

**Engineers Report on Existing Infrastructure
for
911 - 915 Wilson Street
(Short Form Plat 2122-7)
Norman, Oklahoma**

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EXHIBIT 1: EXISTING FINAL PLAT

EXHIBIT 2: UTILITY EXHIBIT

EXHIBIT 3: DRAINAGE MAP

EXHIBIT 4: CLEVELAND COUNTY ASSESSOR'S PAGE

Engineers Report on Existing Infrastructure for 911, 915, and 919 Wilson Street, Norman, Oklahoma

INTRODUCTION:

The Client, Jamie Belknap is proposing a Short Form Plat to divide the existing property at 911 Wilson Street into two lots. The intent is to remove the existing structure at this location and construct two new single-family residences. Per Sec. 30-604 of the City Code, she is requesting a partial exception from the procedural provisions requiring a preliminary and final plat. In addition, since the public infrastructure as required in Sec.30-503 of the City Code has been previously constructed and accepted by the City, she is requesting a partial exemption from the current standards from the City Council. She is also requesting an exception to the installation of sidewalks as required by Sec. 30-509 of the City Code. As required by Sec.30-604, this companion report has been prepared by a Registered Professional Engineer licensed to practice in the State of Oklahoma. This report contains a complete accounting of the infrastructure that has been previously accepted and its ability to service the additional lot that is proposed.

The properties at 911, 915 and 919 Wilson Street are also known in the Cleveland County Oklahoma Assessor's Office as Tract 1, Tract 2 and Tract 3 Wilson Corner Short Form Plat (see attached Exhibit 1 - Existing Final Plat and Exhibit 4 - Cleveland County Assessor's Page). This properties are located at the northeast corner of the intersection of Wilson Street and S. Pickard Avenue in a well-established neighborhood in South-Central Norman that was platted and constructed in the 1950's.

EXISTING WATERLINE INFRASTRUCTURE

The properties at 911, 915, and 919 Wilson Street are serviced by an existing 6" PVC waterline located along the South side of Wilson Street (see attached Exhibit 2 - Utility Exhibit). This existing waterline is a part of a looped waterline system which connects with another existing 8" waterline on Flood Avenue and an existing 6" waterline on Pickard Avenue. There is an existing fire hydrant at the southeast corner of the intersection of Wilson Drive and Pickard Avenue. The property is served by a single water service connection and the new lot will require a new single water service connection.

EXISTING SANITARY SEWER INFRASTRUCTURE

The properties at 911, 915, and 919 Wilson Street are served by an existing 8" sanitary sewer line located adjacent to the North and West property lines in an existing utility easement (see attached Exhibit 2

- Utility Exhibit). The properties each will require new single sewer service connection.

EXISTING STREET PAVEMENT AND DRAINAGE INFRASTRUCTURE

The properties at 911, 915, and 919 Wilson Street are served by Wilson Street that is an existing concrete street with curbs and gutters. The pavement appears to be in fair condition. Stormwater runoff drains into an existing storm sewer pipes via street inlets and is conveyed to the west.

Again, there does not appear to be any visible erosion or scouring caused by the stormwater runoff and the existing drainage system appears to function adequately.

CONCLUSION

The properties at 911, 915, and 919 Wilson Street are located in a well-established neighborhood in South-Central Norman that was platted and constructed in the 1950's. The existing infrastructure in this neighborhood functions properly and there are no foreseeable improvements needed or planned in the neighborhood.

For the properties at 911, 915, and 919 Wilson Street, the public infrastructure as required by Sec.30-503 of the City code has been previously constructed and accepted by the City of Norman except for sidewalks. Ms Belknap is requesting an exception to the installation of sidewalks as required by Sec. 30-509 of the City Code. It appears to be functioning as intended and should have the ability to service the additional lot that is being proposed by the developer (with the exception of adding service connections for water and sewer).

John D. Jackson
John D Jackson, P.E.

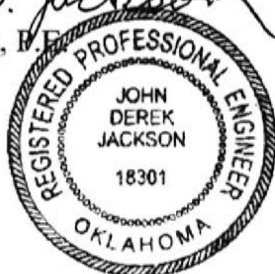
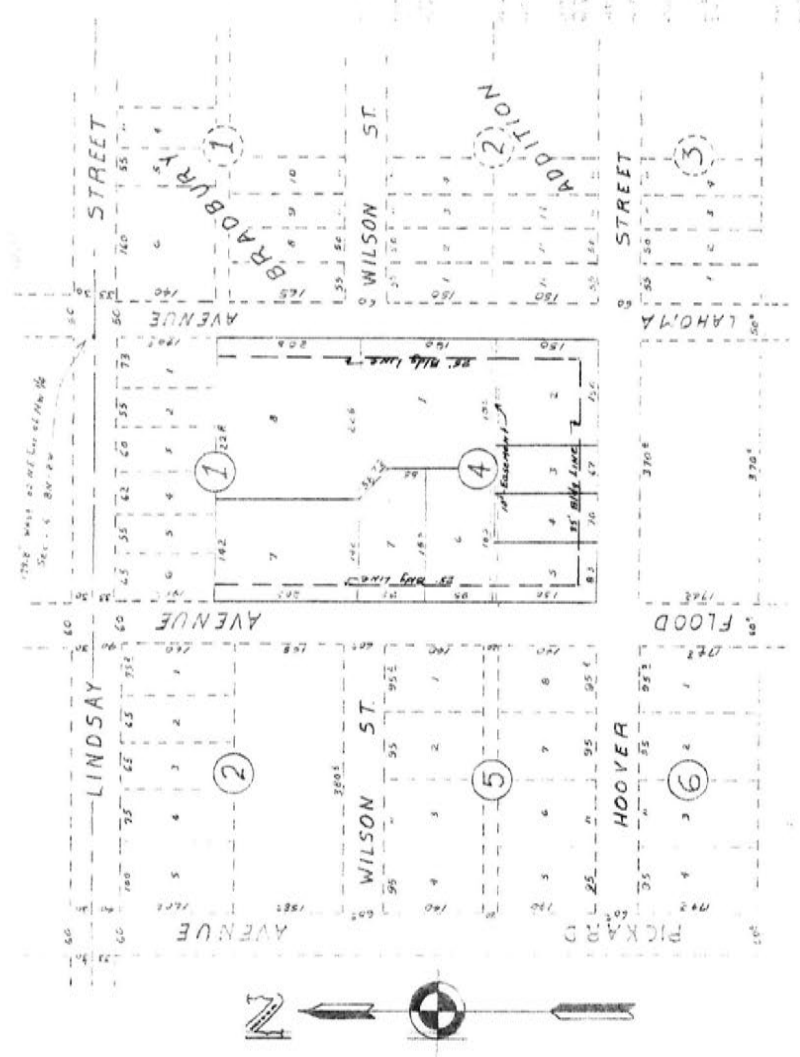


EXHIBIT 1 - EXISTING FINAL PLAT

61
 AMENDED PLAT OF SOUTH
 1/2 OF BLK. 1 & ALL OF BLK. 4 OF
 OAKRIDGE ADDITION
 NORMAN To OKLAHOMA



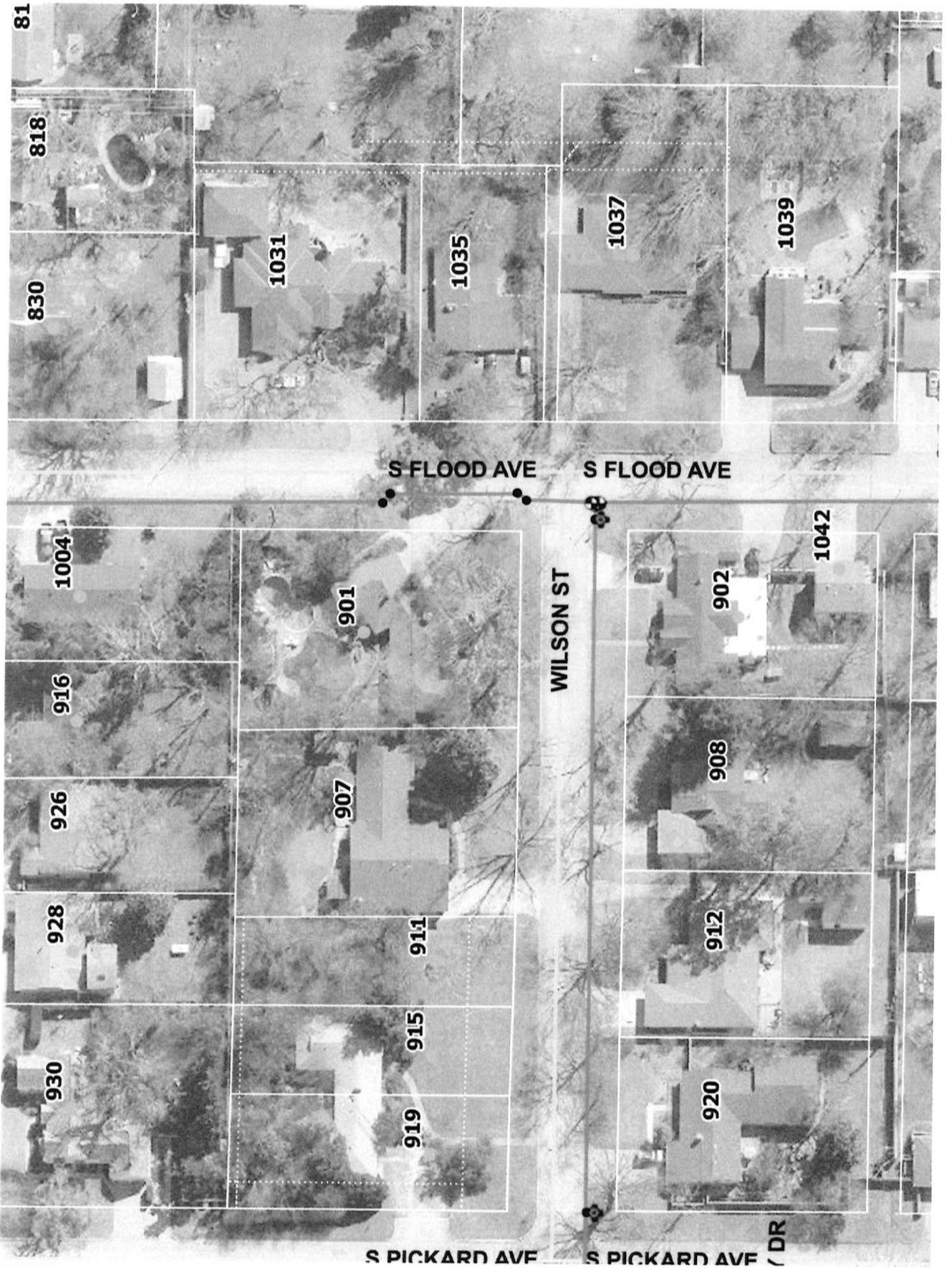
SYMBOLS
 ● IRON PINS
 --- THIS ALLEVIATION
 - - - - - ADJOINING ADDITION
 SCALE 1" = 100'

By W. W. [unclear]
 Clerk for the [unclear]

By M. M. O. [unclear]
 Clerk for the [unclear]

3750
 STATE OF OKLAHOMA
 COUNTY OF CLEVELAND
 FILED FOR RECORD
 July 3 1948 12:15 PM
 HELEN JANING, CLERK

EXHIBIT 2 - WATER AND SANITARY SEWER UTILITY



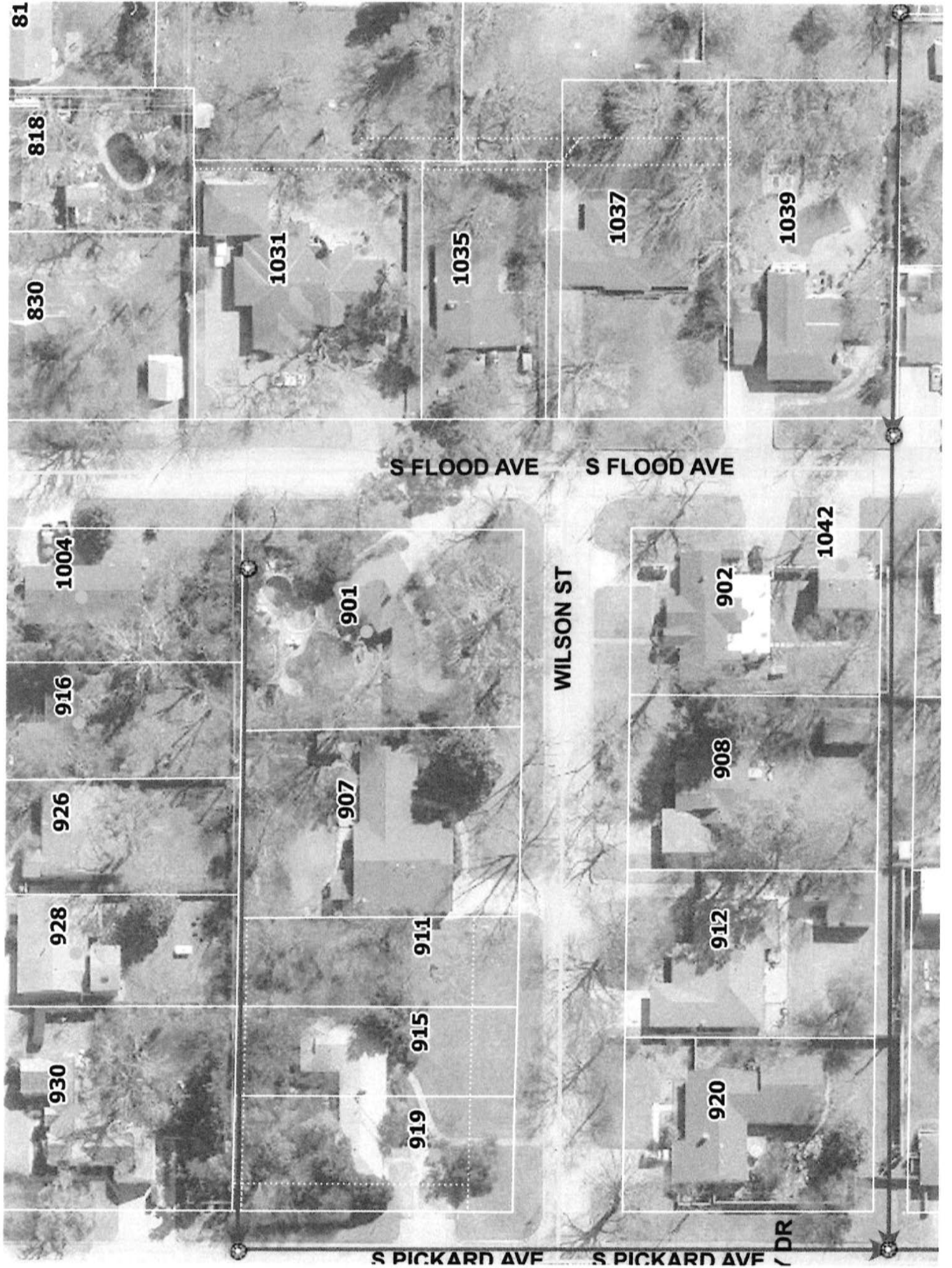


EXHIBIT 3 - DRAINAGE MAP

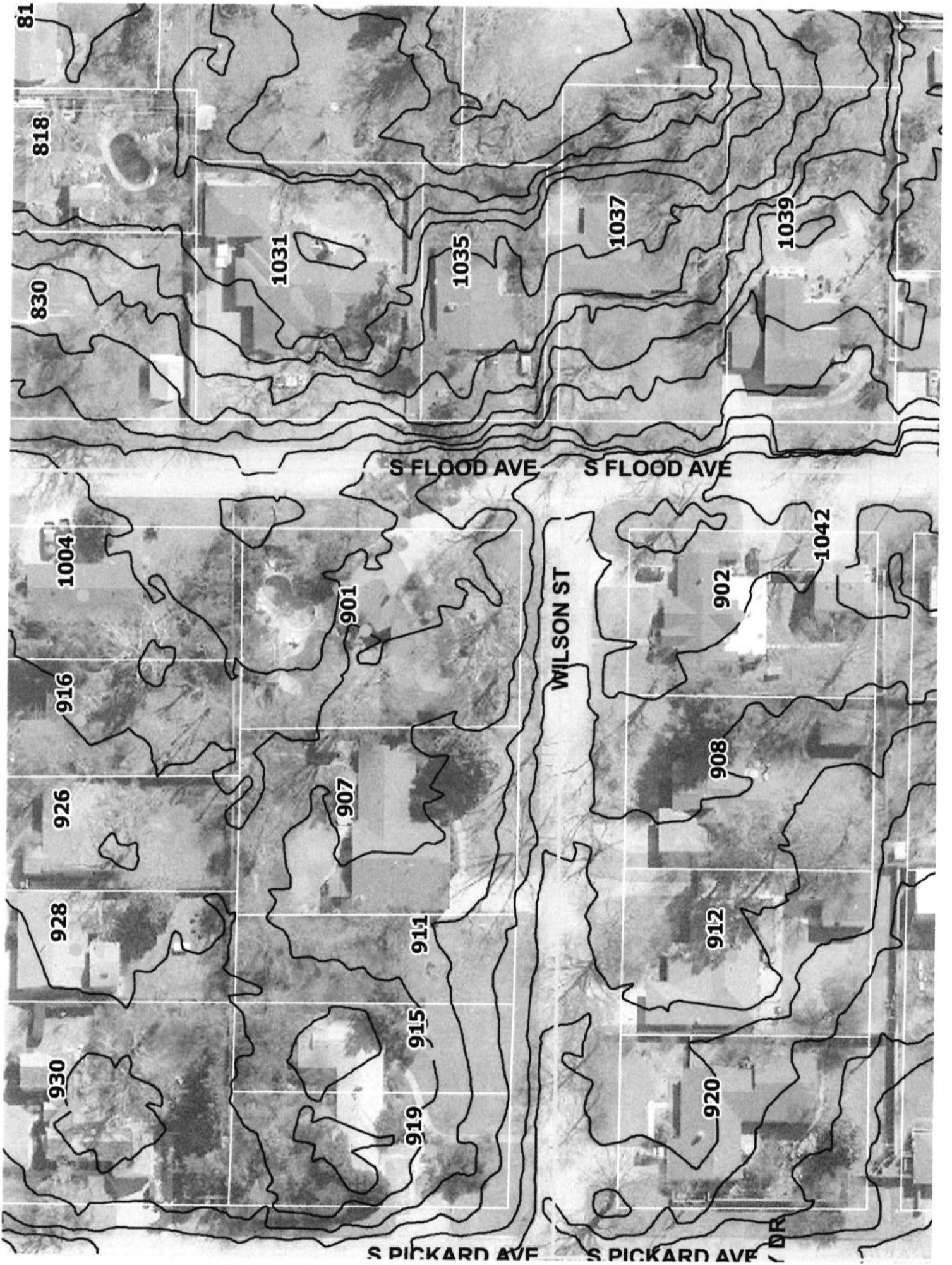


EXHIBIT 4 – CLEVELAND COUNTY ASSESSOR'S PAGE



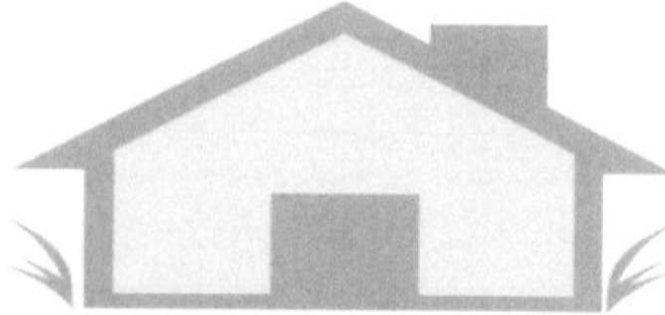
Cleveland County Oklahoma Assessor's Office

Account #: 192945 / Parcel ID: NC290AKRD 2
006
911 WILSON ST

CURRENT BELKNAP, JAMIE-REV TRT
907 WILSON ST
NORMAN OK 73072

Current Market Value
\$101,700

No Photo Available



KEY INFORMATION

Tax Year	2024		
Land Size	0.18000	Land Units	AC
Class	Urban Reside	School District	NORMAN CITY 29
Section	6	Township	8
Range	2W	Account Type	Residential
Legal Description	OAK RIDGE PRT BLK 2 BEG 110.10' E SW/C BLK 2 N157.91' E50' S157.91' W50.10' POB AKA TR 3 WILSON CORNER SHORT FORM PLAT		
Mailing Address	BELKNAP, JAMIE-REV TRT, 907 WILSON ST, NORMAN, 73072, 73072		



Cleveland County Oklahoma Assessor's Office

Cleveland County Oklahoma Assessor's Office

Account #: 192943 / Parcel ID: NC29OAKRD 2
004
919 WILSON ST

CURRENT BELKNAP, JAMIE-REV TRT
907 WILSON ST
NORMAN OK 73072

Current Market Value
\$103,050

KEY INFORMATION

Tax Year	2024		
Land Size	0.22000	Land Units	AC
Class	Urban Reside	School District	NORMAN CITY 29
Section	6	Township	8
Range	2W	Account Type	Residential
Legal Description	OAK RIDGE PRT BLK 2 BEG SW/C BLK 2 N157.91' E60.10' S157.91' W60.10' POB AKA TR 1 WILSON CORNER SHORT FORM PLAT		
Mailing Address	BELKNAP, JAMIE-REV TRT, 907 WILSON ST, NORMAN, 73072, 73072		

ASSESSMENT DETAILS

Market Value	\$103,050
Taxable Value	\$103,050
Land Value	\$103,050
Gross Assessed Value	\$12,366
Adjustments	\$0
Net Assessed Value	\$12,366
View Taxes for R0192943	



SUBDIVISION BOND/CASHIER'S CHECK

WHEREAS, the undersigned, Harbor Homes Inc hereinafter referred to as Principal has deposited with the City of Norman a cashier's check in the amount of \$ 9975.00 to be drawn on Armstrong Bank cashier's check and for the term of two years; and 90 Days.

WHEREAS, the said Principal is required to furnish to the City said cashier's check to insure the construction of required improvements, said account represented by said cashier's check to be due and payable to the City of Norman upon failure of the Principal to perform the terms and provisions hereinafter set forth, as a condition precedent to final acceptance of said subdivision bond and cashier's check.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That said Principal has deposited the amount of Nine Thousand Nine Hundred Seventy Five and ^{no}/₁₀₀ in a cashier's check number _____, as is represented by a cashier's check delivered to the City of Norman. The Principal is firmly held and bound unto said City in the penal sum of Nine Thousand Nine Hundred Seventy Five and ^{no}/₁₀₀ Dollars, (\$ 9975.00) in lawful money of the United States of America, same being 100% of the costs of the cost of required improvements herein referred to for the payment of which, will and truly to be made, we hereby bind ourselves, our heirs, executors, administrators, successors, and assigns firmly by these presents.

The Conditions of this obligation are such that:

WHEREAS, PRINCIPAL has submitted to the CITY a final plat for subdivision of a tract of land described as follows:

- A. Name of Subdivision
- B. Legal description: Wilson Corner
Shor Form Plat No. SFP-2122-7

AND, WHEREAS, PRINCIPAL on the date of this bond and cashier's check has not installed nor completed the aforementioned subdivision certain improvements and utilities in accordance with requirements, ordinances, specifications, and subdivision rules and regulations of the CITY, as well as approved final construction plans and specifications, to wit:

1. Streets	\$ _____
2. Sidewalks	\$ <u>9975.00</u>
3. Water Lines and Appurtenances	\$ _____
4. Sanitary Sewer Lines	\$ _____
5. Storm Sewer and other Drainage	\$ _____
Total	\$ <u>9975.00</u>

AND, WHEREAS, PRINCIPAL has, pursuant to the ordinances of the CITY elected to file this bond or cashier's check in lieu of actual completion of improvements and utilities in the aforementioned subdivision.

NOW, THEREFORE, if the PRINCIPAL shall, within two (2) years from date of approval of this bond or cashier's check, faithfully install and complete improvements, specifications, and subdivision rules and regulations of the CITY, as well as approve final construction plans and specifications, said funds or cash will be returned upon request of the Principal to the City of Norman, otherwise to remain in full force and effect.

IN WITNESS WHEREOF, the said Principal has caused these present to be executed in its name and its corporate seal to be hereunto affixed by its duly authorized officers, the day and year first above written.

Executed and delivered this 7 day of June, 2022.

[Signature]
Principal

BY: Ben T. Gray
President
Harbor Homes Inc

Title

REPRESENTATIVE ACKNOWLEDGMENT

STATE OF OKLAHOMA, COUNTY OF CLEVELAND, SS:

Before me, the undersigned, a Notary Public in and for said County and State, on this 7 day of June, 2022, personally appeared Ben T. Gray, to me known to be the identical person(s) who executed the foregoing subdivision bond and acknowledged to me that _____ executed the same as _____ free and voluntary act and deed for the uses and purposes therein set forth.

WITNESS my hand and seal the day and year last above written.

[Signature]
Notary Public



My Commission Expires: March 19, 2026

Approved as to form and legality this 14 day of June, 2022.
[Signature]
City Attorney

Approved by the Norman Development Committee this 21 day of June, 2022 and authorizing the Mayor of the City of Norman to sign this subdivision bond.

Mayor

ATTEST:

City Clerk

B-2122-93



REMITTER: HARBOR HOMES INC
SUBDIVISION BOND SIDEWALKS

DATE 6/07/22

VOID AFTER 90 DAYS

PAY TO THE ORDER OF CITY OF NORMAN*****

EXACTLY **9,975 AND 00/100 DOLLARS

\$ 9,975.00

CASHIER'S CHECK

Notice to Customer: A Stop Payment Order cannot be placed on this check by a customer. If this check is Lost or Stolen, the Bank will require reasonable assurances before it is replaced or refunded, which could include a 90 day waiting period and/or the purchase of an Indemnity Bond to protect the Bank against loss.



REMITTER: HARBOR HOMES INC
SUBDIVISION BOND SIDEWALKS

DATE 6/07/22

CITY OF NORMAN*****

EXACTLY **9,975 AND 00/100 DOLLARS

\$ 9,975.00

CUSTOMER - FILE COPY

CASHIER'S CHECK

Notice to Customer: A Stop Payment Order cannot be placed on this check by a customer. If this check is Lost or Stolen, the Bank will require reasonable assurances before it is replaced or refunded, which could include a 90 day waiting period and/or the purchase of an Indemnity Bond to protect the Bank against loss.