

# ATTACHMENT B

1320 OK. AVE.  
NORMAN, OK

- + UPDATED RENDERS
- + SITE PLAN
- + FLOOR PLANS
- + ELEVATIONS
- + AREA CALCULATION

## ADDITIONAL DETAILS

### CONTEXT

- Overview
- Size
- Height
- Scale
- Form / Massing / Proportion
- Finish Floor
- Doors
  - Front door
  - Sliding back door
  - Garage - Overhead door
  - ADU - Back door
- Windows (Opt#1 & Opt#2)
- Roof shape

### SITE

- Setback
- Site Plan
- Tree removal
- Impervious Area Calculation
- Covered Patio
- ADU

### MATERIAL

- Siding

## FEEDBACK

- The current design is too tall.
- Add more overall detail to enhance depth and character.
- Remove stucco from the material palette and update entryway design.
- Reduce vertical emphasis for better proportion.
- The design leans too modern - incorporate more traditional elements.
- The proposed 1'-6" finished floor (F.F.) height increases the overall elevation too much.
- Ensure historical references feel authentic; avoid creating a false sense of history.
- The proposed carriage-style garage door does not complement the overall design.

## ACTION

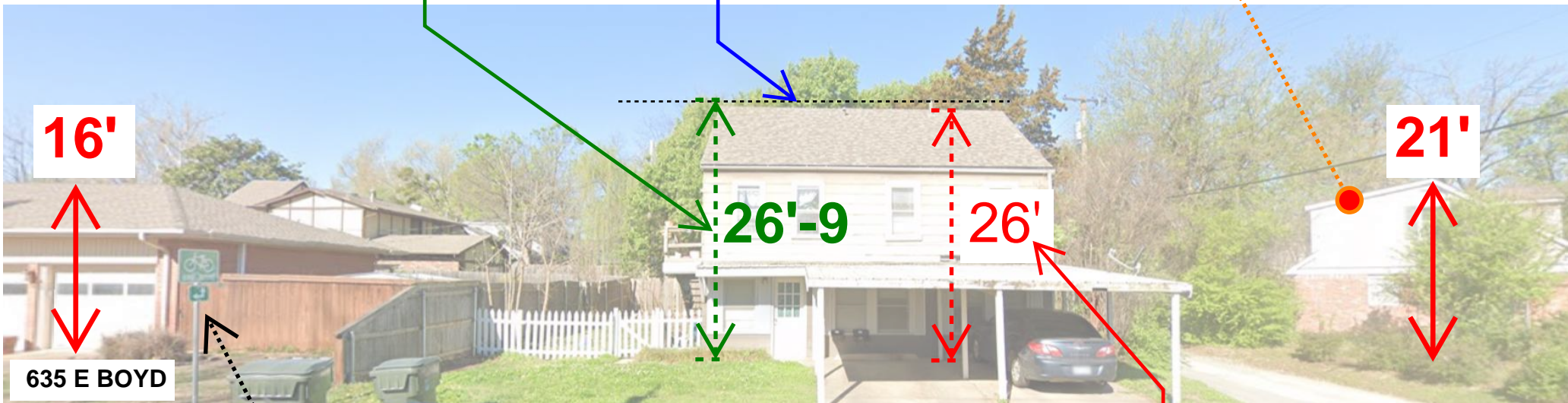
- + **Reduced** height from 30' to 26'-9"
- + **Added** architectural details, including trim around windows, floor separations, decorative corbels, exterior
- + Replaced stucco with a warm wood entry feature entryway with rectilinear pediment.
- + **Limited vertical siding** to areas just below the gable roof, removing it from ground to roof.
- + **Updated design** to incorporate Colonial inspired architectural elements.
- + **Lowered** proposed finished floor (F.F.) elevation to just 6" above existing.
- + **Enhanced** detailing to create a historical sense of place without introducing a false historical narrative.
- + **Updated** garage door selection to align with the overall design.

# Context | HEIGHT



PROPOSED  
HEIGHT

ADDITIONAL  
HEIGHT: 9"





# Context | **PERSPECTIVE**





# Context | SCALE

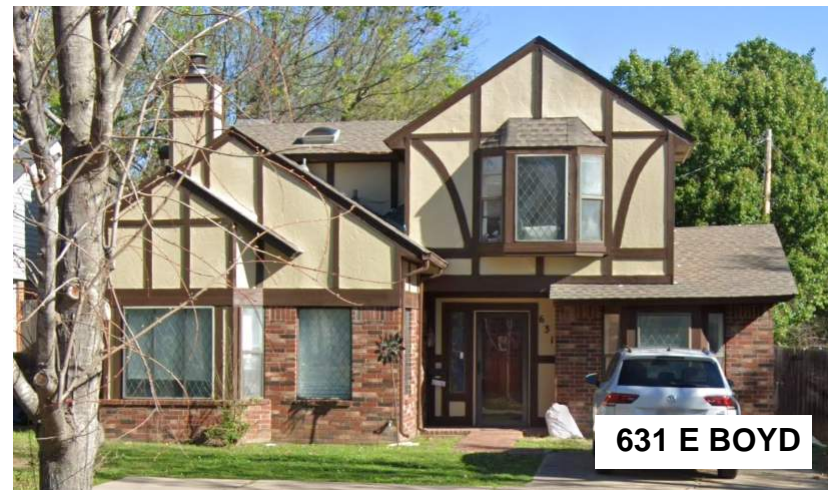


631 E BOYD





# Context | **FORM / MASSING / PROPORTION**





# Context | **SCALE**



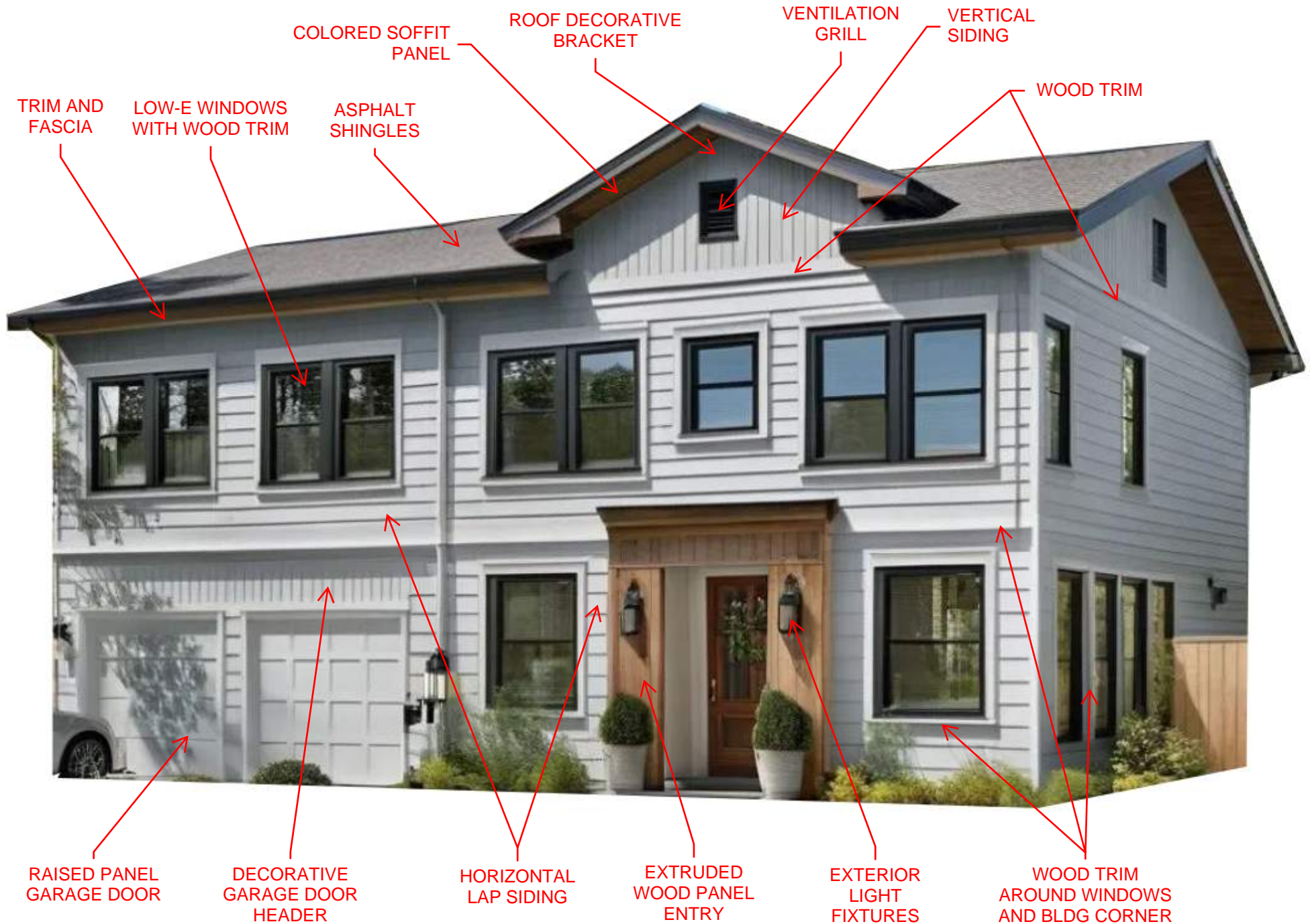


# Context | **FORM / MASSING / PROPORTION**





# Design | ELEMENTS



# Context | ELEVATIONS



**EAST ELEVATION - Front**



**NORTH ELEVATION - Alley**



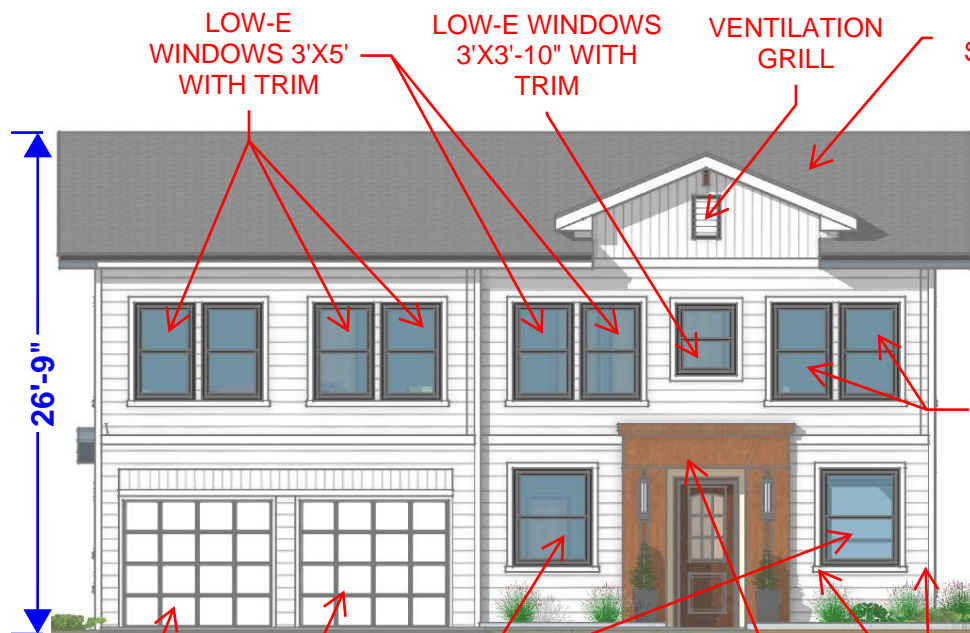
**WEST ELEVATION - Rear**



**SOUTH ELEVATION - Side**



# Context | ELEVATIONS



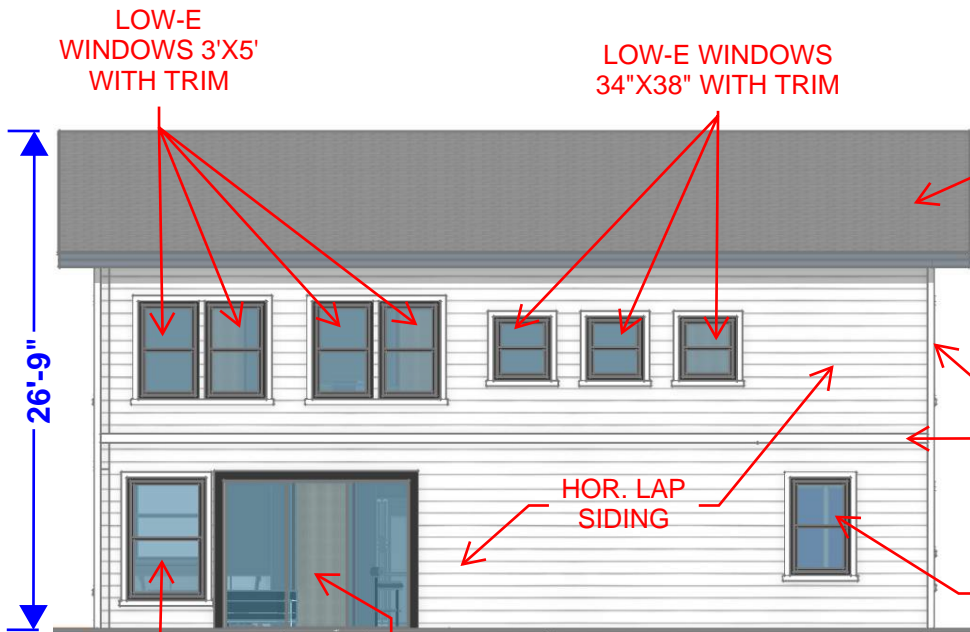
**EAST ELEVATION - Front**

RAISED PANEL  
GARAGE DOOR

LOW-E  
WINDOWS 4'X5'  
WITH TRIM

RAISED WOOD  
ENTRY  
ELEMENT

WOOD TRIM  
AROUND  
WINDOWS AND  
BLDG CORNER



**WEST ELEVATION - Rear**

LOW-E WINDOW  
4'X6'-4" WITH TRIM

SLIDING  
DOOR

HOR. LAP  
SIDING

LOW-E WINDOWS  
34"X38" WITH TRIM

LOW-E  
WINDOWS 3'X5'  
WITH TRIM

ASPHALT  
SHINGLES

VENTILATION  
GRILL

LOW-E WINDOWS  
3'X3'-10" WITH  
TRIM

LOW-E  
WINDOWS 3'X5'  
WITH TRIM

VERT. LAP  
SIDING

ROOF DECORATIVE  
BRACKET

VENTILATION  
GRILL

ASPHALT  
SHINGLES

LOW-E  
WINDOWS  
3'X5' WITH  
TRIM

HOR. LAP  
SIDING

WOOD  
TRIM

ASPHALT  
SHINGLES

ASPHALT  
SHINGLES

LOW-E WINDOWS  
4'X6'-4" WITH TRIM

**NORTH ELEVATION - Alley**

LOW-E  
WINDOWS 3'X5'  
WITH TRIM

ROOF DECORATIVE  
BRACKET

VENTILATION  
GRILL

ASPHALT  
SHINGLES

WOOD  
TRIM

LOW-E  
WINDOWS 3'X5'  
WITH TRIM

**SOUTH ELEVATION - Side**

LOW-E  
WINDOWS  
34"X38" TRIM

HOR. LAP  
SIDING







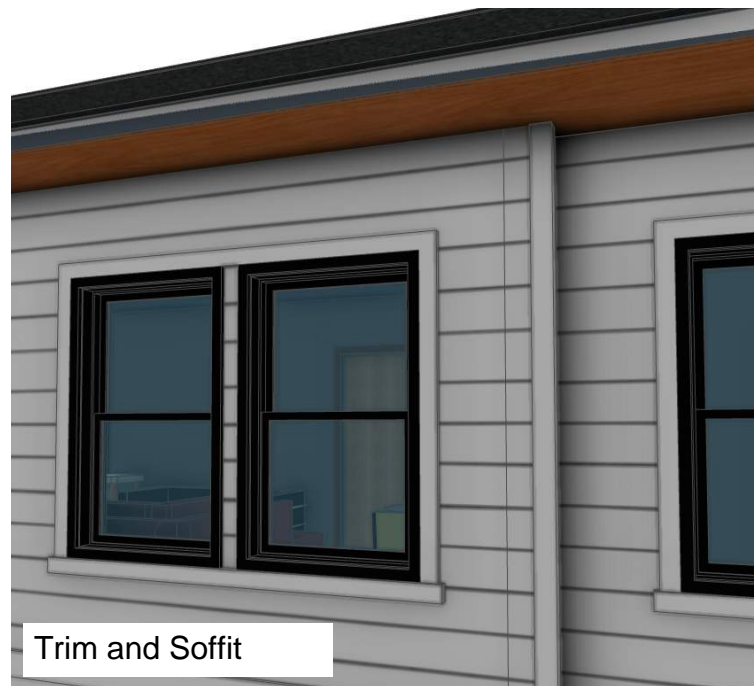




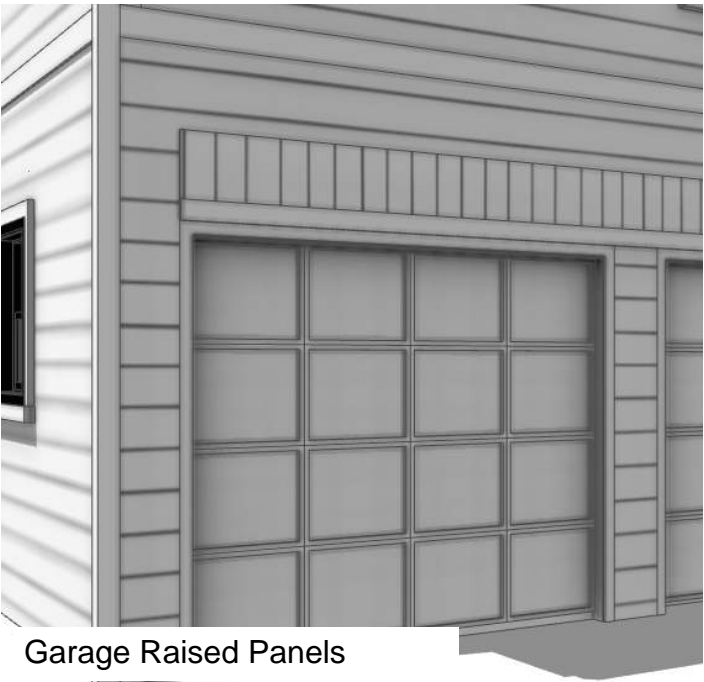
Wood entryway



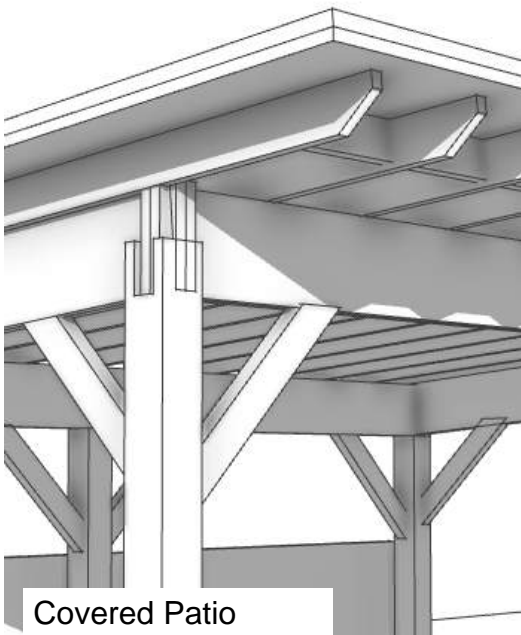
Roof Detailing



Trim and Soffit



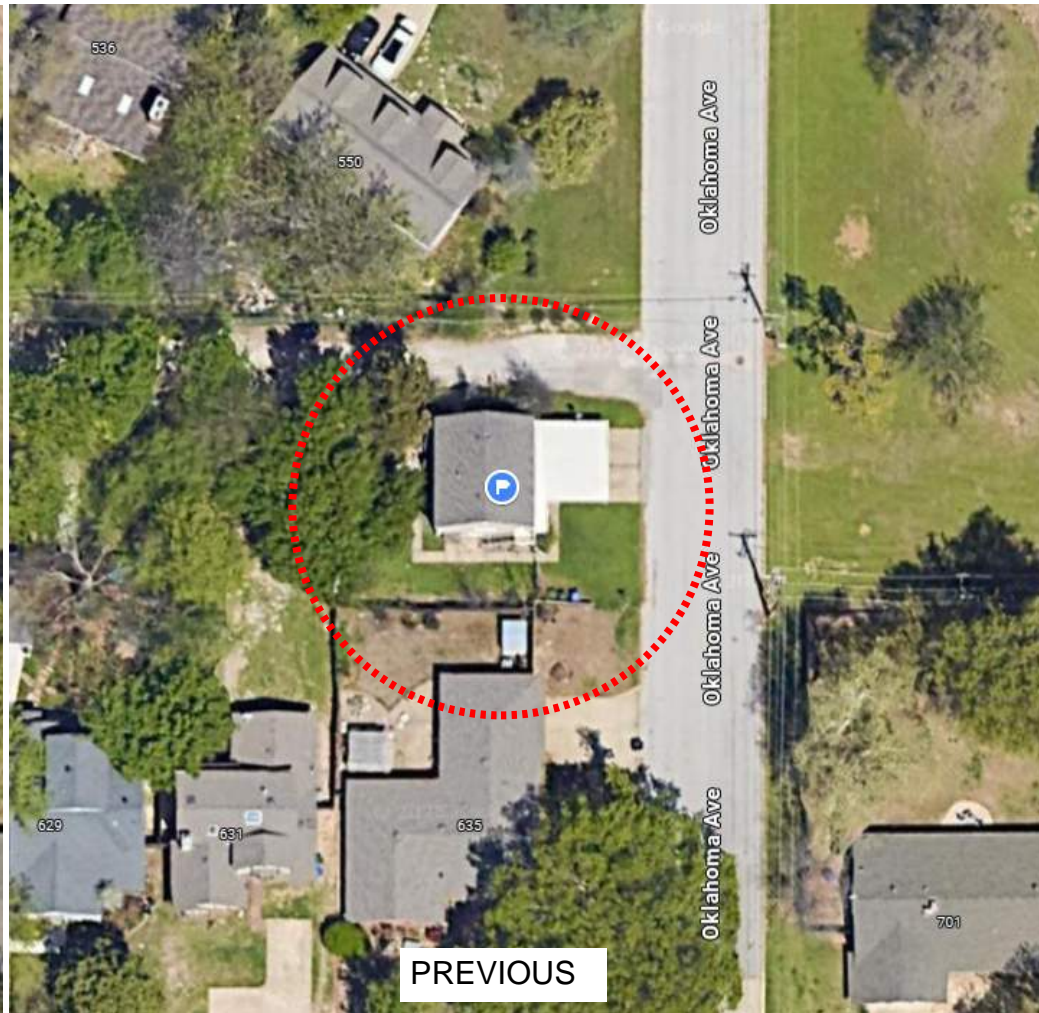
Garage Raised Panels



Covered Patio

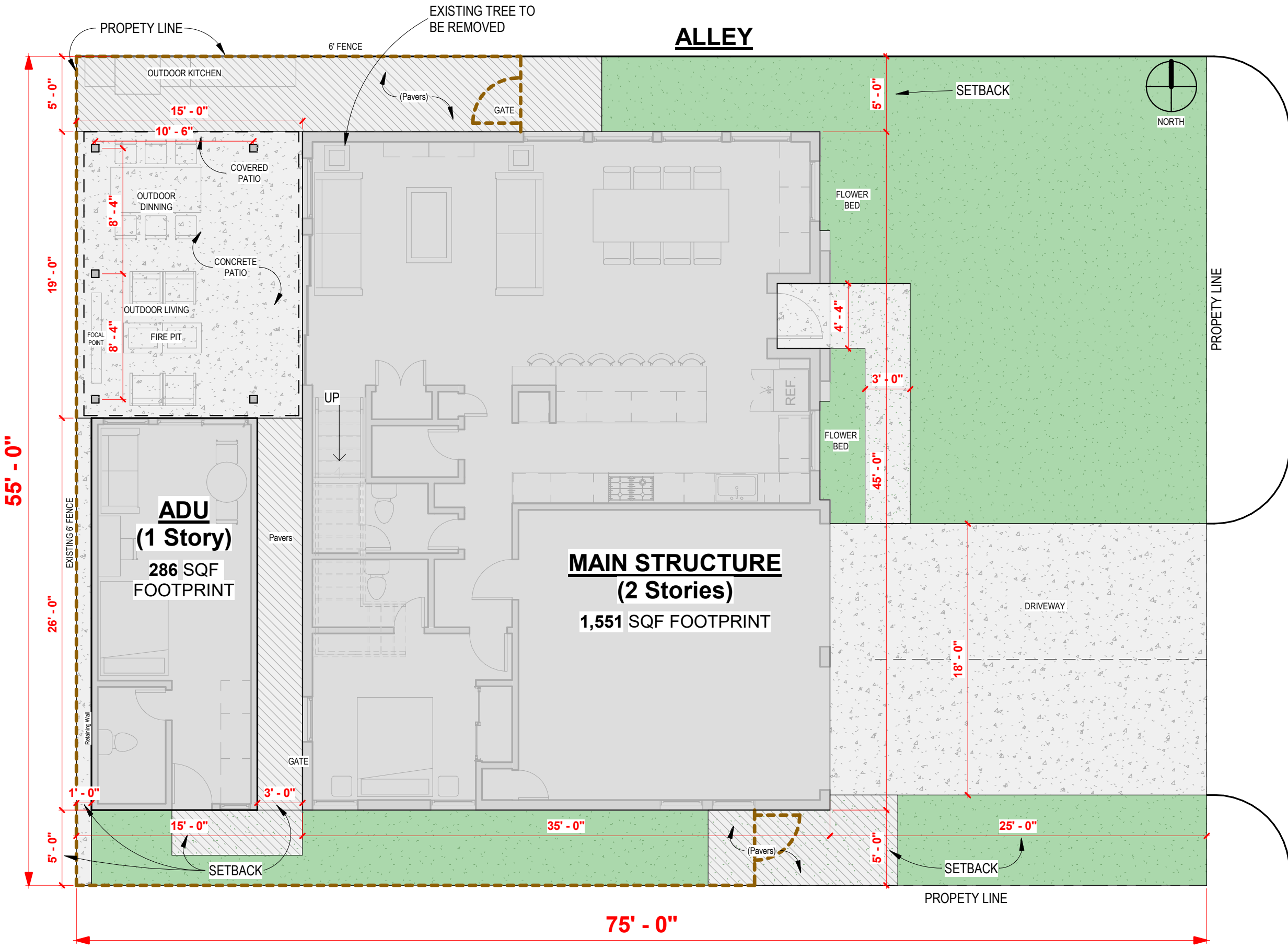


# Context | AERIAL VIEW



- + SITE PLAN**
- + FLOOR PLANS**
- + ELEVATIONS**
- + AREA CALCULATION**





**AREAS**

Lot Size: 4,125sqf

Living Area:  
Home: 2,432 sqf  
ADU: 256 sqf  
Total: 2,688 sqf

Paving Area: 805.5 sqf

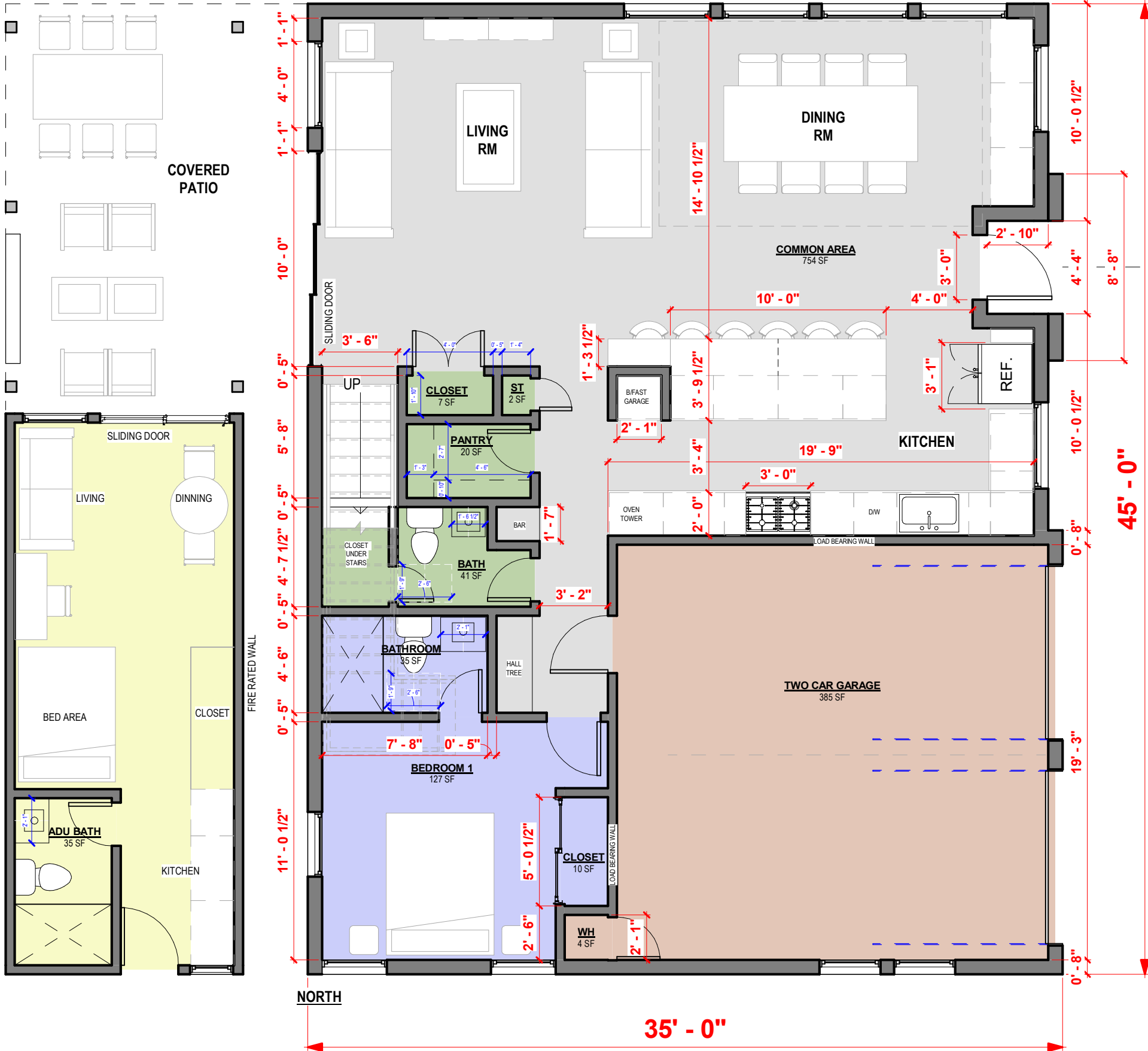
Footprint:  
Home: 1,551 sqf  
ADU: 286 sqf  
Total: 1,837 sqf

Impervious: 2,676 sqf

IMPERVIOUS CALULATION	AREA	UNIT
Lot Area (75'x55')	4125.00	SQF
	65%	%
Allowable area	2681.25	SQF
DETAILED	SQF	
Main Structure Footprint	1551.00	
Driveway	450.00	
Front sidewalk	73.00	
Patio	285.00	
ADU Footprint	286.00	
Retaining Wall	31.00	
Total Impervious Area	2676.00	SQF
Delta from 2,681.25 sqf Allowable	5.25	SQF

② Impervious Surface Calculations  
1/16" = 1'-0"





① Level 1  
3/16" = 1'-0"



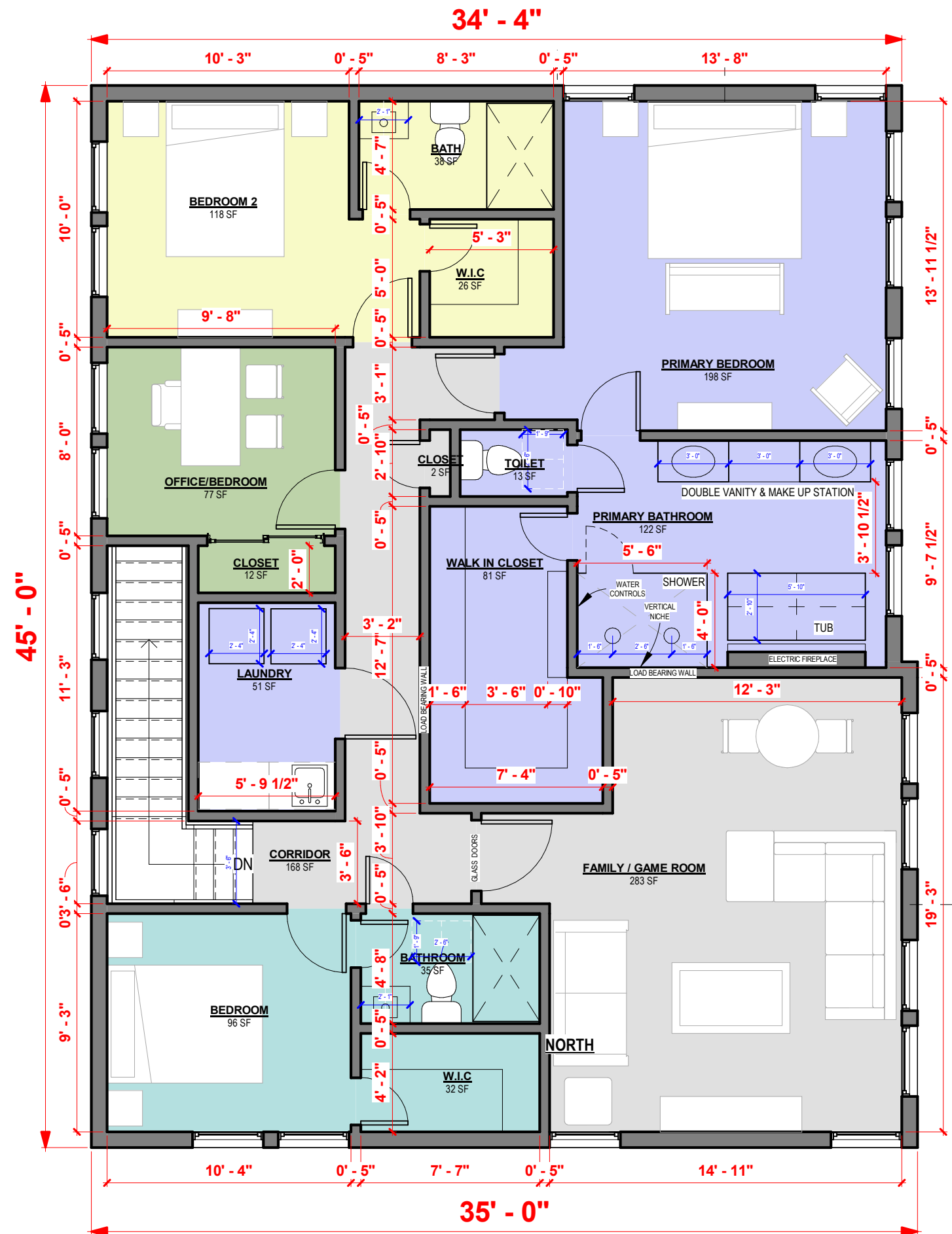
W.W. HOUSE  
1320 Oklahoma Av. Norman OK 73071

# A101

## 1ST FLOOR PLAN

Scale: 3/16" = 1'-0"





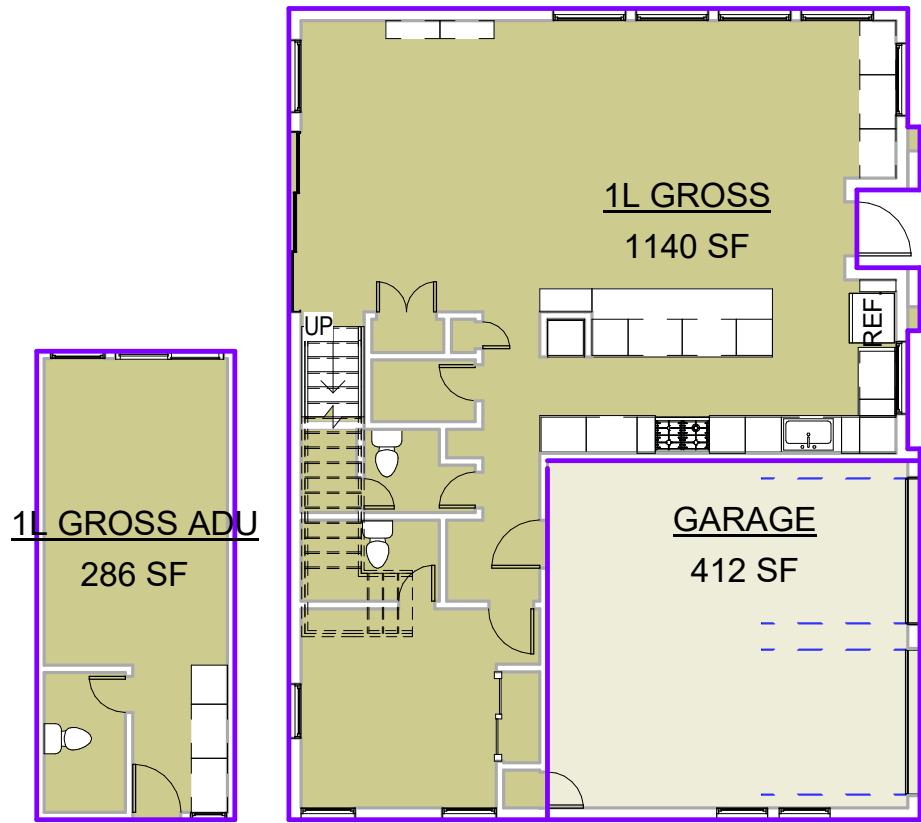
② Level 2  
3/16" = 1'-0"



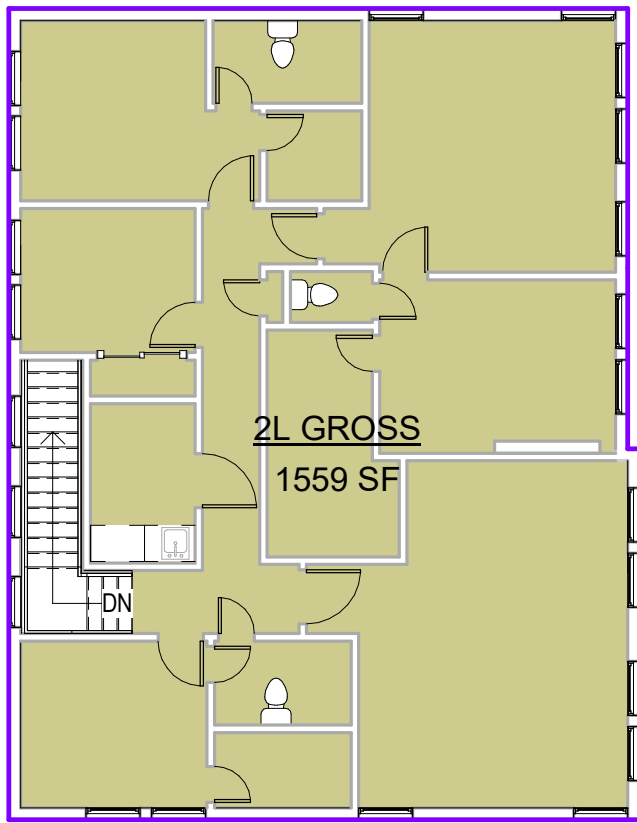
W.W. HOUSE  
1320 Oklahoma Av. Norman OK 73071

**A102**  
**2ND FLOOR PLAN**

Scale: 3/16" = 1'-0"



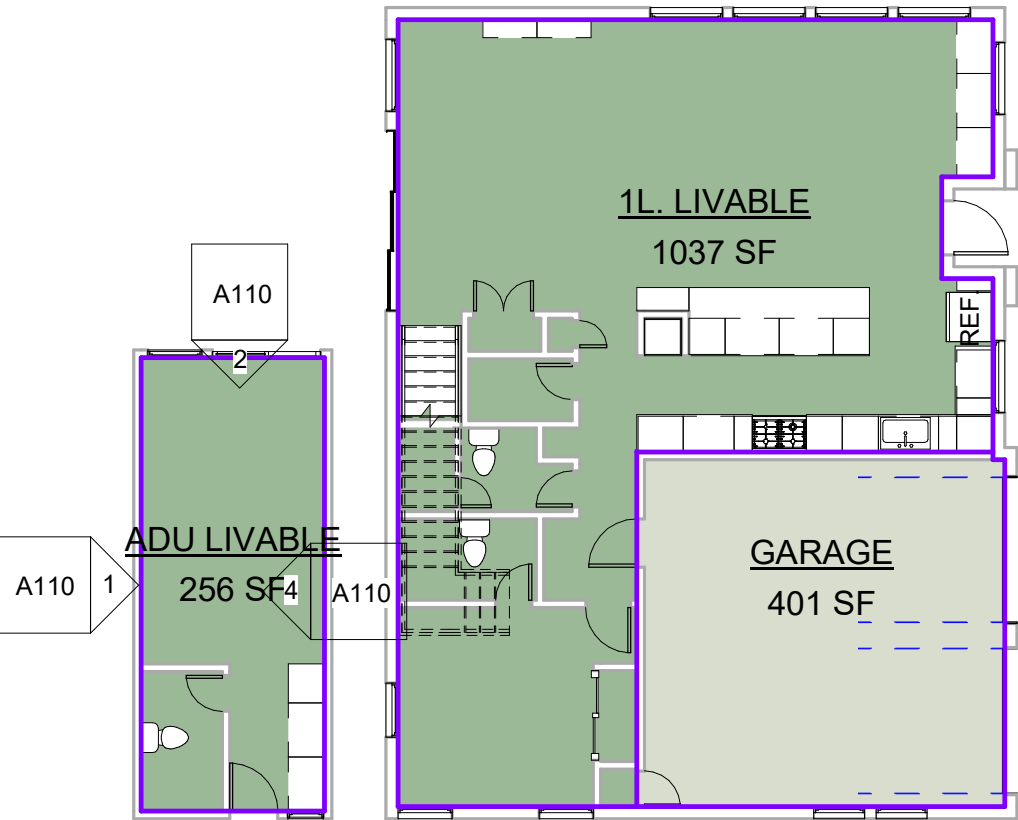
① Level 1  
3/32" = 1'-0"



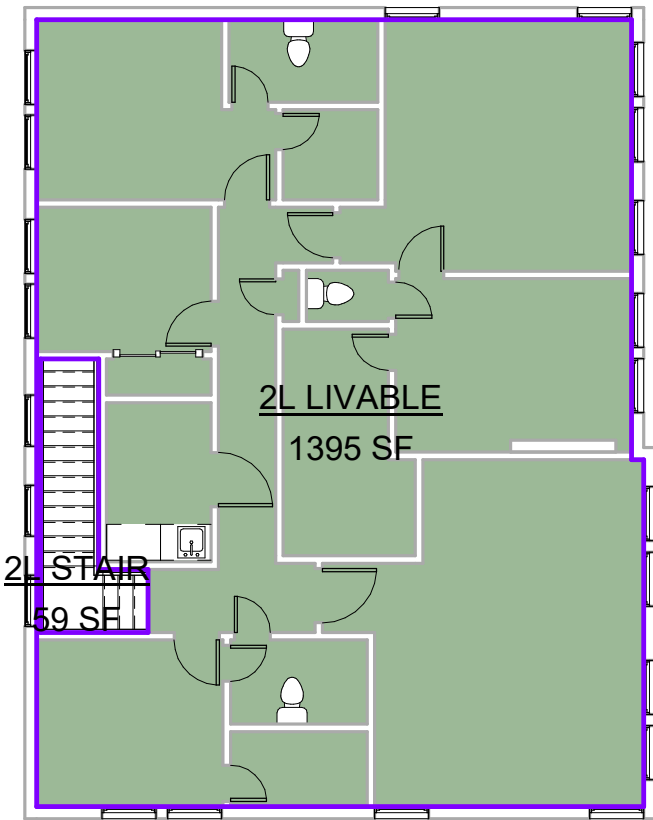
② Level 2  
3/32" = 1'-0"

GROSS SQF AREAS		
Area Name	Level	Area

1L GROSS	Level 1	1140 SF
GARAGE	Level 1	412 SF
1L GROSS ADU	Level 1	286 SF
2L GROSS	Level 2	1559 SF
TOTAL GROSS SQF: 4		3396 SF



③ Level 1  
3/32" = 1'-0"



④ Level 2  
3/32" = 1'-0"

LIVABLE SQF AREAS			
Area Name	Level	Area	Comments

Floor Area			
1L. LIVABLE	Level 1	1037 SF	Floor Area
ADU LIVABLE	Level 1	256 SF	Floor Area
2L LIVABLE	Level 2	1395 SF	Floor Area
		2688 SF	

Major Vertical Penetration			
2L STAIR	Level 2	59 SF	Hole
		59 SF	

Store Area			
GARAGE	Level 1	401 SF	Unconditioned
		401 SF	

TOTAL LIVABLE SQF: 5 3148 SF

W.W. HOUSE  
1320 Oklahoma Av. Norman OK 73071

A119  
AREAS

Scale: 3/32" = 1'-0"



**CONTEXT**

# Context | PROJECT SUMMARY



***Aerial View***

***E Boyd Street***

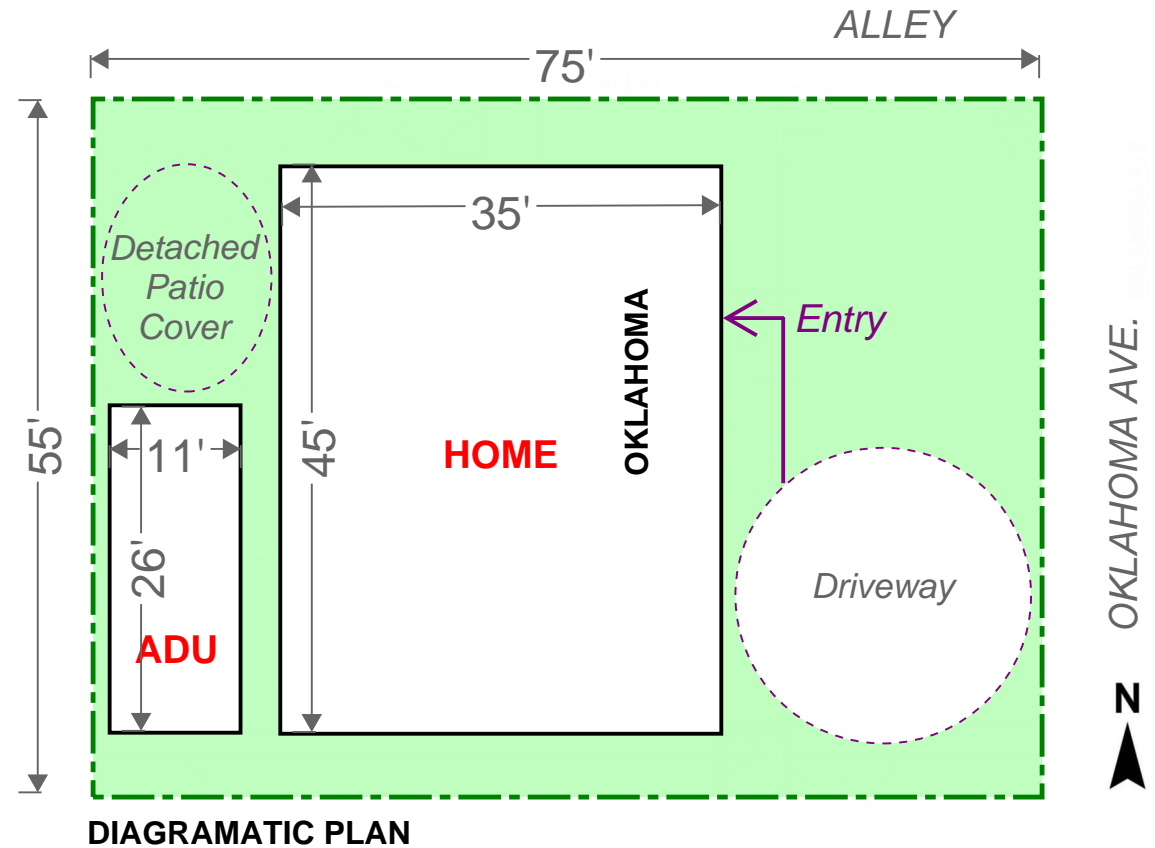
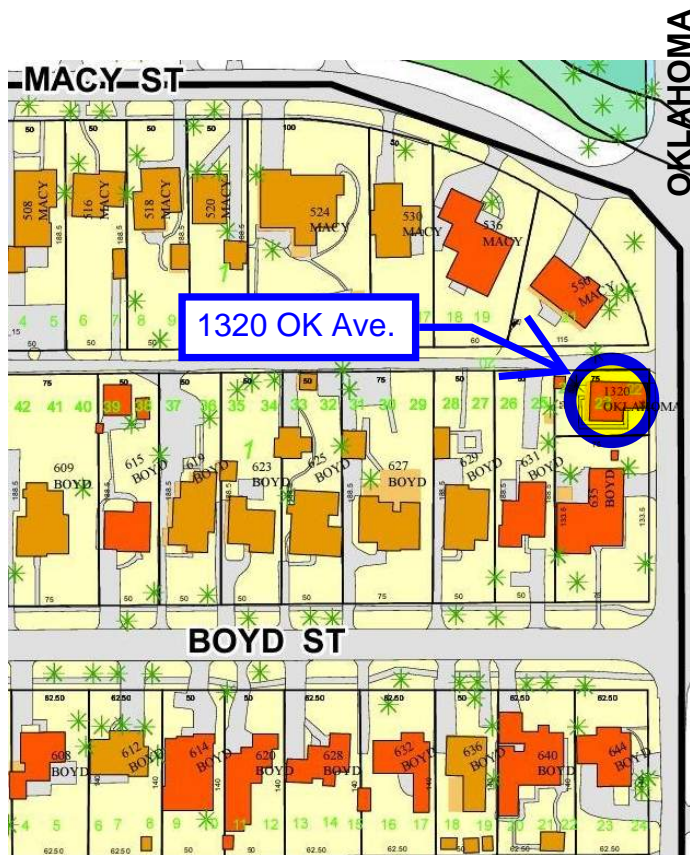






# Context | PROJECT SUMMARY

2 Stories single family  
home + ADU on the back

Total Livable SQF= 2,688

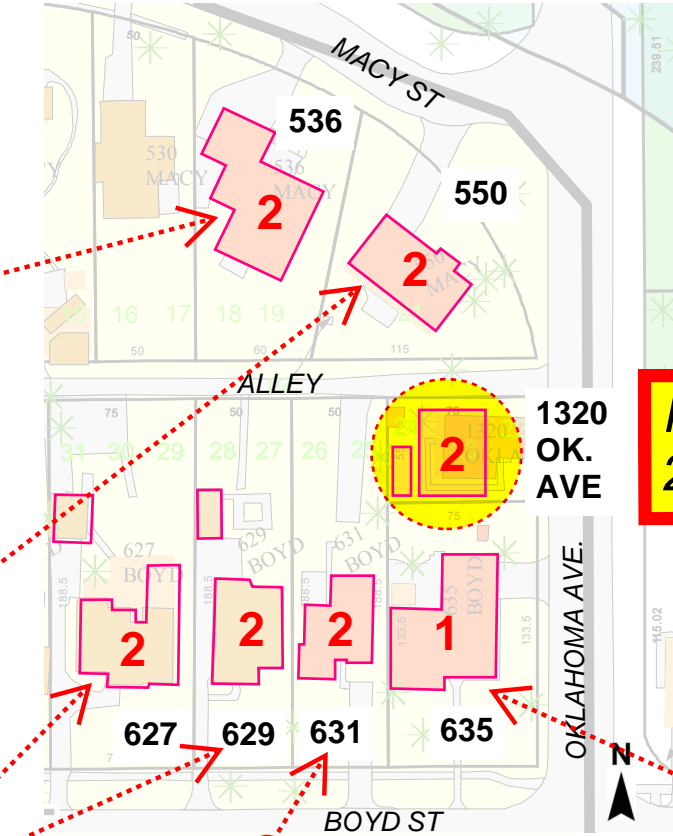


-  CONTRIBUTING STRUCTURES
-  NON-CONTRIBUTING STRUCTURES

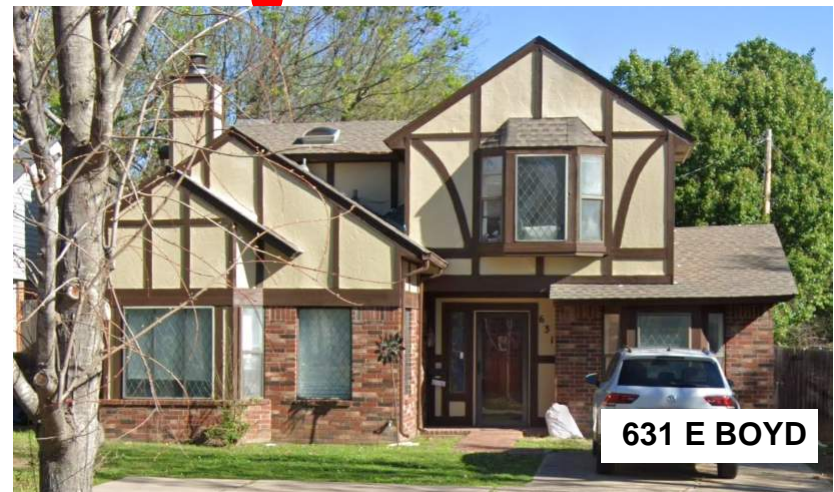
**Size**



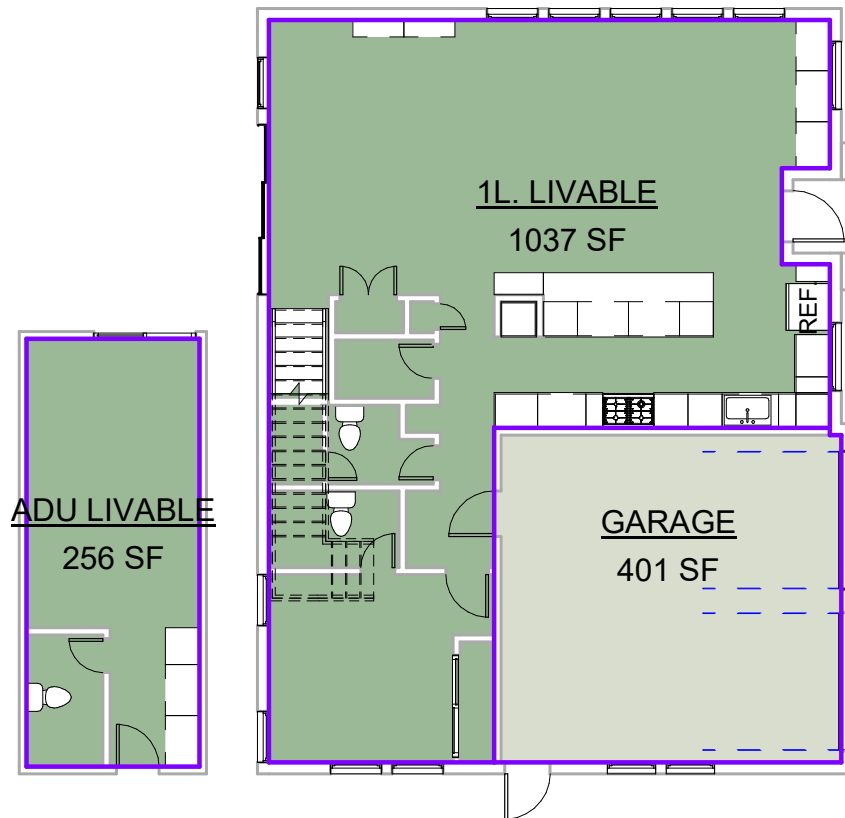
# Context | SCALE



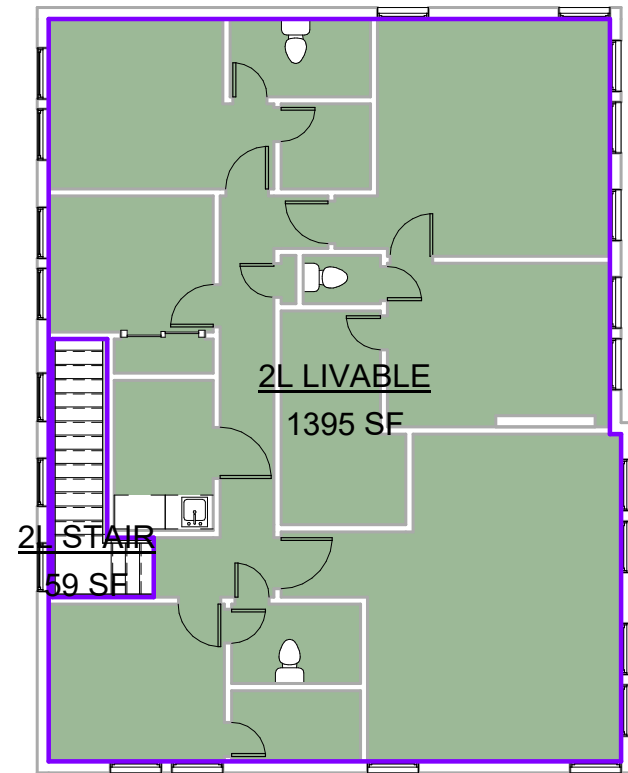
*Proposed  
2 stories*



# Context | SIZE



③ Level 1  
3/32" = 1'-0"



④ Level 2  
3/32" = 1'-0"

LIVABLE SQF AREAS			
Area Name	Level	Area	Comments
Floor Area			
1L. LIVABLE	Level 1	1037 SF	Floor Area
ADU LIVABLE	Level 1	256 SF	Floor Area
2L LIVABLE	Level 2	1395 SF	Floor Area

**2688 SF**



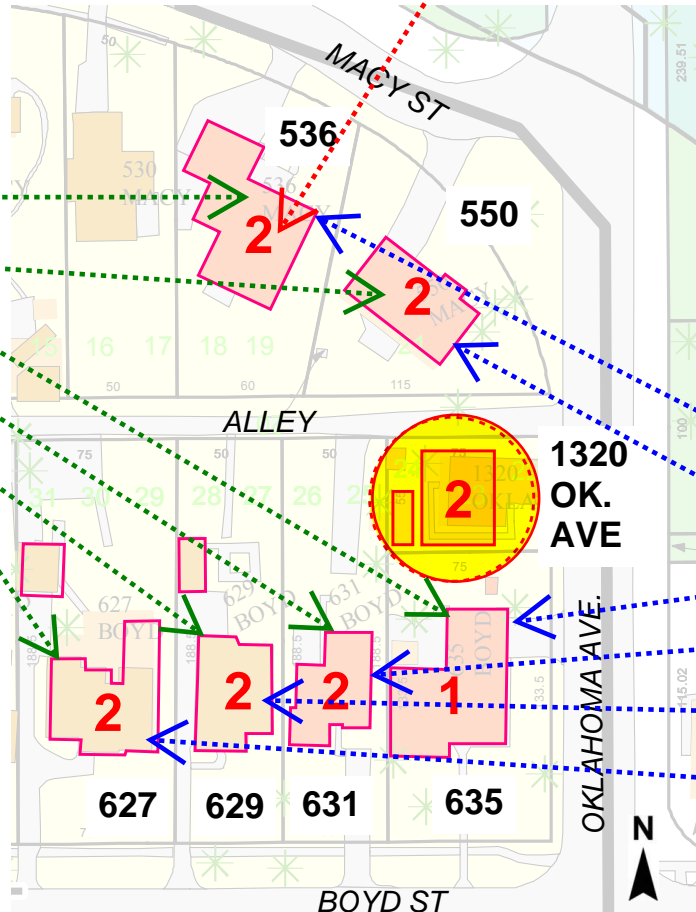
# Context | SIZE

*Numbers within footprints represent number of floors*

## Size by Footprint

ADDRESS	FOOTPRINT
536 Macy St	2928.16
550 Macy St	1835.25
635 E Boyd St	2903.40
631 E Boyd St	1554.63
629 E Boyd St	2058.05
627 E Boyd St	2816.04
<b>Average</b>	<b>2349.26</b>
<b>1320 OK AVE.</b>	<b>1837.00</b>
Delta from Average	-512.26

**512.26 sf smaller by footprint.**



## Size by Livable Area

ADDRESS	LIVABLE AREA
536 Macy St	3872.00
550 Macy St	1940.00
635 E Boyd St	1652.00
631 E Boyd St	1969.00
629 E Boyd St	1680.00
627 E Boyd St	2707.00
<b>Average</b>	<b>2303.33</b>
<b>1320 OK AVE.</b>	<b>2688.00</b>
Delta from Average	384.67

**384.67 sf larger by livable area.**

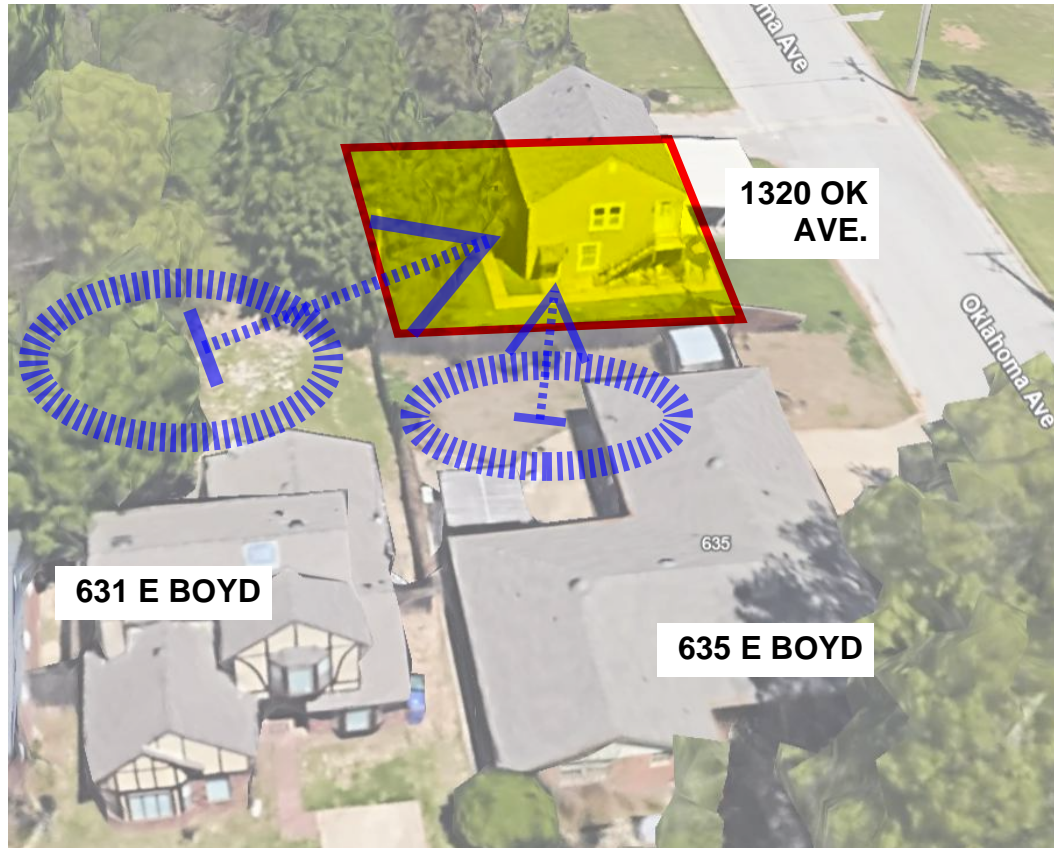
Data found on Southridge Historic District Official Map and Zillow.com

**Finish Floor**



# Context | FINISH FLOOR

The current site's finished floor is below the adjacent west and south properties, causing water to flow into it, which was the main reason the previous 1st floor base plate was rotten



Request to raise the current F.F. by 6" to prevent water infiltration into house.



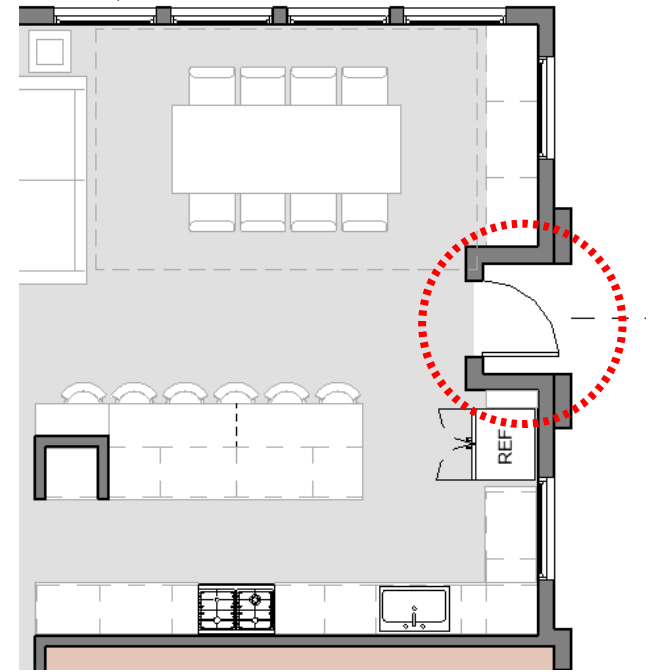
**Doors**



# Context | FRONT DOOR

Krosswood Doors (Brand Rating: 3.7/5) ⓘ

**36 in. x 96 in. Rustic Knotty Alder Arch Top 9-Lite Clear Glass**  
**Unfinished Wood Front Door Slab**



## Door information:

- Brand: **Krosswood Doors**
- Material: **Wood**
- Type: **Craftsman 9-Lite Clear Beveled Glass Knotty Alder Unfinished Wood Front Door Slab**
- Size: **36"x96"**
- Panel thickness: **1-3/4"**

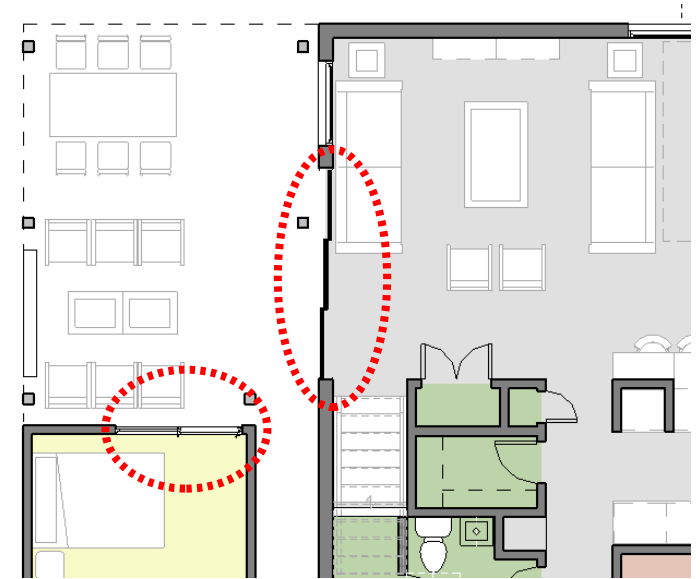
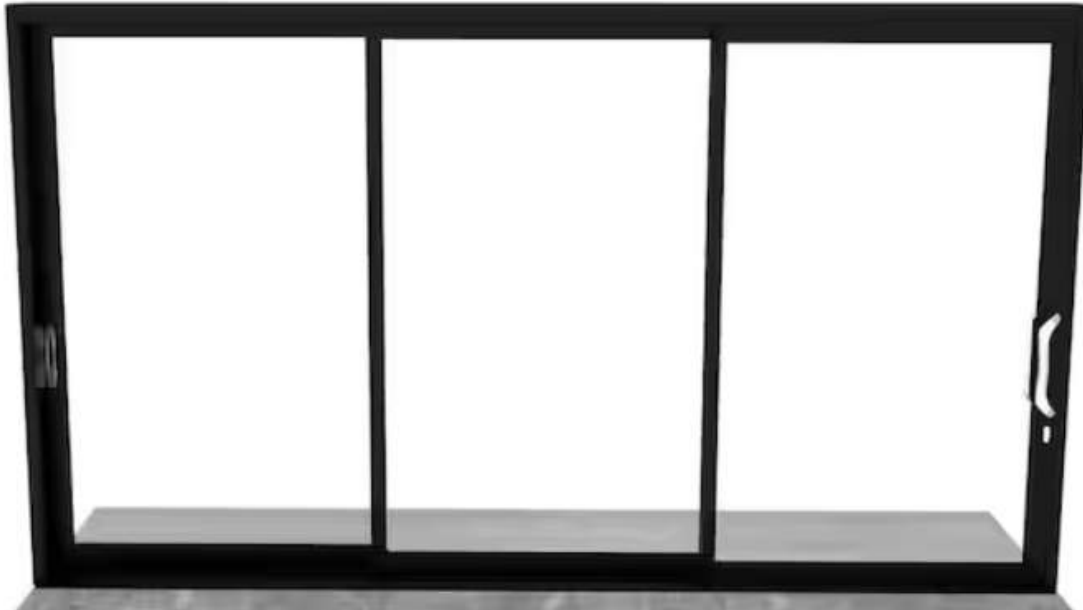
## **Reference:**

- Internet # 308301767
- Model # KA.559V.30.80.134
- Store SKU # 1004030309

# Context | SLIDING BACK DOOR

ERIS

120 in. x 96 in. Matte Black Universal Handing **Aluminum** Sliding Patio Door with Aluminum Frame and Lockset



## Door information:

- Brand: **ERIS**
- Material: **Thermally broken aluminum**
- Type: **Sliding Patio Door**
- Size: **120"x96"**
- Panel thickness: 1-3/4"
- Color: **Black**
- Double tempered glass
- For ADU Size: **72"x80"**

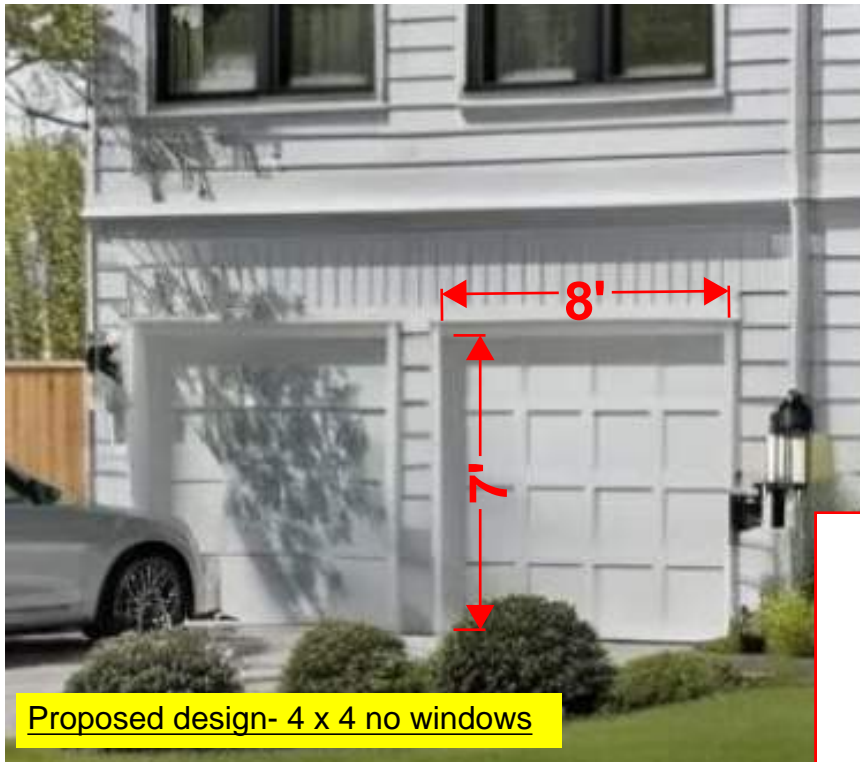
## **Reference:**

- Internet # 333106960
- Model # BS-12096
- Store SKU # 1012974969





# Context | GARAGE DOOR - Metal w/ Composite Trim

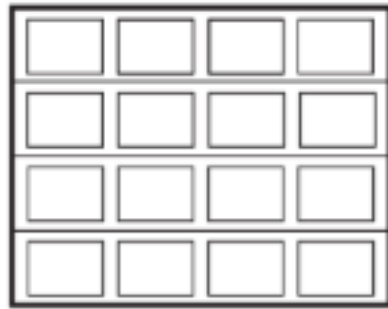


RESIDENTIAL

**Recessed Panel 2298**

2298

**AR-BE**  
Garage Doors, Inc.



Door information: Two single doors

- Company: **AR-BE Garage Doors Inc**
- Design: Recessed Panel 2298
- Type: **Raised Panel**
- Overlay trim: **1/2" Raised Composite Trim**
- Construction: **Metal structure**
- Glass: **None**
- Door Size (each): **8" wide x 7' long**



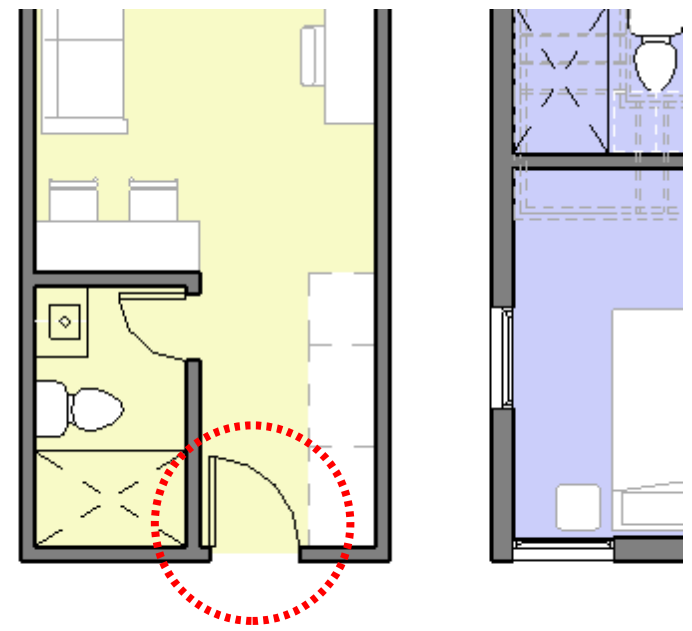
Double door shown as a design reference



# Context | ADU BACK DOOR

Steves & Sons

**32 in. x 80 in. Element Series 9-Lite External Grille Left-Hand  
White Primed Steel Prehung Front Door**



## Door information:

- Brand: **Steve & Sons**
- Material: **Galvanized steel**
- Type: **Front door with 9-Lite**
- Size: **32"x80"**
- Panel thickness: **1-3/4"**
- Color: **White**
- Tempered glass

## **Reference:**

- Internet # **205741527**
- Model # **STL9LCPR3280LI**
- Store SKU # **1001250857**



# Windows

# Context | WINDOWS OPT#1 - Aluminum

## **Proposed Windows:**

- Brand: Ply Gem.
- Material: **Aluminum** with thermally broken frame.
- Type: **Single Hung** 4800 Series.
- Size: **Varies**
- Frame Color: **Black**
- Grille Patterns: None



.10 **Materials.** Wood is allowable for in-kind replacement of windows. Aluminum-clad and metal windows can be considered for the replacement of metal casement windows that are deteriorated on a case-by-case basis. Fiberglass and aluminum-clad windows can be considered on non-contributing resources and on rear elevations not visible from the front right-of-way. Vinyl-clad windows are prohibited for both contributing and non-contributing structures in the historic districts.

# Context | WINDOWS OPT#1 - Aluminum



**Ply Gem®**  
WINDOWS & DOORS

**4810 SERIES SINGLE HUNG**





# Context | WINDOWS OPT#2 - Aluminum-Clad

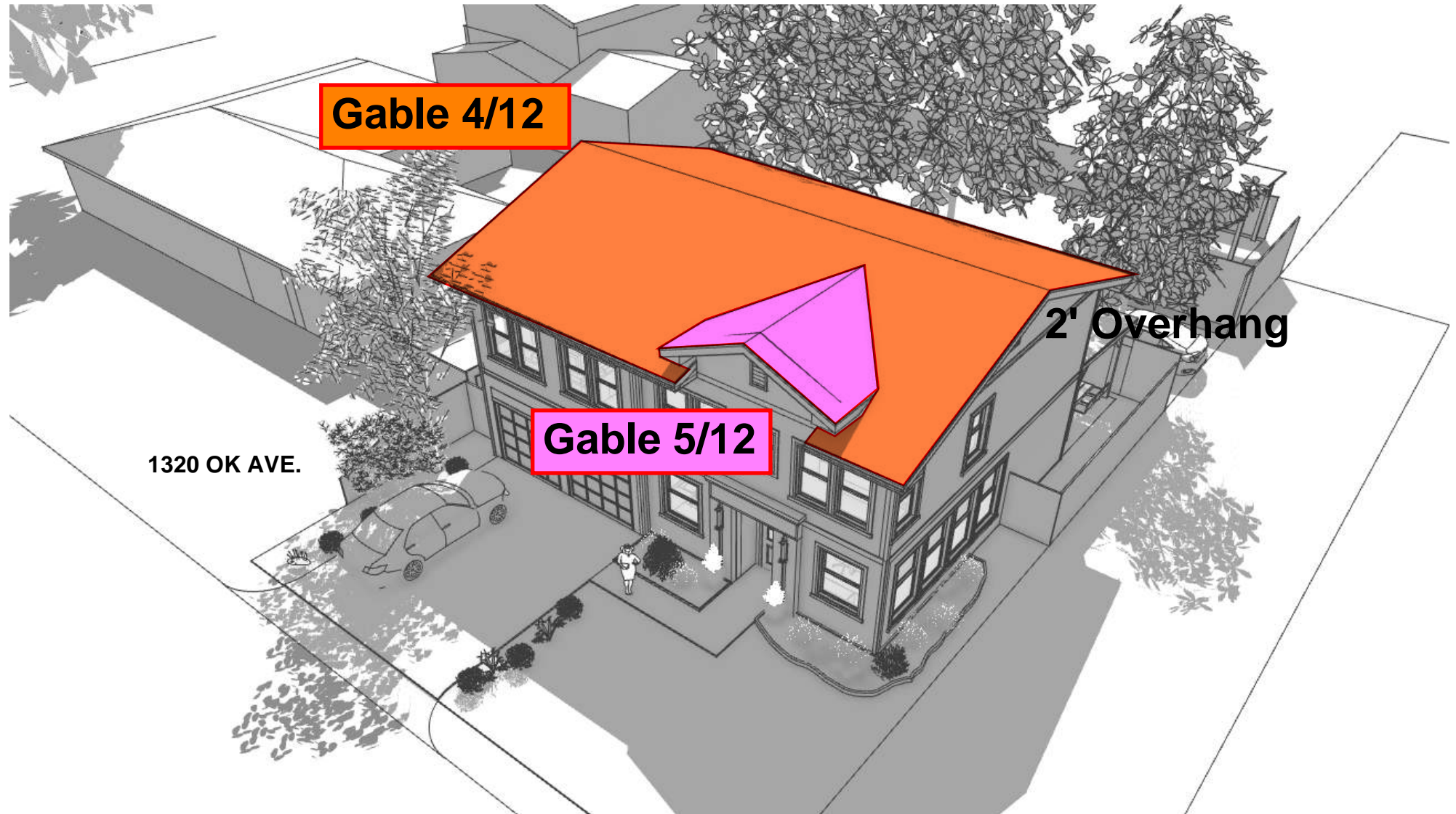
## Proposed Windows:

- Brand: Ply Gem.
- Material: **Aluminum-Clad**.
- Type: **Mira Series**.
- Size: **Varies**
- Frame Color: **Black**
- Grille Patterns: None



# Roof Shape

# Context | ROOF SHAPE

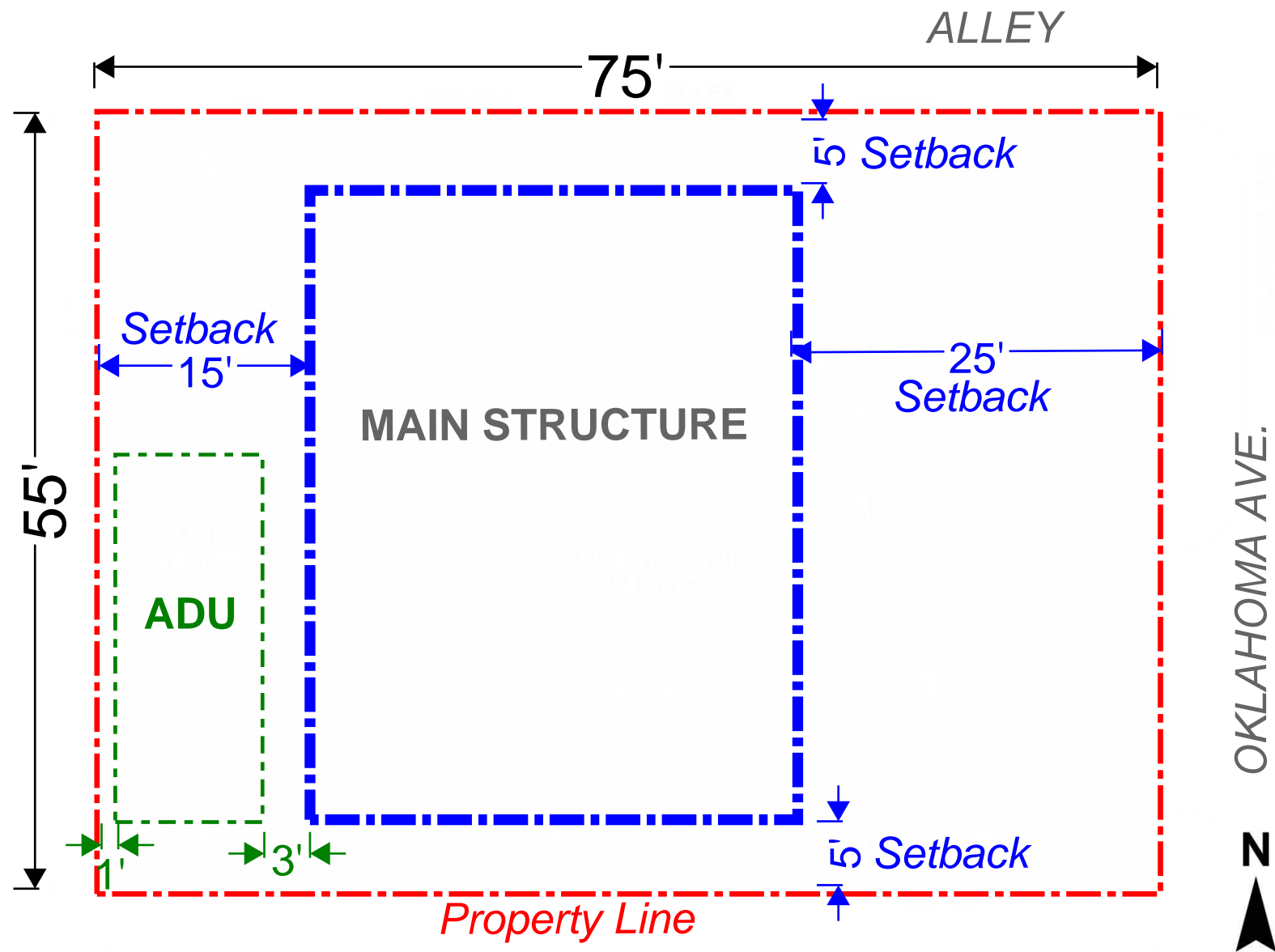




**SITE**

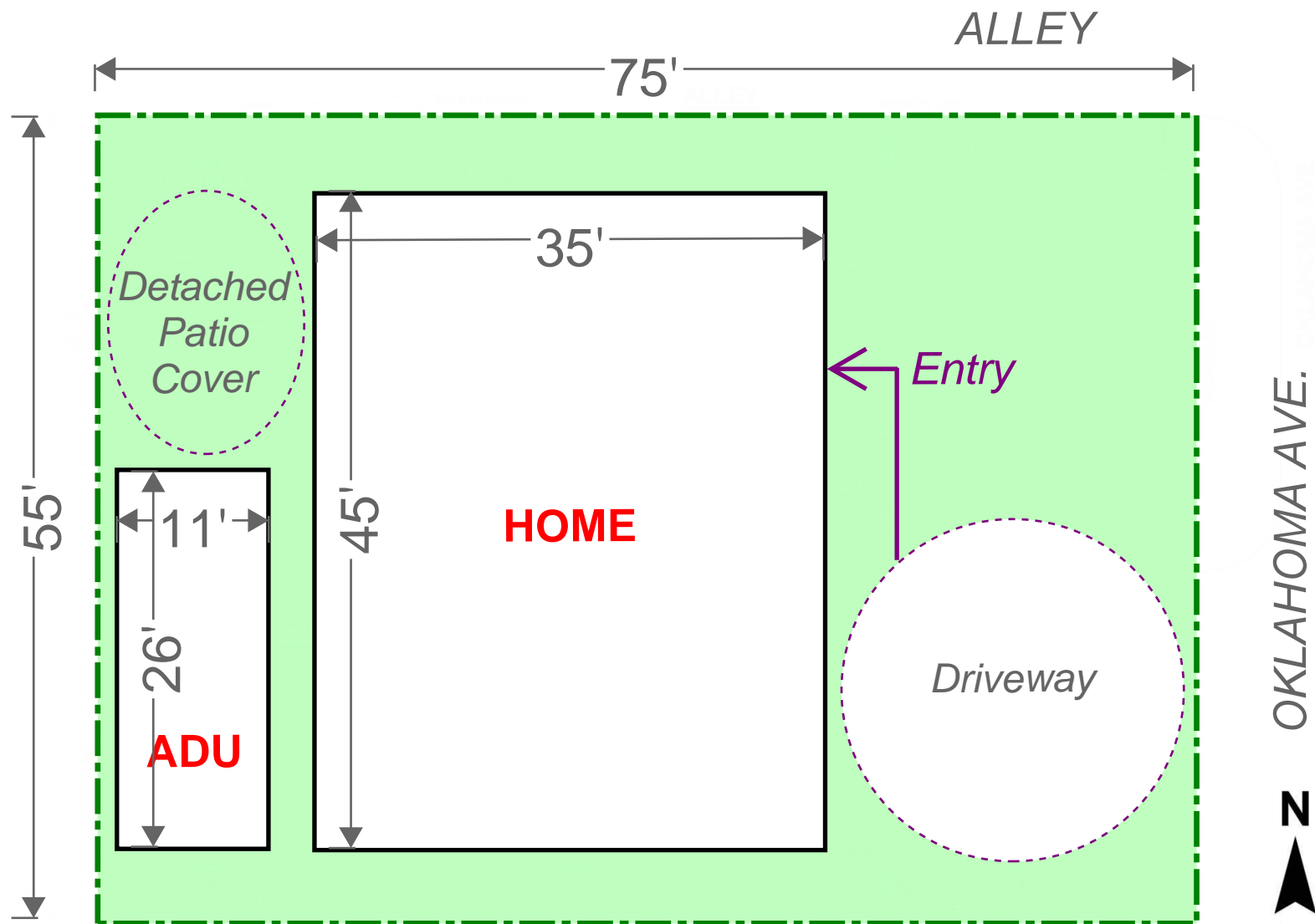
# Setbacks

# Site | SETBACK





# Site | SITE ELEMENTS



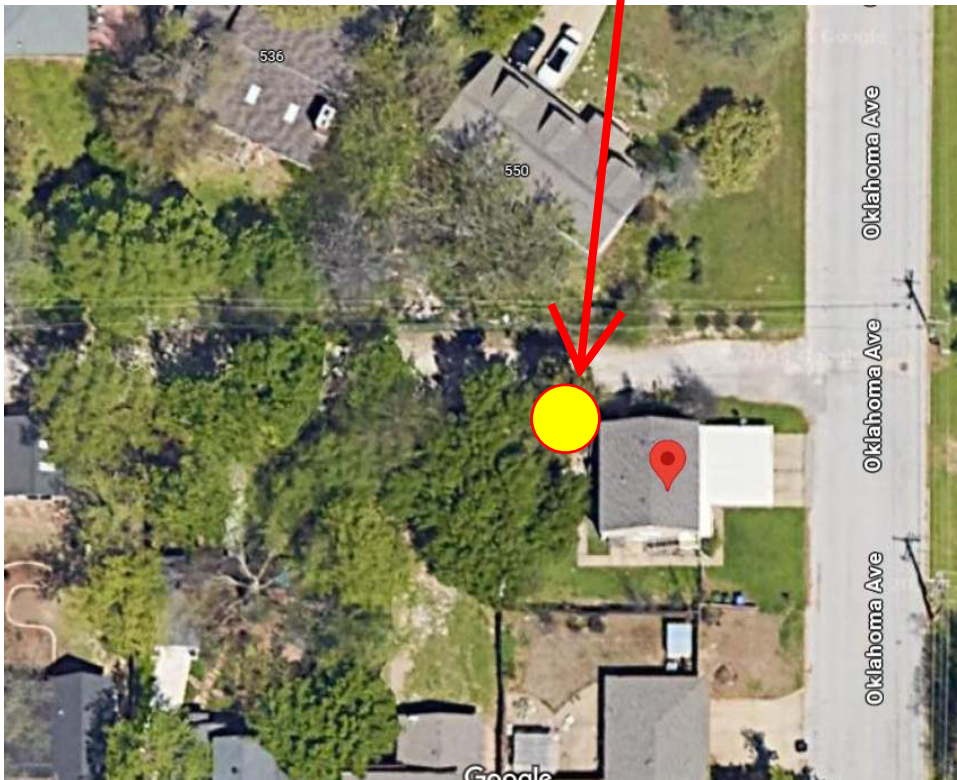
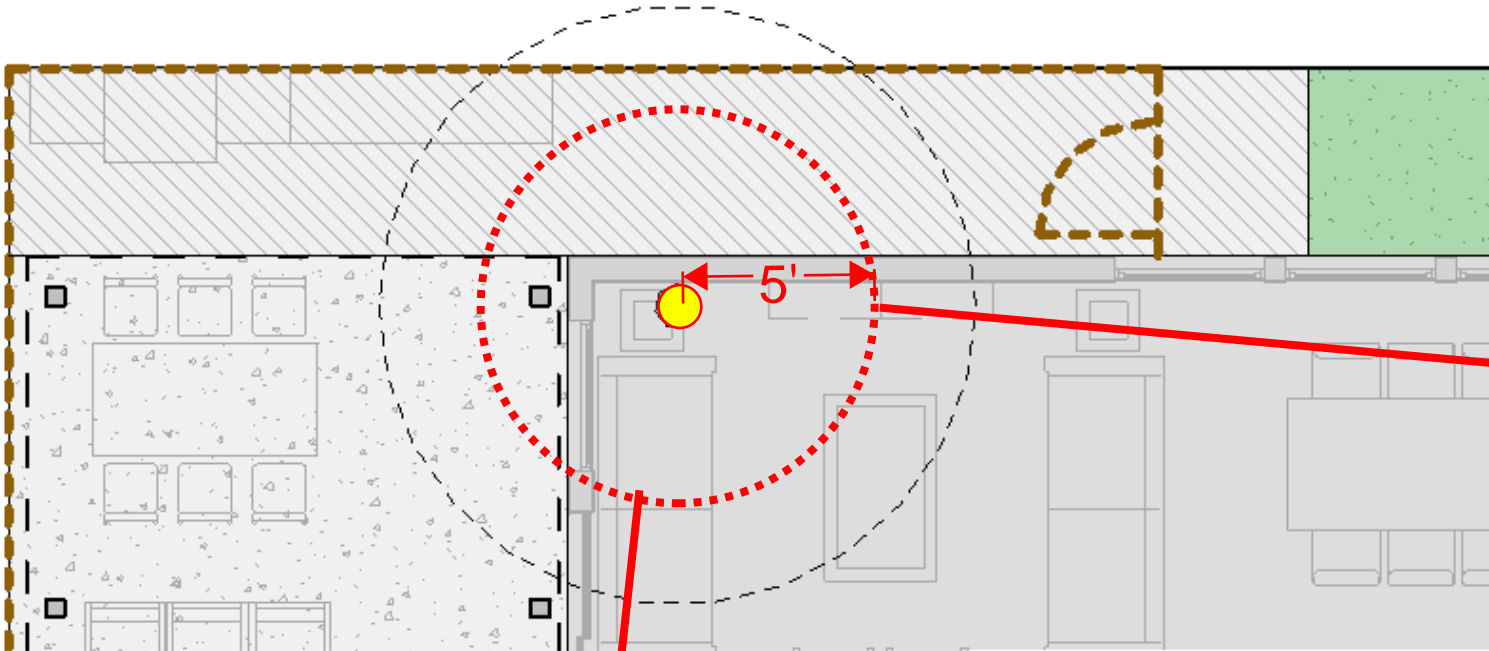
# Site Plan





# Tree Removal

# Site | TREE REMOVAL



Existing pine tree is located within the building foundation area of the proposed home.

- Risk of Structural Damage
- Water and Drainage Issues
- Increased Pest Problems

*To offset tree lost, considerable landscaping will be place on the east.*

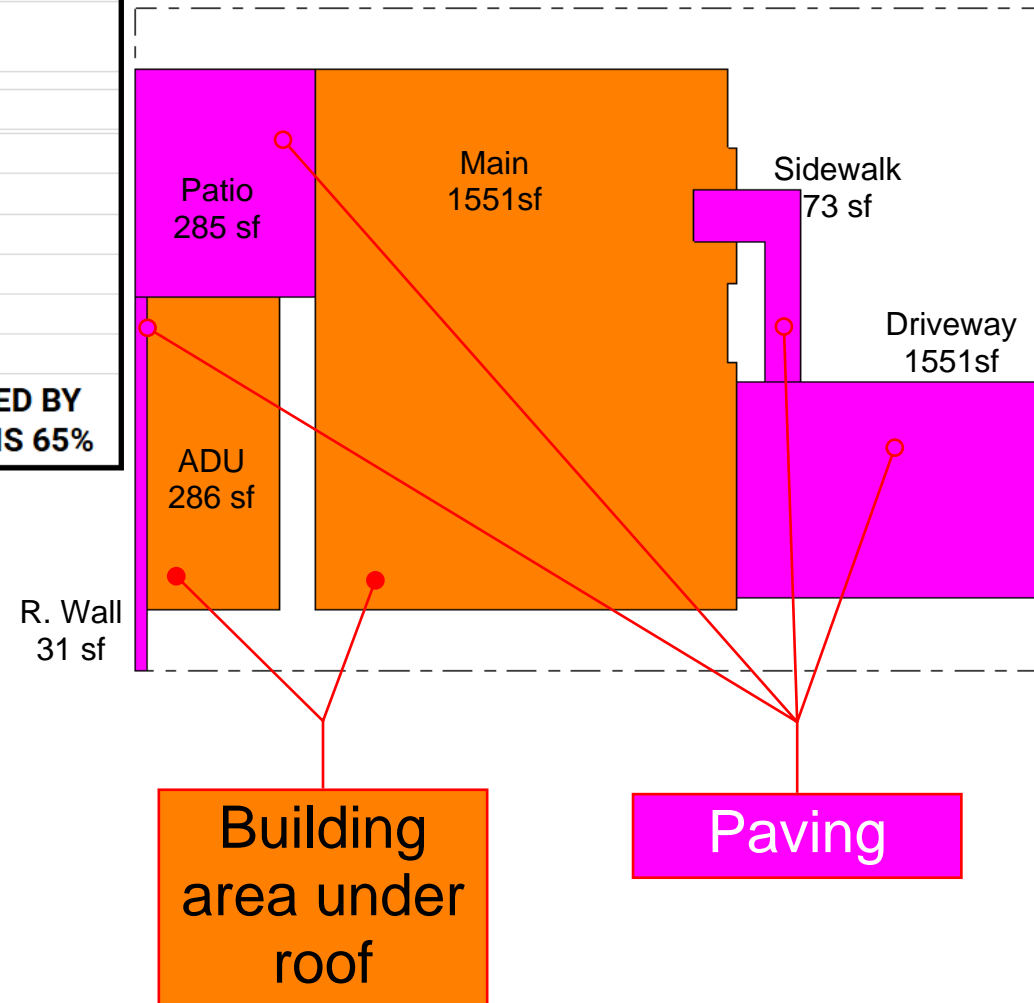
# Impervious Area Calculation



# Site | IMPERVIOUS AREA CALCULATION

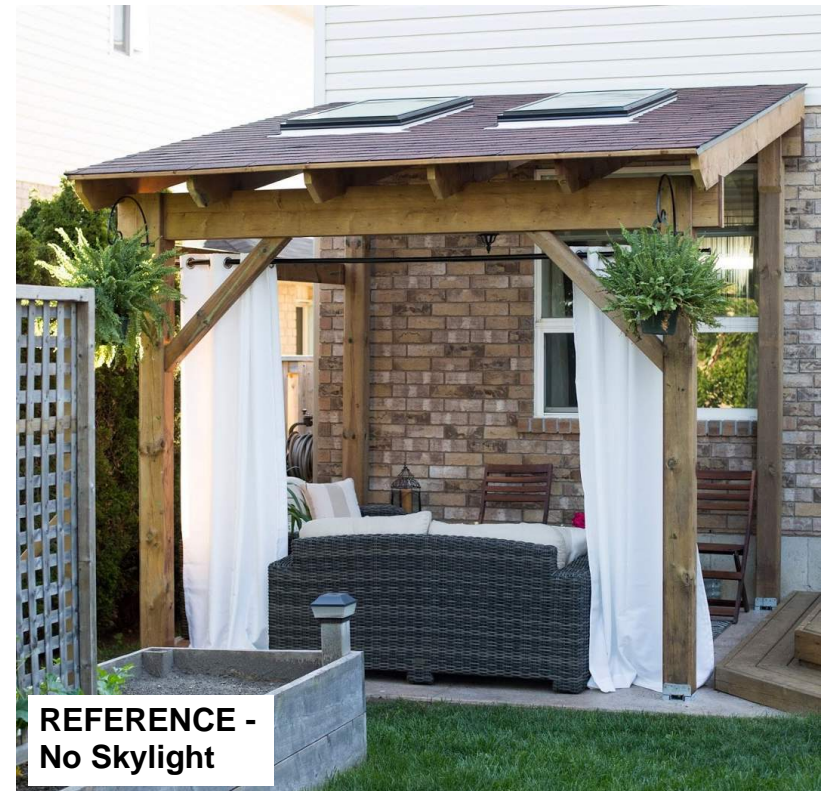
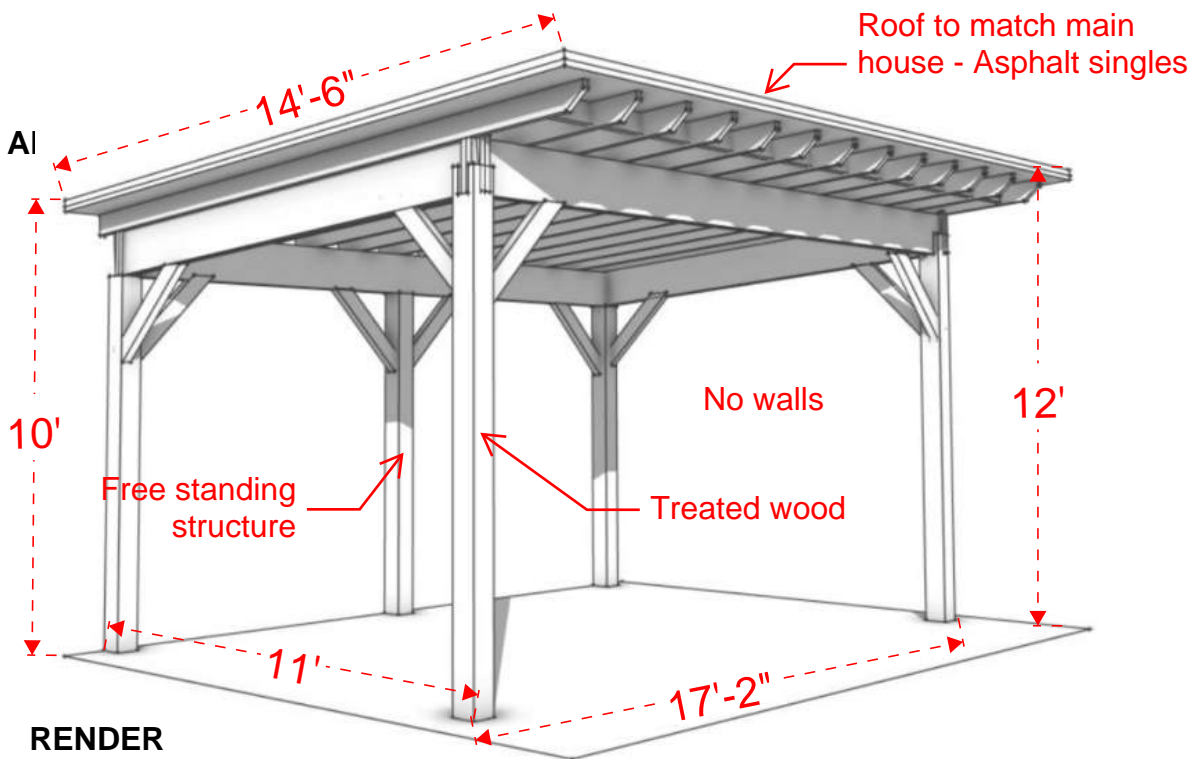
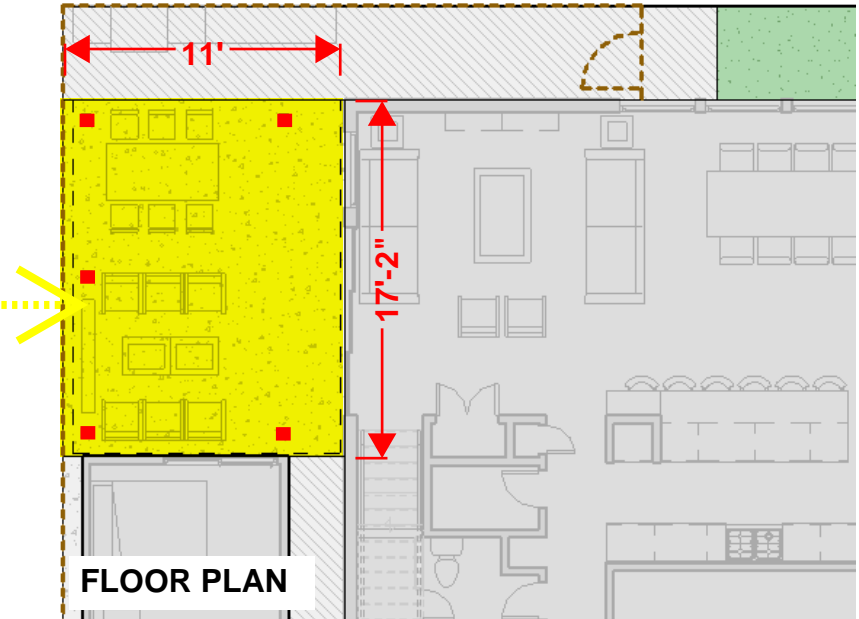
<b>BUILDING AREA UNDER ROOF</b>		<b>AREA</b>	<b>UNIT</b>	<b>NOTE</b>
A	Lot Area	4125.00	sf	55' x 75'
B	Project Area	1837.00	sf	
C	Living Area	2688.00	sf	
Building Footprint				
D	Existing Structure	0.00	sf	Empty lot
E	New/Proposed	1837.00	sf	
F	Total Building Coverage (D+E)	1837.00	sf	
G	% Total Building Coverage (F/A)	44.53%	% of lot	
H	<b>TOTAL BUILDING IMPERVIOUS COVERAGE ON LOT</b>	<b>1837.00</b>	sf	
<b>PAVING/OTHER</b>		<b>AREA</b>	<b>UNIT</b>	<b>NOTE</b>
I	Paving/Other Impervious Areas:			
	1. Existing	0.00	sf	Empty lot
	2. New/Proposed	839.00		
J	Total Paving/Other Impervious Coverage	839.00		
K	% Paving Coverage (J/A)	20.34%	% of lot	
<b>Combined (Paving + Building)</b>		<b>64.87%</b>		<b>MAXIMUM ALLOWED BY CITY OF NORMAN IS 65%</b>

<b>IMPERVIOUS CALCULATION</b>		<b>AREA</b>	<b>UNIT</b>
Lot Area (75'x55')		4125.00	SQF
		65%	%
<b>Allowable area</b>		<b>2681.25</b>	<b>SQF</b>
<b>DETAILED</b>		<b>SQF</b>	
Main Structure Footprint		1551.00	
Driveway		450.00	
Front sidewalk		73.00	
Patio		285.00	
ADU Footprint		286.00	
Retaining Wall		31.00	
<b>Total Impervious Area</b>		<b>2676.00</b>	<b>SQF</b>
Delta from 2,681.25 sqf Allowable		5.25	SQF



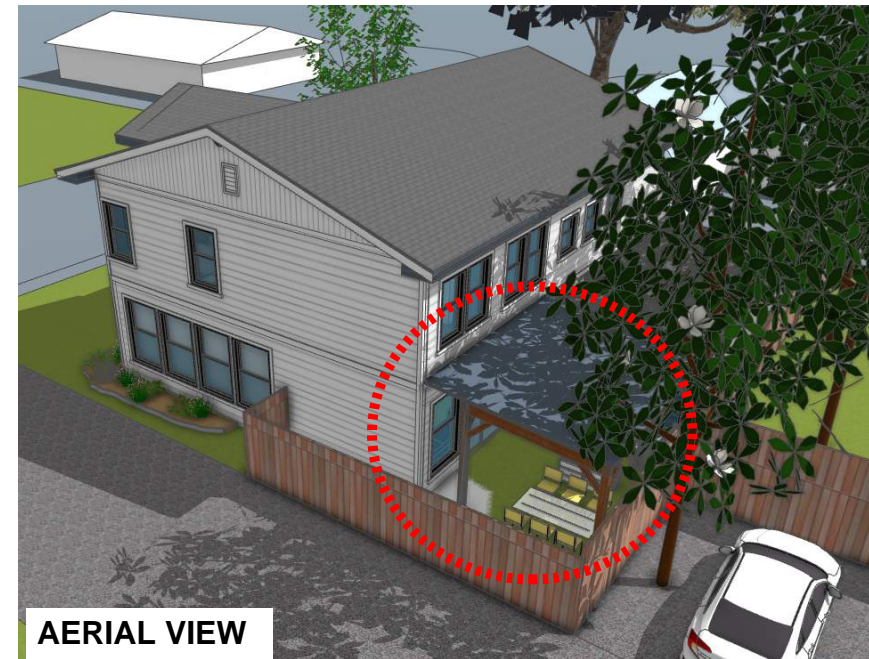
# Covered Patio

# Context | COVERED PATIO





# Context | COVERED PATIO



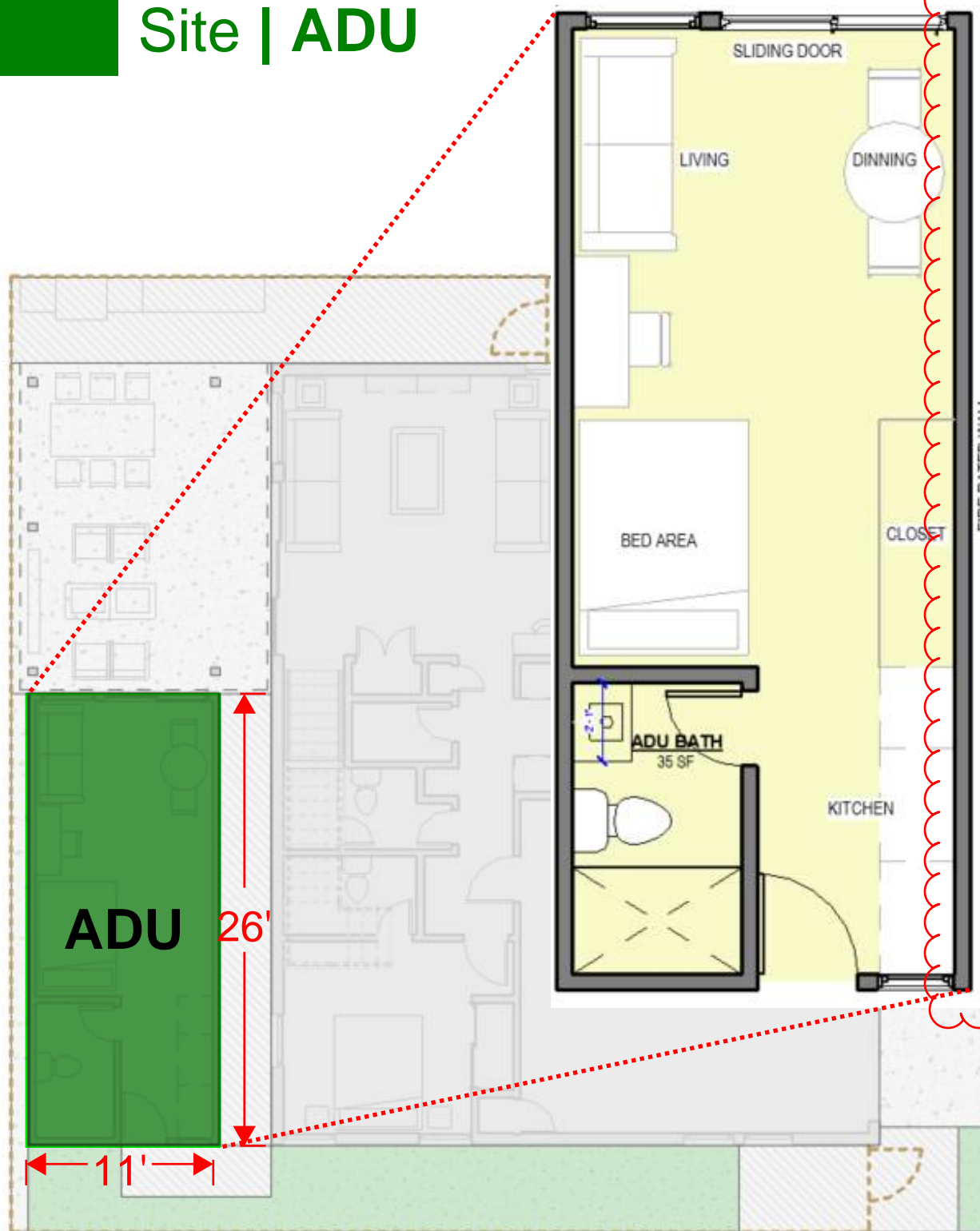
## Context | **COVERED PATIO**



**ADU**



# Site | ADU

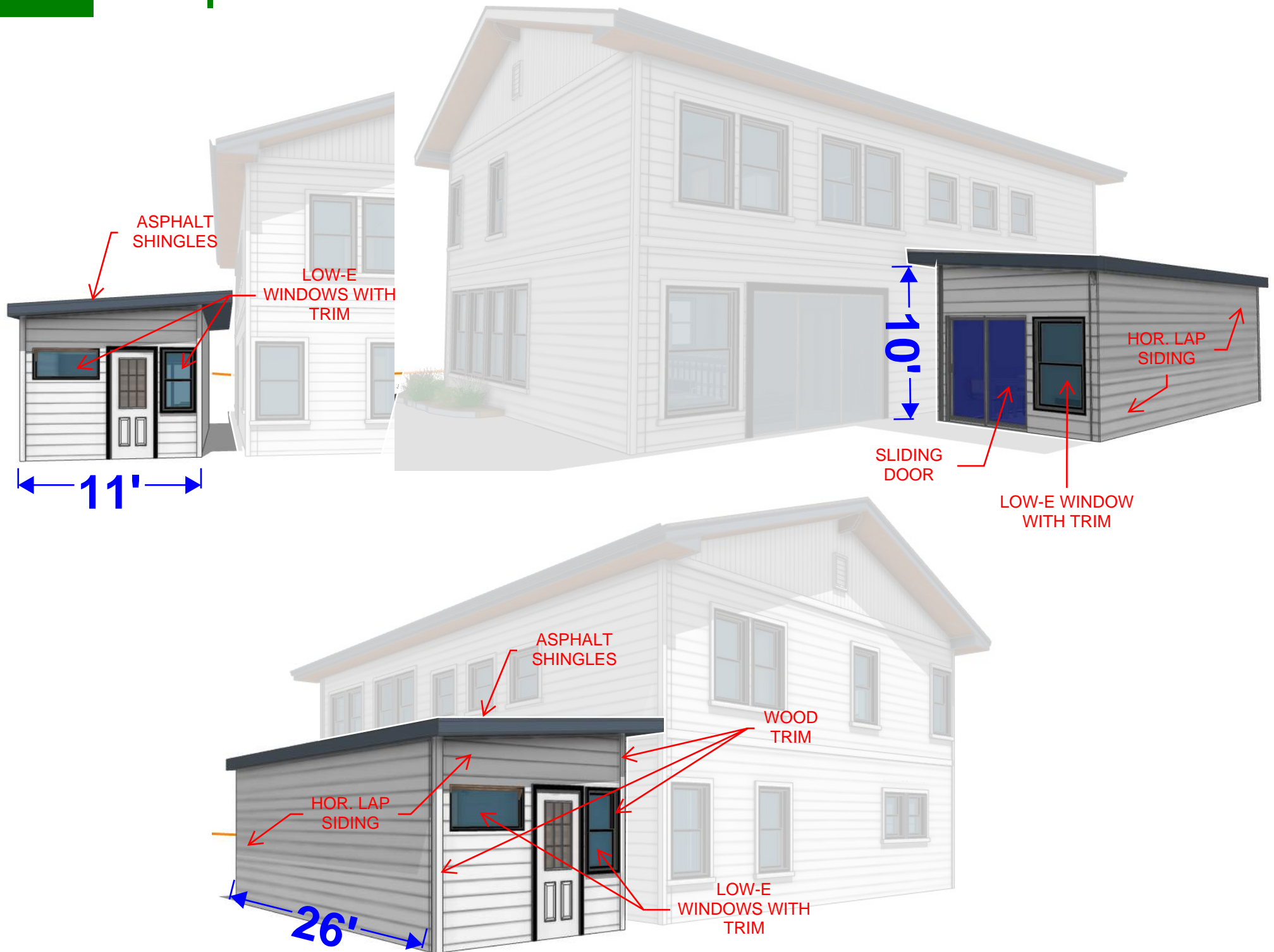


FIRE RATED WALL

## Proposed ADU:

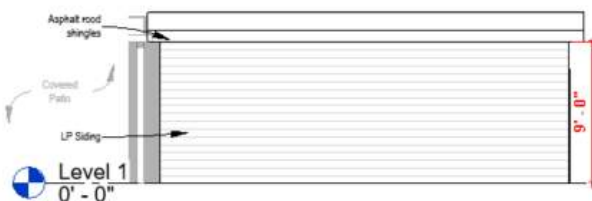
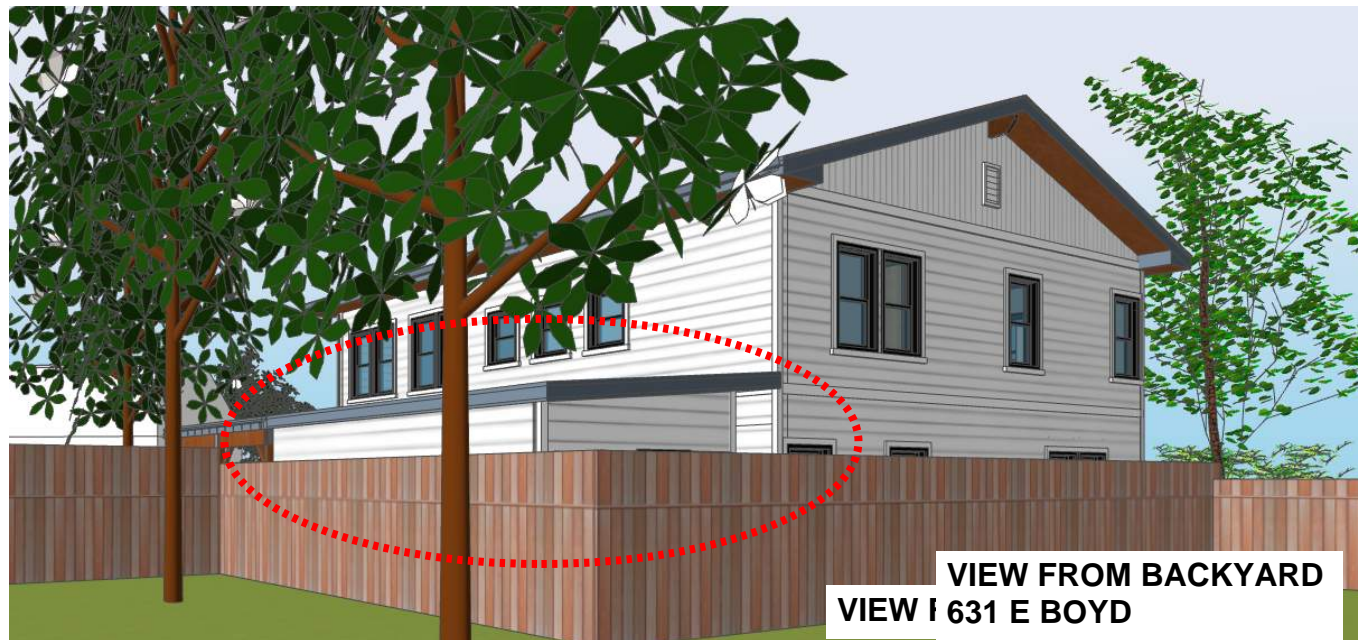
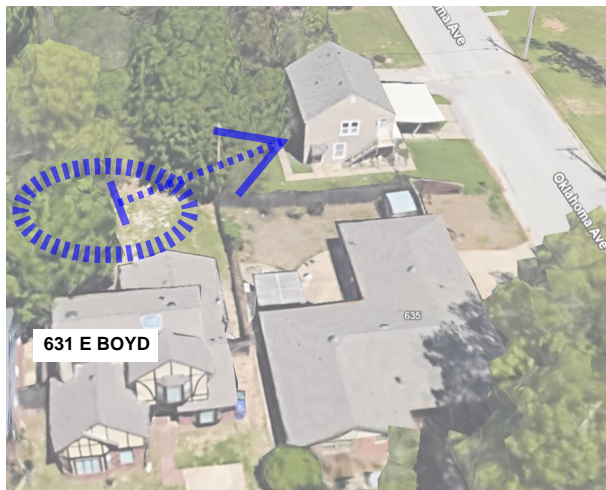
- Area: **286 sf** (maximum allowed 650sf)
- Floors: **One**
- Max. wall height: 10'
- Single slope roof towards west.
- Full living space
- Setback from house: 3'
- Setback from fence: 1'

# Site | ADU

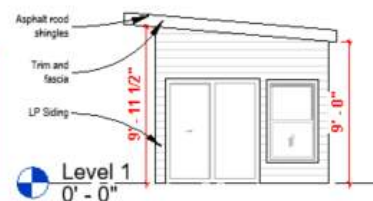




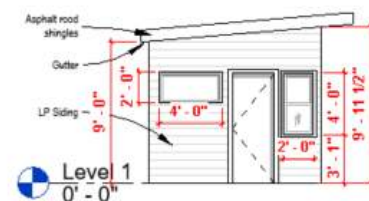
# Site | ADU



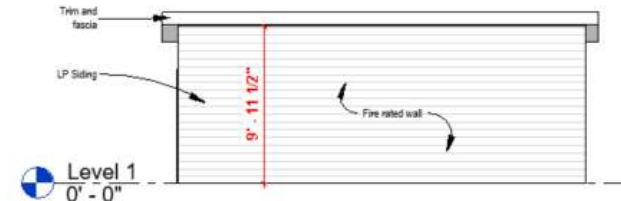
① ADU West Elevation  
1/8" = 1'-0"



② ADU North Elevation  
1/8" = 1'-0"



③ ADU South Elevation  
1/8" = 1'-0"



④ ADU East Elevation  
1/8" = 1'-0"



**MATERIAL**

# Siding

# Material | SIDING



images shown for product reference



# Material | SIDING

With over 20 years of exceptional performance as a full home siding solution, it's easy to see why LP® SmartSide® Trim & Siding has become the #1 brand of engineered wood siding. LP has redefined traditional building materials with treated engineered wood products that offer game-changing durability, workability and beauty.

## THE DURABILITY DIFFERENCE



With four components of protection, the LP® SmartGuard® process adds strength and helps LP® SmartSide® products withstand impacts, damage from freeze/thaw cycles, high humidity, fungal decay and more. Alongside an industry-leading limited warranty, you can depend on LP SmartSide products for advanced durability.

- More resistant to impact than fiber cement
- Survives golf-ball-sized hail and stands up to harsh weather in any climate
- Withstands up to 200 mph wind gusts and 78 mph fastballs
- Will stay attached to a home better than fiber cement during extreme weather events
- Holds its value over time with a 5/50-year limited warranty covering both labor and material replacement

## WORKABILITY THAT SAVES TIME & RESOURCES



Our treated engineered wood siding cuts out the time you spend dealing with warped and split pieces when properly stored and applied. Virtually every piece leaves the mill straight and ready to use.

- LP SmartSide lap siding installs faster than fiber cement lap siding
- Less prone to accidental breakage during handling and installation compared to fiber cement
- No special equipment needed for cutting or installing; works and cuts like traditional wood
- Easier to carry and 45% lighter per foot than fiber cement

## BEAUTY DESIGNED FOR PEACE OF MIND



LP SmartSide Trim & Siding has been the siding of choice for over 20 years for homeowners who want uncompromising quality and distinctive curb appeal. Our treated engineered wood siding can completely transform your home's look.

- Comes pre-primed for exceptional paint adhesion
- Realistic cedar-grain texture offers a striking natural appearance
- Smooth finish offers a clean, modern look
- Longer lengths can allow for fewer seams on your home
- LP® SmartSide® ExpertFinish® Trim & Siding offers 16 versatile colors to fit any home's style



# Material | SIDING

## Proposed Siding:

- LP SmartSide Siding.
- **Horizontal & Vertical** Lap Siding and trim.
- 38 Series Cedar Smooth.
- 8" - 12" spacing.
- 16' board length.
- Primed, to be painted.



## Lap Siding

### THE LP SMARTSIDE DIFFERENCE



#### Lighter Weights:

LP SmartSide lap siding weighs 45% less per foot than fiber cement lap siding.



#### Longer Lengths:

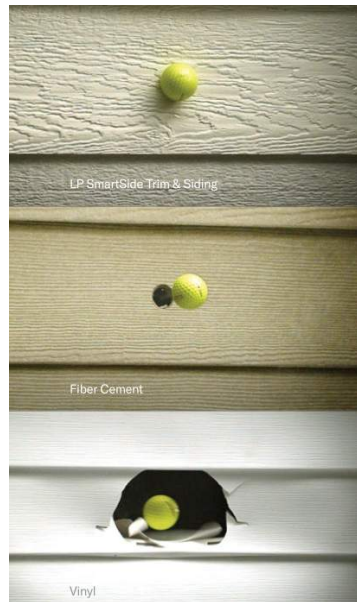
LP SmartSide siding's 16-foot lengths may lead to fewer seams and cuts, compared to fiber cement's 12-foot lengths.



#### Advanced Durability:

LP SmartSide siding is less prone to breakage than fiber cement, helping to reduce waste.

Impact resistance





# Material | SIDING



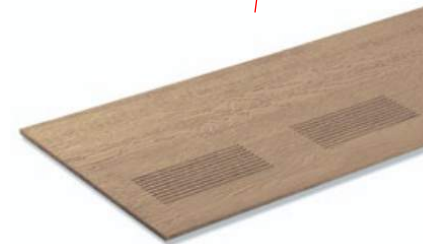
## TRIM & FASCIA

Details to add interest and curb appeal to any home's look, available in brushed smooth and cedar texture



## LAP SIDING

Easier-to-maintain traditional siding, available in cedar texture



## SOFFIT

Ventilation that completes a clean exterior look and serves as a finishing touch