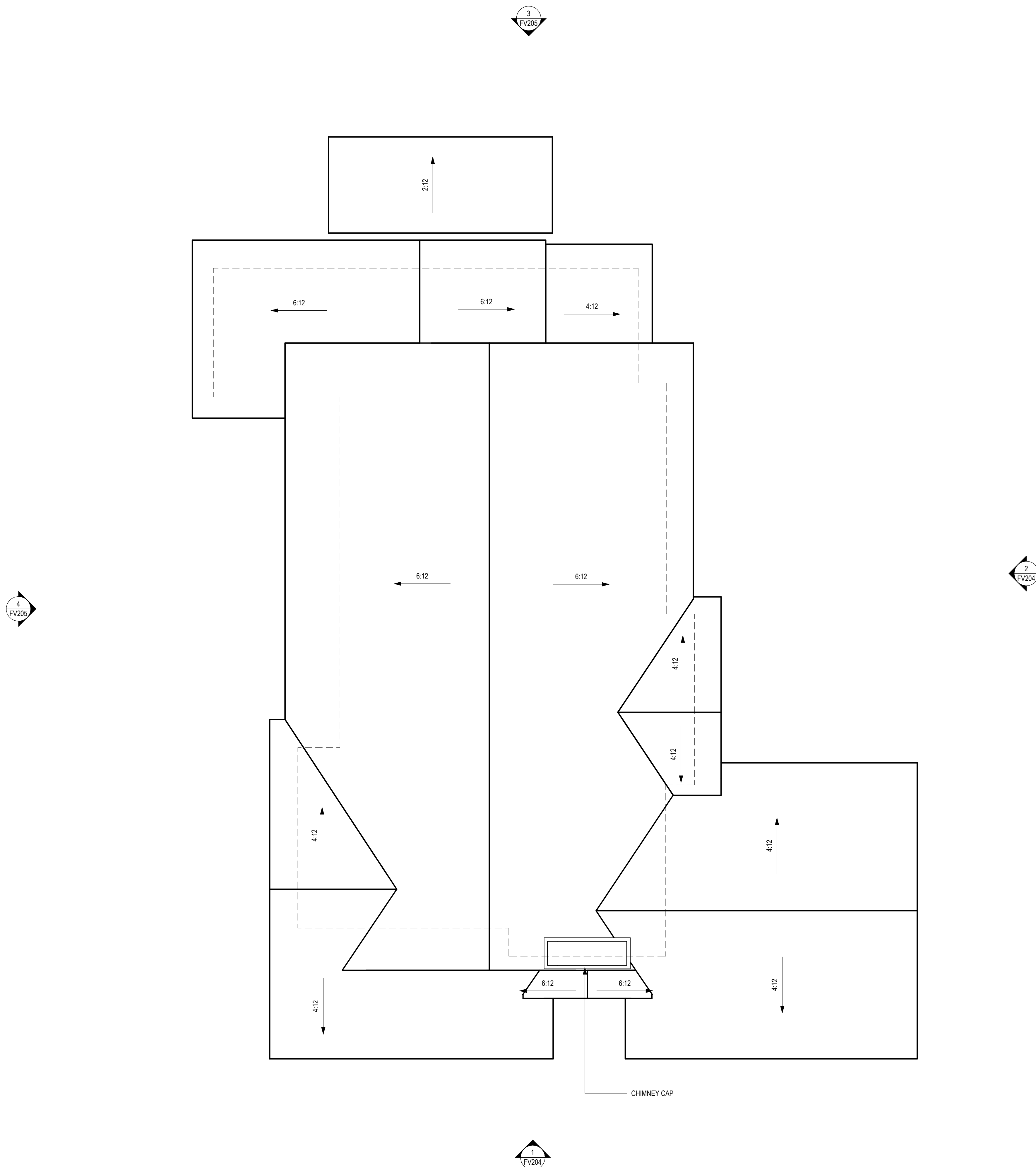
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**EXISTING ROOF
PLAN**

SHEET NO:

FV20



1 EXISTING ROOF PLAN

1/4" = 1'-0"

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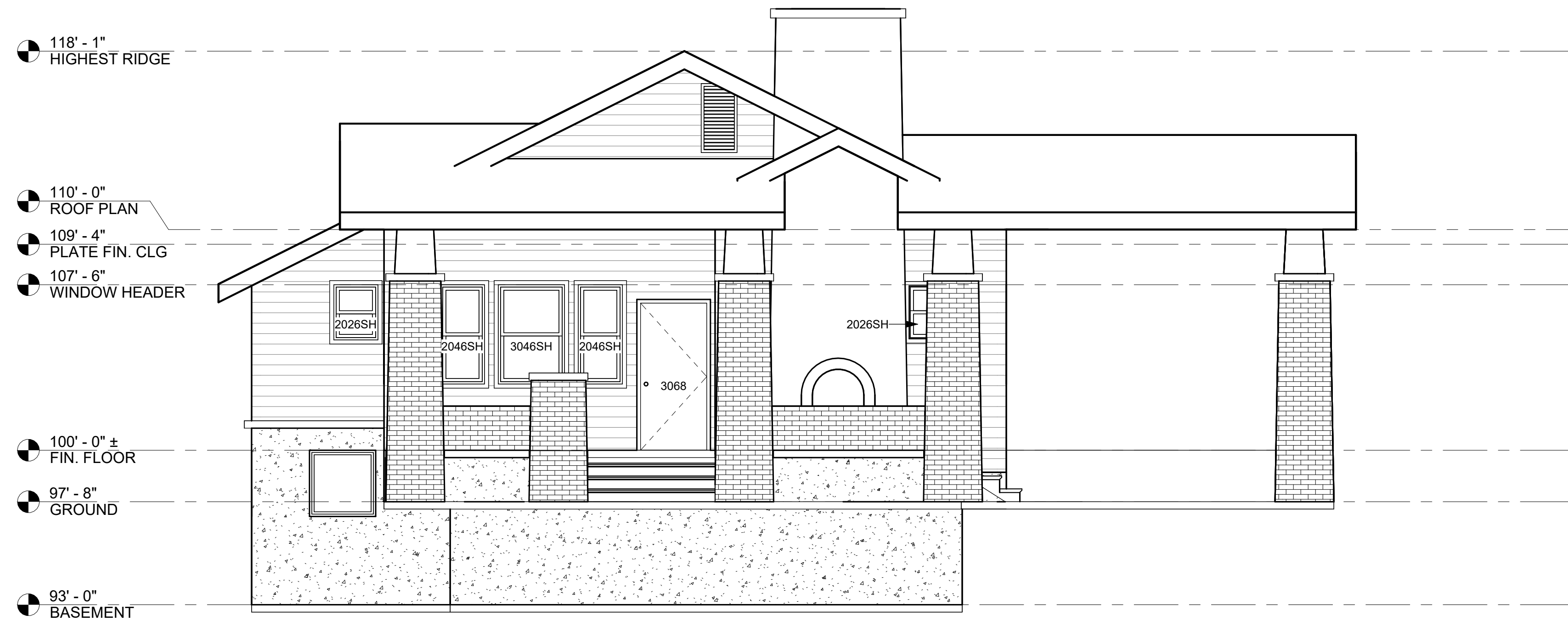
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EXISTING
EXTERIOR
ELEVATIONS

SHEET NO: _____

FV204



1 SOUTH FRONT EXTERIOR ELEVATION 1/4" = 1'-0"



2 EAST RIGHT EXTERIOR ELEVATION 1/4" = 1'-0"



FAX 405 292 05

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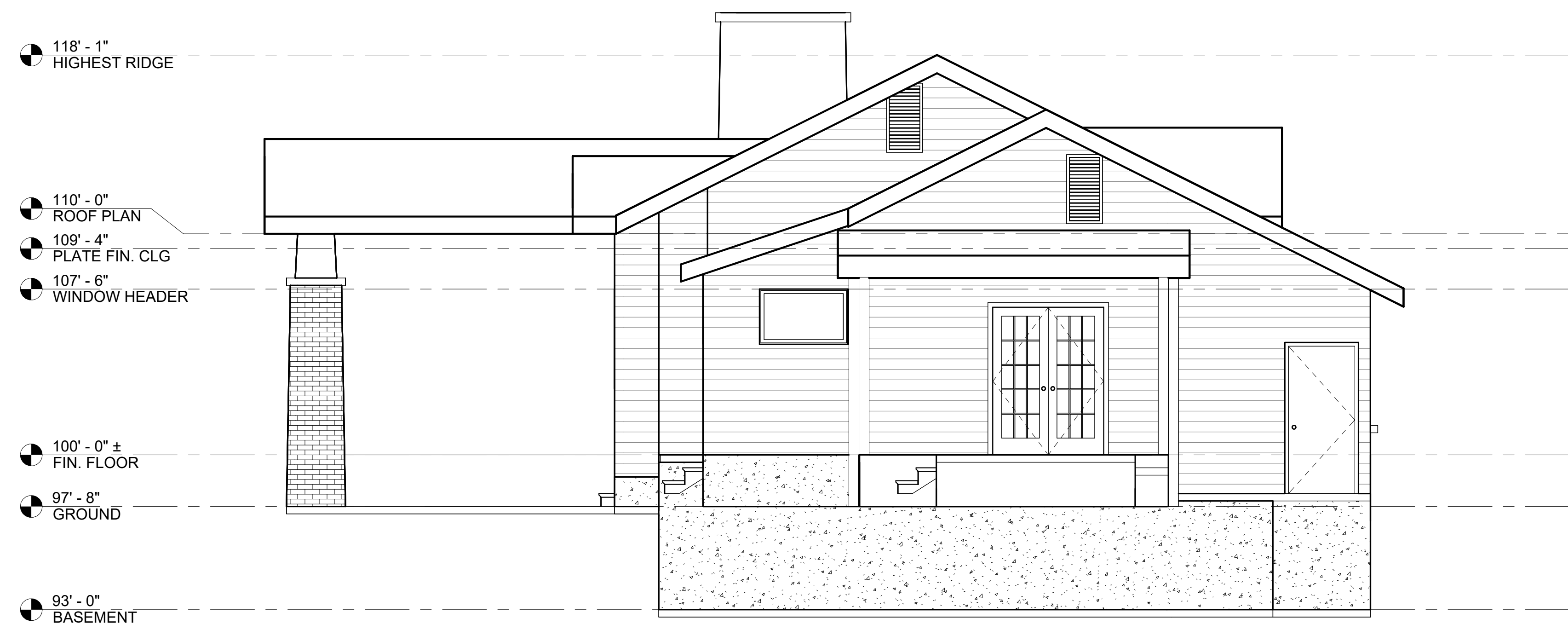
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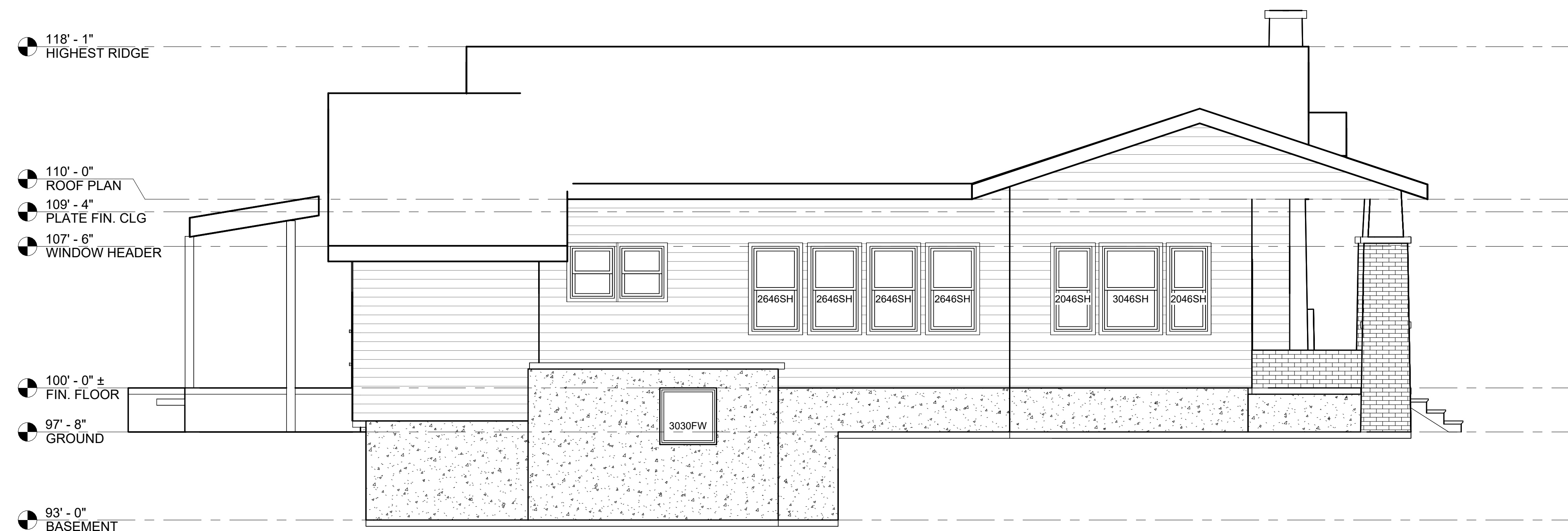
SHEET TITLE:
EXISTING
EXTERIOR
ELEVATION

SHEET NO:

FV20



3 NORTH REAR EXTERIOR ELEVATION
1/4" = 1'-0"



4 WEST LEFT EXTERIOR ELEVATION 1/4" = 1'-0"

