



## City of Norman

### Floodplain Permit Application

Floodplain Permit No. \_\_\_\_\_

Building Permit No. \_\_\_\_\_


Date 7/31/2024


#### FLOODPLAIN PERMIT APPLICATION (S100.00 Application Fee Required)

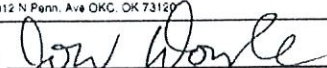
##### SECTION 1: GENERAL PROVISIONS (APPLICANT to read and sign):

1. No work may start until a permit is issued.
2. The permit may be revoked if any false statements are made herein.
3. If revoked, all work must cease until permit is re-issued.
4. Development shall not be used or occupied until a Certificate of Occupancy is issued.
5. The permit will expire if no work is commenced within 2 years of issuance.
6. Applicant is hereby informed that other permits may be required to fulfill local, state and federal regulatory requirements and must be included with this floodplain permit application.
7. Applicant hereby gives consent to the City of Norman or his/her representative to access the property to make reasonable inspections required to verify compliance.
8. The following floodplain modifications require approval by the City Council:
  - (a) A modification of the floodplain that results in a change of ten percent (10%) or more in the width of the floodplain.
  - (b) The construction of a pond with a water surface area of 5 acres or more.
  - (c) Any modifications of the stream banks or flow line within the area that would be regulatory floodway whether or not that channel has a regulatory floodplain, unless the work is being done by the City of Norman staff as part of a routine maintenance activity.
9. All supporting documentation required by this application is required along with the permit fee by the submittal deadline. Late or incomplete applications will not be accepted.
10. I, THE APPLICANT, CERTIFY THAT ALL STATEMENTS HEREIN AND IN ATTACHMENTS TO THIS APPLICATION ARE, TO THE BEST OF MY KNOWLEDGE, TRUE AND ACCURATE.

##### SECTION 2: PROPOSED DEVELOPMENT (To be completed by APPLICANT.)

APPLICANT: Jake A. Ridg ADDRESS: 324 W Main St. Norman, OK 73069  
TELEPHONE: (405) 888-9195 SIGNATURE: 

BUILDER: Windstone Construction ADDRESS: 300 W. Main Street, Norman OK 73069  
TELEPHONE: 405-761-5639 SIGNATURE: 

ENGINEER: Jon Doyle ADDRESS: 1312 N Penn. Ave OKC, OK 73120  
TELEPHONE: 405-776-3385 SIGNATURE: 

## PROJECT LOCATION

To avoid delay in processing the application, please provide enough information to easily identify the project location. Provide the street address, subdivision addition, lot number or legal description (attach) and, outside urban areas, the distance to the nearest intersecting road or well known landmark. A sketch attached to this application showing the project location would be helpful.

This project consists of a single family residential construction project is located at 2702 Golden Valley Road, in Norman, OK. Located on tract 2 of the Golden Valley Rural Certificate of Survey, section 16, township 9N, Range 3W.

The residence takes access from an existing private access road, that is located on the North side of W. Rock Creek road, approx. 1657 feet east of 60th Ave NW

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## DESCRIPTION OF WORK (Check all applicable boxes):

### A. STRUCTURAL DEVELOPMENT

#### ACTIVITY

#### STRUCTURE TYPE

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> New Structure | <input checked="" type="checkbox"/> Residential (1-4 Family)                            |
| <input type="checkbox"/> Addition                 | <input type="checkbox"/> Residential (More than 4 Family)                               |
| <input type="checkbox"/> Alteration               | <input type="checkbox"/> Non-Residential (Flood proofing? <input type="checkbox"/> Yes) |
| <input type="checkbox"/> Relocation               | <input type="checkbox"/> Combined Use (Residential & Commercial)                        |
| <input type="checkbox"/> Demolition               | <input type="checkbox"/> Manufactured (Mobile) Home                                     |
| <input type="checkbox"/> Replacement              | <input type="checkbox"/> In Manufactured Home Park? <input type="checkbox"/> Yes        |

ESTIMATED COST OF PROJECT \$\_\_\_\_\_ Work that involves substantial damage/substantial improvement requires detailed cost estimates and an appraisal of the structure that is being improved.

### B. OTHER DEVELOPMENT ACTIVITIES:

- ☐ Fill    ☐ Mining    ☐ Drilling    ☒ Grading
- ☒ Excavation (Beyond the minimum for Structural Development)
- ☐ Watercourse Alteration (Including Dredging and Channel Modifications)
- ☒ Drainage Improvements (Including Culvert Work)    ☐ Road, Street or Bridge Construction
- ☐ Subdivision (New or Expansion)    ☒ Individual Water or Sewer System

In addition to items A. and B. provide a complete and detailed description of proposed work (failure to provide this item will be cause for the application to be rejected by staff). Attach additional sheets if necessary.

Full build out of a single family residence.

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### C. ATTACHMENTS WHICH ARE REQUIRED WITH EVERY APPLICATION:

The applicant must submit the documents listed below before the application can be processed. If the requested document is not relevant to the project scope, please check the Not Applicable box and provide explanation.

- A. Plans drawn to scale showing the nature, location, dimensions, and elevation of the lot, existing or proposed structures, fill, storage of materials, flood proofing measures, and the relationship of the above to the location of the channel, floodway, and the regulatory flood-protection elevation.
- B. A typical valley cross-section showing the channel of the stream, elevation of land areas adjoining each side of the channel, cross-sectional areas to be occupied by the proposed development, and high-water information.

☐ Not Applicable:

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- C. Subdivision or other development plans (If the subdivision or other developments exceeds 50 lots or 5 acres, whichever is the lesser, the applicant **must** provide 100-year flood elevations if they are not otherwise available).

☐ Not Applicable:

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- D. Plans (surface view) showing elevations or contours of the ground; pertinent structure, fill, or storage elevations; size, location, and spatial arrangement of all proposed and existing structures on the site; location and elevations of streets, water supply, sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream, soil types and other pertinent information.

☐ Not Applicable:

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- E. A profile showing the slope of the bottom of the channel or flow line of the stream.

☐ Not Applicable:

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- F. Elevation (in relation to mean sea level) of the lowest floor (including basement) of all new and substantially improved structures.

☐ Not Applicable:

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- G. Description of the extent to which any watercourse or natural drainage will be altered or relocated as a result of proposed development.

☐ Not Applicable:

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- H. For proposed development within any flood hazard area (except for those areas designated as regulatory floodways), certification that a rise of no more than five hundredths of a foot (0.05') will occur on any adjacent property in the base flood elevation as a result of the proposed work. For proposed development within a designated regulatory floodway, certification of no increase in flood levels within the community during the occurrence of the base flood discharge as a result of the proposed work. All certifications shall be signed and sealed by a Registered Professional Engineer licensed to practice in the State of Oklahoma.
- I. A certified list of names and addresses of all record property owners within a three hundred fifty (350) foot radius of the exterior boundary of the subject property not to exceed 100 feet laterally from the Special Flood Hazard Area. The radius to be extended by increments of one hundred (100) linear feet until the list of property owners includes not less than fifteen (15) individual property owners of separate parcels or until a maximum radius of one thousand (1,000) feet has been reached.
- J. A copy of all other applicable local, state, and federal permits (i.e. U.S. Army Corps of Engineers 404 permit, etc).

**After completing SECTION 2, APPLICANT should submit form to Permit Staff for review.**

**SECTION 3: FLOODPLAIN DETERMINATION (To be completed by Permit Staff.)**

The proposed development is located on FIRM Panel No.: 40027C0170J, Dated: 1/15/21

The Proposed Development:

- ☐ Is NOT located in a Special Flood Hazard Area  
(Notify the applicant that the application review is complete and NO FLOODPLAIN PERMIT IS REQUIRED).
- ☐ Is located in a Special Flood Hazard Area.
- ☐ The proposed development is located in a floodway.
- ☒ 100-Year flood elevation at the site is 1129.00 Ft. NGVD (MSL) ☐ Unavailable

See Section 4 for additional instructions.

**SIGNED:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**SECTION 4: ADDITIONAL INFORMATION REQUIRED (To be completed by Permit Staff.)**

The applicant must also submit the documents checked below before the application can be processed.

- ☐ Flood proofing protection level (non-residential only) \_\_\_\_\_ Ft. NGVD (MSL). For flood proofed structures applicant must attach certification from registered engineer.
- ☐ Certification from a registered engineer that the proposed activity in a regulatory floodway will not result in any increase in the height of the 100-year flood (Base Flood Elevation). A copy of all data and calculations supporting this finding must also be submitted.
- ☐ Certification from a registered engineer that the proposed activity in a regulatory flood plain will result in an increase of no more than 0.05 feet in the height of the 100-year flood (Base Flood Elevation). A copy of all data and calculations supporting this finding must also be submitted.
- ☐ All other applicable federal, state, and local permits have been obtained.

Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SECTION 5: PERMIT DETERMINATION (To be completed by Floodplain Chairman.)**

The proposed activity: (A) ☐ **Is**; (B) ☐ **Is Not** in conformance with provisions of Norman's City Code Chapter 36, Section 533. The permit is issued subject to the conditions attached to and made part of this permit.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

If BOX A is checked, the Floodplain committee chairman may issue a Floodplain Permit.

If BOX B is checked, the Floodplain committee chairman will provide a written summary of deficiencies. Applicant may revise and resubmit an application to the Floodplain committee or may request a hearing from the Board of Adjustment.

APPEALS: Appealed to Board of Adjustment: ☐ Yes ☐ No  
Hearing date: \_\_\_\_\_

Board of Adjustment Decision - Approved: ☐ Yes ☐ No

Conditions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SECTION 6: AS-BUILT ELEVATIONS (To be submitted by APPLICANT before Certificate of Occupancy is issued.)**

1. FEMA Elevation Certificate  
and/or
2. FEMA Floodproofing Certificate

NOTE: The completed certificate will be reviewed by staff for completeness and accuracy. If any deficiencies are found it will be returned to the applicant for revision. A Certificate of Occupancy for the structure will not be issued until an Elevation and /or Floodproofing Certificate has been accepted by the City.

# **Floodplain Permit Application**

**FOR**

**2702 Golden Valley Road  
Norman, Oklahoma**

Prepared by:

**Cedar Creek Consulting, Inc**

PO Box 14534  
Oklahoma City, OK 73113  
Phone: 405-778-3385

CCC Job #24062

**July 30, 2024**

## EXECUTIVE SUMMARY

There is a new residence proposed at 2702 Golden Valley Road. It is Tract 2 of the Golden Valley Ranch subdivision located north of W. Rock Creek Road between 48<sup>th</sup> and 60<sup>th</sup> Ave. The site is located within the Ten Mile Flat Creek flood basin as shown on the FEMA Firm maps 40027C0170J and 40027C0260J, effective date January 15, 2021.

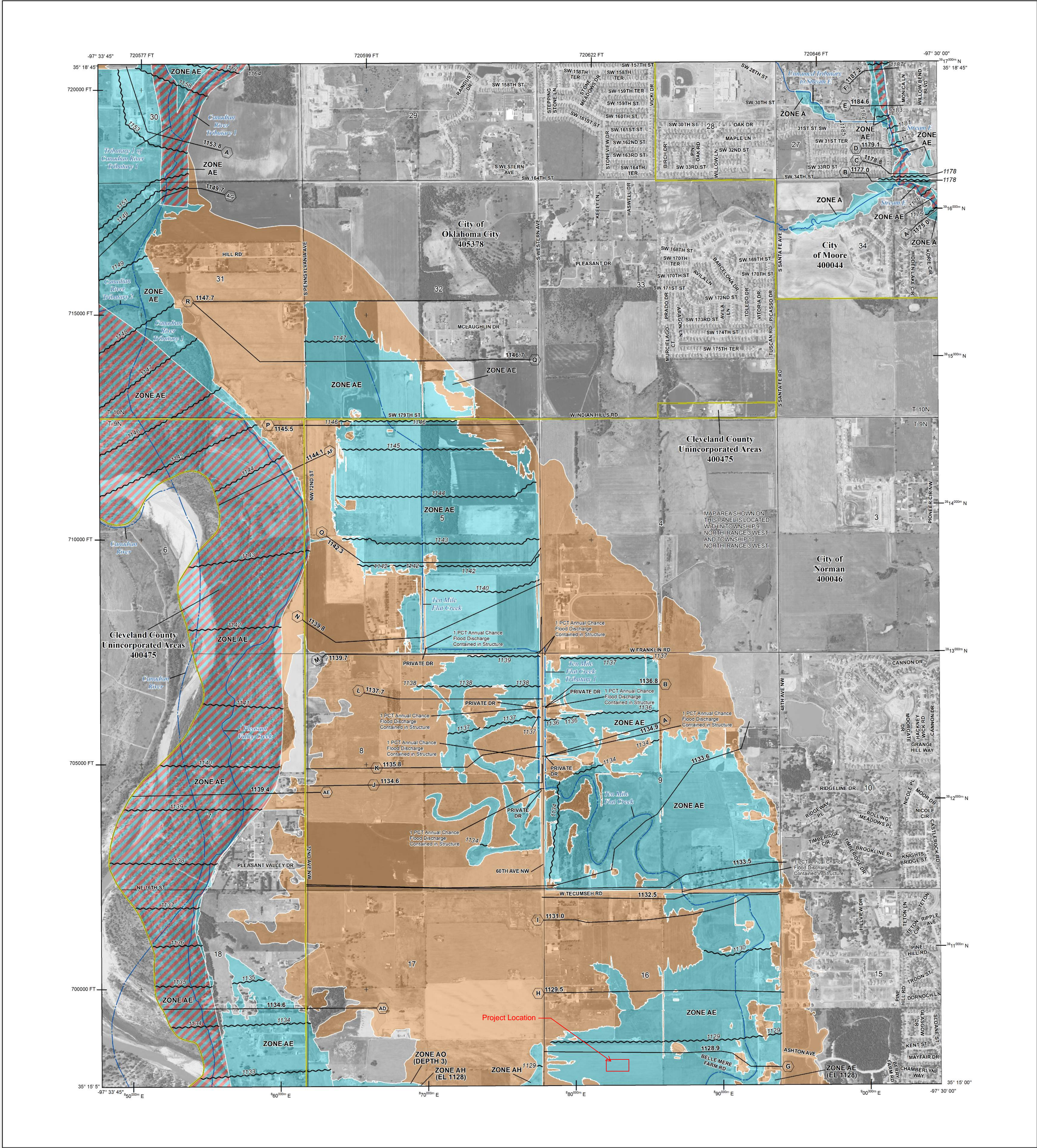
When a development is within a FEMA floodplain, the City of Norman requires a permit application. Floodplain storage compensation calculations are required with this application. The FEMA base flood elevation (BFE) for the proposed site is approximately 1129.00. The existing ground onsite is 1128.00. The applicant will provide a wet bottom pond as compensation for the fill required to get above the floodplain.

The fill required to have the residence be above the floodplain is approximately 3780 cubic yards. This fill includes the house, portions of the drive leading to the house, and portions of pond berm that will be above the floodplain. The spillway and normal water elevation of the pond will be at 1127.72. The Top of the pond will be at 1129.00. To get the required 3780 cubic yards of compensation, the area of the pond above the spillway is required to have a minimum area of 79,734 square feet. The proposed pond has an area of approximately 80,000 square feet.

There will be less than 0.05' rise in the BFE due to the balance of existing and proposed elevations created by the storage compensation.







FLOOD HAZARD INFORMATION

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT  
THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING  
DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT  
[HTTP://MSC.FEMA.GOV](http://msc.fema.gov)

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A.V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
OTHER AREAS OF FLOOD HAZARD		Regulatory Floodway
		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee See Notes. Zone X
OTHER AREAS		Area with Flood Risk due to Levee Zone D
		Area of Minimal Flood Hazard Zone X
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary

NOTES TO USERS

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with this FIRM, including historic versions, the current map date for each FIRM panel, how to order products, or the National Flood Insurance Program (NFIP) in general, please call the FEMA Flood Map Service Center website at <http://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

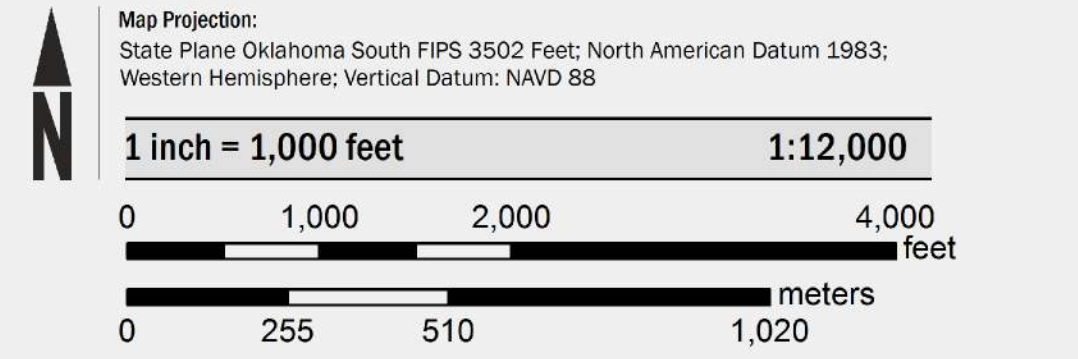
Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM index. These may be ordered directly from the Flood Map Service Center at the number listed above.

For community and countywide map dates refer to the Flood Insurance Study Report for this jurisdiction.

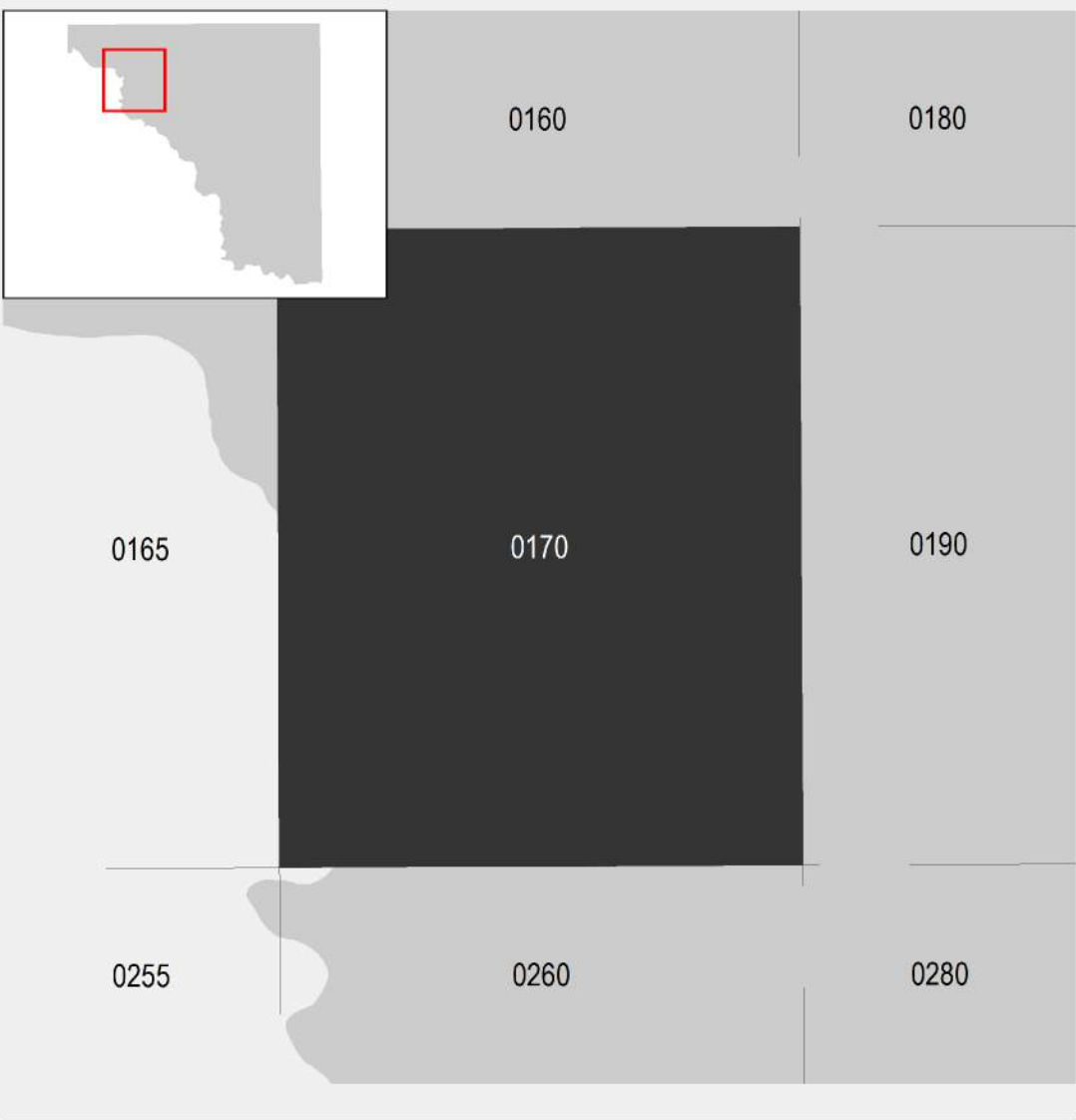
To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

Base map information shown on the FIRM was provided by U.S. Census Tiger Files (2016) and by U.S. Department of Agriculture Imagery (2018).

SCALE



PANEL LOCATOR



# National Flood Insurance Program

## NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP

CLEVELAND COUNTY, OKLAHOMA  
and Incorporated Areas

PANEL 170 OF 475

COMMUNITY	NUMBER	PANEL	SUFFIX
CLEVELAND COUNTY	400475	0170	J
UNINCORPORATED AREAS	400044	0170	J
MOORE, CITY OF	400046	0170	J
NORMAN, CITY OF	400046	0170	J
OKLAHOMA CITY, CITY OF	405378	0170	J

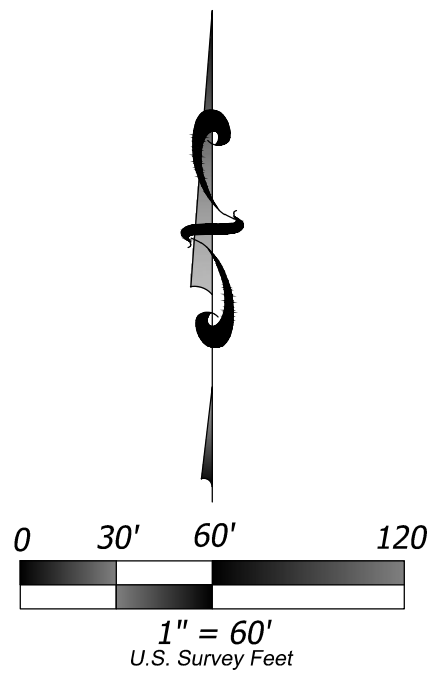
Panel Contains:

VERSION NUMBER  
2.4.3.5

MAP NUMBER  
40027C0170J

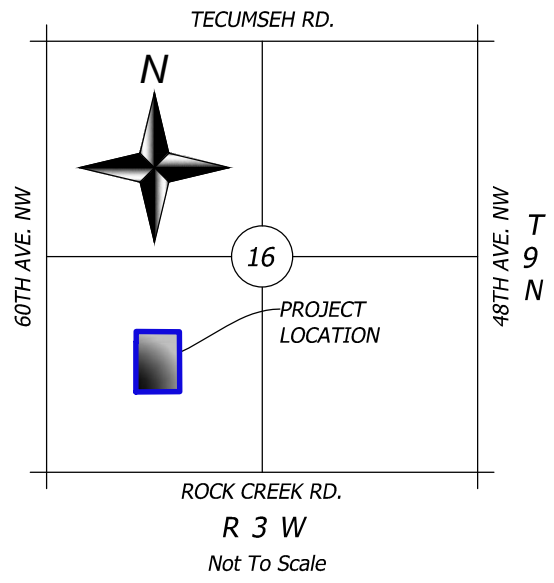
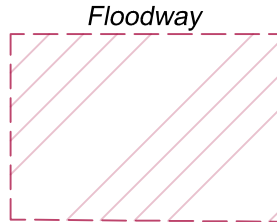
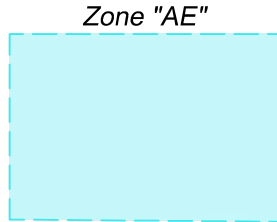
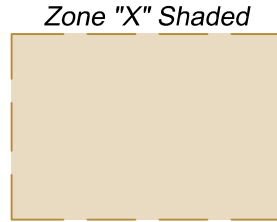
MAP REVISED  
January 15, 2021





SITE BM  
SIP#  
N:689032.973  
E:2109649.504  
E:1126.791

SITE BM  
SIP#  
N:689032.973  
E:2109649.504  
E:1127.943



#### LEGAL DESCRIPTION

TRACT 2 in GOLDEN VALLEY RANCH in the West Half (W/2) of Section Sixteen (16), Township Nine (9) North, Range Three (3) West of the Indian Meridian, Cleveland County, Oklahoma, being more particularly described as follows:

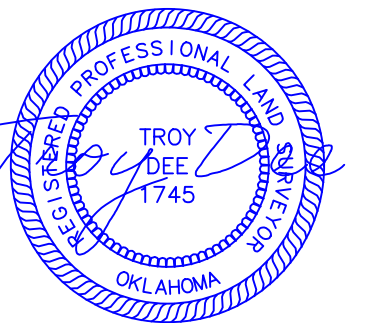
Containing 871,633.47 Sq. Ft. or 20.010 Acres, more or less.

#### GENERAL NOTES

- Said described property in, by graphical plotting only, located within an area having a Zone Designation "AE" & "X" Shaded by FEMA, on Flood Insurance Rate Map No. 40027C0170 J, dated 01/19/2021.
- The Property has direct access to Golden Valley Road, being a dedicated public street.
- There is no observed evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in street right of way lines, to the best of my knowledge. There is no observed evidence of recent street or sidewalk construction or repairs.
- There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
- A assumed bearing of North 00° 20' 10" West as the West line of the subject property per Oklahoma State Plane Grid North was used as the basis of bearing for this survey.
- This survey was conducted without the benefit of a Title Commitment, there may be matters benefiting or burdening the subject property unknown to the surveyor.
- All unit of measurements are US Survey feet (Ground).

#### TOPOGRAPHIC SURVEY

I, Troy Dee, certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision; that this ground survey was performed at the 95% percent confidence level to meet Federal Geographic Data Committee Standards; that this survey was performed to meet the requirements for a topographic/planimetric survey and meets the Oklahoma Minimum Technical Standards for the practice of land surveying as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors. The original data was obtained on June 17th, 2024; that the survey was completed on June 18, 2024; that contours shown as (broken lines) may not meet the stated standard; and all coordinates are based on Oklahoma State Plane Grid North "NAD 83" and realization all elevations are based on NAVD 88.



June 18, 2024

#### TOPOGRAPHIC SURVEY OF TRACT 2 IN GOLDEN VALLEY RANCH Prepared By

**GOLDEN**  
**LAND SURVEYING**

4131 N.W. 122nd St., Suite 100, Oklahoma City, Oklahoma 73120  
C.A. # 7263 / Exp. Date = 6/30/2024

Telephone: (405) 849-6010 Email: troy@goldenls.com

Drafted by: TD  
Plot Date: June 18, 2024 Paper Size: 24"x36"  
GLS Job No.: 241583

Sheet 1 Of 1

#### UTILITY NOTE

Pursuant to Table A Item 11, The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that utilities are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.



#### LEGEND

POWER POLE	GAS METER
LIGHT POLE	GAS VALVE
GUY ANCHOR	GAS MASKER
ELECTRIC METER	OIL PIPELINE MARKER
ELECTRIC BOX	MAIL BOX
ELEC. TRANSFORMER	SIGN
ELEC. MANHOLE	FLAG POLE
ELEC. PEDESTAL	FIRE HYDRANT
ELEC. PULL BOX	WATER MANHOLE
SPOT LIGHT	WATER VALVE
SANITARY SEWER MANHOLE	WATER METER
SANITARY SEWER CLEANOUT	DOWN SPOUT
STORM SEWER MANHOLE	AIR CONDITIONER
TELEPHONE RISER	TRAFFIC SIGNAL
TELEPHONE MANHOLE	TRAFFIC SIGNAL BOX
TELEPHONE MARKER	TRAFFIC SIGNAL PULL BOX
TELEPHONE PULL BOX	PEDESTRIAN CROSSING SIGNAL
FIBER OPTIC MARKER	GREASE TRAP
FIBER OPTIC PULL BOX	KEY PAD
CABLE TV PEDESTAL	COLUMN
CABLE MARKER	SECTION CORNER
CABLE TV PULL BOX	QUARTER CORNER
IRRIGATION CONTROL VALVE	SET IRON PIN W/ CAP
SPRINKLER HEAD	SET MAG MAG W/ W/ASHER
ROLLARD	FOUND MONUMENT
FIRE DEPARTMENT CONNECT	RIGHT OF WAY MARKER
PROpane TANK	YARD HYDRANT/SPOCKET
	BENCHMARK
	WELL HEAD
	SATELLITE DISH
WATER LINE	CHAIN LINK FENCE
GAS LINE	WOOD PANEL FENCE
SANITARY SEWER LINE	MASONRY FENCE
TELEPHONE LINE	IRON FENCE
ELECTRIC LINE	FIBER OPTIC LINE
OVERHEAD POWERLINE	PROPERTY LINE
BARBED WIRE FENCE	LOT LINE
S.I.P.-SET IRON PIN	EASEMENT LINE
I.P.-IRON PIN	SECTION LINE
CORR-CORRUGATED METAL PIPE	
B/I-L-BUILDING LIMIT LINE	
H/C-HANDICAP	
RCR-REINFORCED CONCRETE PIPE	
U/E-UTILITY EASEMENT	

NOTE: ALL MONUMENTS SET ARE CAPPED 1/2" IRON PINS OR MAG NAILS WITH WASHERS BOTH BEING STAMPED "GOLDEN CA 7263" UNLESS NOTED OTHERWISE

Filename: C:\JOBS\PROJECTS 2024\241583 TRACT 2 GOLDEN VALLEY RANCH\_NORMAN, OK, TOPOLOGW241583 GOLDEN VALLEY RANCH.DWG; Last Saved: 6/18/2024 4:42:58 PM; Plot Date: 6/18/2024; Login: Troy









FLOOD PLAIN  
APPLICATION NOTE:  
3780 CY CUT, 3780 CY FILL  
= NET CUT/FILL WITHIN  
FLOOD ZONE = 0 CY

