



ARCHITECTURAL

CO COVER SHEET

- A1.0 DEMO SITE PLAN
A1.1 SITE PLAN
A2.1 FIRST FLOOR PLAN
A2.2 SECOND FLOOR AND ADU PLAN
A2.3 ROOF PLAN

- A3.1 ELEVATIONS
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A4.1 FOUNDATION PLAN
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A5.1 ELECTRICAL PLAN LAYOUT

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PROJECT INFORMATION

- A. APPLICABLE CODES
INTERNATIONAL RESIDENTIAL CODE 2018

AREA TOTALS

FRONT PORCH	148 SQ.FT.	
SCREENED PATIO	189 SQ.FT.	
OUTDOOR KITCHEN	63 SQ.FT.	
2 CAR GARAGE	576 SQ.FT.	
FIRST FLOOR AREA (F)	1,980 SQ.FT.	2,054 (V) SQ.FT.
SECOND FLOOR AREA (F)	593 SQ.FT.	609 (V) SQ.FT.
ADU FLOOR AREA (F)	483 SQ.FT.	
UNDER ROOF (FRAME)	4,032 SQ.FT.	
TOTAL HOUSE LIVING AREA (FRAME)	2,573 SQ.FT.	
OVERALL LIVING AREA (FRAME)	3,056 SQ.FT.	
OVERALL LIVING AREA (VENEER)	3,146 SQ.FT.	

GENERAL NOTES

- I. ALL WORK SHALL CONFORM TO BUILDING CODES, ORDINANCES, AND LAWS HAVING JURISDICTION AT PROJECT SITE. NOTIFY ARCHITECT IN WRITING OF ALL CONFLICTS.
- II. EXAMINATION OF SITE: THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AFFECTING THE WORK. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO PREPARE THE SITE FOR EXECUTION OF THIS CONTRACT.
- III. DIMENSIONS: DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT IN WRITING OF DISCREPANCIES. VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES IN WRITING BEFORE PROCEEDING WITH WORK. ANY ERRORS, AMBIGUITIES AND OMISSIONS IN DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO ARCHITECT FOR CORRECTION BEFORE ANY PART OF THE WORK IS STARTED. UNLESS EXPRESSLY STIPULATED, NO ADDITIONAL ALLOWANCE WILL BE MADE IN THE CONTRACTORS' AND/OR MANUFACTURERS' FAVOR BY VIRTUE OF ERRORS, AMBIGUITIES AND/OR OMISSIONS WHICH SHOULD HAVE BEEN DISCOVERED DURING THE PREPARATION OF BID ESTIMATE AND DIRECTED TO THE ARCHITECT'S ATTENTION IN A TIMELY MANNER.
- IV. CONTRACTORS: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR PROPER COORDINATION AND COMPLETION OF THE WORK DESCRIBED. BEFORE ORDERING MATERIALS OR COMMENCING WITH WORK WHICH IS DEPENDENT UPON PROPER SIZING OF, OR INSTALLATION IN EXISTING PREVIOUS CONDITIONS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS AND EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENT BEFORE ANY WORK AFFECTED THEREBY IS COMMENCED.
- V. MATERIALS: WHEN REFERENCE IS MADE IN THE SPECIFICATIONS TO TRADE NAMES OR TO THE NAMES OF MANUFACTURERS, SUCH REFERENCES ARE MADE SOLELY TO DESIGNATE AND IDENTIFY QUALITY OF MATERIAL OR EQUIPMENT, AND NOT TO RESTRICT COMPETITIVE BIDDING. IF THE CONTRACTOR WISHES TO USE MATERIALS OR EQUIPMENT OTHER THAN SPECIFIED, PRIOR WRITTEN APPROVAL OF ARCHITECT AND OWNER MUST BE OBTAINED. THE ARCHITECT AND OWNER WILL APPROVE SUCH MATERIAL OR EQUIPMENT CHANGES IF THEY ARE CONSIDERED SUITABLE AND EQUAL TO THOSE SPECIFIED.
- VI. MANUFACTURER'S DIRECTIONS: ALL MANUFACTURED ARTICLES, MATERIAL AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURERS, UNLESS HEREIN SPECIFIED TO THE CONTRARY.
- VII. WORK AND MATERIAL NOT SPECIFIED: ANY ITEM OF WORK NECESSARY TO THE PROPER COMPLETION OF CONSTRUCTION UNDER THIS CONTRACT WHICH IS NOT SPECIFICALLY COVERED IN THE DRAWINGS AND SPECIFICATIONS SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED. MATERIALS AND EQUIPMENT NOT SPECIFICALLY COVERED BY THE DRAWINGS AND SPECIFICATIONS SHALL BE OF A STANDARD EQUAL TO GOOD PRACTICE COMMENSURATE WITH THE CLASS OF STRUCTURE CONSTRUCTED AND TO THE MATERIALS SHOWN OR SPECIFIED HEREIN.
- VIII. PERMITS, FEES AND NOTICES: THE OWNER WILL SECURE AND PAY FOR THE BUILDING PERMIT UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL OTHER PERMITS RELATED TO HIS WORK. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, CODES AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF HIS WORK.
- IX. INSURANCE: OWNER AND ALL CONTRACTORS SHALL EFFECT AND MAINTAIN PROPER INSURANCE.
- X. CHANGES IN WORK: ALL CHANGES IN THE DOCUMENTS ARE TO BE DOCUMENTED BY MEMO, FIELD ORDER, OR CHANGE ORDER INITIATED BY THE ARCHITECT AND SIGNED BY OWNER AND CONTRACTOR.

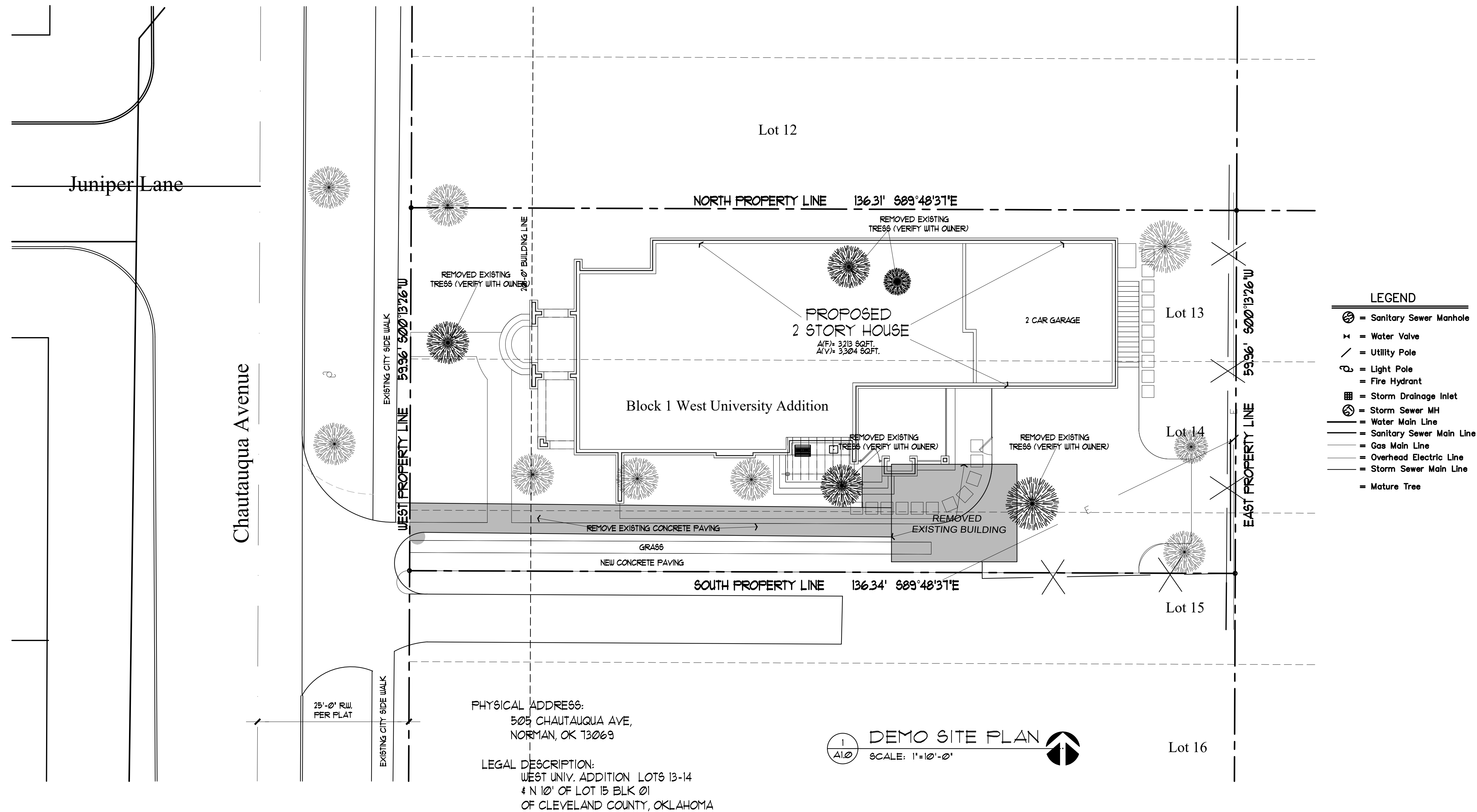
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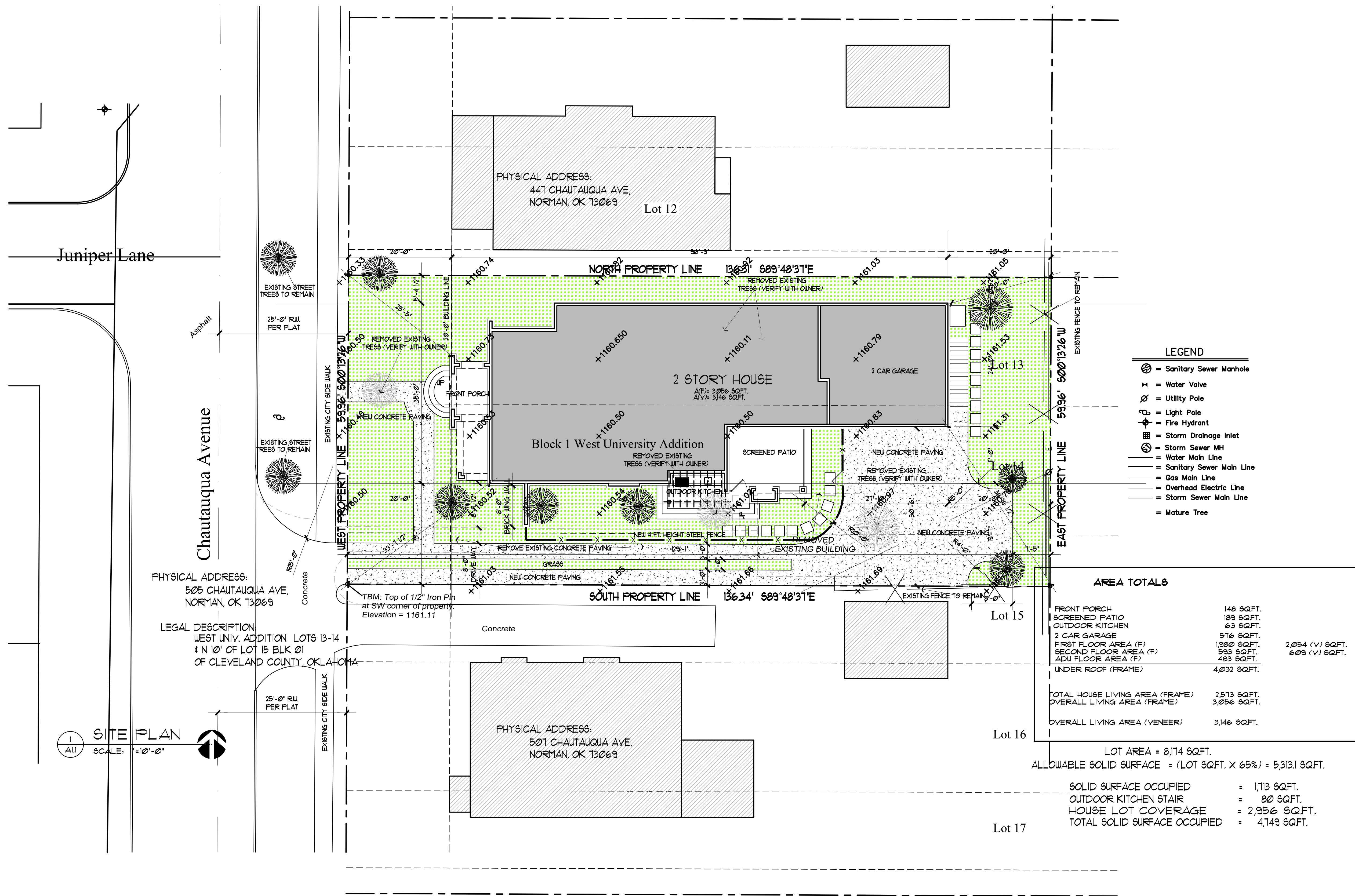
WALL SECTION		SECTION NUMBER DRAWING NUMBER	DETAIL REFERENCE		DETAIL NUMBER DRAWING NUMBER
BUILDING SECTION		SECTION NUMBER DRAWING NUMBER	REFERENCE OR DATUM		
COLUMN GRID LINE			ELEVATION REFERENCE		DETAIL NUMBER DRAWING NUMBER
ROOM REFERENCE		VESTIBULE ROOM NAME ROOM NUMBER	CENTER LINE		
DOOR NUMBER		REFERENCE DOOR SCHEDULE	NORTH REFERENCE		
			REVISION REFERENCE		

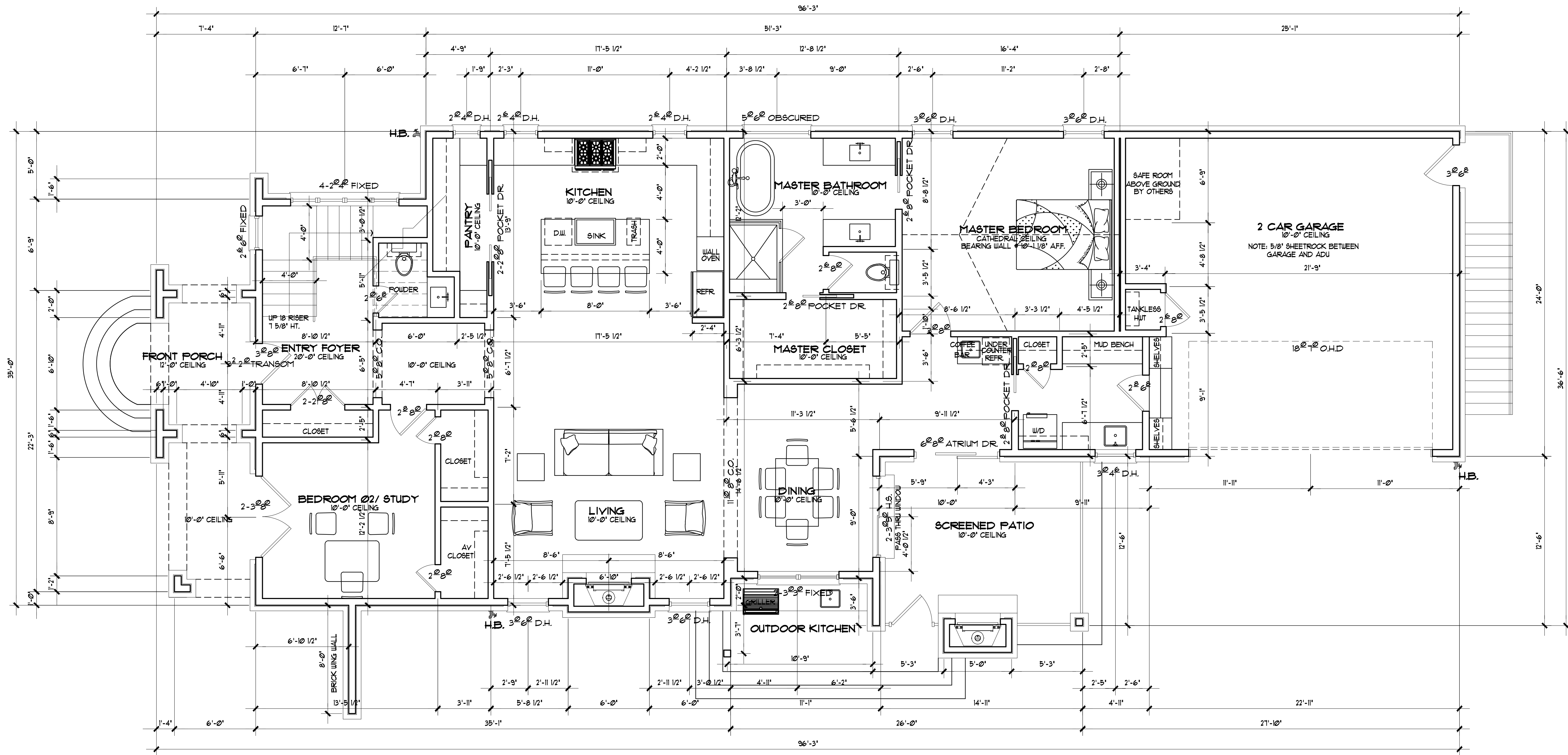
505 CHAUTAUQUA AVE,
NORMAN, OK 73069

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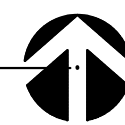


AREA TOTALS

FRONT PORCH	148 SQFT.	
SCREENED PATIO	189 SQFT.	
OUTDOOR KITCHEN	63 SQFT.	
2 CAR GARAGE	516 SQFT.	
FIRST FLOOR AREA (F)	1980 SQFT.	2054 (V) SQFT.
SECOND FLOOR AREA (F)	583 SQFT.	603 (V) SQFT.
ADU FLOOR AREA (F)	483 SQFT.	
UNDER ROOF (FRAME)	4,032 SQFT.	

TOTAL HOUSE LIVING AREA (FRAME) 2,513 SQFT.
OVERALL LIVING AREA (FRAME) 3,056 SQFT.

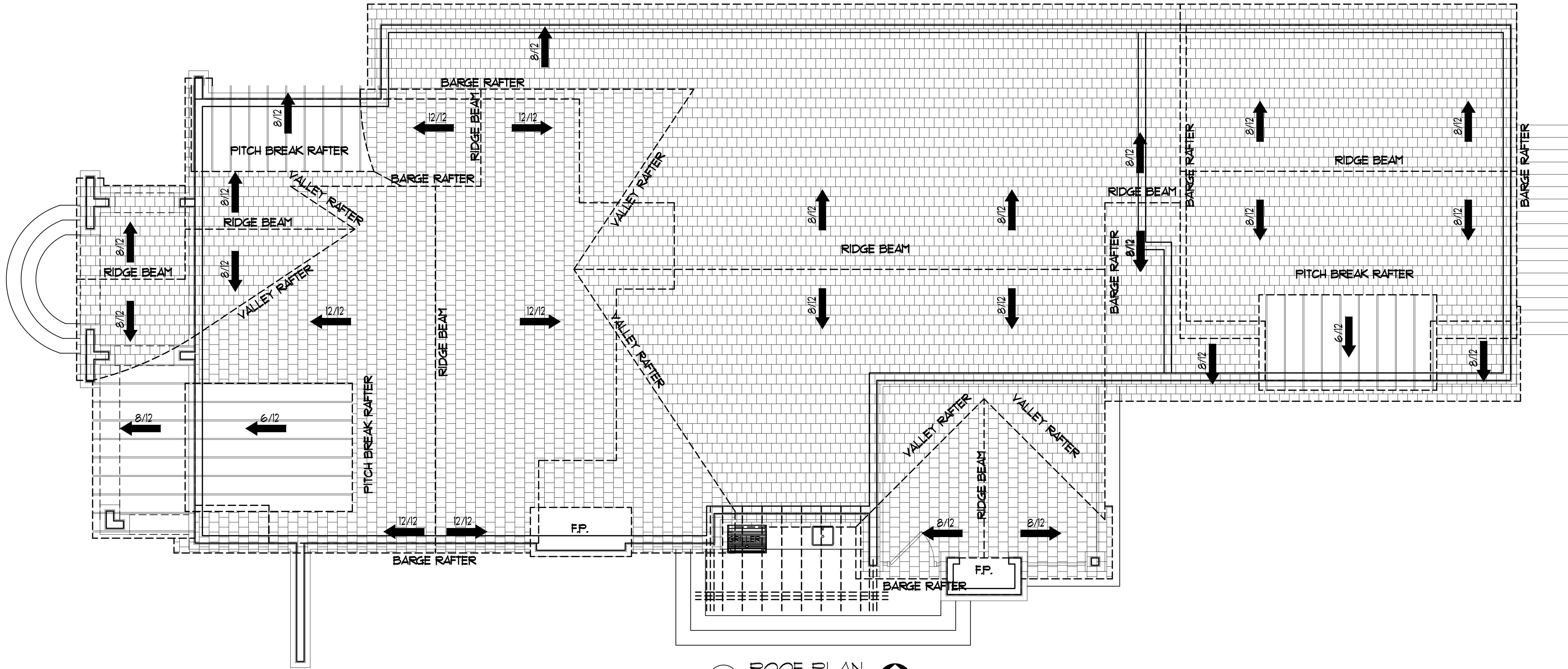
OVERALL LIVING AREA (VENEER) 3,146 SQFT.

1 FIRST FLOOR PLAN
A2.1 SCALE: 1/4"=1'-0"

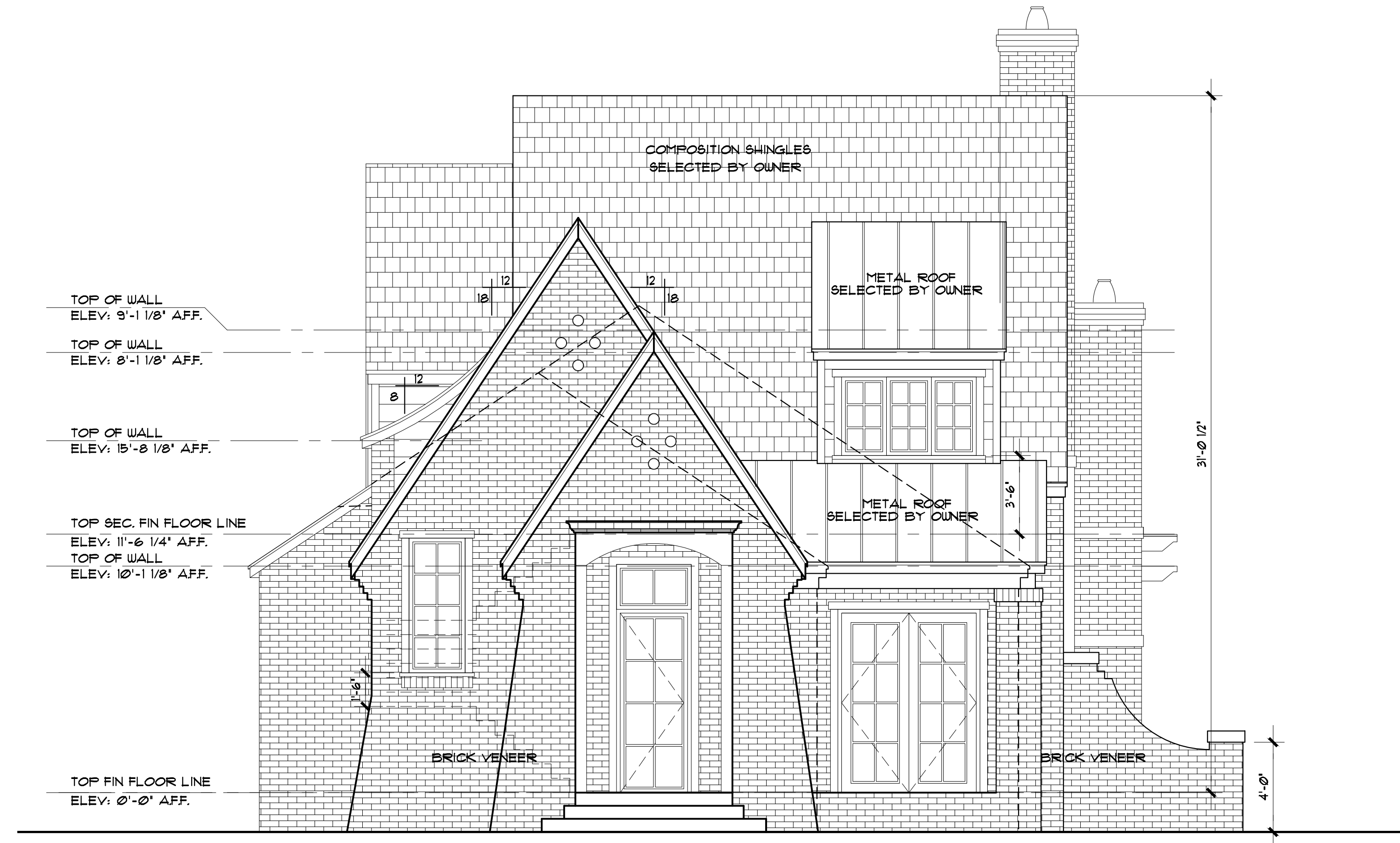
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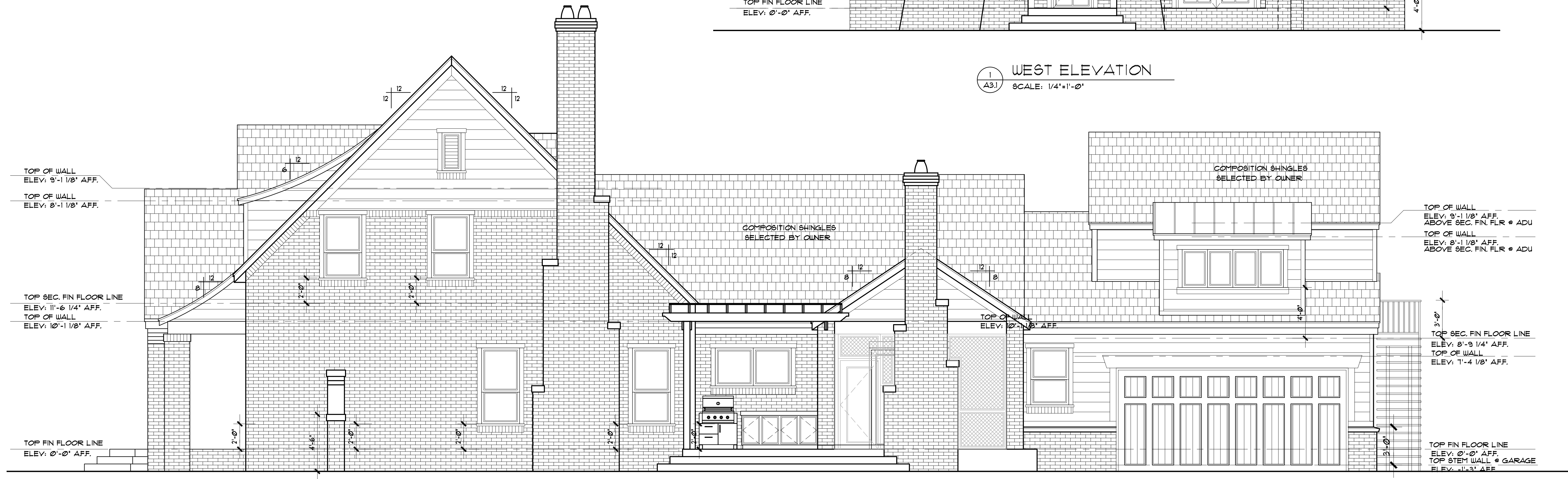
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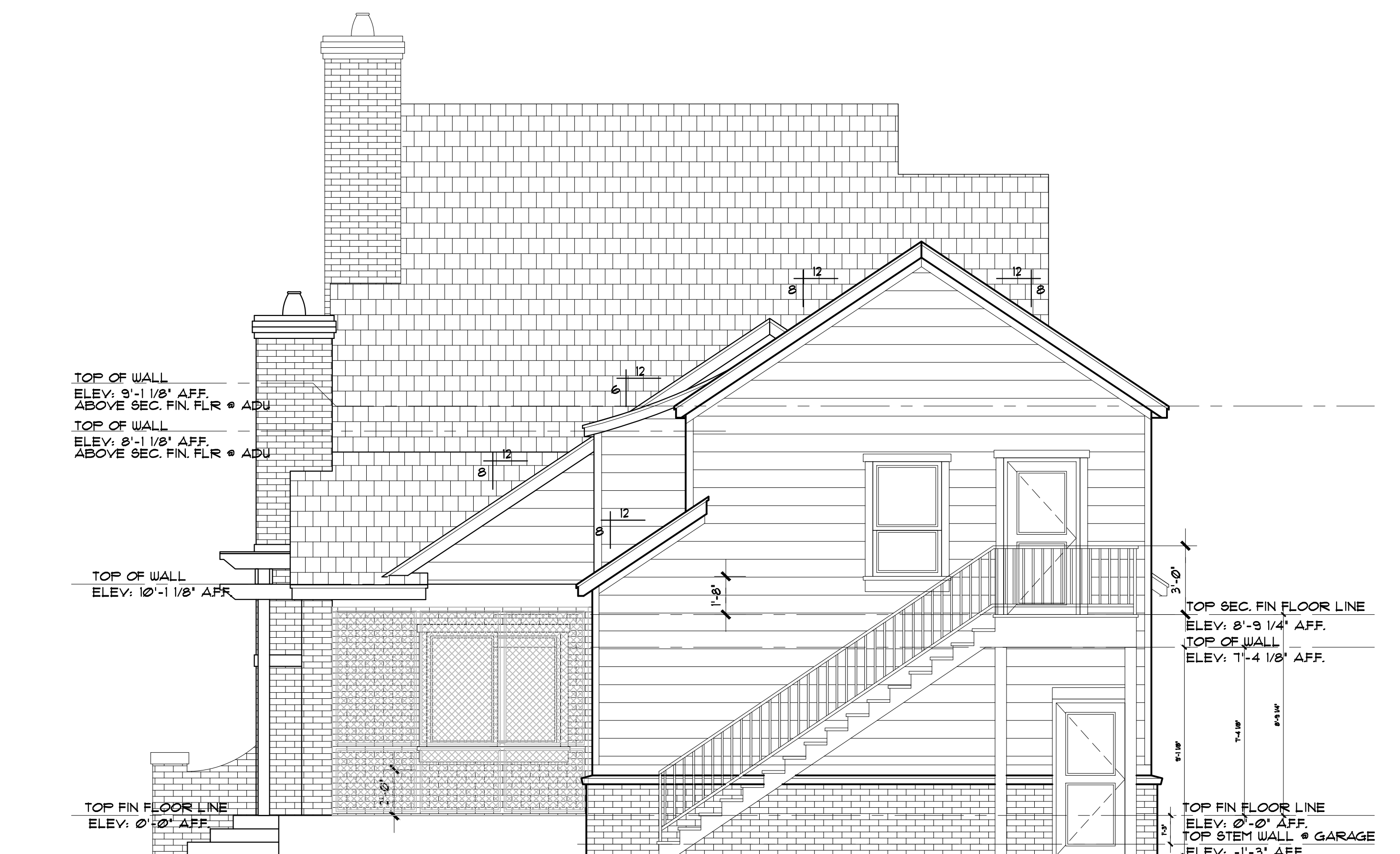
1 ROOF PLAN
A2.3 SCALE: 1/4"=1'-0"



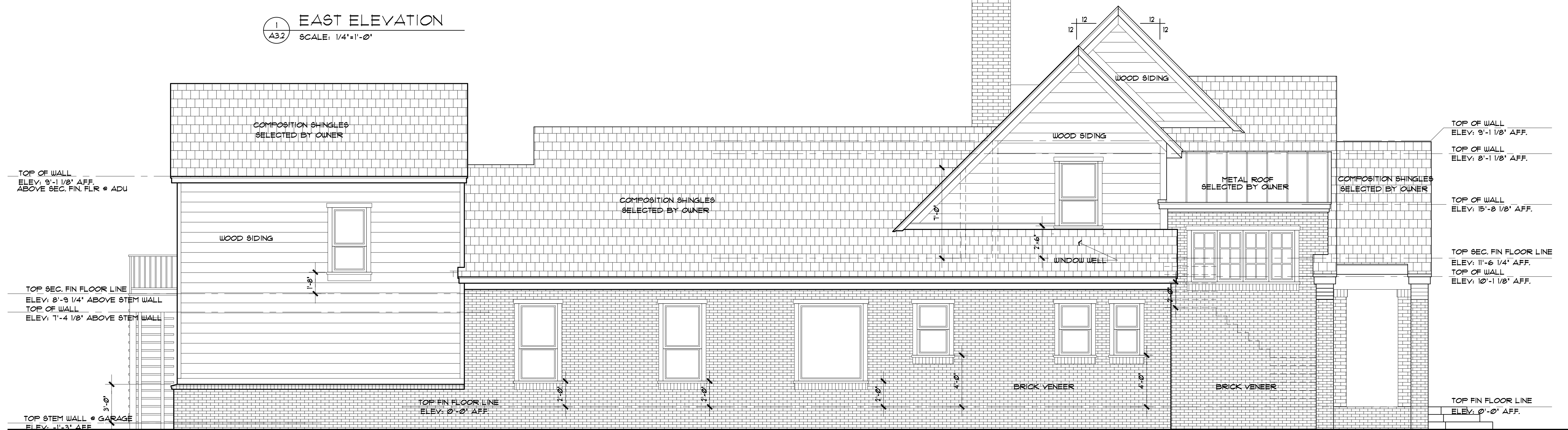
1 WEST ELEVATION
SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 EAST ELEVATION
A3.2 SCALE: 1/4"=1'-0"



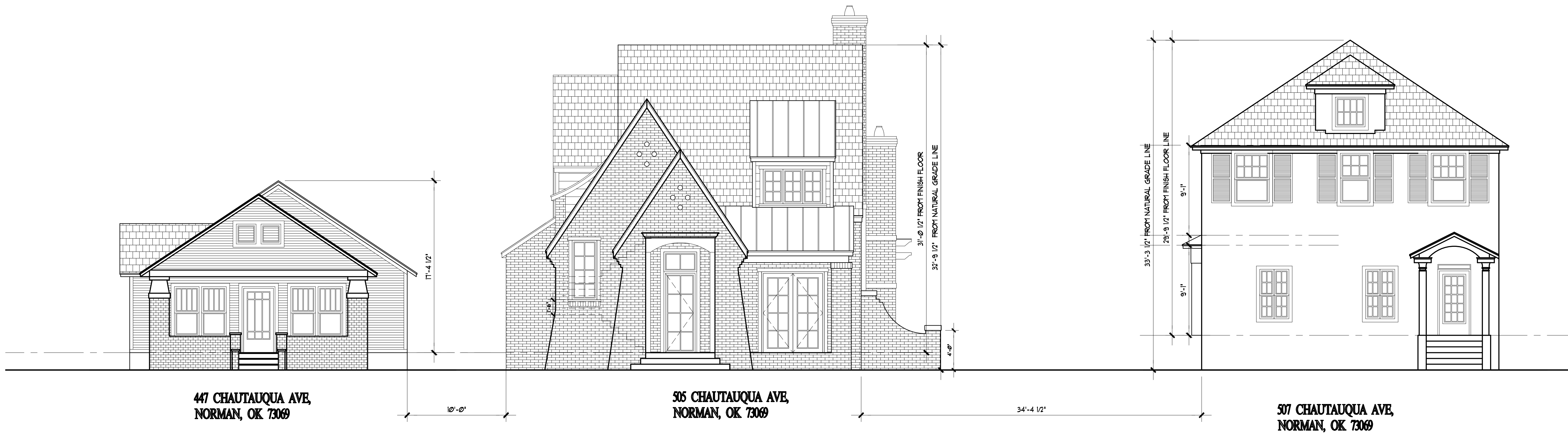
2 NORTH ELEVATION
A3.2 SCALE: 1/4"=1'-0"



PHOTOS OF NEIGHBORS FROM COUNTY ASSESSOR ONLINE



BRITANNI & MICHAEL RESIDENCE
505 CHAUTAUQUA AVE,
NORMAN, OK 73069



STREET ESCAPE ELEVATIONS

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PROJECT #: 24.018
DATE: 08.13.24
DRAWING NO.

A3.3

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A4.1



GENERAL NOTES:

FOUNDATION & EXCAVATION NOTES:

1. FOOTING DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. THIS VALUE MUST BE CONFIRMED BY SOIL TESTS ON ACTUAL SITE. IF SOIL TESTS SHOW A LOWER ALLOWABLE BEARING VALUE, FOUNDATION DESIGN SHALL BE REVISED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS OF THE GEOTECH ENGINEER.
2. ALL VEGETATION, TOP SOIL, AND ANY LOOSE MATERIAL BENEATH THE PROPOSED BUILDING SITE SHALL BE STRIPPED AND REMOVED. EXPOSED SUBGRADE SHALL BE PROOF-ROLLED AND SOILS WHICH ARE OBSERVED TO RUT AND DEFLECT EXCESSIVELY SHALL BE UNDERCUT AND REMOVED ALSO.
3. ON-SITE MATERIAL USED AS FILL MATERIAL SHALL BE TREATED WITH EITHER LIME OR CLASS 'C' FLY ASH. A MINIMUM APPLICATION RATE OF 5 TO 6 PERCENT LIME OR 15 TO 18 PERCENT CLASS 'C' FLY ASH, BASED ON THE DRY UNIT WEIGHT OF THE SOILS, SHALL BE USED.

REINFORCING STEEL NOTES:

1. ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318-95, 'BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE' AND ACI 315-95, 'STANDARD DETAILING MANUAL'.
2. REINFORCING STEEL SHALL MEET ASTM A-615, GRADE 60.
3. PROVIDE BENT BARS AT CORNERS, UNLESS SHOWN OTHERWISE ON THE PLANS. BARS THAT ARE TOO LONG TO BE PLACED IN ONE PIECE SHALL BE LAP SPICED AT A DISTANCE AS GIVEN BELOW. FOR HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST BELOW, USE 14 TIMES THESE DISTANCES:
- | | | | |
|----------|------|----------|------|
| #3 BARS | 16' | #4 BARS | 22' |
| #5 BARS | 21' | #6 BARS | 35' |
| #7 BARS | 48' | #8 BARS | 63' |
| #9 BARS | 80' | #10 BARS | 102' |
| #11 BARS | 115' | | |
4. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A-185. EDGE AND END SPICES SHALL HAVE A MINIMUM LAP OF ONE FULL MESH AND SHALL BE HELD IN PLACE BY WIRING ALL LAPS SECURELY TOGETHER.
5. REINFORCING SHALL NOT BE WELDED IN ANY MANNER UNLESS APPROVED BY THE ENGINEER.
6. ALL REINFORCING STEEL IN FOOTINGS SHALL BE SUPPORTED FROM ABOVE WHILE POURING CONCRETE.

CONCRETE NOTES:

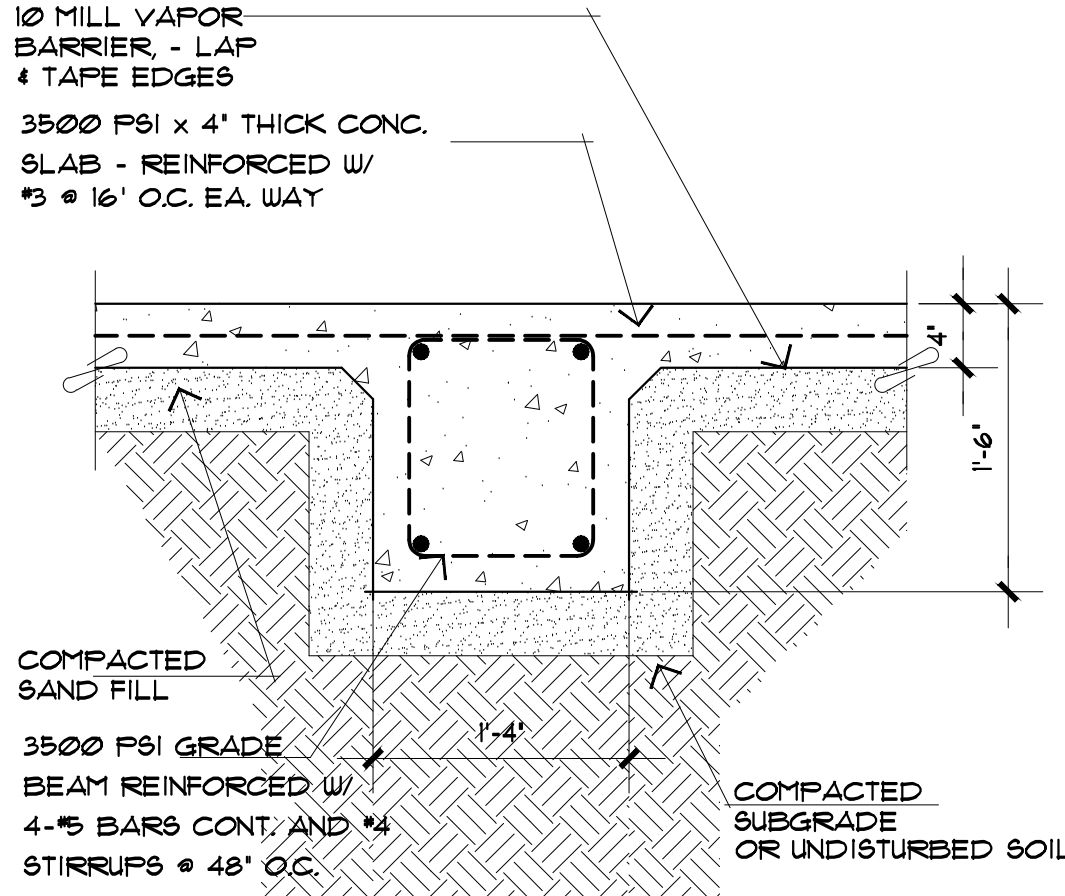
1. ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS NOTED OTHERWISE.
2. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-95, 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS', AND ACI 308-95, 'BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE'.
3. ALL EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4", UNLESS NOTED OTHERWISE.
4. CLEAR DISTANCES FROM CAST-IN-PLACE CONCRETE SURFACES TO REINFORCING SHALL BE NO LESS THAN THE FOLLOWING UNLESS NOTED OTHERWISE:
- | | |
|--------------------|-------------|
| WALLS | 3" |
| BEAMS AND COLUMNS | 1 1/2" |
| GRADE BEAMS | 2" |
| BOTTOM OF FOOTINGS | 3" |
| SLABS-ON-GRADE | 2" FROM TOP |
| SUPPORTED SLABS | 1" |

STICK FRAMING NOTES:

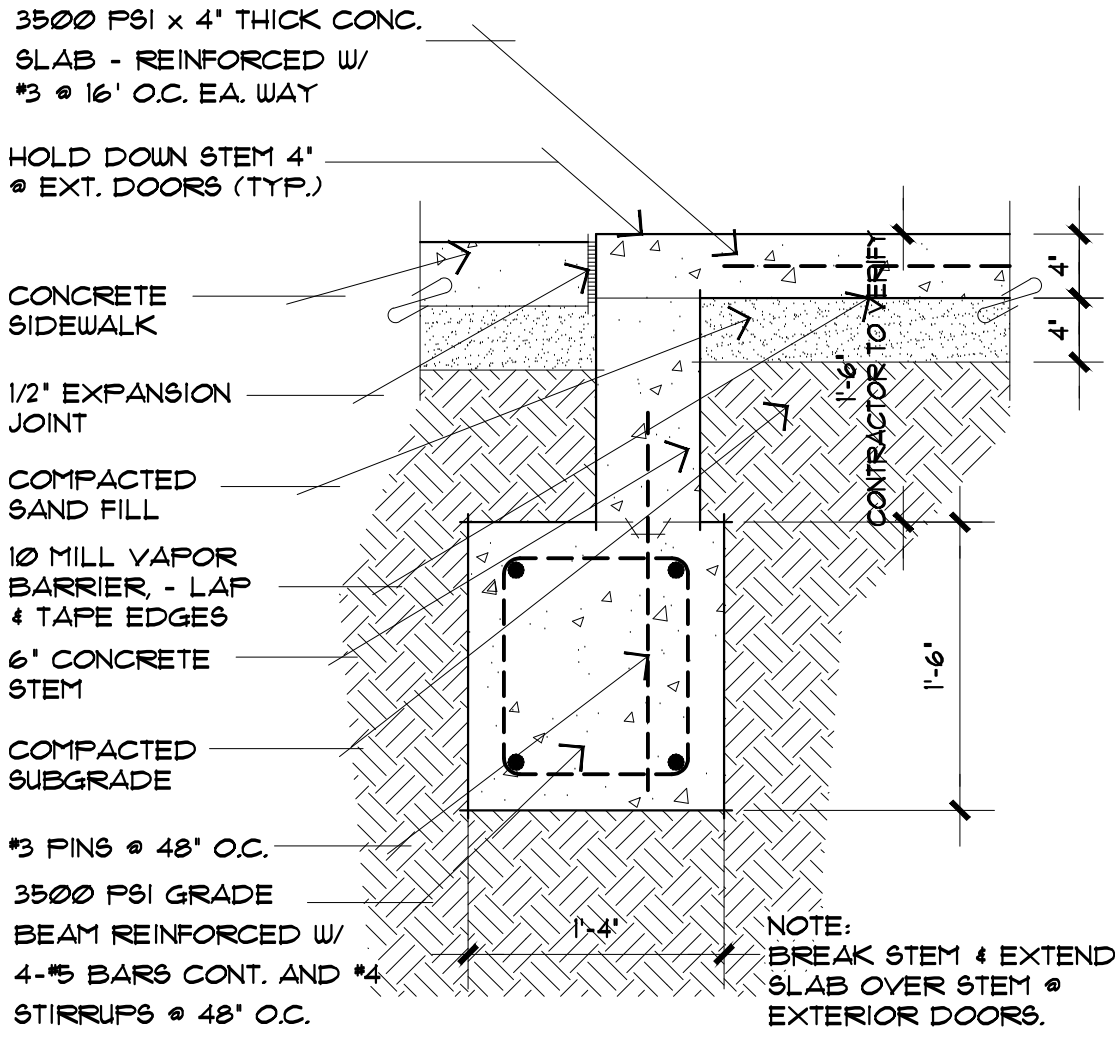
- A. CEILING JOISTS SHALL BE ONE OF THE FOLLOWING
- 2x6's @ 16" O.C. W/ MAX. SPAN OF 15'-6"
 - 2x6's @ 24" O.C. W/ MAX. SPAN OF 14'-9"
 - 2x8's @ 24" O.C. W/ MAX. SPAN OF 18'-9"
 - 2x8's @ 48" O.C. W/ MAX. SPAN OF 14'-6"
- B. RAFTERS SHALL BE ONE OF THE FOLLOWING:
- 2x6's @ 16" O.C. W/ MAX. SPAN OF 10'-0"
 - 2x6's @ 24" O.C. W/ MAX. SPAN OF 9'-0"
 - 2x8's @ 16" O.C. W/ MAX. SPAN OF 14'-0"
 - 2x8's @ 24" O.C. W/ MAX. SPAN OF 11'-0"
 - 2x10's @ 16" O.C. W/ MAX. SPAN OF 11'-0"
 - 2x10's @ 24" O.C. W/ MAX. SPAN OF 14'-0"
 - 2x12's @ 16" O.C. W/ MAX. SPAN OF 24'-0"
 - 2x12's @ 24" O.C. W/ MAX. SPAN OF 21'-0"

WOOD FRAMING NOTES:

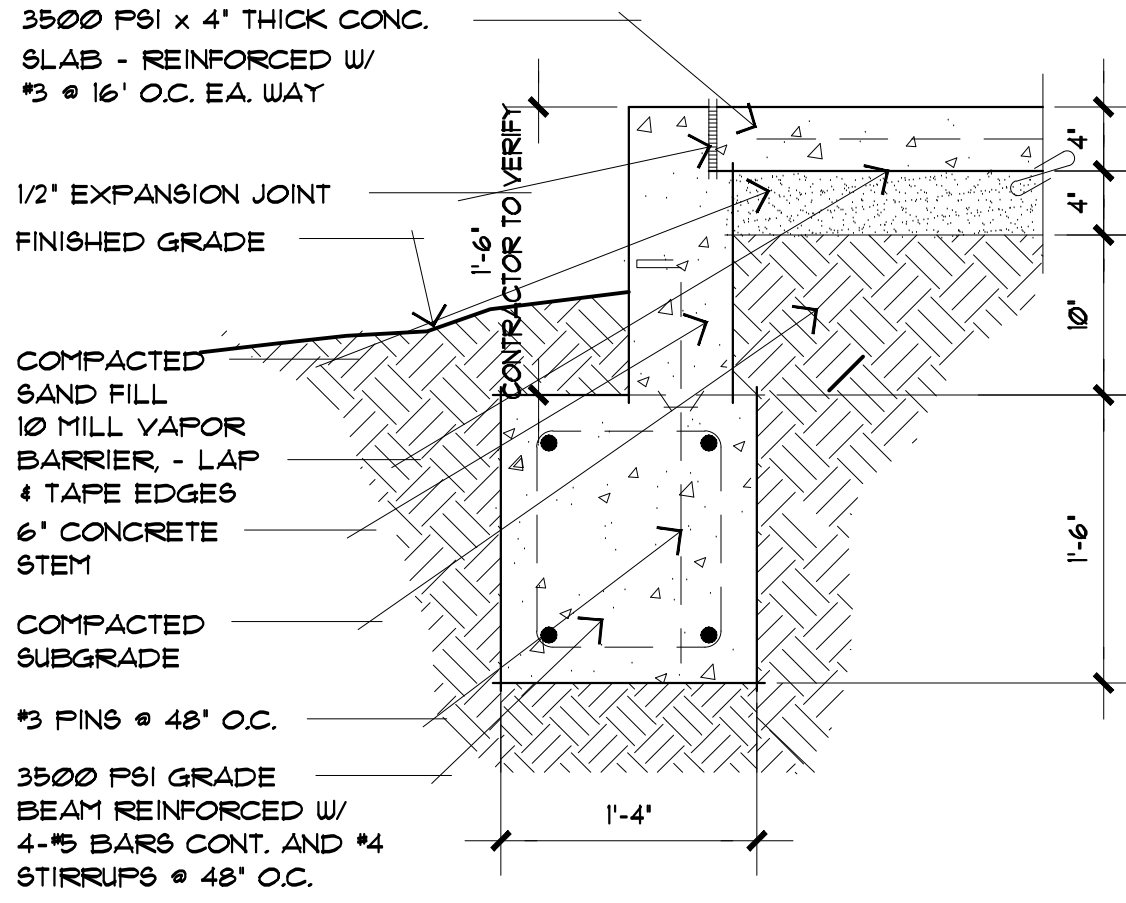
1. ALL STRUCTURAL WOOD FRAMING SHALL BE PROPORTIONED, FABRICATED, DELIVERED, AND ERECTED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE TIMBER CONSTRUCTION MANUAL, AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, LATEST EDITION.
2. UNLESS NOTED OTHERWISE, ALL SAWN LUMBER FRAMING SHALL BE DOUGLAS FIR SO. PINE, OR HEM-FIR WITH THE FOLLOWING MINIMUM ALLOWABLE STRESSES AND PROPERTIES FOR NORMAL DURATION OF LOAD, SINGLE MEMBER USE, AND USE AT MAXIMUM MOISTURE CONTENT OF 19 %
- A) BEAMS AND RAFTERS: (NO. 2 GRADE)
- EXTREME FIBER IN BENDING, F = 1250 PSI
 - HORIZONTAL SHEAR, F = 90 PSI
 - MODULUS OF ELASTICITY, E = 1,600,000 PSI
- B) PREFABRICATED WOOD TRUSSES AND JOISTS: (ACCORDING TO MANUFACTURER)
3. ALL WALL SHEATHING AS SHOWN ON THE DRAWINGS SHALL BE 1/2" APA RATED SHEATHING WITH A 40/20 SPAN RATING.
4. ALL ROOF DECKING AS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE 5/8" APA RATED DECK WITH A 40/20 SPAN RATING.
5. OSB DECK OR SHEATHING WILL BE PERMITTED ONLY WITH THE OWNER'S APPROVAL. IF OSB IS USED IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PONDING WATER AND OTHER WEATHER EFFECTS ARE NOT ALLOWED TO DETERIORATE THE SURFACE OF THE OSB DECK.
6. A 1/8 INCH GAP SHOULD BE PROVIDED AT THE PERIMETER OF ADJACENT DECK OR SHEATHING PANELS TO ALLOW FOR EXPANSION DUE TO MOISTURE EXPOSURE DURING CONSTRUCTION.
7. WHEN DECK OR SHEATHING PANELS ARE INSTALLED IN A LARGE AREA A TEMPORARY EXPANSION JOINT SHOULD BE CREATED BY OMITTING ONE PANEL EVERY 80 FEET. THE ADJACENT DIAGONAL PANELS SHOULD BE OMITTED CREATING A SAW-TOOTH PATTERN.
8. PROVIDE DOUBLE TJIS AT SECOND FLOOR WALLS PARALLEL TO TJIS.



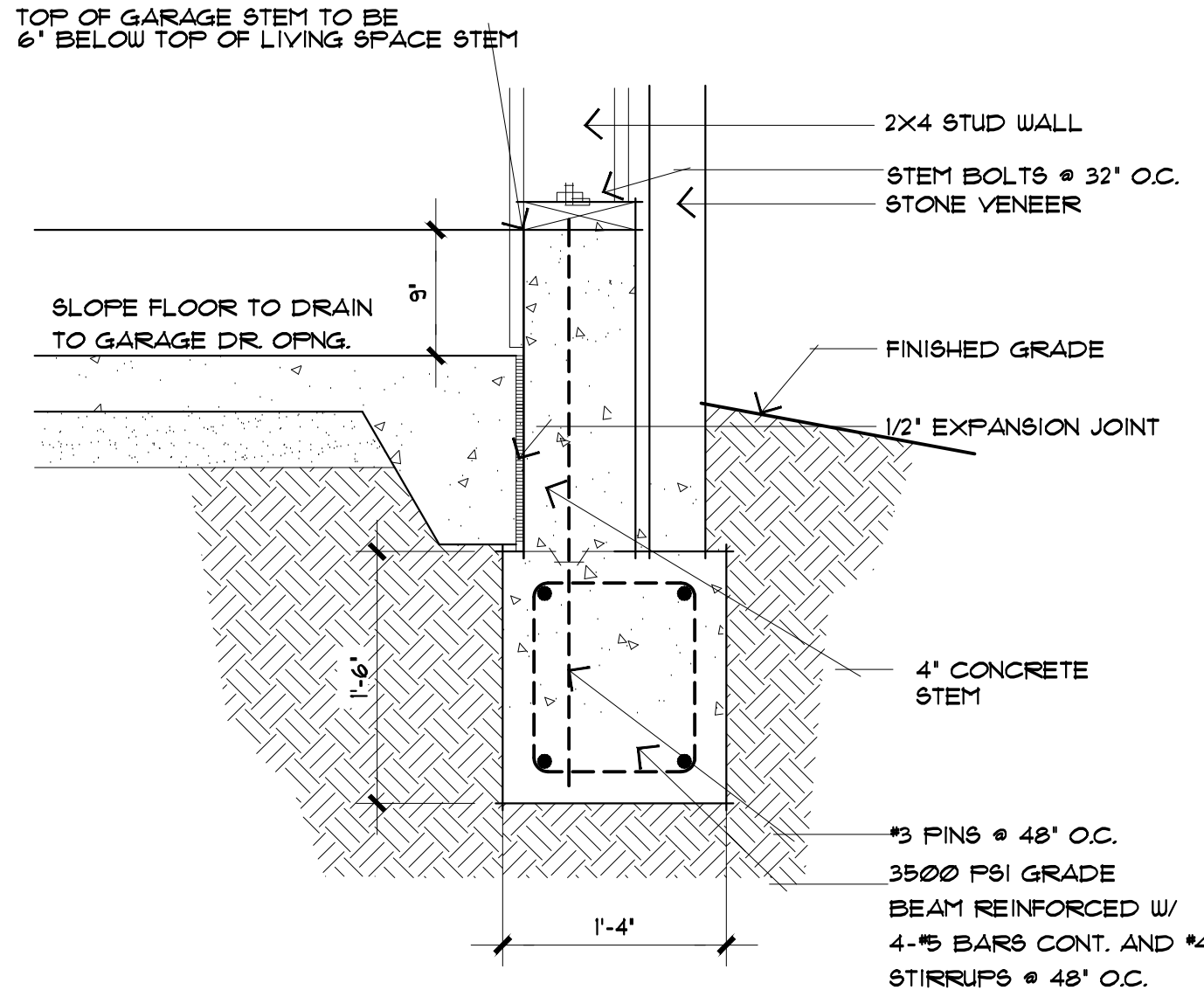
1
A4.2
SCALE: 1"=1'-0"



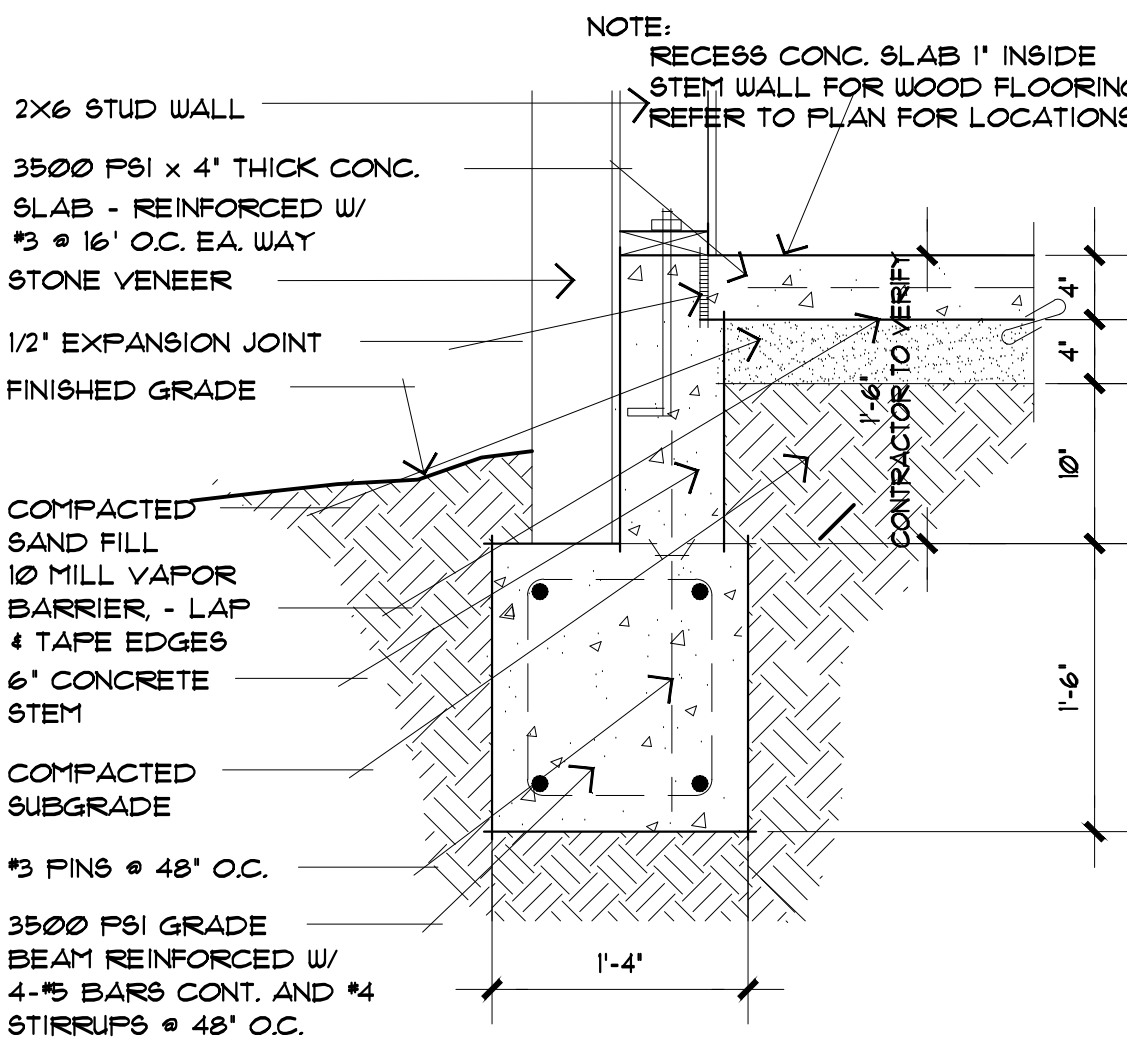
2
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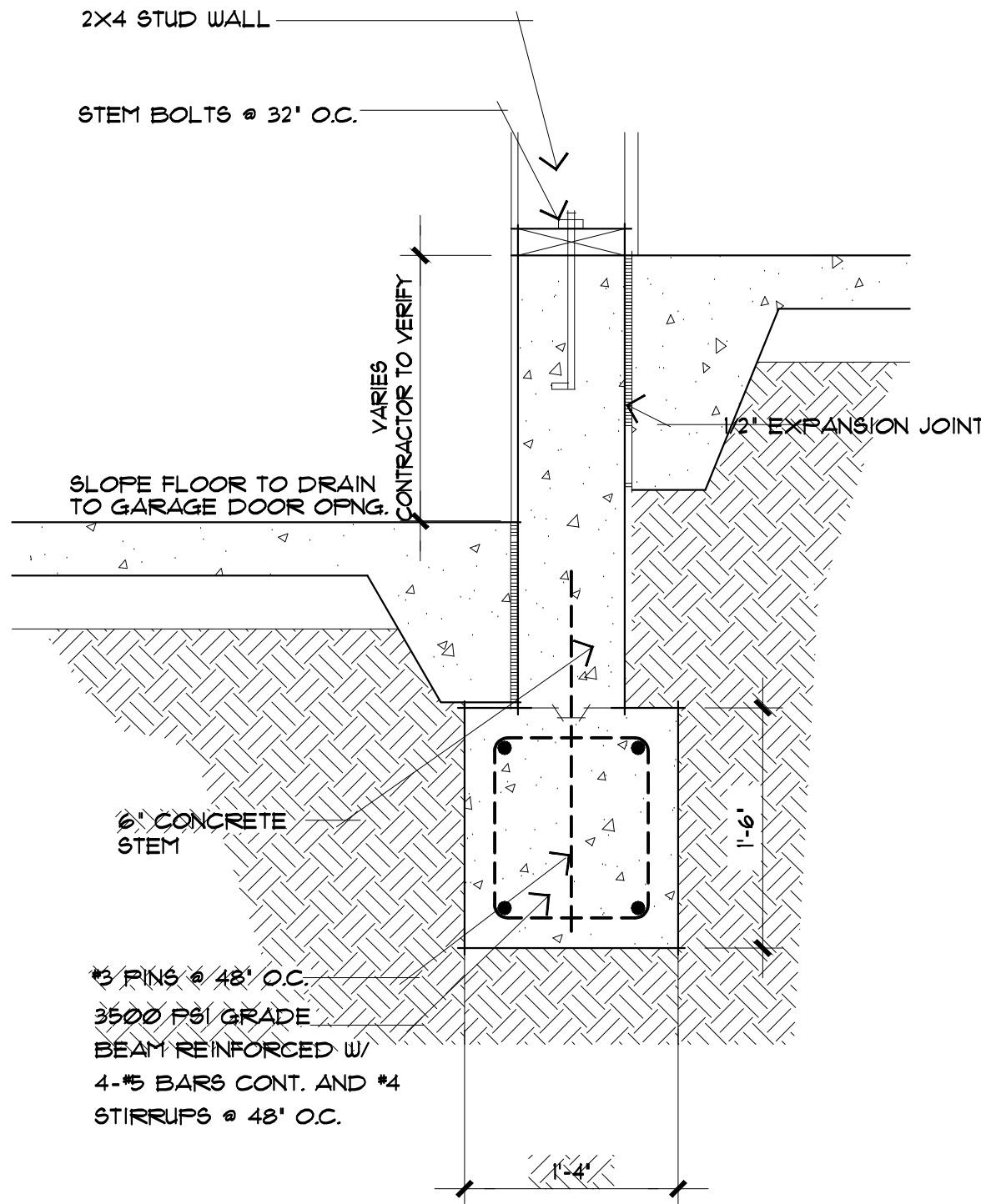
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A4.2
SCALE: 1"=1'-0"



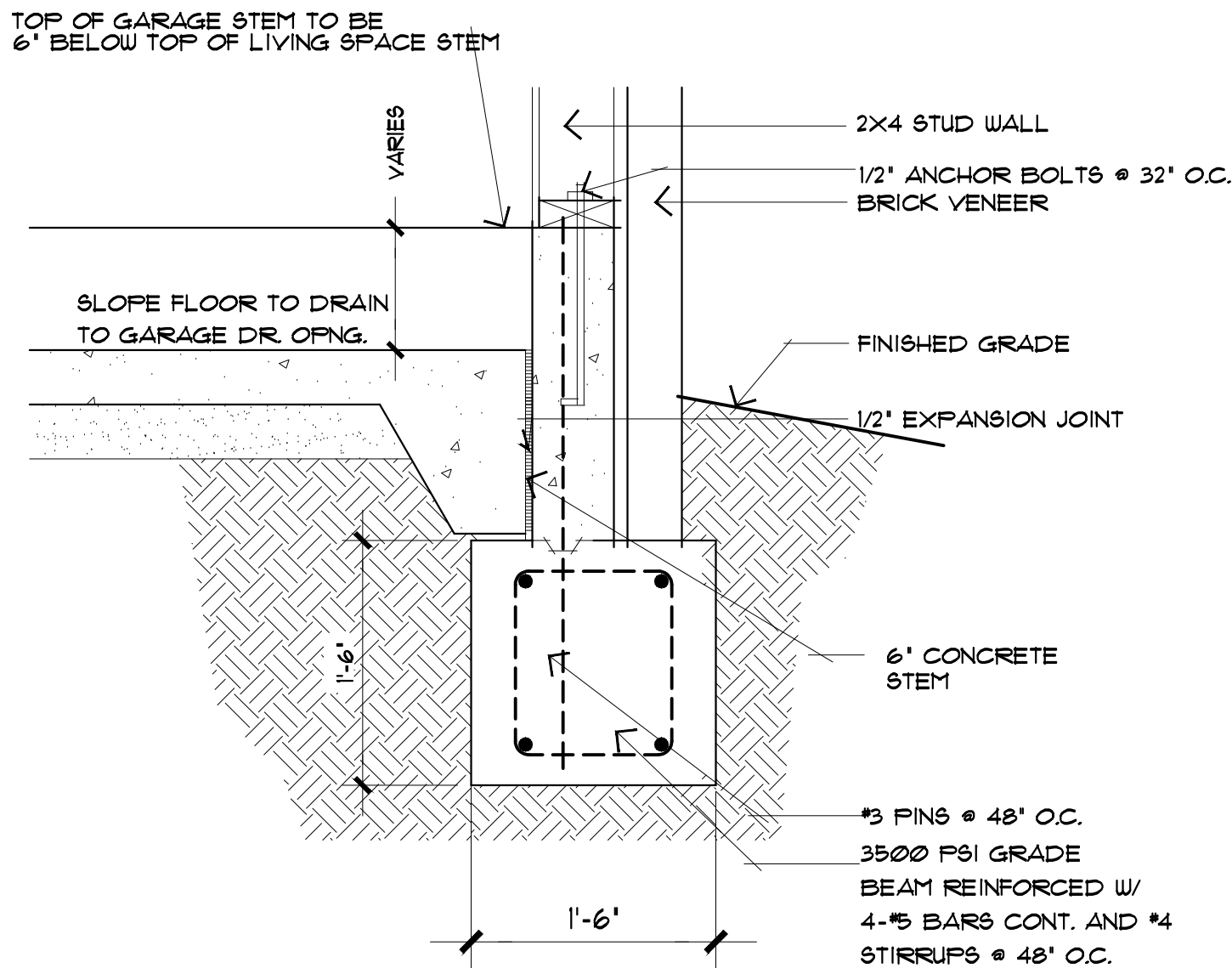
4
A4.2
SCALE: 1"=1'-0"



5
A4.2
SCALE: 1"=1'-0"

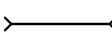
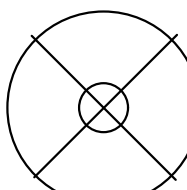


6
A4.2
SCALE: 1"=1'-0"



7
A4.2
SCALE: 1"=1'-0"



- | | | | |
|---|---|---|---|
| CATV | CABLE TV JACK |  | 3-WAY SWITCH |
|  | TELEPHONE JACK |  | SINGLE POLE SWITCH |
|  | COMPUTER JACK |  | DIMMER SWITCH |
|  | HEATED VENTILATION
LIGHT FIXTURE |  | WALL MOUNTED
EXTERIOR LIGHT
FIXTURE |
|  | VENTILATION
LIGHT FIXTURE |  | EXTERIOR FLOOD LIGHTING |
|  | VENTILATION |  | 4PLEX OUTLET |
|  | SURFACE MOUNTED
INCANDESCENT |  | DUPLEX OUTLET |
| ACFX | |  | RECESSED
WALL WASHER |
|  | WALL MOUNTED
ACCENT LIGHT FIXTURE |  | 220V UTILITY OUTLET |
| FP | FLOOR PLUG |  | DUPLEX OUTLET
AT 42" HT. |
|  | EXTERIOR
DUPLEX OUTLET |  | UNDERCOUNTER
LIGHTING |
|  | SIDEWALL STEP LIGHTS
SELECTED BY OWNER |  | CEILING MOUNTED
ACCENT LIGHT FIXTURE |
|  | INTERIOR
RECESSED FIXTURE |  | EXTERIOR
RECESSED SOFFIT FIXTURE |
|  | WATERPROOF SHOWER
RECESSED FIXTURE |  | SMOKE DETECTOR |
| SLOPED | |  | LIGHTED CEILING
FAN |
|  | GARAGE DOOR OPENER |  | CARBON MONOXIDE/SMOKE DETECTOR |
|  | CEILING MOUNTED PROJECTOR |  | SMOKE DETECTOR |
|  | SWITCHED OUTLET | | |