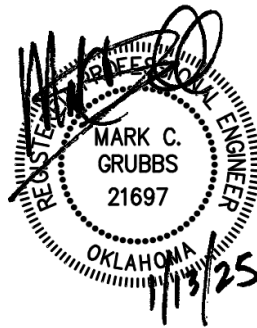
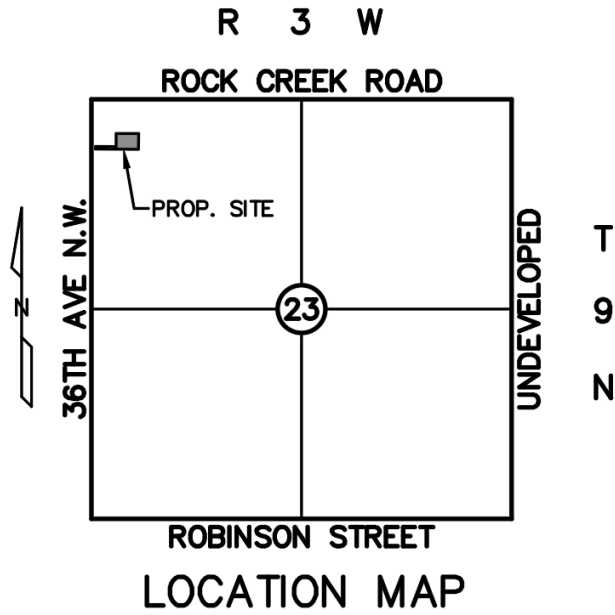


2281 Hampton Homes

No-Rise Certification



2281 36th Avenue NW
Norman, Oklahoma

January 13, 2025



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APPENDIX

SITE MAPS

- *FEMA FLOODWAY MAP*
- *FEMA FLOODWAY TABLE*
- *FEMA FLOODWAY PROFILE*
- *GRADING PLAN*



RUBBS CONSULTING, LLC

CIVIL ENGINEERING & LAND PLANNING

1800 S. Sara Road
Yukon, OK 73099
Phone: (405) 265-0641
Fax: (405) 265-0649

NO-RISE CERTIFICATION

I, Mark Grubbs, a licensed Professional Engineer in the State of Oklahoma, hereby certify that the work being performed at the location of 2281 36th Avenue NW, Norman, OK 73072, within the FEMA-designated 100-year floodplain, will not result in any adverse impacts or cause a rise of no greater than 0.05 feet in the base flood elevation (BFE).

The work being conducted in the floodplain is minimal in nature and consists of grading, the installation of a private storm sewer outlet structure, and the construction of 2 (two) proposed flumes to properly drain the parking lot. In addition, erosion protection will be installed around the outlet structure and flumes to prevent any erosion. All site grading and newly constructed improvements will be installed west of the existing channel with no grading improvements (cut or fill) being made existing channel/floodplain.

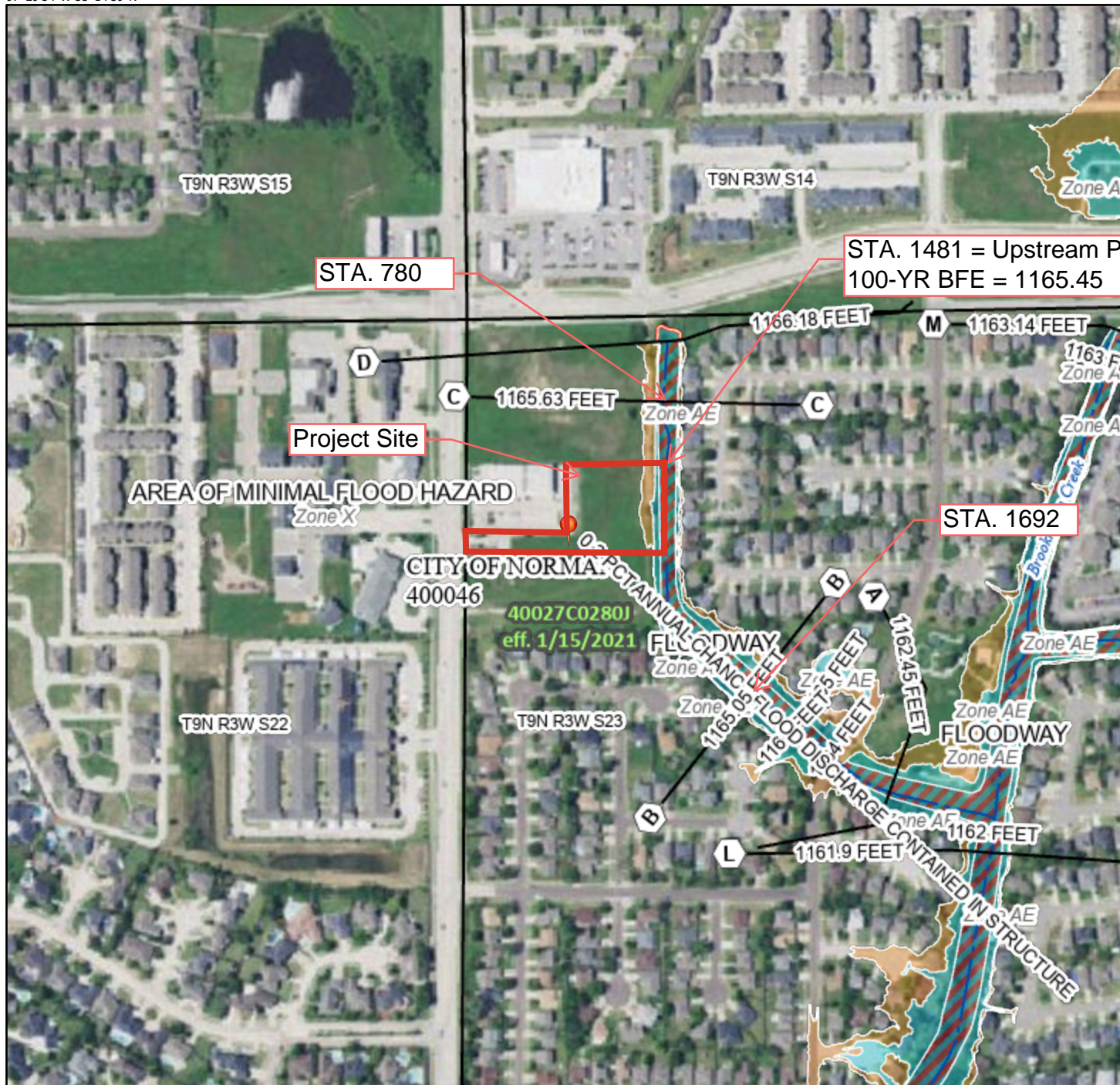
Interpolation was used to determine the base flood elevation (BFE) at the upstream property line. The finished floor elevation for the project is proposed to be 1171.75 feet, which is well above the interpolated 100-year BFE of 1165.45 feet. Based on the analysis of the minimal grading and drainage improvements, we conclude that the proposed work will not cause any increase in water surface elevation during a 100-year flood event.

This certification is based on the information available to us, and we affirm that no fill or other significant modifications are proposed that would alter the existing hydrology of the floodplain. The proposed drainage infrastructure, along with erosion protection measures, will ensure that no adverse impact occurs on floodplain conveyance or surrounding properties.

National Flood Hazard Layer FIRMette



97°29'54"W 35°14'59"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
- 17.5 Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/3/2024 at 3:35 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap Imagery Source: USGS National Map 2023

FLOODING SOURCE		FLOODWAY			BASE FLOOD WATER SURFACE ELEVATION (FEET NAVD)			
CROSS SECTION	DISTANCE ¹	WIDTH (FEET)	SECTION AREA (SQUARE FEET)	MEAN VELOCITY (FEET PER SECOND)	REGULATORY (FEET NAVD 88)	WITHOUT FLOODWAY (FEET NAVD 88)	WITH FLOODWAY (FEET NAVD 88)	INCREASE
Brookhaven Creek Tributary A								
A	301	60	397	3.9	1,162.5	1,162.5	1,163.0	0.5
B	780	78	628	2.3	1,165.1	1,165.1	1,165.9	0.8
C	1,692	56	300	4.8	1,165.6	1,165.6	1,166.3	0.7
D	1,858	54	252	5.7	1,166.2	1,166.2	1,166.7	0.5
Brookhaven Creek Tributary B								
A	321	76	339	1.1	1,162.7	1,162.7	1,163.2	0.5
B	587	44	125	3.1	1,162.7	1,162.7	1,163.2	0.5
C	575	22	46	8.3	1,165.8	1,165.8	1,165.8	0.0

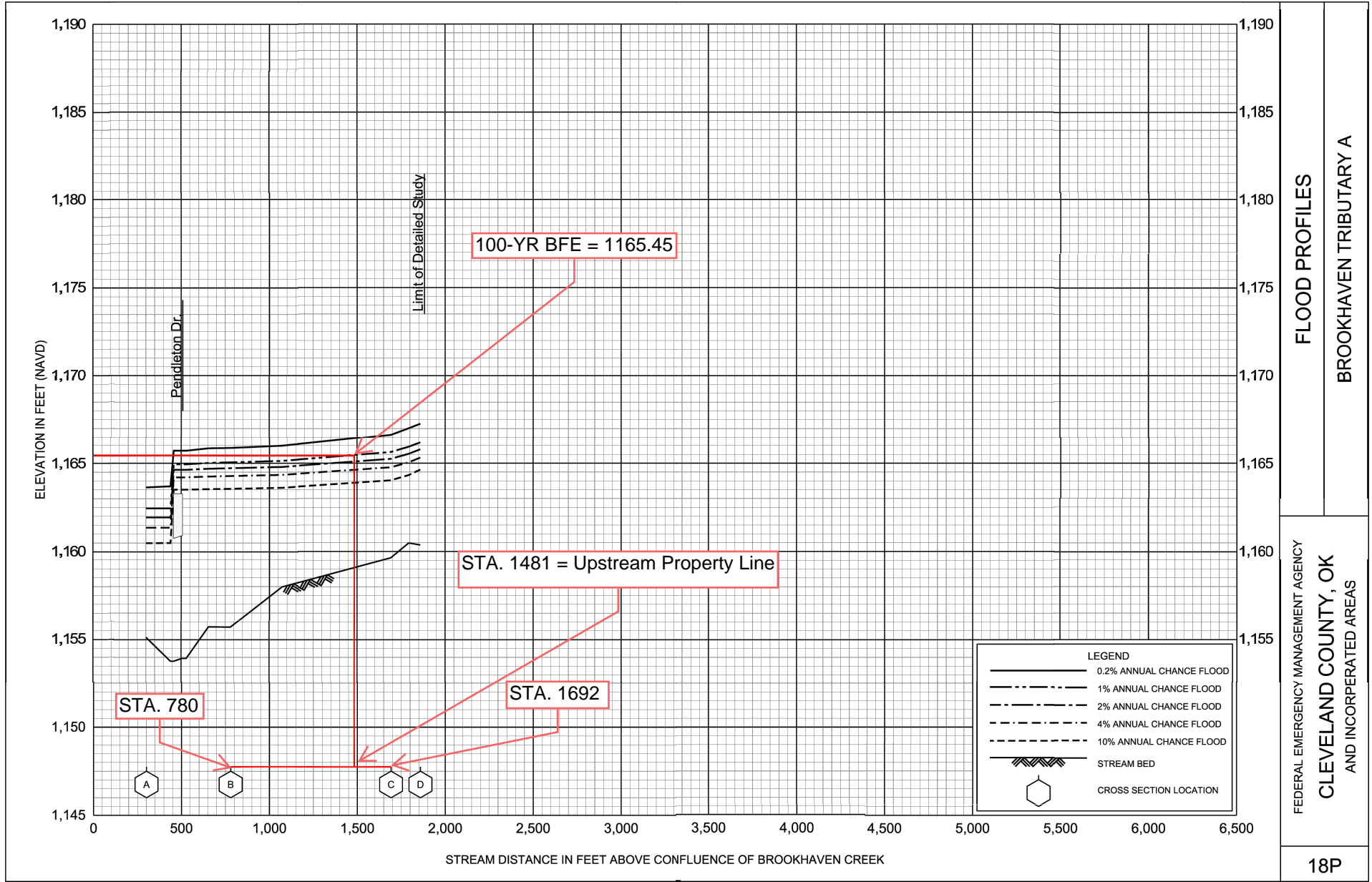
¹ Feet above confluence with Brookhaven Creek

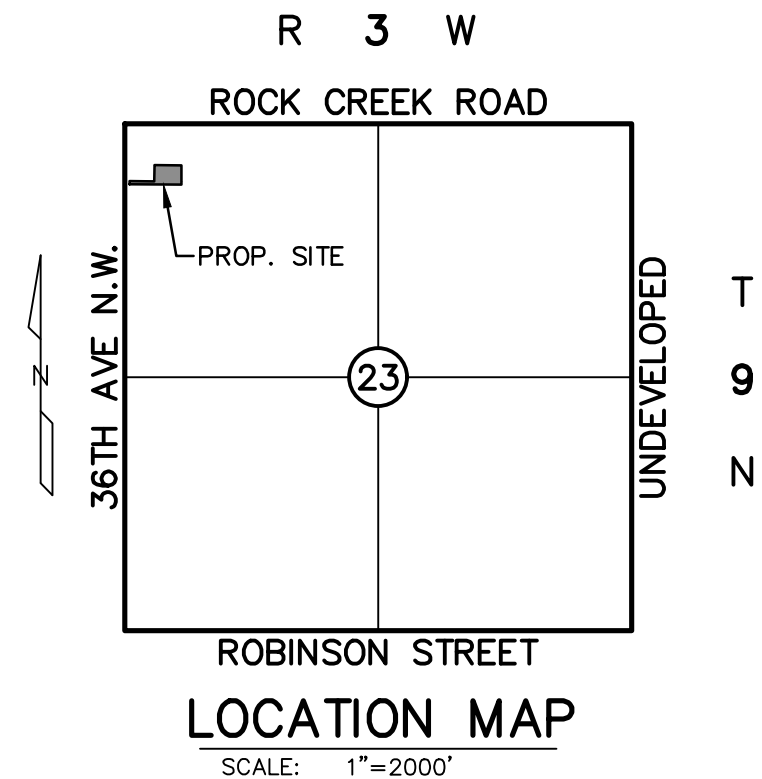
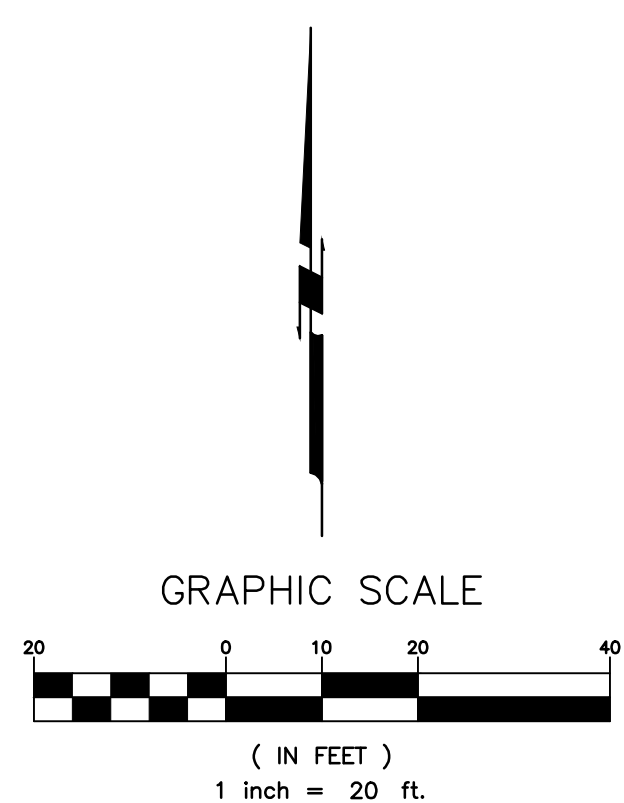
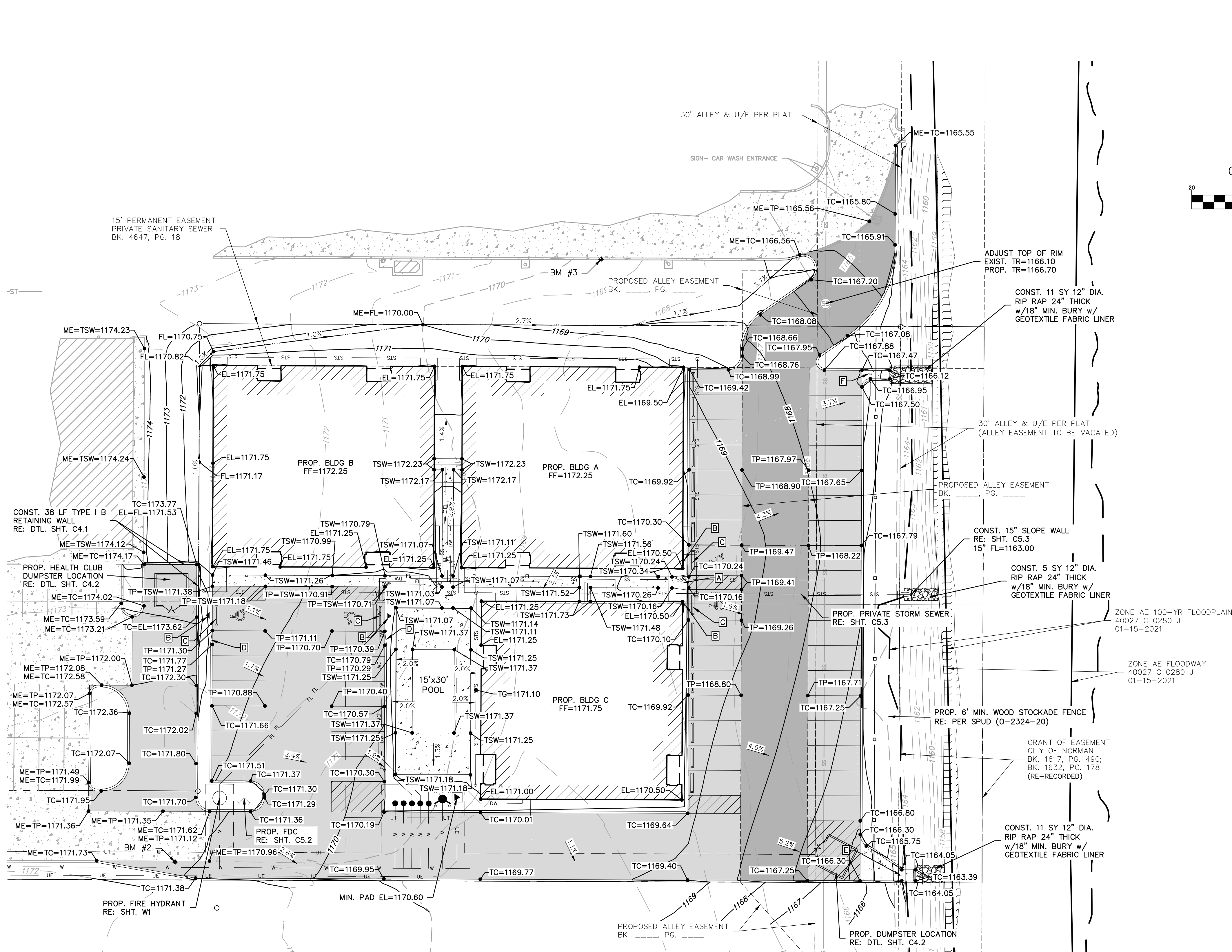
TABLE 7

FEDERAL EMERGENCY MANAGEMENT AGENCY
CLEVELAND COUNTY, OK
 AND INCORPORATED AREAS

FLOODWAY DATA

**BROOKHAVEN CREEK TRIBUTARY A /
 BROOKHAVEN CREEK TRIBUTARY B**





GRADING LEGEND	
TC	TOP OF CURB ELEVATION
TP	TOP OF PAVING ELEVATION
ME	MATCH EXISTING ELEVATION
TG	TOP OF GRATE ELEVATION
TR	MANHOLE TOP RIM ELEVATION
FL	FLOWLINE ELEVATION
TW	TOP OF WALL ELEVATION
TSW	TOP OF SIDEWALK ELEVATION
TB	TOP OF BANK ELEVATION
EL	TOP OF GROUND ELEVATION
TS	TOP OF STOOP
---	FLOW LINE
---	RIDGELINE
---	DIRECTIONAL FLOW ARROW
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	STANDARD DUTY PAVING (SEE PAVEMENT SECTION)
---	ALLEY STANDARD PAVING (SEE PAVEMENT SECTION)
---	CONCRETE PAVING OR SIDEWALK

KEY NOTE

- A PROP. HC CURB RAMP
RE: DTL. SHT. C4.1
- B PROP. HC SIGN
RE: DTL. SHT. C4.1
- C PROP. WHEEL STOP
RE: DTL. SHT. C4.1
- D TAPER CURB 0-6" OVER 5'
- E CONST. 4'-WIDE FLUME
RE: DTL. SHT. C4.1
- F CONST. 3'-WIDE FLUME
RE: DTL. SHT. C4.1



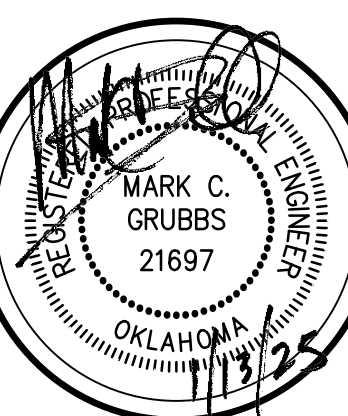
ORIGINAL BENCHMARK #
THE CITY OF NORMAN GPS REFERENCE STATION NO. 331, LOCATED ±25.6' NORTH AND ±70.5' EAST OF THE INTERSECTION OF THE CL OF ROCK CREEK ROAD AND THE CL OF GRANDVIEW AVENUE.
ELEVATION= 1192.92 FEET (NAVD-88 DATUM)

ONSITE BENCHMARK #1
TOP NUT OF FIRE HYDRANT ON THE EAST SIDE OF 36TH AVENUE N.W., LOCATED ±577 FEET SOUTH & ±42 FEET EAST OF THE INTERSECTION OF THE CL OF 36TH AVENUE N.W. & THE CL OF WEST ROCK CREEK ROAD.
ELEVATION = 1178.53 FEET (NAVD-88 DATUM)

ONSITE BENCHMARK #2
SET CUT "X" IN TOP OF CURB ON THE SOUTH SIDE OF THE PROJECT AREA, LOCATED ±624 FEET SOUTH & ±298 FEET EAST OF THE INTERSECTION OF THE CL OF 36TH AVENUE N.W. & THE CL OF WEST ROCK CREEK ROAD.
ELEVATION = 1171.48 FEET (NAVD-88 DATUM)

ONSITE BENCHMARK #3
SET CUT "X" IN TOP OF CURB ON THE NORTH SIDE OF THE PROJECT AREA, LOCATED ±451 FEET SOUTH & ±407 FEET EAST OF THE INTERSECTION OF THE CL OF 36TH AVENUE N.W. & THE CL OF WEST ROCK CREEK ROAD.
ELEVATION = 1178.66 FEET (NAVD-88 DATUM)

RUBBS CONSULTING, LLC
CIVIL ENGINEERING & LAND PLANNING
1800 S. W. 10th Ave.
Yukon, OK 73099
Phone: (405) 265-0641
Fax: (405) 265-0649
GRUBBS CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA-5115 EXP. 09/30/26




2281 HAMPTON HOMES
2281 36TH AVE NW
NORMAN, OK
PAVING & GRADING PLAN

REVISIONS		DATE
NO.	DESCRIPTION	

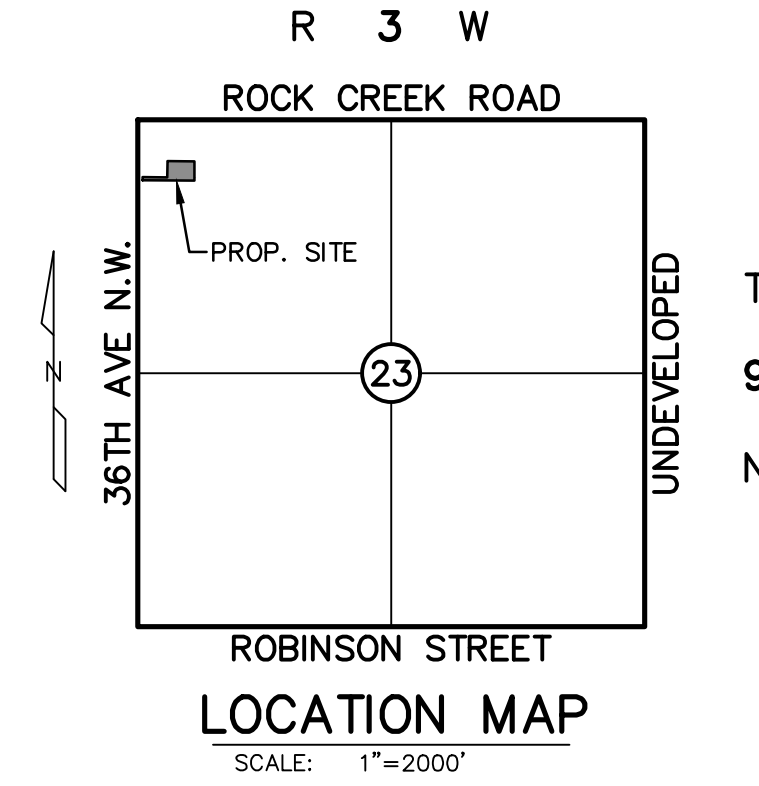
SHEET NUMBER
C4.0



ONSITE BENCHMARK #3 

SET CUT "X" IN TOP OF CURB ON THE NORTH SIDE OF THE PROJECT AREA, LOCATED ±451 FEET SOUTH & ±407 FEET EAST OF THE INTERSECTION OF THE C&D OF 36TH AVENUE N.W. & THE C&D OF WEST ROCK CREEK ROAD.

ELEVATION = 1169.66 FEET
(NAVD-88 DATUM)



GRADING LEGEND

TC	TOP OF CURB ELEVATION
TP	TOP OF PAVING ELEVATION
ME	MAINT EXISTING ELEVATION
TO	TOP OF GRADE ELEVATION
TR	MANHOLE TOP RIM ELEVATION
FL	FLOWLINE ELEVATION
TW	TOP OF WALL ELEVATION
TSW	TOP OF SIDEWALK ELEVATION
BT	TOP OF BANK ELEVATION
EL	TOP OF GROUND ELEVATION
TS	TOP OF STOOP
---	FLOW LINE
- - -	RIDGELINE
→	DIRECTIONAL FLOW ARROW
1235	EXISTING CONTOUR
1235	PROPOSED CONTOUR
STANDARD DUTY PAVING (SEE PAYMENT SECTION)	
ALLEY STANDARD PAVING (SEE PAYMENT SECTION)	
CONCRETE PAVING OR SIDEWALK	

NOTE: NOT ALL SYMBOLS MAY BE SHOWN ON THIS PLAN.

ZONE AE 100-YR FLOODPLAIN
40027 C 0280 J
01-15-2021

Prof. No.: 23-042	
Date:	1/13/2025
Scale:	(Horiz.) 1"=20'
	(Vert.) N/A
Drawn By:	HWP
Checked By:	GSC
Approved By:	MCG

SHEET NUMBER
■ ■ ■ ■

22281 HAMPTON HOMES
2281 36TH AVE NW
NORMAN, OK
PAVING & GRADING PLAN



RUBBS CONSULTING, LLC
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RUBBS CONSULTING, LLC. CERTIFICATE OF AUTHORIZATION NO. CA-5115 EXP. 06/30/26