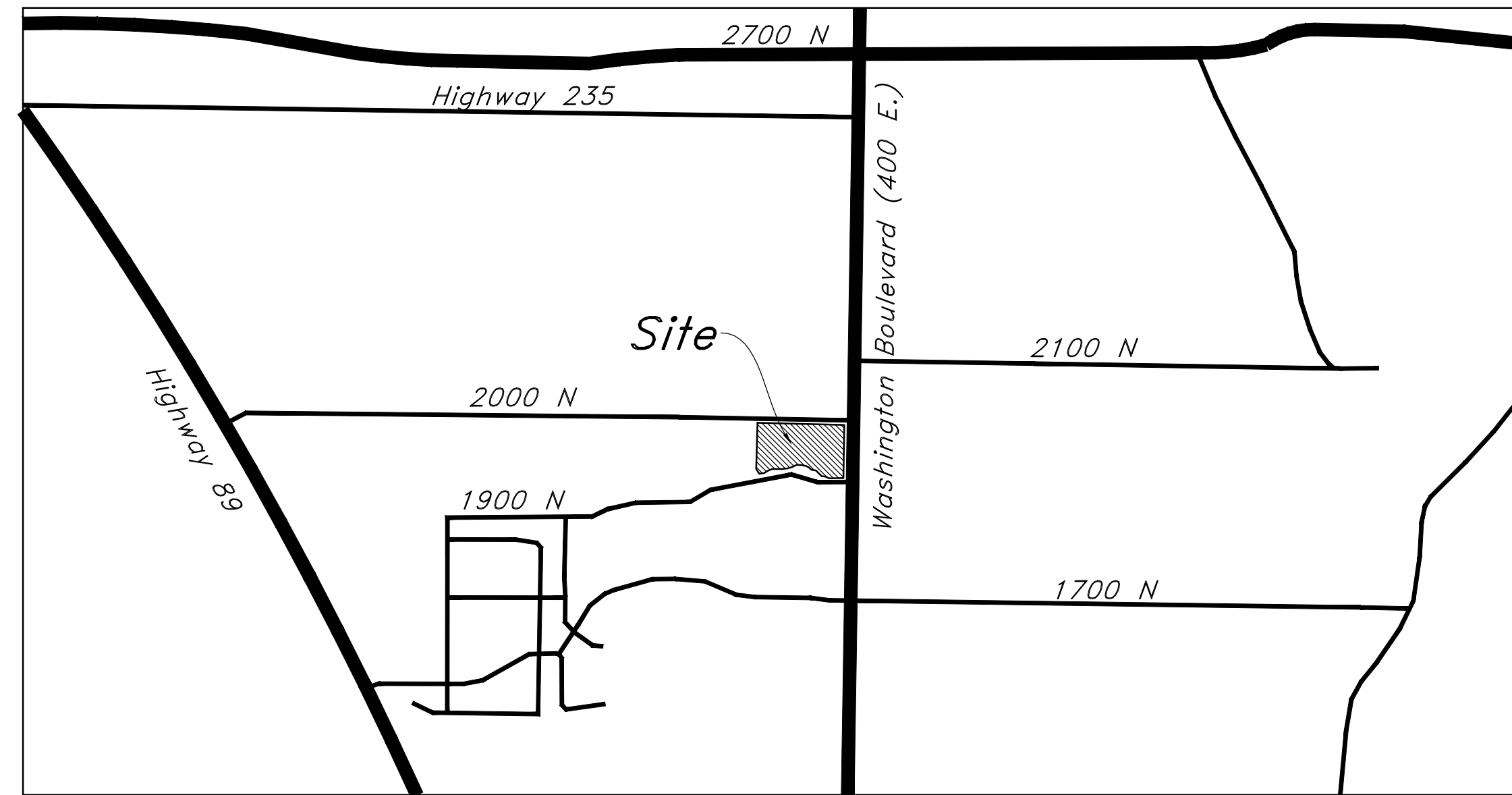


Lock it up Storage

1903 North Washington Boulevard
North Ogden, UT



Vicinity Map
Not to Scale

Civil Sheet Index

| | | | |
|-------------|-----------------------------|-------------|---------------------------------------|
| CV | Cover Sheet | C4.1 | Details |
| C0.1 | Demolition Plan | C4.2 | Details |
| C1.0 | Overall Site Plan | C5.1 | Erosion Control Plan - Phase 1 |
| C1.1 | Site Plan | C5.2 | Erosion Control Plan - Phase 2 |
| C1.2 | Site Plan | C5.3 | Erosion Control Plan Details |
| C1.3 | Site Plan | L1.0 | Overall Landscape Plan |
| C2.0 | Overall Grading Plan | L1.1 | Landscape Plan |
| C2.1 | Grading Plan | L1.2 | Landscape Plan |
| C2.2 | Grading Plan | L1.3 | Landscape Plan |
| C2.3 | Grading Plan | L2.0 | Overall Irrigation Plan |
| C3.0 | Overall Utility Plan | L2.1 | Irrigation Plan |
| C3.1 | Utility Plan | L2.2 | Irrigation Plan |
| C3.2 | Utility Plan | | |

Abbreviations

| | | | |
|------|---|------|--------------------------------------|
| BCR | Begin Curb Return | PT | Point of Tangency |
| BOL | Bollard | PVC | Polyvinyl Chloride |
| BRW | Finish Grade - Bottom of Retaining Wall | PVI | Point of Vertical Intersection |
| CATV | Cable Television Box | RCP | Reinforced Concrete Pipe |
| CB | Catch Basin | RD | Roof Drain |
| CMP | Corrugated Metal Pipe | SB | Signal Box |
| COB | Cleanout Box | SD | Storm Drain |
| COTG | Cleanout to Grade | SDMH | Storm Drain Manhole |
| EA | Edge of Asphalt | SMH | Sewer Manhole |
| EB | Electrical Box | SP | Signal Pole |
| EC | End of Curve | SS | Sanitary Sewer |
| ECR | End Curb Return | SVZ | Sight Visibility Zone |
| GB | Grade Break | SW | Secondary Water |
| GM | Gas Meter | TA | Top of Asphalt |
| HB | Hose Bib | TB | Telephone Box |
| HP | High Point | TBC | Top Back of Curb |
| I | Irrigation Line | TG | Top of Grate |
| ICB | Irrigation Control Box | TMH | Telephone Manhole |
| Lip | Lip of Gutter | TP | Top of Compacted Gravel Pavement |
| LP | Light Pole | TRW | Finish Grade - Top of Retaining Wall |
| MH | Manhole | TW | Top of Walk |
| Mon | Monument | VC | Vertical Curve |
| PC | Point of Curvature | VPC | Vertical Point of Curve |
| PCC | Point of Compound Curvature | VPT | Vertical Point of Tangency |
| PI | Point of Intersection | WL | Waterline |
| PM | Power Meter | WP | Working Point |
| PP | Power Pole | WV | Water Valve |

Legend

| | | |
|-------------------------------|------------------------------|------------------------------|
| Proposed Curb & Gutter | Existing Improvements | Existing Asphalt |
| Proposed Open Face C & G | Existing Asphalt | Existing Concrete |
| Proposed Asphalt | Existing Concrete | Existing Inlet Box |
| Proposed Concrete | Existing Catch Basin | Existing Manhole |
| Proposed Truncated Domes | Existing Manhole | Existing Fire Hydrant |
| Proposed Inlet Box | Existing Fire Hydrant | Existing Water Valve |
| Proposed Catch Basin | Existing Water Valve | Existing Overhead Power Line |
| Proposed Manhole | Existing Overhead Power Line | Existing Water |
| Proposed Transformer | Existing Water | Existing Secondary Water |
| Proposed Meter Box | Existing Secondary Water | Existing Sewer |
| Proposed Water Meter | Existing Sewer | Existing Storm Drain |
| Proposed Comba Box | Existing Storm Drain | Existing Gas |
| Proposed Fire Hydrant | Existing Gas | Existing Power |
| Proposed Water Valve | Existing Power | Existing Telephone |
| Proposed Water Line | Existing Telephone | Existing Fence |
| Proposed Sanitary Sewer | Existing Fence | Flowline |
| Proposed Storm Drain | Flowline | Centerline |
| Proposed Conduit Line | Centerline | Existing Contour |
| Proposed Power Line | Existing Contour | Existing Spot |
| Proposed Gas Line | Existing Spot | Existing Light Pole |
| Proposed Fire Line | Existing Light Pole | Existing Street Light |
| Proposed Secondary Water Line | Existing Street Light | Existing Building |
| Proposed Roof Drain | Existing Building | Existing Telephone Box |
| Proposed Fence | Existing Telephone Box | Existing Power Meter |
| Ridge line | Existing Power Meter | Existing Electrical Box |
| Grade Break | Existing Electrical Box | Existing Electrical Cabinet |
| Proposed Contour | Existing Electrical Cabinet | Existing Gas Meter |
| Direction of Drainage | Existing Gas Meter | Existing Water Meter |
| Proposed Spot | Existing Water Meter | Existing Iris Control Box |
| ADA Accessible Route | Existing Iris Control Box | Existing Bollard |
| Property Line | Existing Bollard | Existing Hose Bib |
| Sawcut Line | Existing Hose Bib | Working Point |
| Proposed Light Pole | Working Point | Existing Deciduous Tree |
| Proposed Street Light | Existing Deciduous Tree | Existing Coniferous Tree |
| Proposed Building | Existing Coniferous Tree | Detail Number |
| Existing Power Pole | Detail Number | Sheet Number |
| Existing Power Pole w/ Guy | Sheet Number | |
| Existing Utility Marker | | |
| Existing Post | | |

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for North Ogden City, Weber County, Utah and Incorporated Areas Map No. 49057C0211F dated November 30, 2023. Flood Zone X is defined as "Areas of Minimal Flood Hazard", as well as "Areas of 0.2% Annual Chance Flood Hazard, Areas of 1.0% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile".

Basis of Bearings

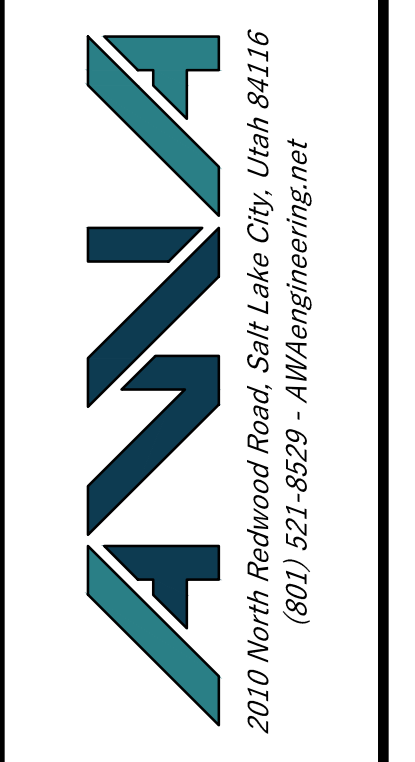
A line between monuments found along Washington Boulevard at the intersections of 1700 North Street and Elberta Drive was assigned the Weber County bearing of North 1°09'28" East as the Basis of Bearings.

Benchmark

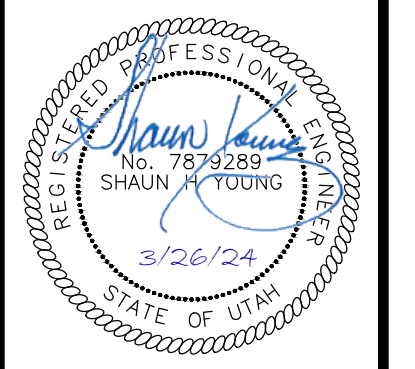
Centerline Monument at the Intersection of 1700 N and Washington Blvd. the West line of Section 32, T7N, R1W, SLB&M Elevation = 4348.21 feet (NAVD 88, Vertical Datum) per Ogden City Reference Data Observed February 28, 2022



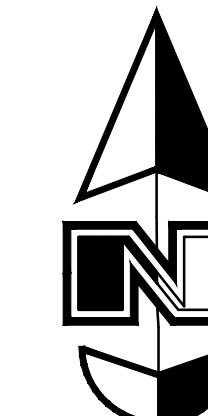
Designed by: LC
Drafted by: NT
Client Name:
Lock It Up Self Storage LLC
20-127cv



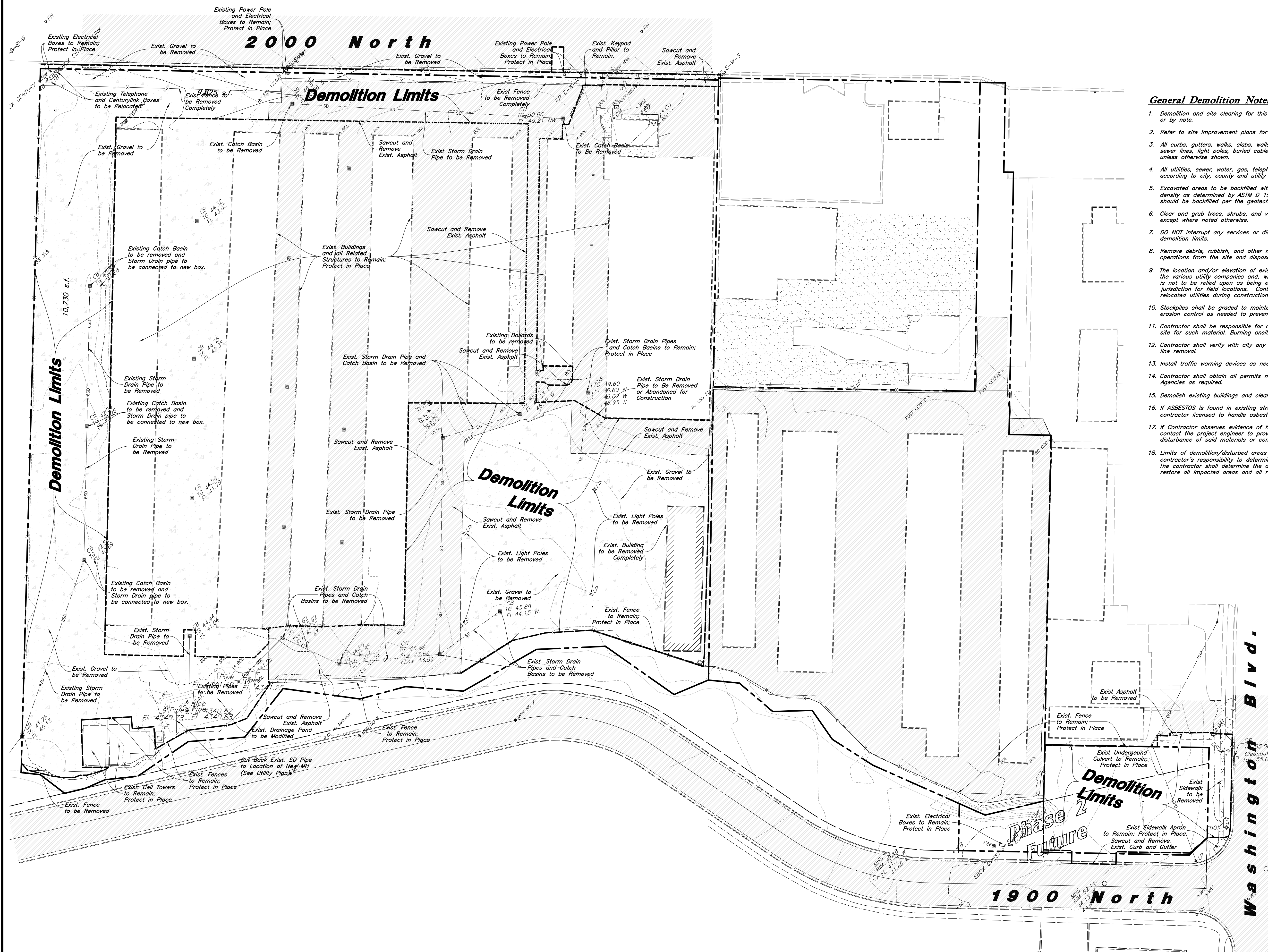
Cover Sheet
Lock It Up Storage
1903 North Washington Boulevard
North Ogden, Utah



15 Mar, 2024
SHEET NO.
CV



Scale: 1" = 40'



General Demolition Notes:

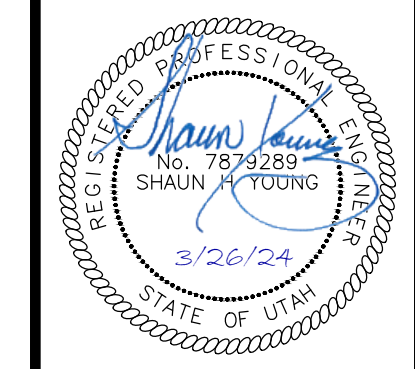
1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
16. If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
17. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
18. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Designed by: LC
 Drafted by: NT
 Client Name:
 Lock It Up Self Storage LLC
 20-1274m



Demolition Plan
Lock It Up Storage
 1903 North Washington Boulevard
 North Ogden, Utah

CAUTION :
 The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

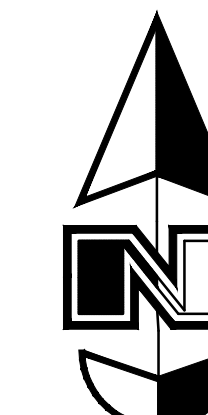


15 Mar, 2024
 SHEET NO.
CO.1

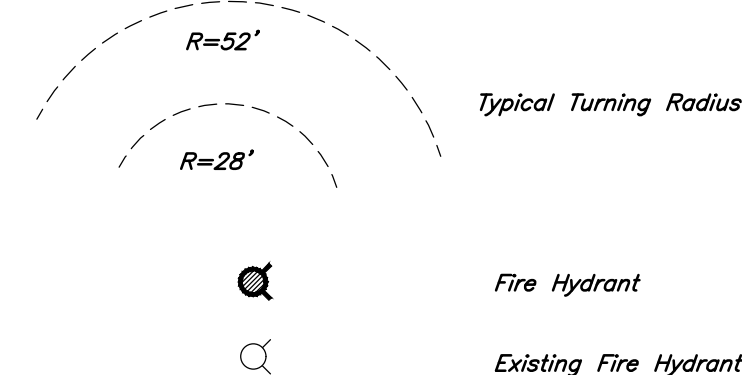
2000 North

Existing Fire Hydrant

Scale: 1" = 40'



Legend



Fire Lane Notes:

- 1. Minimum fire lane width shall be 20 feet.
2. Fire lane width shall be 26 feet at hydrants.
3. Fire lane shall be asphalt or concrete, capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
4. Minimum turning radius shall be 28 feet inside and 52 feet outside.
5. Maximum slope for fire lane shall be 10%.

Proposed 2 Story Bldg.

1st floor = 26,060 s.f.
2nd floor = 26,060 s.f.
Total = 52,120 s.f.
FF = 4350.00

Proposed Storage Building
10,230 s.f.

9,825 s.f. Proposed Storage Building

Phase 1

Phase 2

Washington Blvd.

1900 North

- General Site Notes:
1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Survey Control Note:
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or an electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

Construction Survey Note:
The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

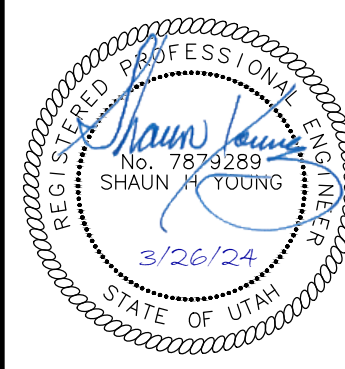
Site Data Phase 1 (Storage Area)
Site Area = 318,767 s.f. (7.32 ac.)
Landscape Area Provided = 31,877 s.f. (10.0%)
Impervious Area Provided = 100,339 s.f. (31.5%)
Gravel Area Provided = 49,111 s.f. (15.4%)
Building Area = 143,472 s.f. (45.0%)
Cell Tower Area = 2,196 s.f. (0.7%)

Site Data Phase 2 (Office Area)
Site Area = 15,541 s.f. (0.36 ac.)
Landscape Area Provided = 6,099 s.f. (39.2%)
Impervious Area Provided = 7,910 s.f. (50.9%)
Building Area = 1,532 s.f. (9.9%)
Parking Required = 5/1000 s.f. = 7.66 stalls
Parking Provided = 8 stalls (5.22/1,000)

Designed by: LC
Drafted by: NT
Client Name:
Lock It Up Self Storage LLC
20-127sp

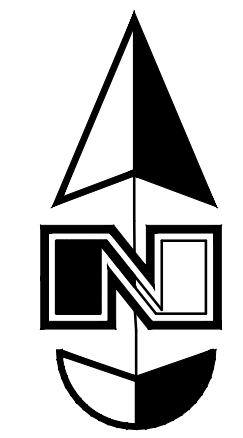


Overall Site Plan
Lock It Up Storage
1903 North Washington Boulevard
North Ogden, Utah



15 Mar, 2024
SHEET NO.
C1.0





Scale: 1" = 10'
10' 0 10' 20'

Site Construction Notes

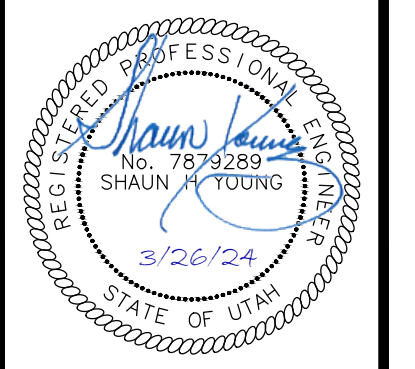
- 1 Const. 24" Curb & Gutter (1 C4.1)
- 2 Const. Asphalt Paving (2 C4.1)
- 3 Const. 5' Conc. Sidewalk (4 C4.1)
- 4 Const. Thickened Edge Sidewalk (5 C4.1)
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (1 C2.6)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets) (2 C2.5)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (2 C2.6)
- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (2 C2.6)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
- 10 Const. Conc. Paving (6 C4.1)
- 11 Sawcut; Provide Smooth Clean Edge
- 12 Remove Existing Curb and Gutter, Form New Curb and Gutter Against Edge of Asphalt. Provide Smooth Clean Edge. Alternate is to Saw Cut and Remove 2.0' of Asphalt.
- 13 Conn. & Match Existing Improvements
- 14 Not Used
- 15 Const. Compacted Gravel Pavement
- 16 Const. 8' Stamped Concrete Wall. Coord. color and style with Owner.
- 17 Const. Concrete Sidewalk per City standards.
- 18 Const. 5' x 5' concrete landing
- 19 Const. Curb Transition (8 C4.1)
- 20 Const. 6" Curb Wall (11 C4.2)
- 21 Const. 10'x15' Conc. Pad for Proposed Cell Tower Tenant
- 22 Const. Chain Link Fence (See Owner for Height and Gate Location)
- 23 Const. 2' Conc. Waterway (7 C4.1)

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |

Designed by: LC
 Drafted by: NT
 Client Name:
 Lock It Up Self Storage LLC
 20-127sp

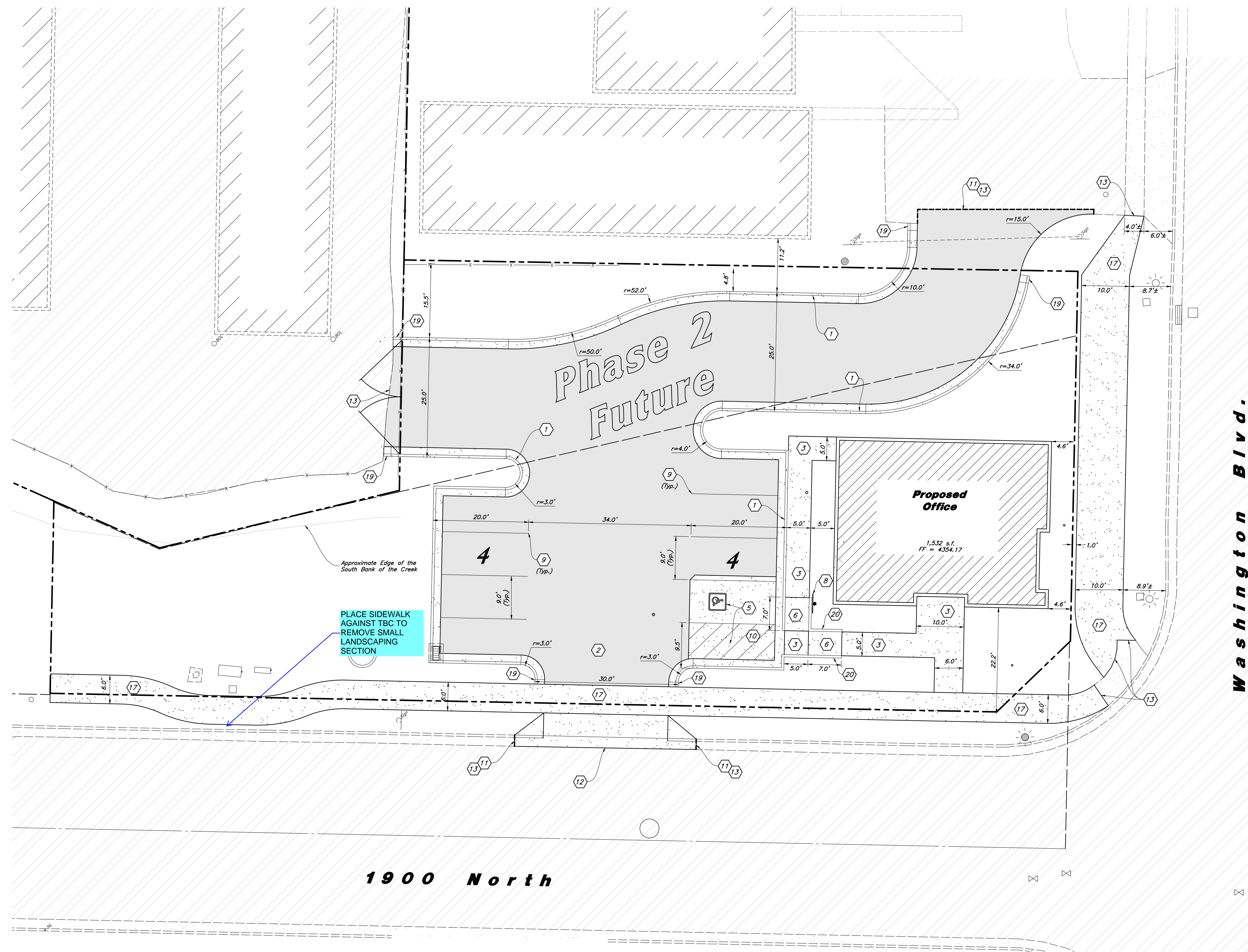


Site Plan
Lock It Up Storage
 1903 North Washington Boulevard
 North Ogden, Utah



15 Mar, 2024

SHEET NO.
C1.1

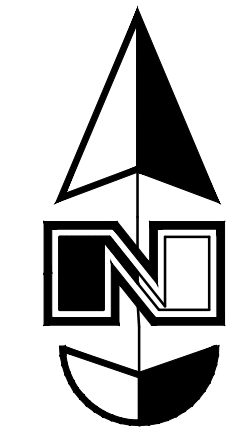


Washington Blvd.

1900 North

1 **Proposed Office Building**



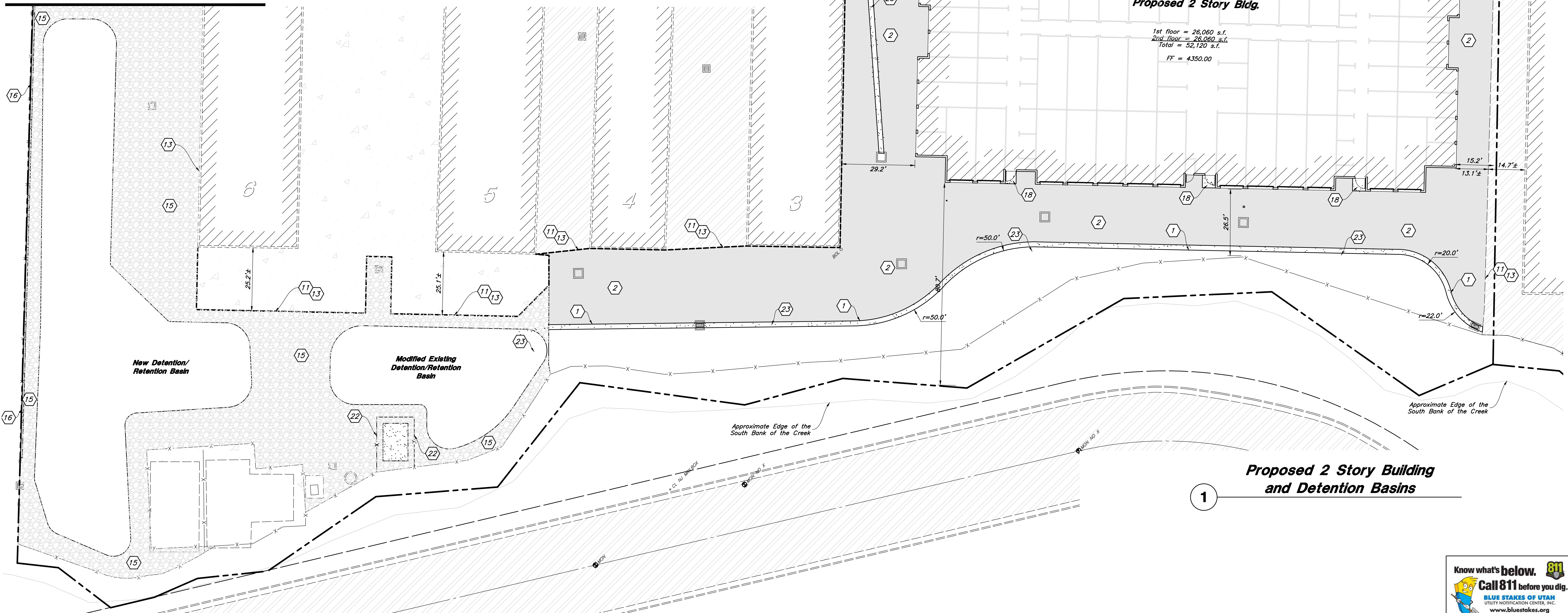


Scale: 1" = 20'
20' 0 20' 40'

Site Construction Notes

- ① Const. 24" Curb & Gutter (C4.1)
- ② Const. Asphalt Paving (C4.1)
- ③ Const. 5' Conc. Sidewalk (C4.1)
- ④ Const. Thickened Edge Sidewalk (C4.1)
- ⑤ Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.6)
- ⑥ Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets) (C2.5)
- ⑦ Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.6)
- ⑧ Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.6)
- ⑨ Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
- ⑩ Const. Conc. Paving (C4.1)
- ⑪ Sawcut; Provide Smooth Clean Edge (C4.1)
- ⑫ Remove Existing Curb and Gutter, Form New Curb and Gutter Against Edge of Asphalt. Provide Smooth Clean Edge. Alternate is to Saw Cut and Remove 2.0" of Asphalt.
- ⑬ Conn. & Match Existing Improvements
- ⑭ Not Used
- ⑮ Const. Compacted Gravel Pavement
- ⑯ Const. 8' Stamped Concrete Wall. Coord. color and style with Owner.
- ⑰ Const. Concrete Sidewalk per City standards.
- ⑱ Const. 5' x 5' concrete landing
- ⑲ Const. Curb Transition (C4.1)
- ⑳ Const. 6" Curb Wall (C4.2)
- ㉑ Const. 10'x15' Conc. Pad for Proposed Cell Tower Tenant
- ㉒ Const. Chain Link Fence (See Owner for Height and Gate Location)
- ㉓ Const. 2' Conc. Waterway (C4.1)
- ㉔ Const. Fire Hydrant
- ㉕ Const. 12' x 5' concrete landing

Match Line
See Sheet C1.3



Proposed 2 Story Building and Detention Basins

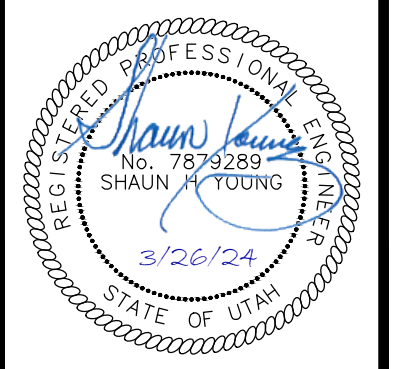
1

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
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Designed by: LC
 Drafted by: NT
 Client Name:
 Lock It Up Self Storage LLC
 20-127sp

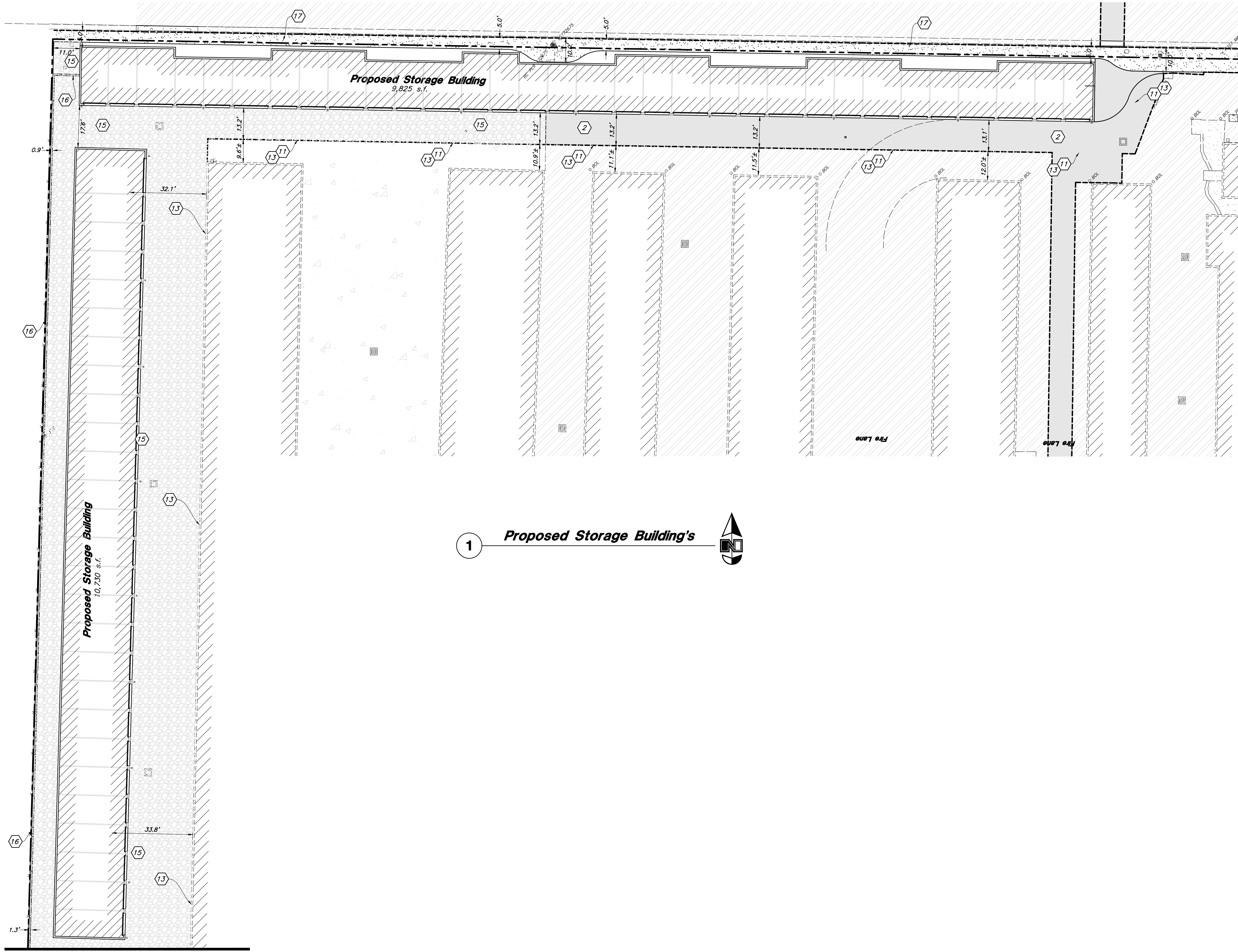


Site Plan
Lock It Up Storage
 1903 North Washington Boulevard
 North Ogden, Utah



15 Mar, 2024
 SHEET NO.
C1.2





Scale: 1" = 20'

Site Construction Notes

- 1 Const. 24" Curb & Gutter (1 C4.1)
- 2 Const. Asphalt Paving (2 C4.1)
- 3 Const. 5' Conc. Sidewalk (4 C4.1)
- 4 Const. Thickened Edge Sidewalk (5 C4.1)
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (1 C2.6)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets) (2 C2.5)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (2 C2.6)
- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (2 C2.6)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
- 10 Const. Conc. Paving (6 C4.1)
- 11 Sawcut; Provide Smooth Clean Edge
- 12 Remove Existing Curb and Gutter, Form New Curb and Gutter Against Edge of Asphalt. Provide Smooth Clean Edge. Alternate is to Saw Cut and Remove 2.0' of Asphalt.
- 13 Conn. & Match Existing Improvements
- 14 Not Used
- 15 Const. Compacted Gravel Pavement
- 16 Const. 8" Stamped Concrete Wall. Coord. color and style with Owner.
- 17 Const. Concrete Sidewalk per City standards.
- 18 Const. 5' x 5' concrete landing
- 19 Const. Curb Transition (8 C4.1)
- 20 Const. 6" Curb Wall (11 C4.2)
- 21 Const. 10'x15' Conc. Pad for Proposed Cell Tower Tenant
- 22 Const. Chain Link Fence (See Owner for Height and Gate Location)
- 23 Const. 2' Conc. Waterway (7 C4.1)

1 Proposed Storage Building's

Match Line
See Sheet C1.2

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

Designed by: LC
 Drafted by: NT
 Client Name:
 Lock It Up Self Storage LLC
 20-127sp



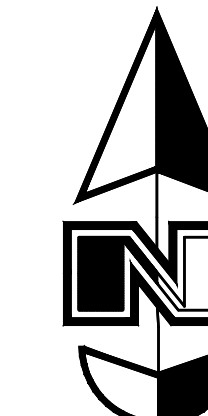
Site Plan
Lock It Up Storage
 1903 North Washington Boulevard
 North Ogden, Utah



15 Mar, 2024

SHEET NO.
C1.3





Scale: 1" = 40'



2000 North

9,825 s.f. Proposed Storage Building

Proposed Storage Building
10,720 s.f.

Proposed 2 Story Bldg.

1st floor = 26,060 s.f.
2nd floor = 26,060 s.f.
Total = 52,120 s.f.
FF = 4350.00

Proposed Office
1,532 s.f.
FF = 4354.17

1900 North

Washington Blvd.

General Grading Notes:

- All grading shall be in accordance with the project geotechnical study.
- Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by a Geotechnical Engineer.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- The recommendations in the following Geotechnical Engineering Report by GSH are included in the requirements of grading and site preparation. The Report is titled "Geotechnical study Proposed Lock it up storage facility North Ogden 1900 North Washington Boulevard, North Ogden, Utah"
Project No.: 3341-002-21
Dated: August 3, 2021
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.

Sidewalk Construction Notes:

- Concrete sidewalk shall be constructed with a cross slope of 1.5% (2.08% Maximum) unless shown otherwise on plan.
- Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%
- Refer to the Site Plan for sidewalk dimensions.

Private Curb Ramp Construction Notes:

- Slopes provided are per Anderson Wahlen & Associates design standards. Slopes shown are below ADA and ICC maximum requirements, unless noted otherwise in project plans.
- The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or FHAA.

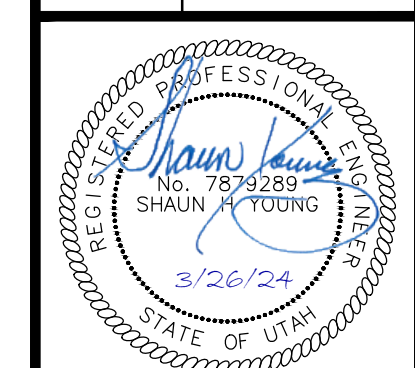
- Counter slopes of adjoining gutters & paving adjacent to the curb ramp shall not be steeper than 4.50%.
- Accessible ramp flares shall be poured separately from ramp to ensure proper slopes.
- Contractor to transition curb or sidewalk height from 6" to 0" reveal. Curb or sidewalk height to match ramp throughout transition.

Prior to any construction of any Accessible Improvements, a Pre-Construction meeting shall be held between Contractor and Engineer. Contractor is Responsible to contact Engineer and Schedule Pre-Construction Meeting

| |
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| Designed by: LC |
| Drafted by: NT |
| Client Name: Lock It Up Self Storage LLC |
| 20-127gr |

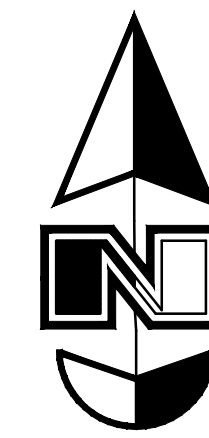


Overall Grading Plan
Lock It Up Storage
1903 North Washington Boulevard
North Ogden, Utah

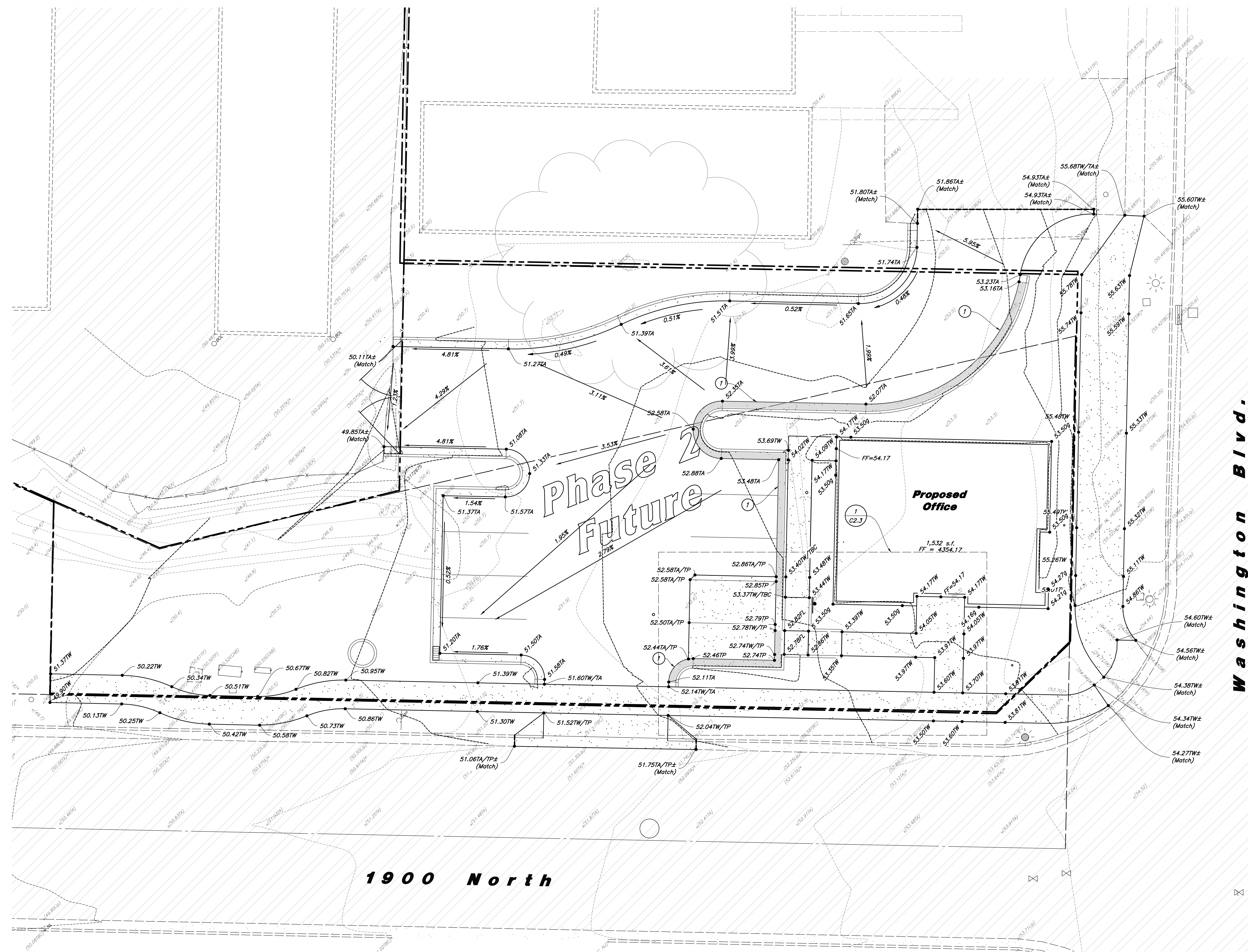


15 Mar, 2024
SHEET NO.
C2.0





Scale: 1" = 10'



| REV | DATE | DESCRIPTION |
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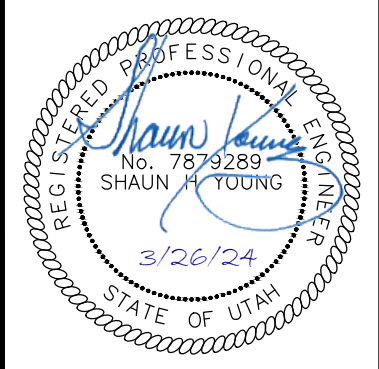
Designed by: LC
 Drafted by: NT
 Client Name:
 Lock It Up Self Storage LLC
 20-127gr



Grading Plans
Lock It Up Storage
 1903 North Washington Boulevard
 North Ogden, Utah

- Curb and Gutter Construction Notes:**
- Open face gutter shall be constructed where drainage is directed away from curb.
 - Open face gutter locations are indicated by shading and notes on the grading plan.
 - It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
 - Refer to the typical details for standard and open face curb and gutter dimensions.
 - Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
 - Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

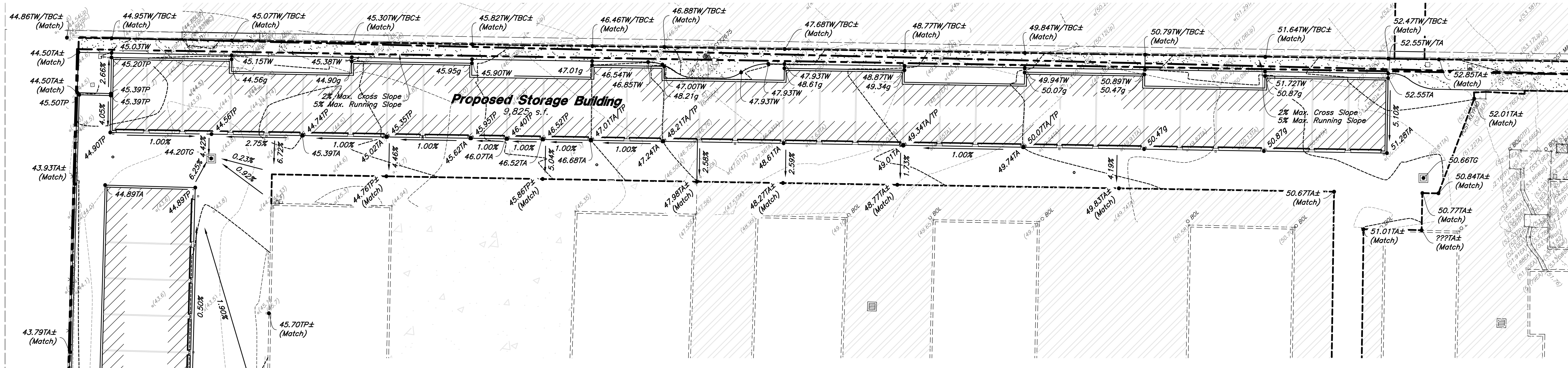
Accessibility Note:
 Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.
 The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1--Latest Edition) and/or FWA.



15 Mar, 2024
 SHEET NO.
C2.1

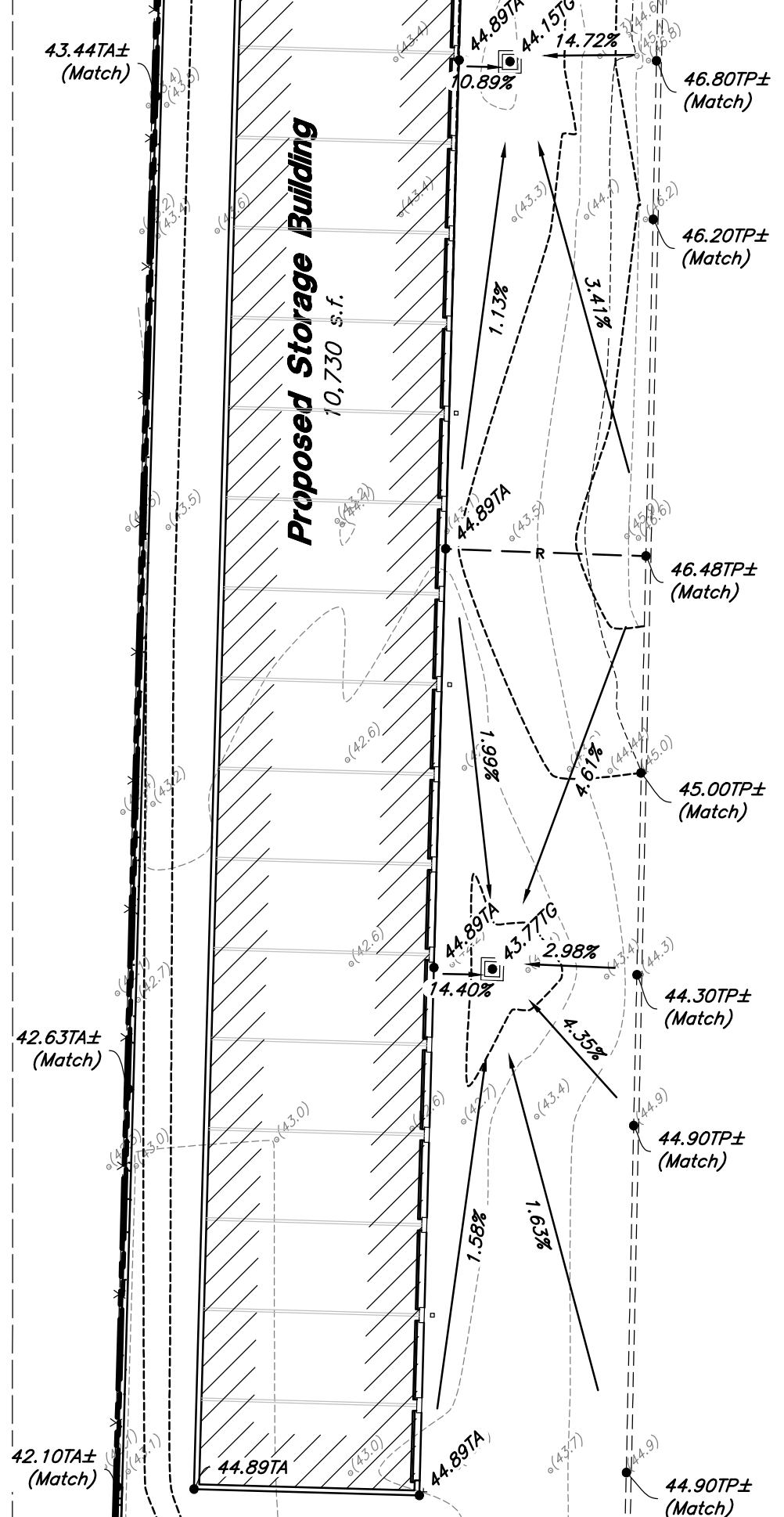
1 Proposed Office Building Grading Plan
 Scale: 1" = 10'





**Proposed Storage Building
and Proposed Covered
Storage Grading Plan**

Scale: 1" = 20'



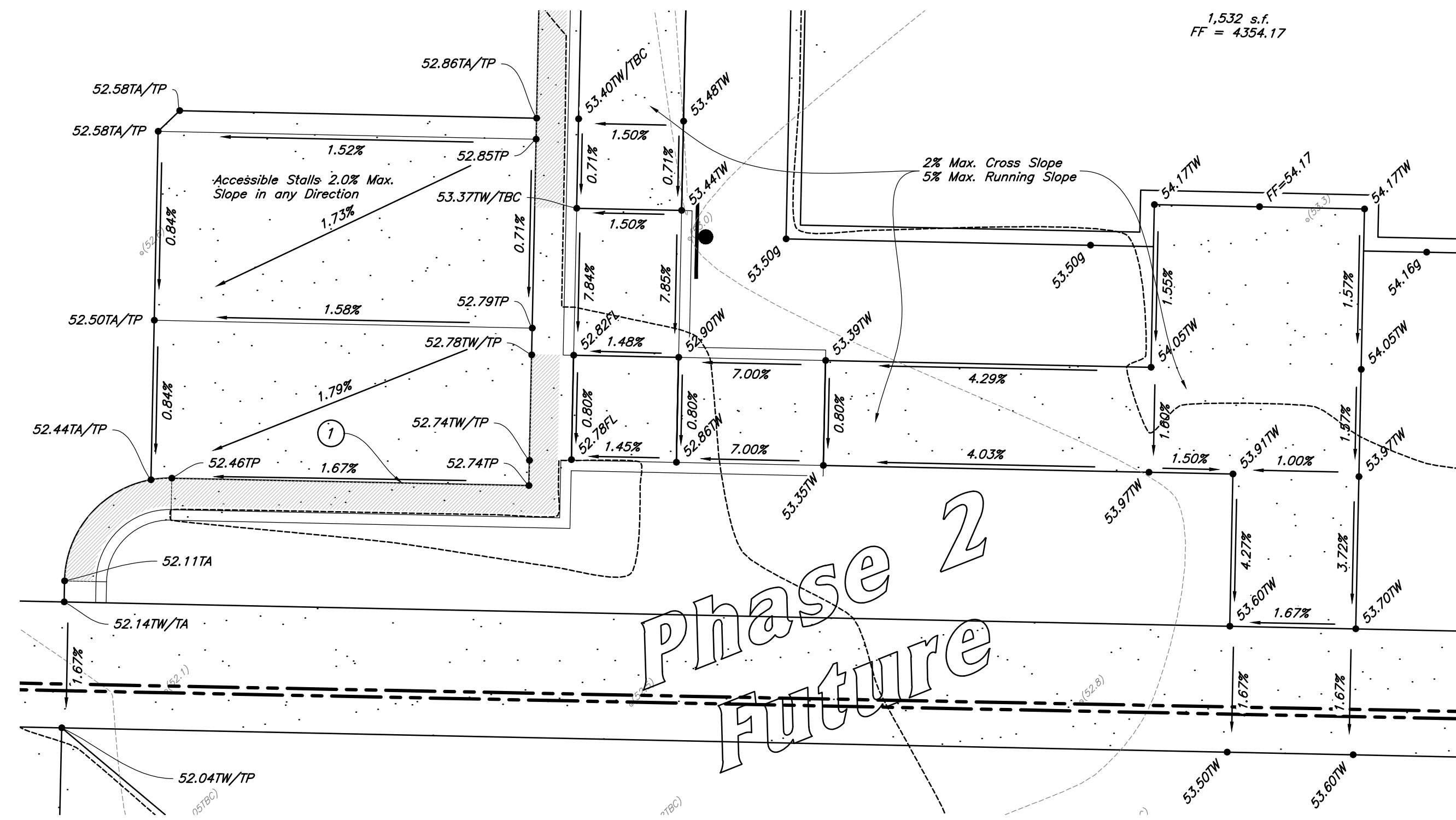
Match Line
See Sheet C2.2

Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Accessibility Note:

Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or FHAA.



1 ADA Parking and Sidewalk Detail

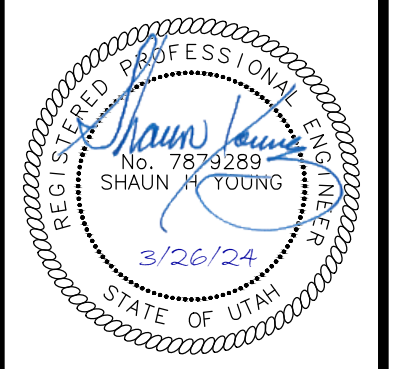
Scale: 1" = 5'



Designed by: LC
Drafted by: NT
Client Name:
Lock It Up Self Storage LLC
20-127gr



Grading Plans
Lock It Up Storage
1903 North Washington Boulevard
North Ogden, Utah

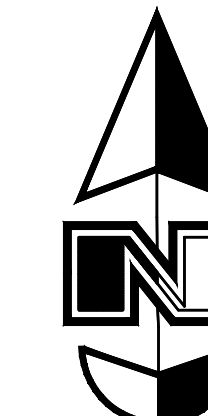


15 Mar, 2024

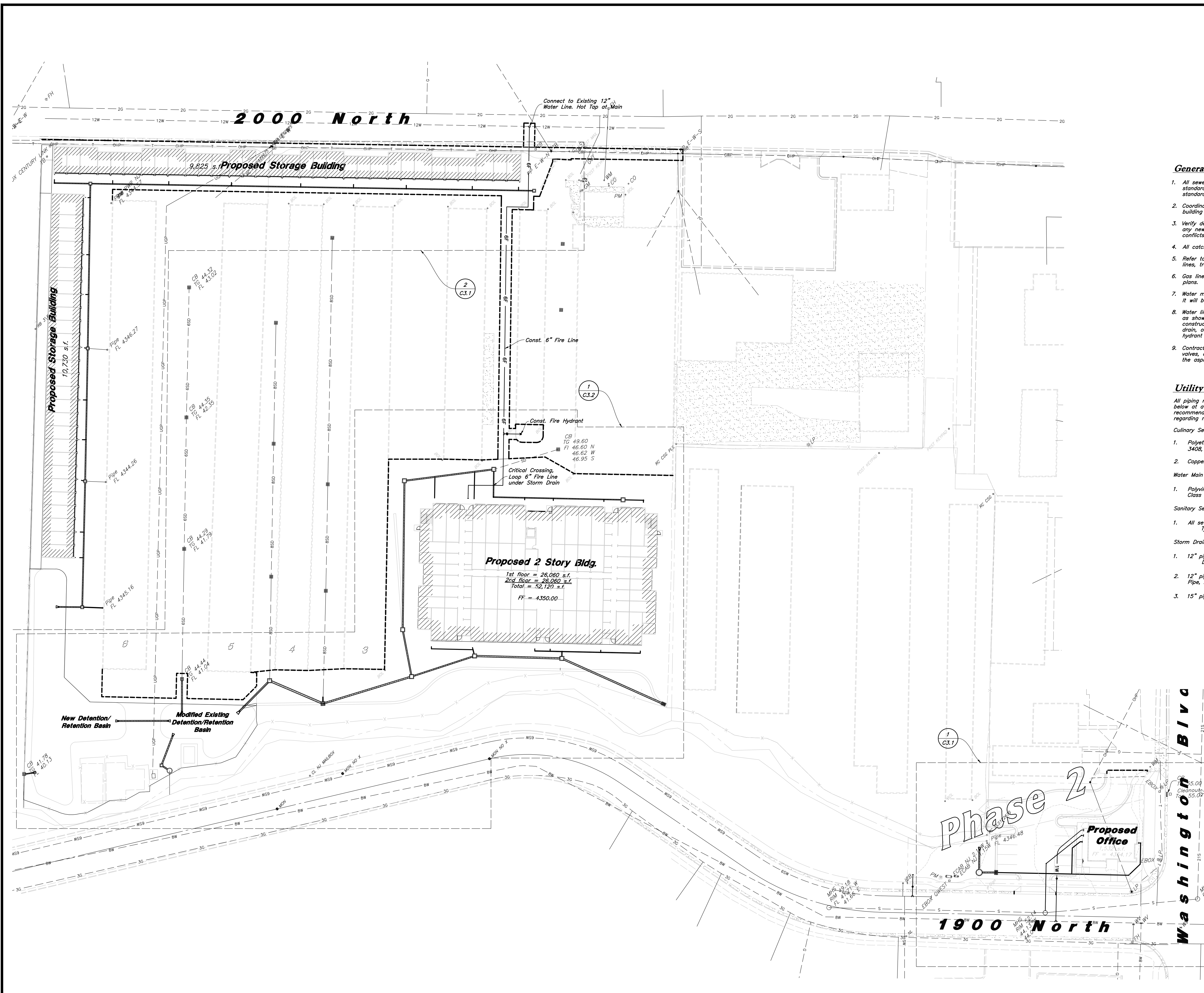
SHEET NO.

C2.3





Scale: 1" = 40'



General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type "K"

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 200

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 12" pipes or larger - Advanced Drainage Systems (ADS) HP Storm Pipe, ASTM F2281, or AASHTO M330
3. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

CAUTION :
The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Storm Drain & Sanitary Sewer Note:
All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.

PVC Pipe Protection During Construction:
PVC Pipe must have 24" cover for heavy construction loading during construction. The Contractor is responsible to temporarily protect any pipes with less than 24" cover by berming over the pipes.

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UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
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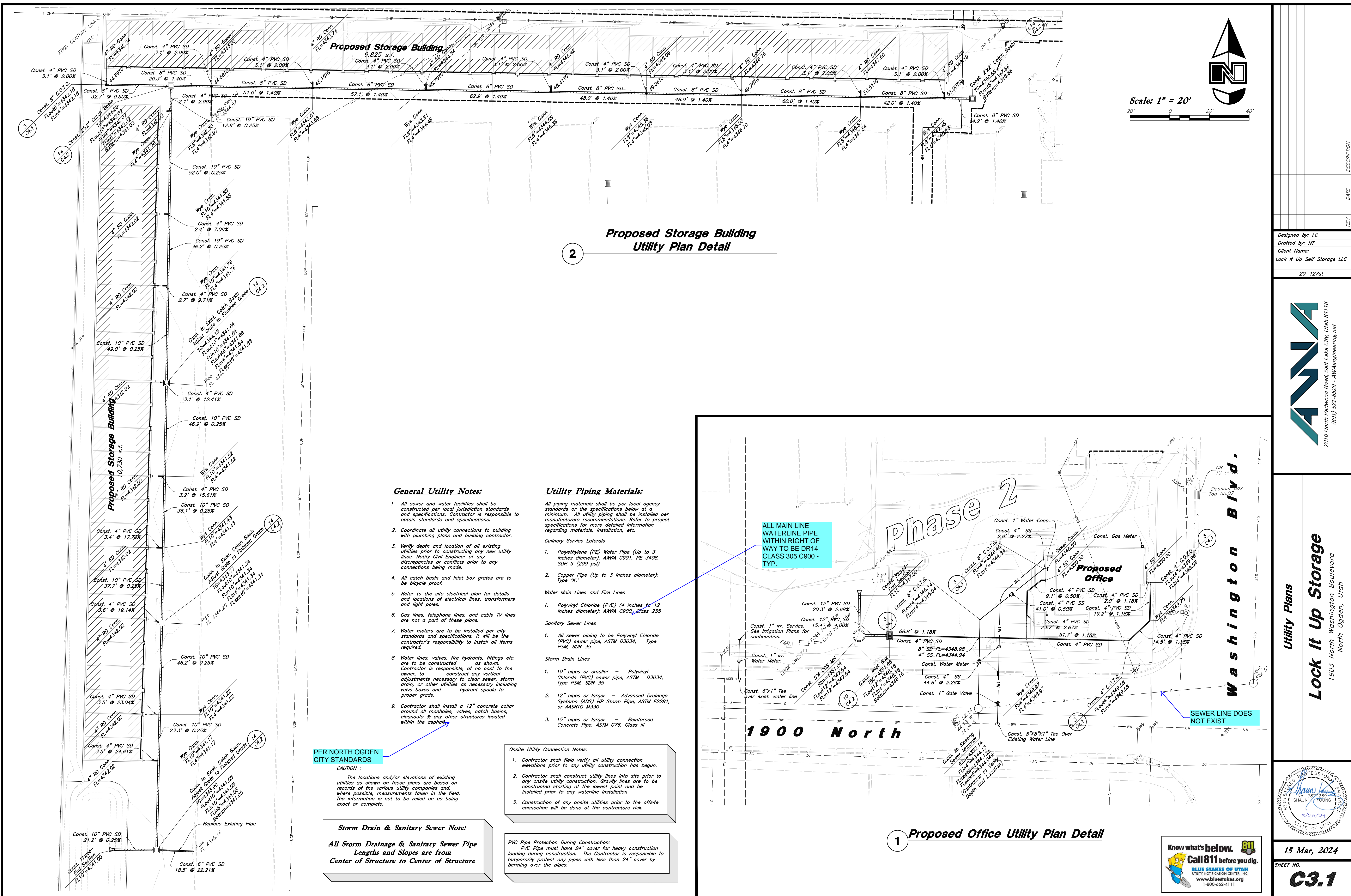
| REV | DATE | DESCRIPTION |
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Designed by: LC
Drafted by: NT
Client Name:
Lock It Up Self Storage LLC
20-127ut

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8629 - AWWAengineering.net

Overall Utility Plan
Lock It Up Storage
1903 North Washington Boulevard
North Ogden, Utah

15 Mar, 2024
SHEET NO.
C3.0



Scale: 1" = 20'

Proposed Storage Building Utility Plan Detail

2

General Utility Notes:

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

- All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.
- Culinary Service Laterals**
- Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
 - Copper Pipe (Up to 3 inches diameter); Type "K".
- Water Main Lines and Fire Lines**
- Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter); AWWA C900, Glass 235
- Sanitary Sewer Lines**
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FSM, SDR 35
- Storm Drain Lines**
- 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FSM, SDR 35
 - 12" pipes or larger - Advanced Drainage Systems (ADS) HP Storm Pipe, ASTM F2281, or AASHTO M330
 - 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

PER NORTH OGDEN CITY STANDARDS

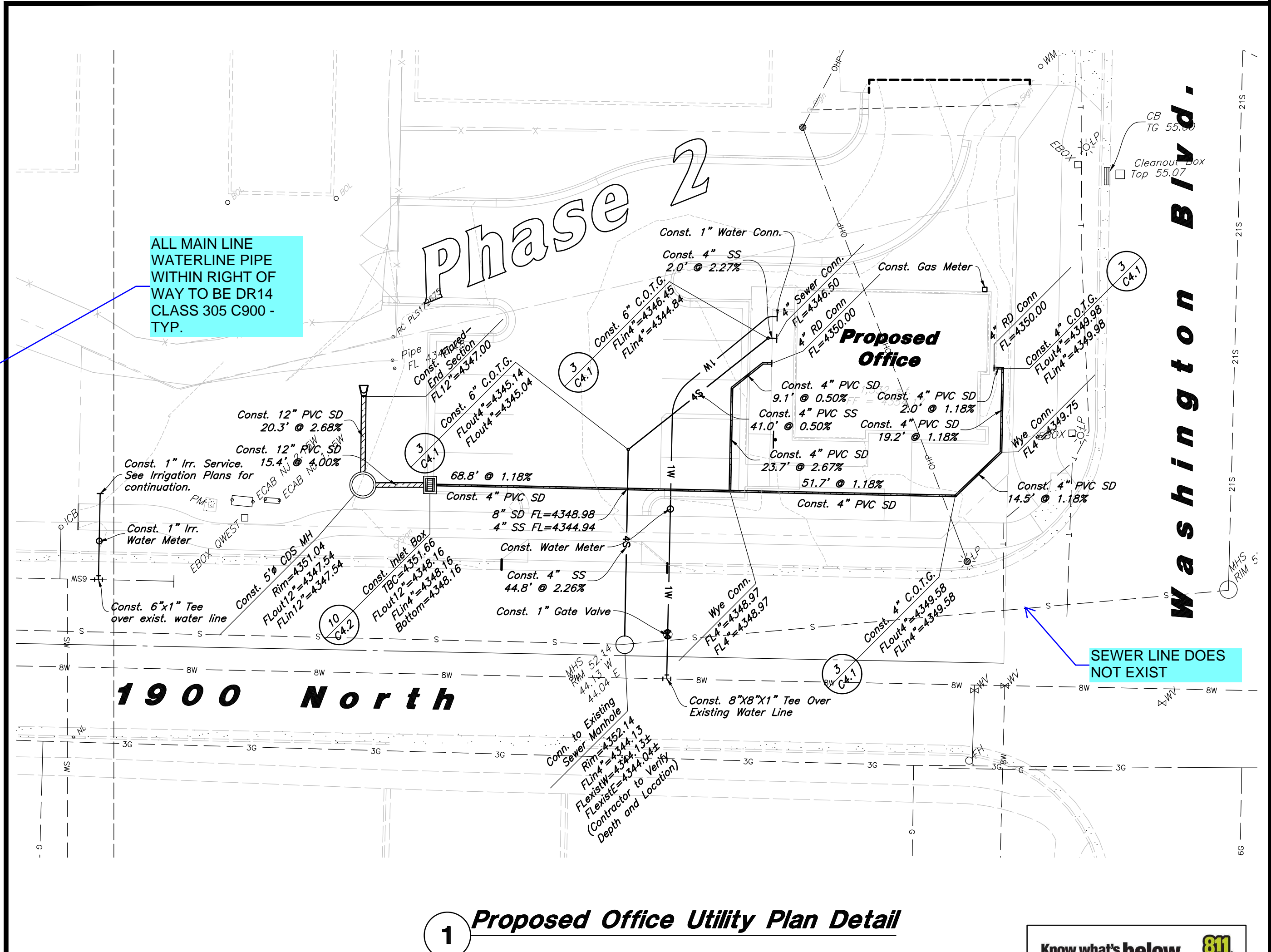
CAUTION:
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PVC Pipe Protection During Construction:
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Proposed Office Utility Plan Detail

1

| | |
|--|--------------|
| DESIGNED BY: LC | DATE: |
| DRAFTED BY: NT | REV: |
| CLIENT NAME: Lock It Up Self Storage LLC | DESCRIPTION: |
| 20-127ut | |

AWWA
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8629 - AWWAengineering.net

Utility Plans
Lock It Up Storage
1903 North Washington Boulevard
North Ogden, Utah

REG. ELECT. ENG. SHAUN M. TIDDING
3/26/24
STATE OF UTAH

15 Mar, 2024
SHEET NO.
C3.1

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UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

General Utility Notes:

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
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The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

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Storm Drain & Sanitary Sewer Note:

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Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

- Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
- Copper Pipe (Up to 3 inches diameter): Type "K."

Water Main Lines and Fire Lines

- Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 235

Sanitary Sewer Lines

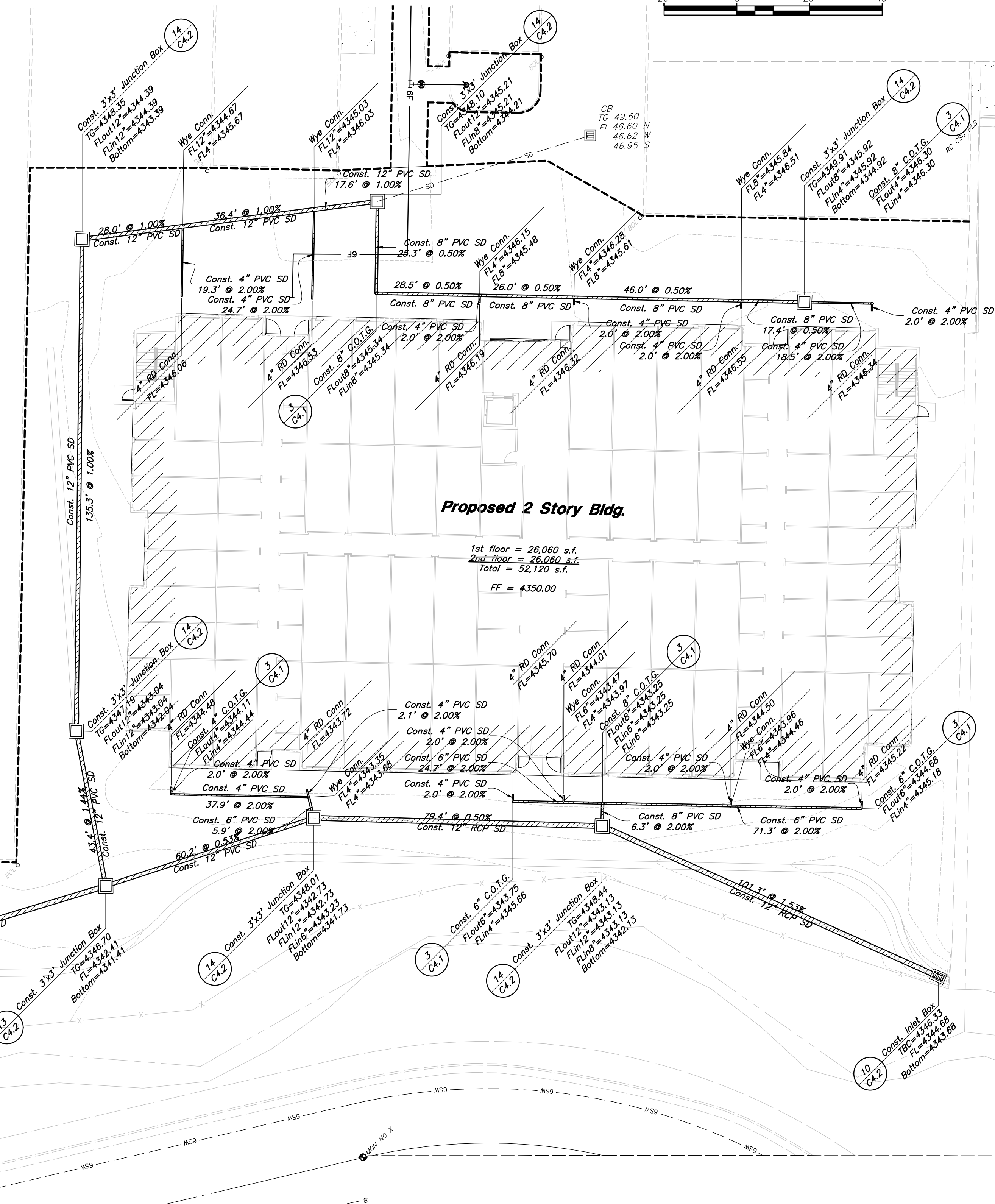
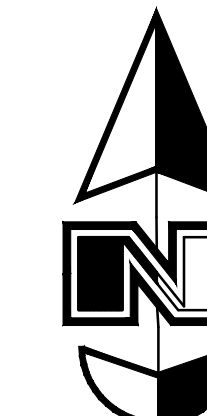
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

ADD NOTE TO PLANS WHICH STATES: "PERMANENT DETENTION/RETENTION (WHICHEVER IS APPLICABLE) FACILITY TO BE OWNED AND MAINTAINED BY THE OWNERS OF THIS PROPERTY NOT BE ALTERED OR REMOVED WITHOUT APPROVAL FROM THE NORTH OGDEN CITY COUNCIL AND NORTH OGDEN CITY ENGINEER."

Scale: 1" = 20'



WRITTEN VERIFICATION OF STREAM ALTERATION PERMIT THROUGH UTAH DIVISION OF WATER RIGHTS

WRITTEN VERIFICATION OF STREAM ALTERATION PERMIT THROUGH UTAH DIVISION OF WATER RIGHTS

IS THIS BOX IN THE FENCE OR JUST EAST OF THE FENCE?

Proposed Two Story Building and Drainage Pond Utility Plan Detail

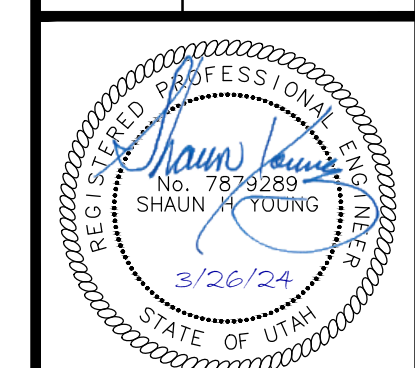
1

| REV | DATE | DESCRIPTION |
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Designed by: LC
 Drafted by: NT
 Client Name: Lock It Up Self Storage LLC
 20-127ut



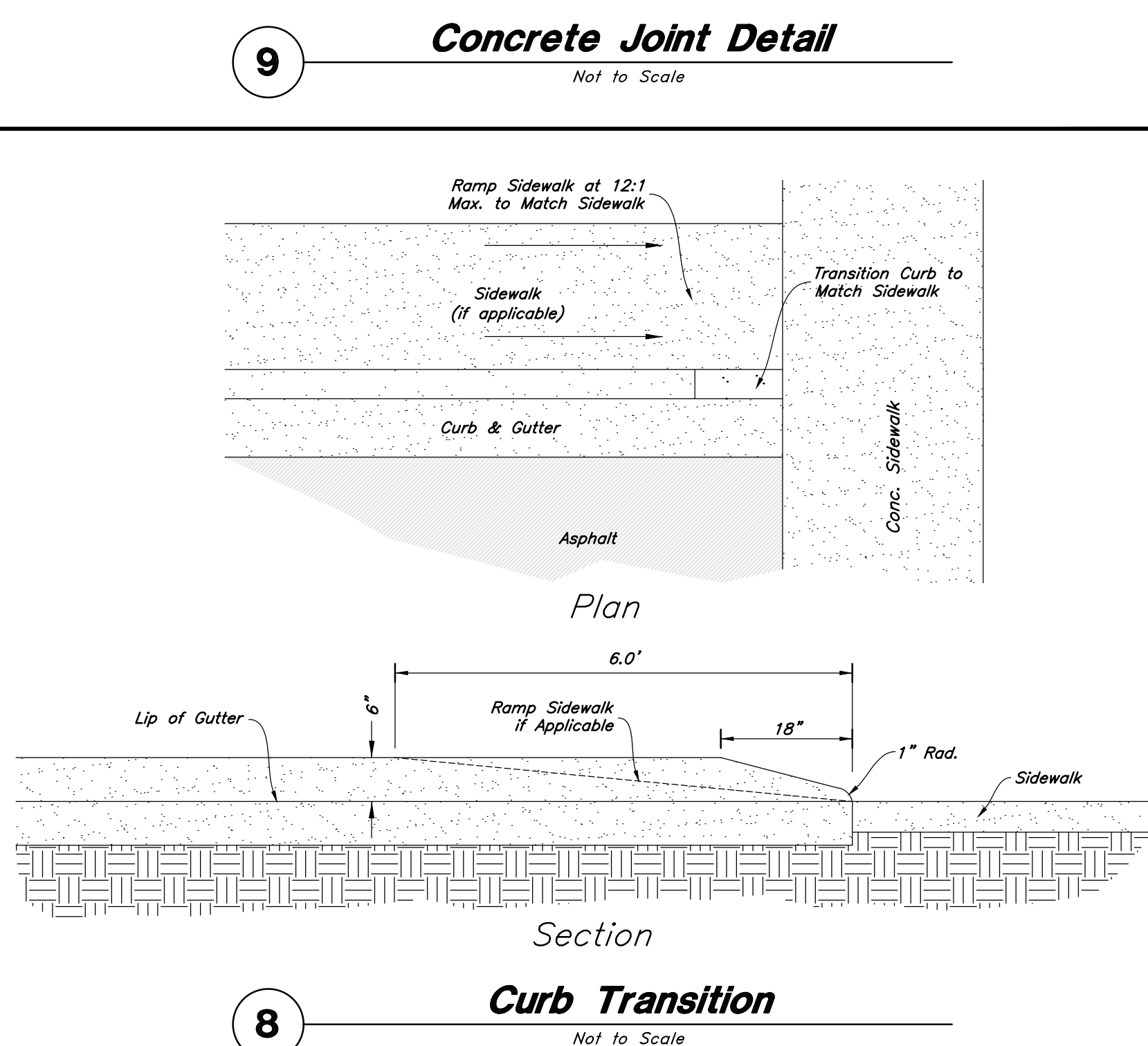
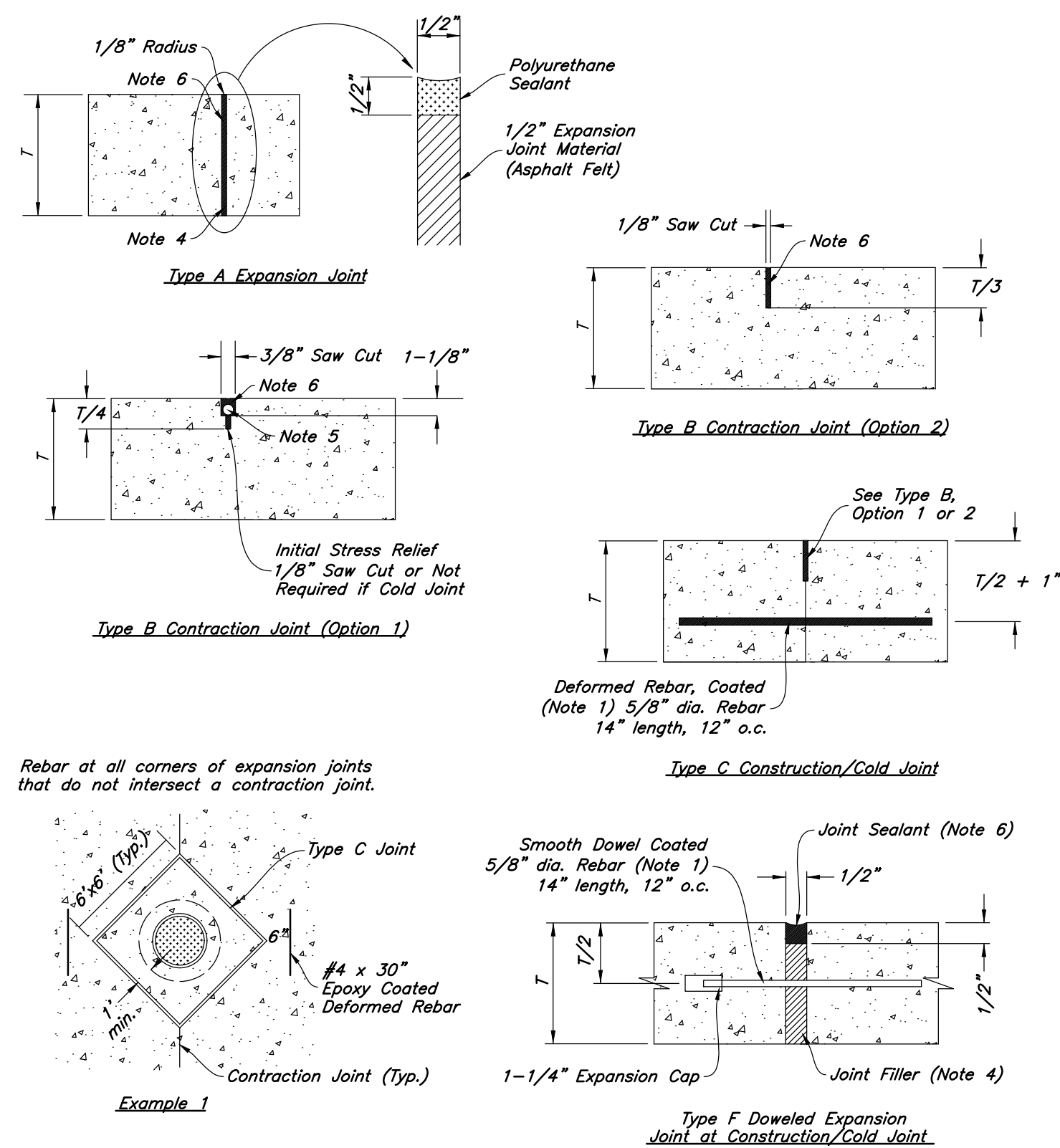
Utility Plan
Lock It Up Storage
 1903 North Washington Boulevard
 North Ogden, Utah



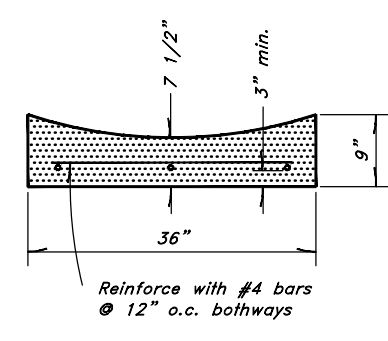
15 Mar, 2024
 SHEET NO.
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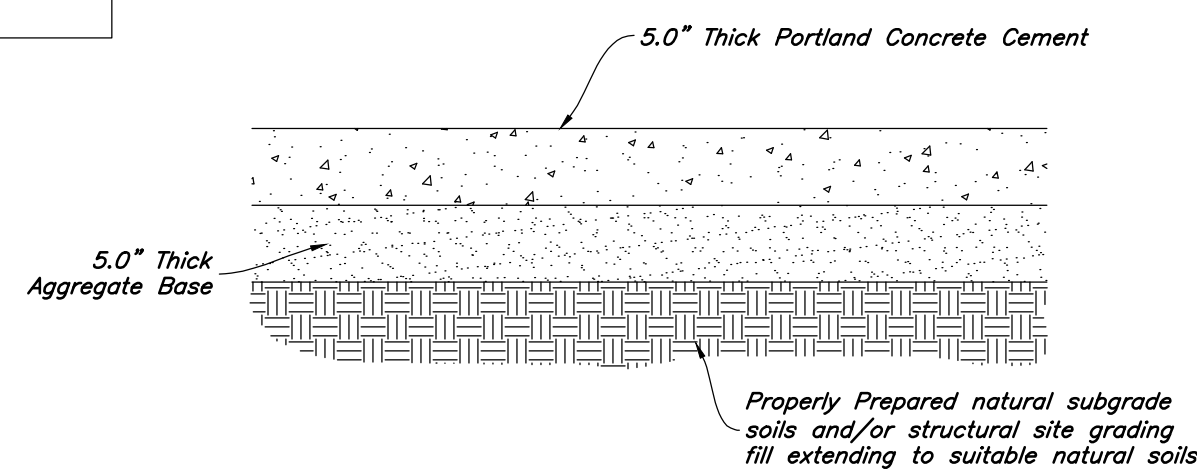
- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Grease dowels to provide movement in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



7 3.0' Concrete Waterway
Not to Scale



- See Geotechnical Report for Project for Future Details
- See Concrete Joint Detail

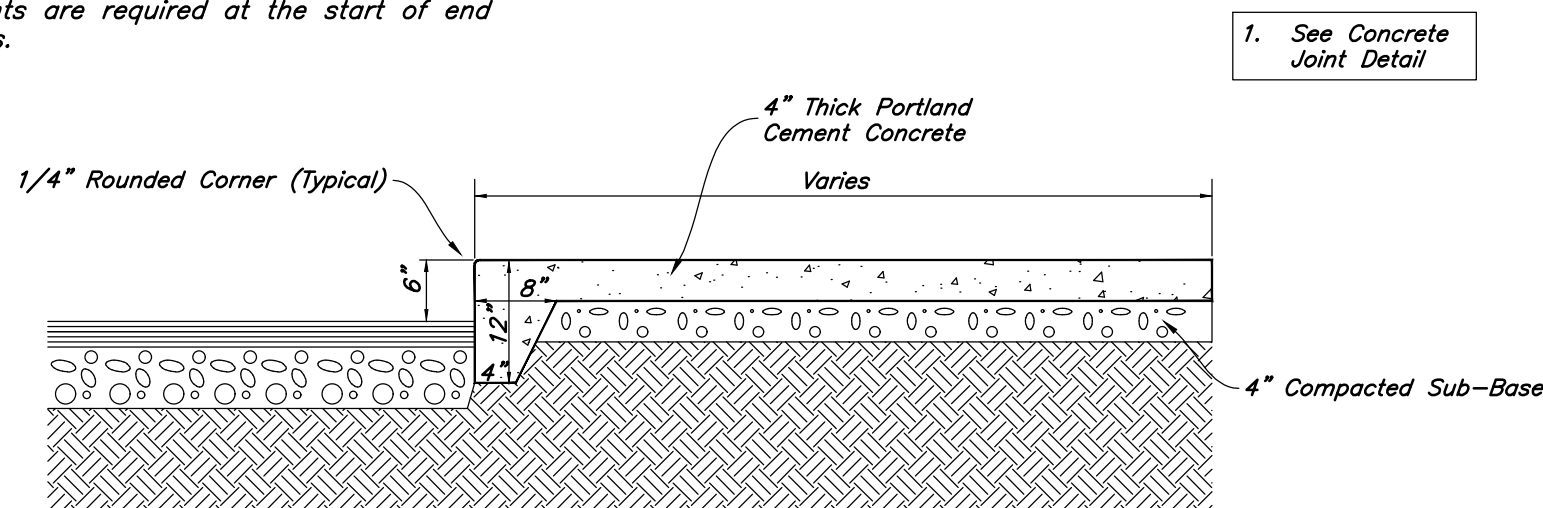


Contraction Joints

- Spacing = 10' O.C.

Expansion Joints

- Make expansion joints full depth, see joint detail
- Place expansion joint at cold joints
- Expansion joints are required at the start of end of curb radius.

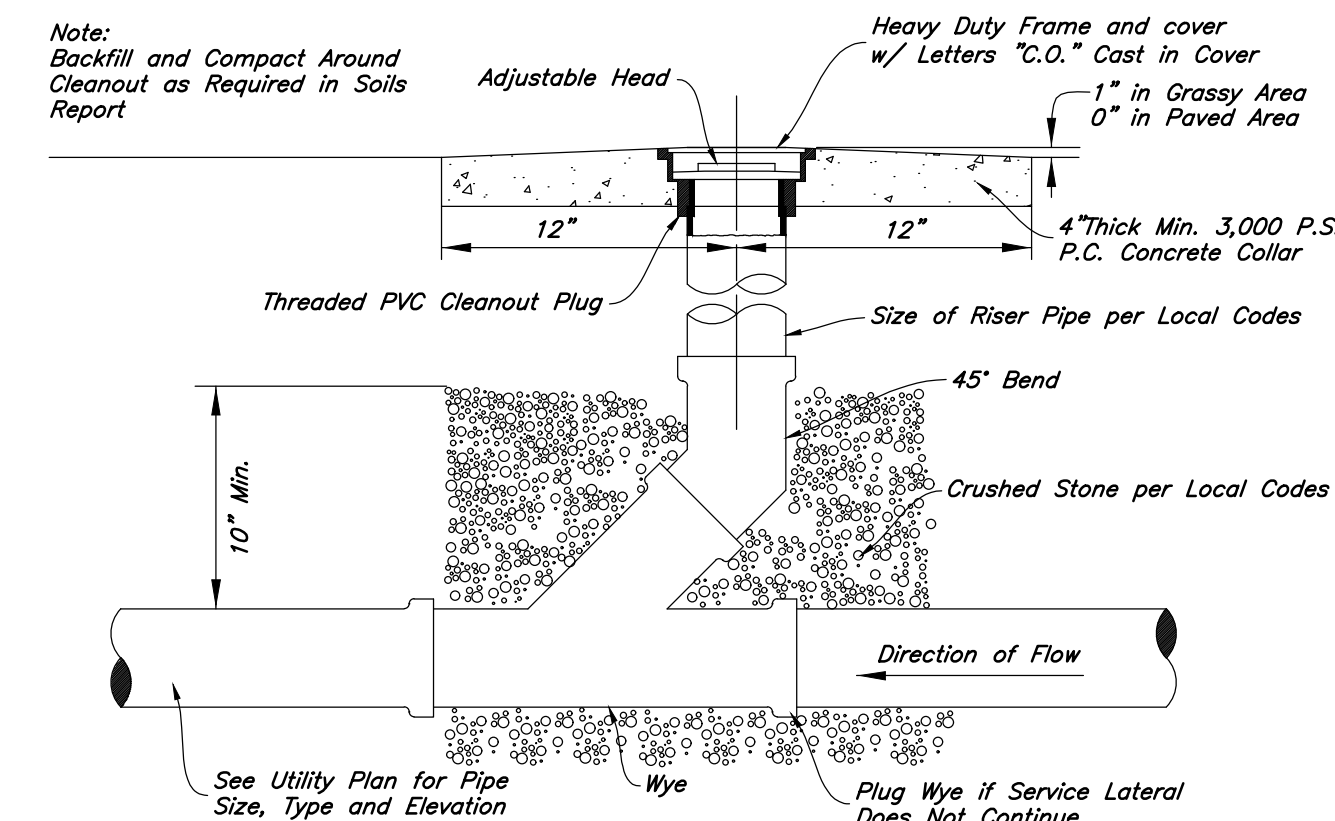
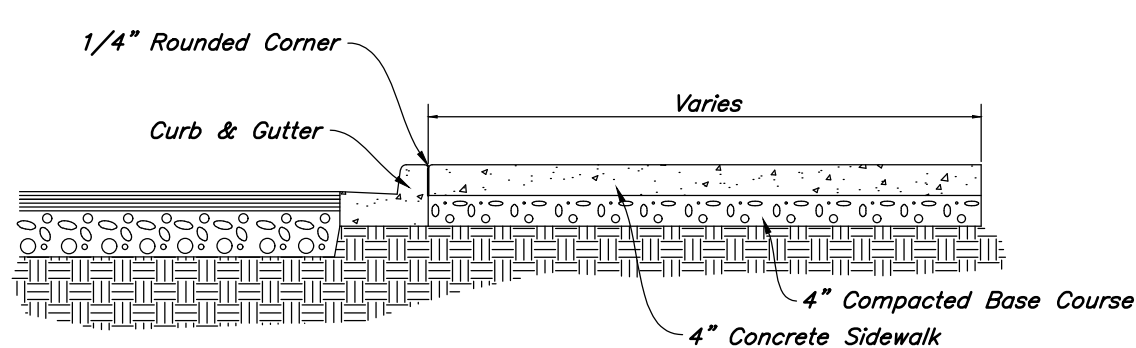


Contraction Joints

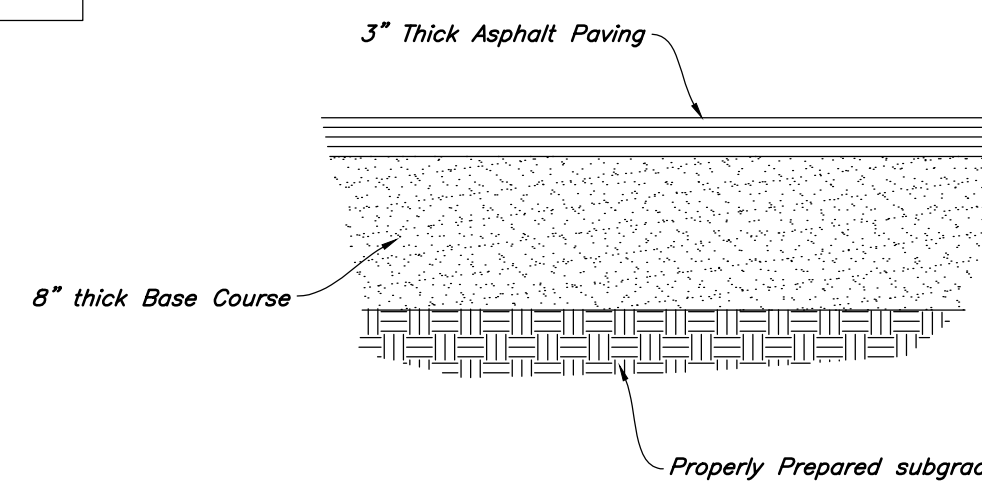
- Spacing = 10' O.C.

Expansion Joints

- Make expansion joints full depth, see joint detail
- Place expansion joint at cold joints
- Expansion joints are required at the start of end of curb radius.



- See Geotechnical Report for Project

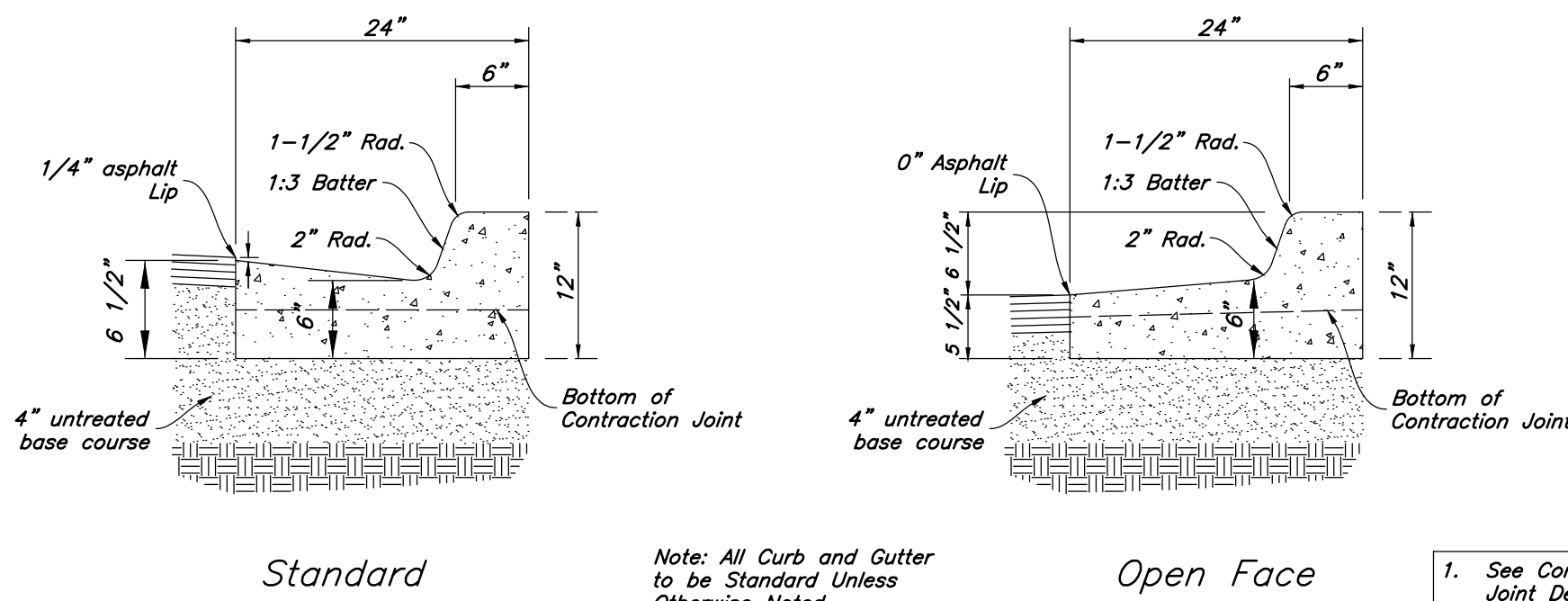


Contraction Joints

- Spacing = 10' o.c., see joint detail
- 1/8" wide by 2" deep from top of curb at 15'-0" intervals

Expansion Joints

- Make expansion joints full depth, see joint detail
 - Place expansion joint at all cold joints
 - Expansion joints are required at ends of all radii 0.0B.
 - Required 5'-0" on each side of drainage structures
 - Required at 90'-0" maximum intervals in straight curb and gutter
 - Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (3/4" thick bituminous filler material)
- 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement
 - Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter
 - Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.
 - All radii shall be true arcs
 - Medium to light broom finish on all exterior concrete

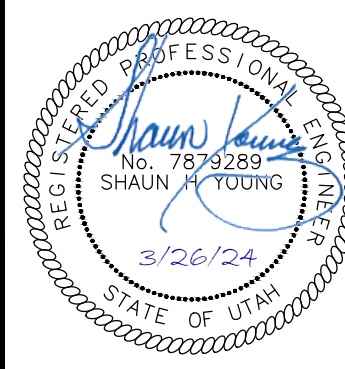


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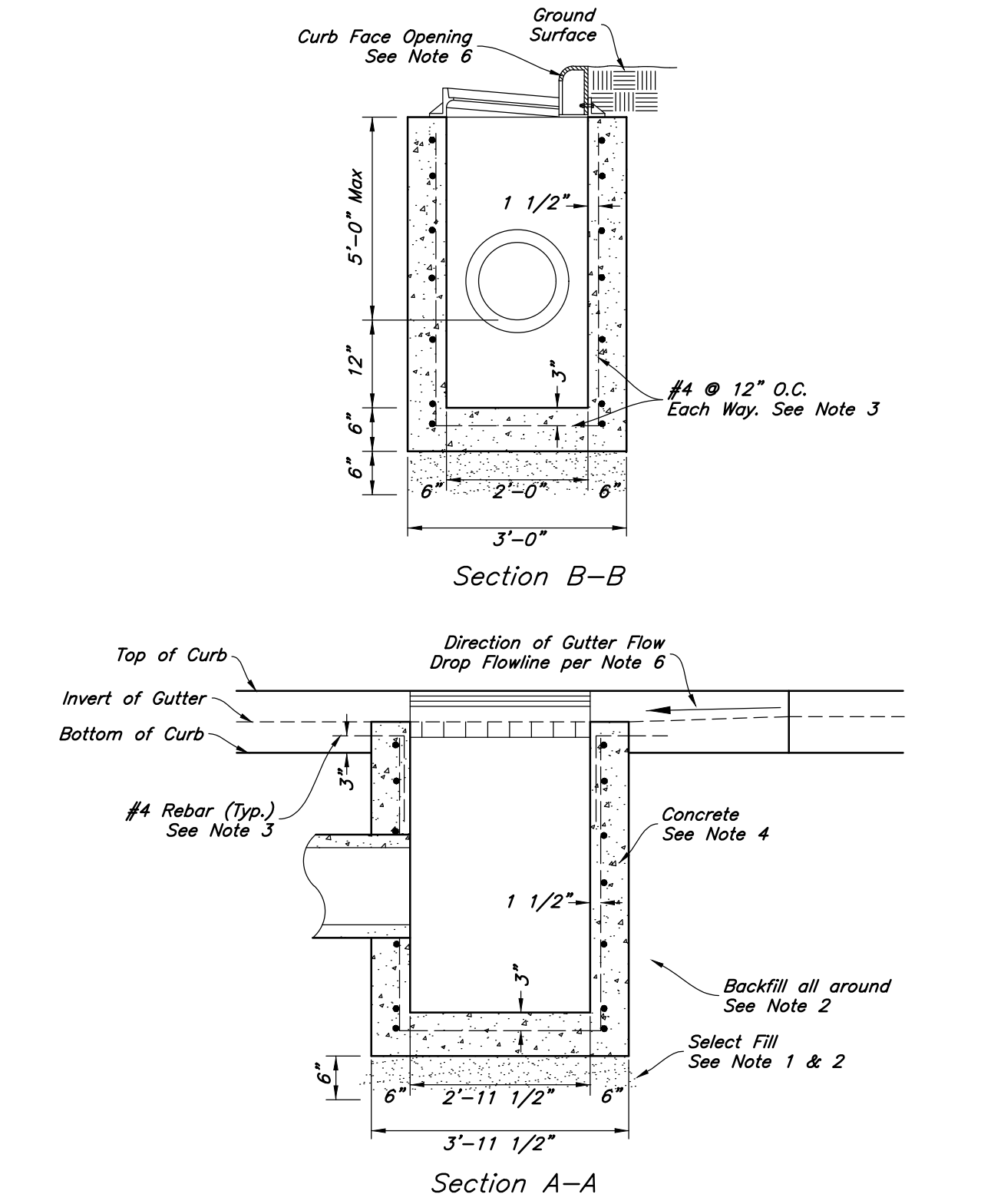
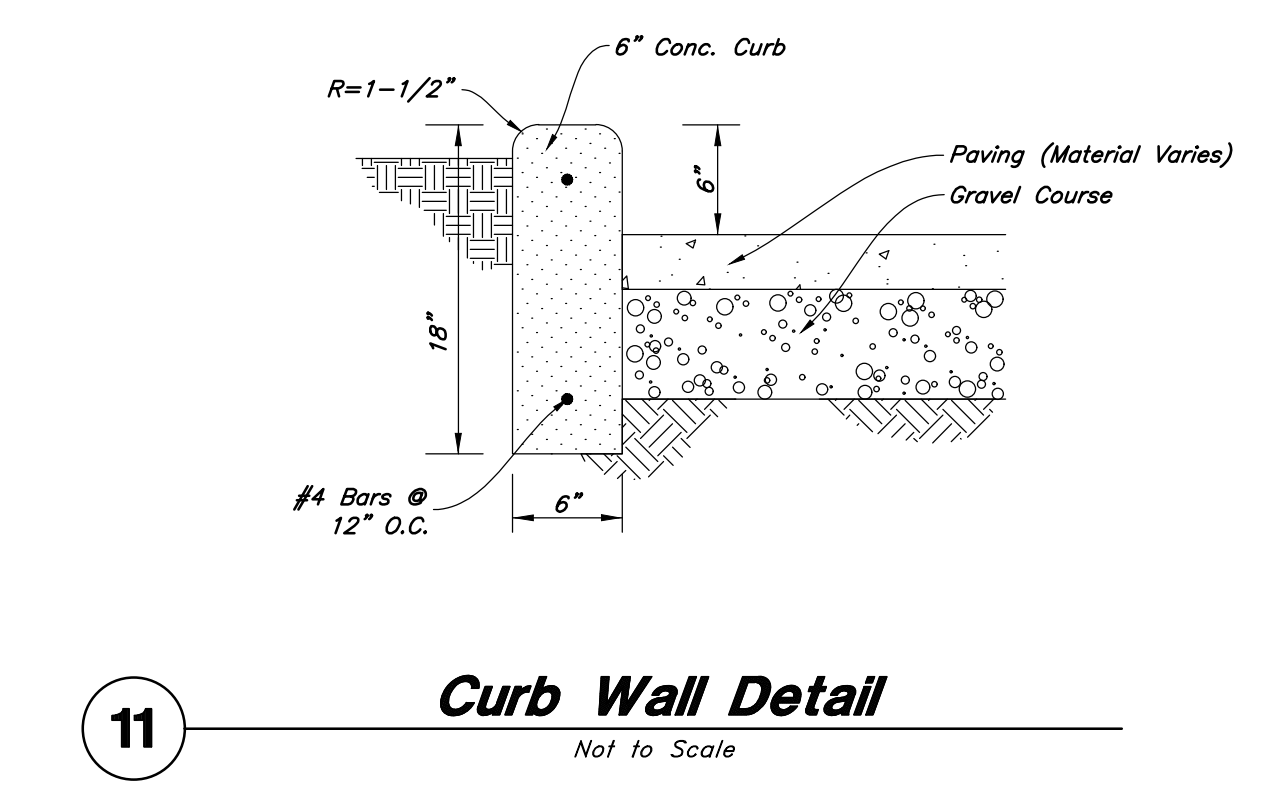
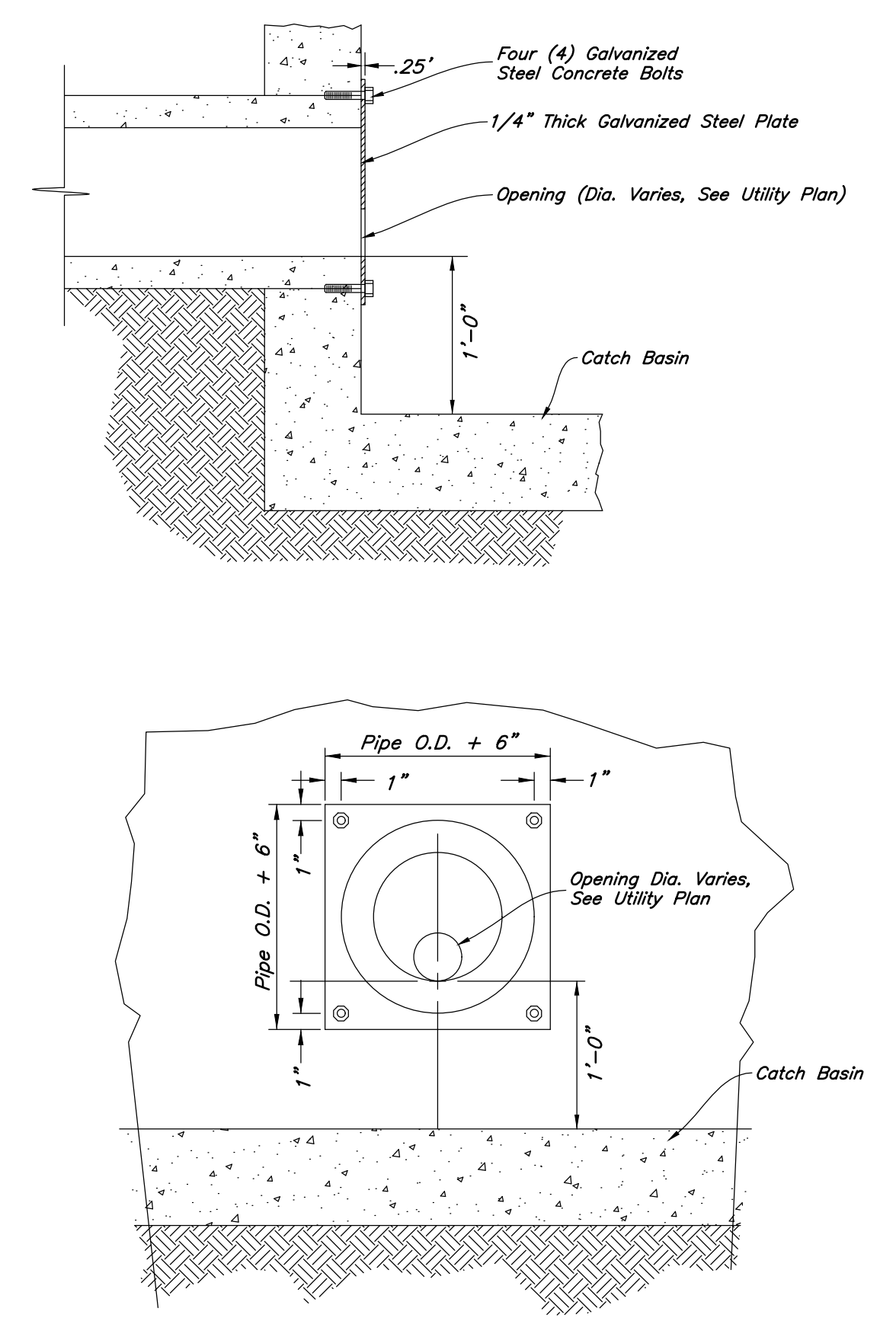
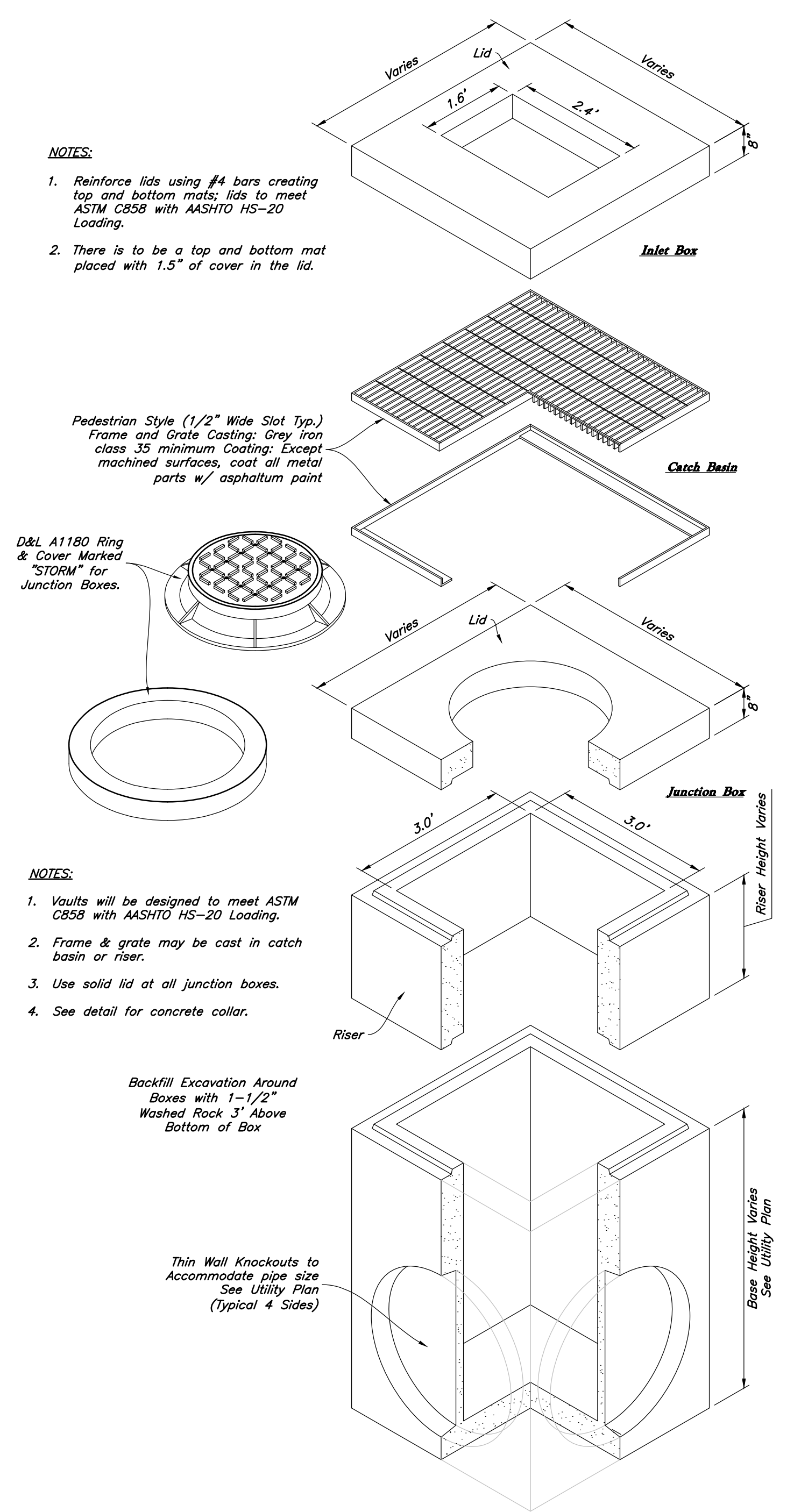
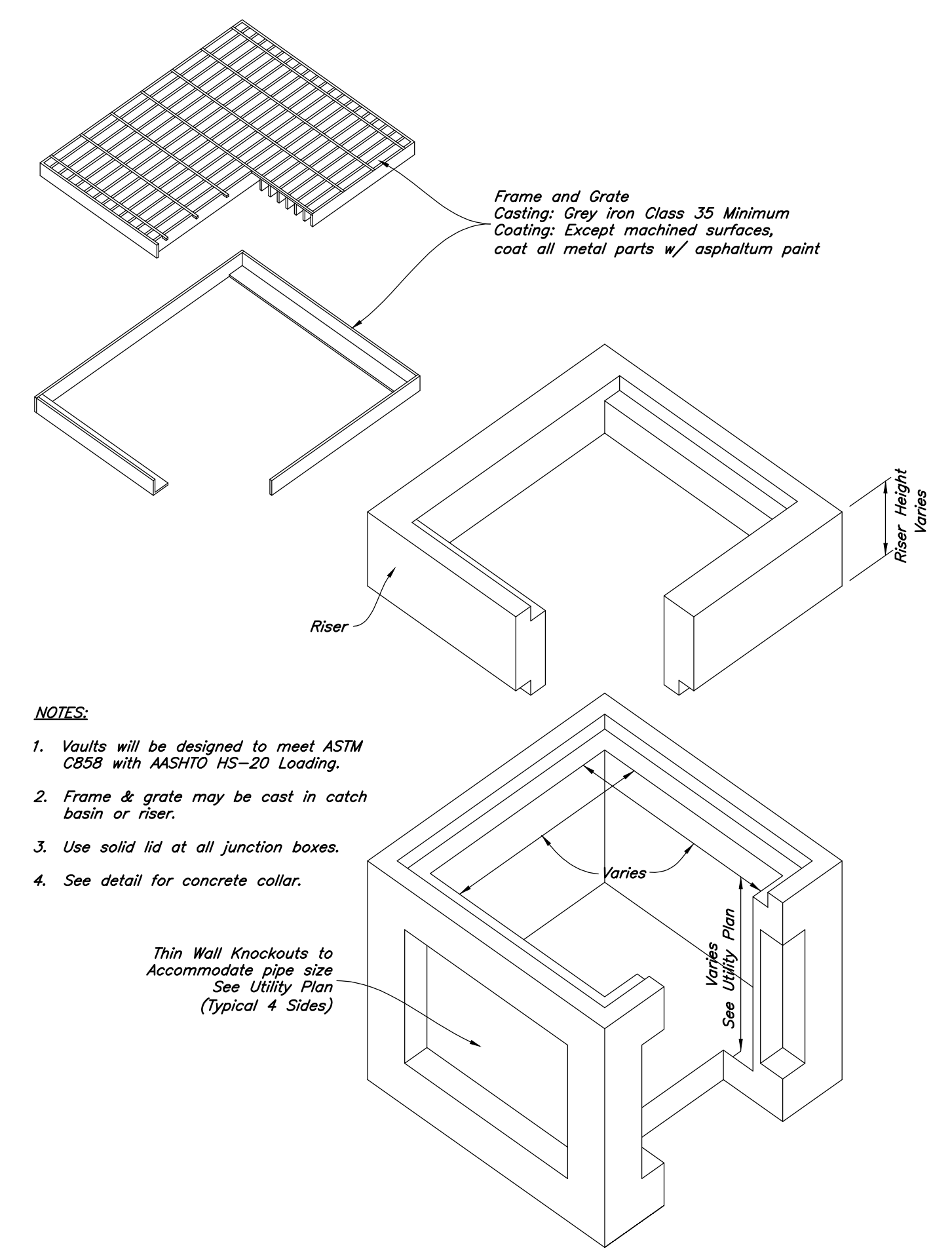
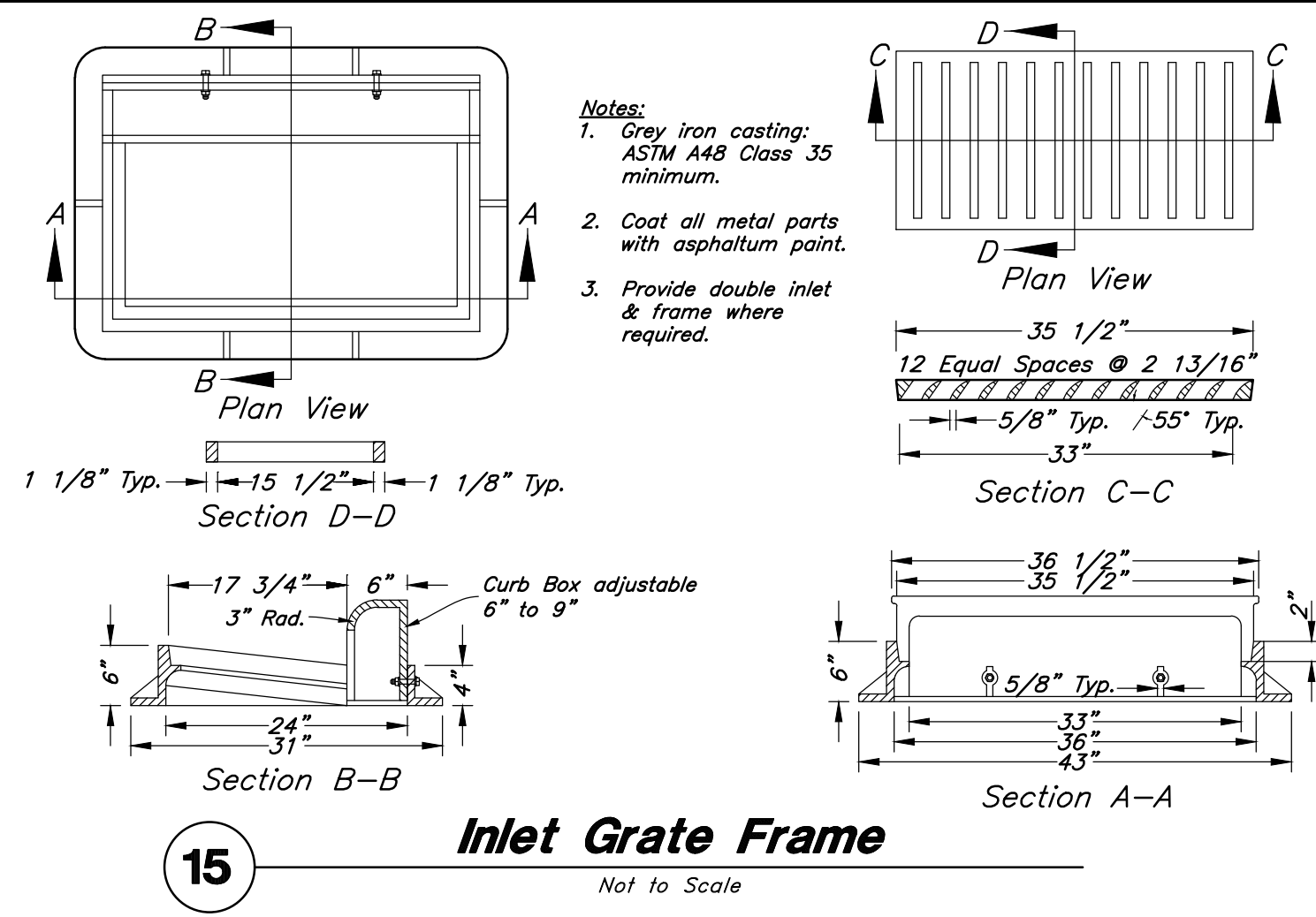
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Drafted by: NT
Client Name:
Lock It Up Self Storage LLC
20-127dt



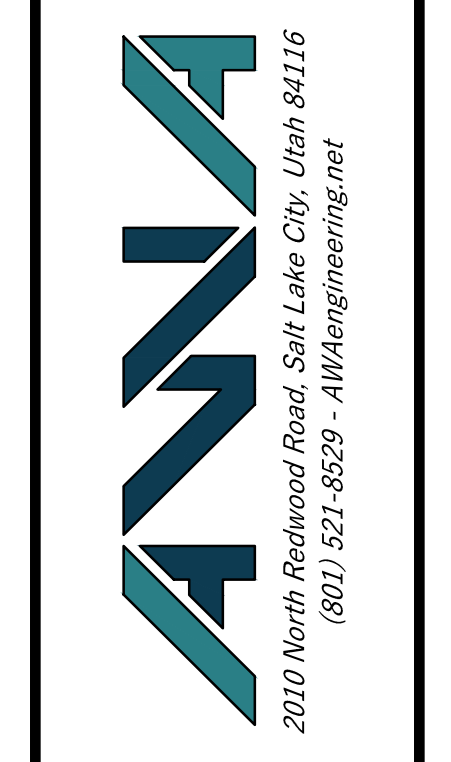
Details
Lock It Up Storage
1903 North Washington Boulevard
North Ogden, Utah



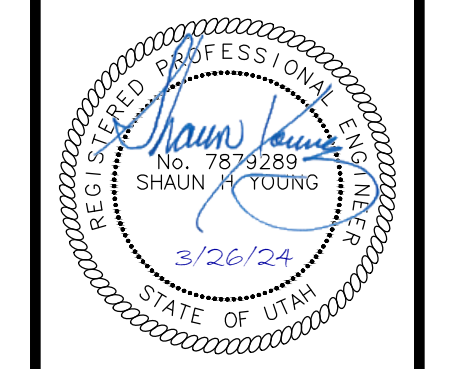
15 Mar, 2024
SHEET NO.
C4.1



Designed by: LC
 Drafted by: NT
 Client Name:
 Lock It Up Self Storage LLC
 20-127dt

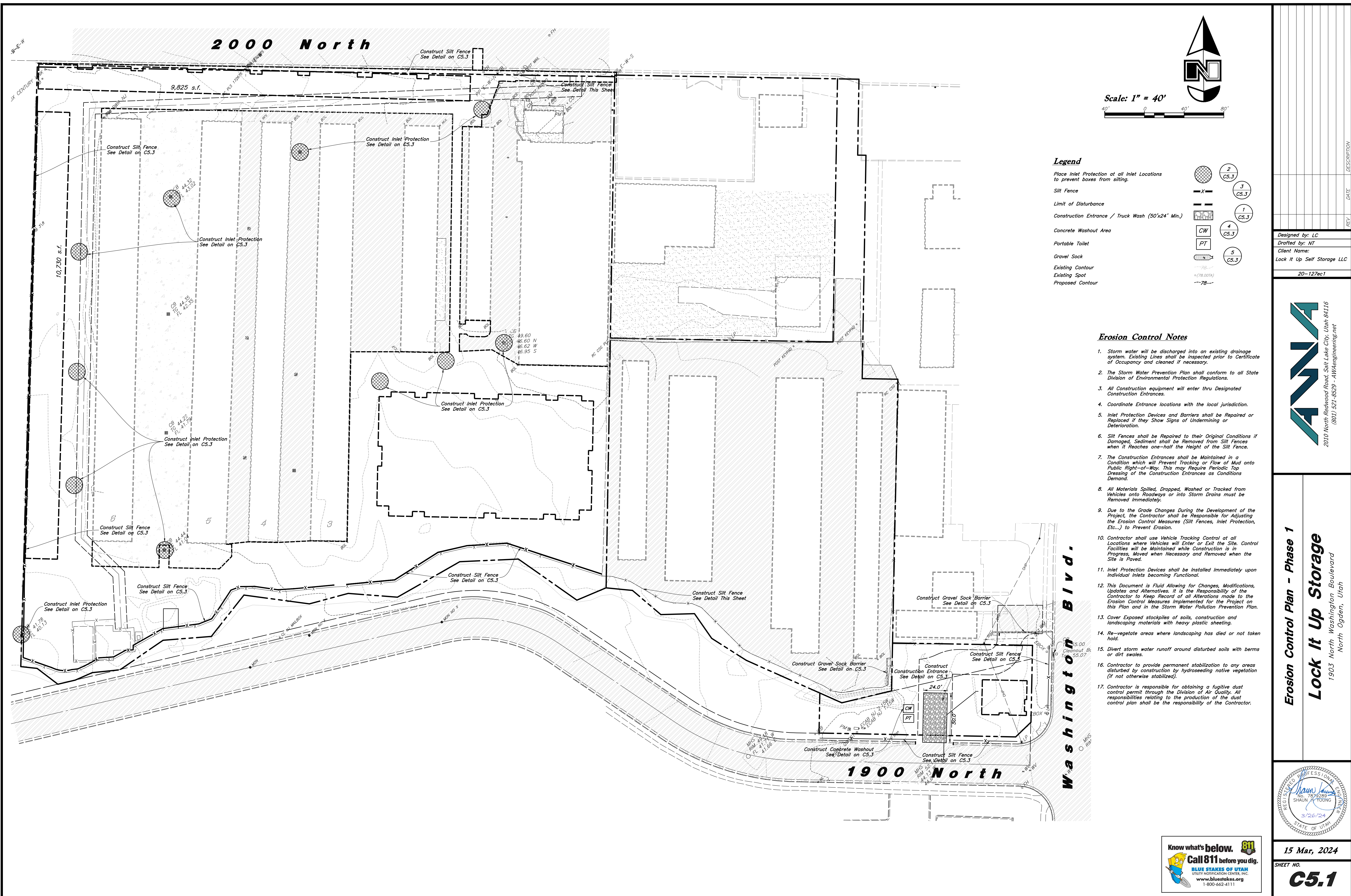


Details
Lock It Up Storage
 1903 North Washington Boulevard
 North Ogden, Utah



15 Mar, 2024
 SHEET NO.
C4.2

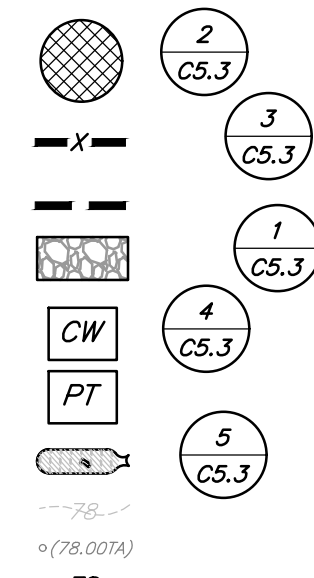
Know what's below. **811**
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Scale: 1" = 40'

Legend

- Place Inlet Protection at all Inlet Locations to prevent boxes from silting.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Sock
- Existing Contour
- Existing Spot
- Proposed Contour



Erosion Control Notes

1. Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleared if necessary.
2. The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
3. All Construction equipment will enter thru Designated Construction Entrances.
4. Coordinate Entrance locations with the local jurisdiction.
5. Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
6. Silt Fences shall be Repaired to their Original Conditions if Damaged, Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
7. The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
8. All Materials Spilled, Drapped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
9. Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
10. Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
11. Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
12. This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
13. Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
14. Re-vegetate areas where landscaping has died or not taken hold.
15. Divert storm water runoff around disturbed soils with berms or dirt swales.
16. Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
17. Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

| REV | DATE | DESCRIPTION |
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| | | |

Designed by: LC
 Drafted by: NT
 Client Name:
 Lock It Up Self Storage LLC
 20-127ec1

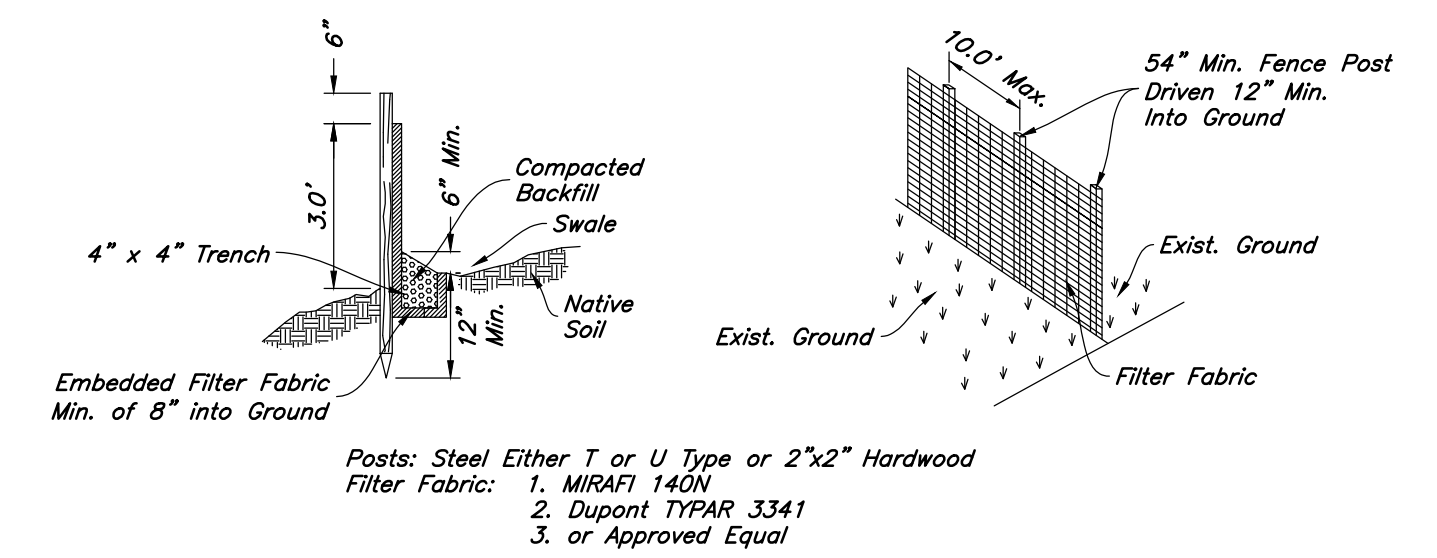


Erosion Control Plan - Phase 1
Lock It Up Storage
 1903 North Washington Boulevard
 North Ogden, Utah



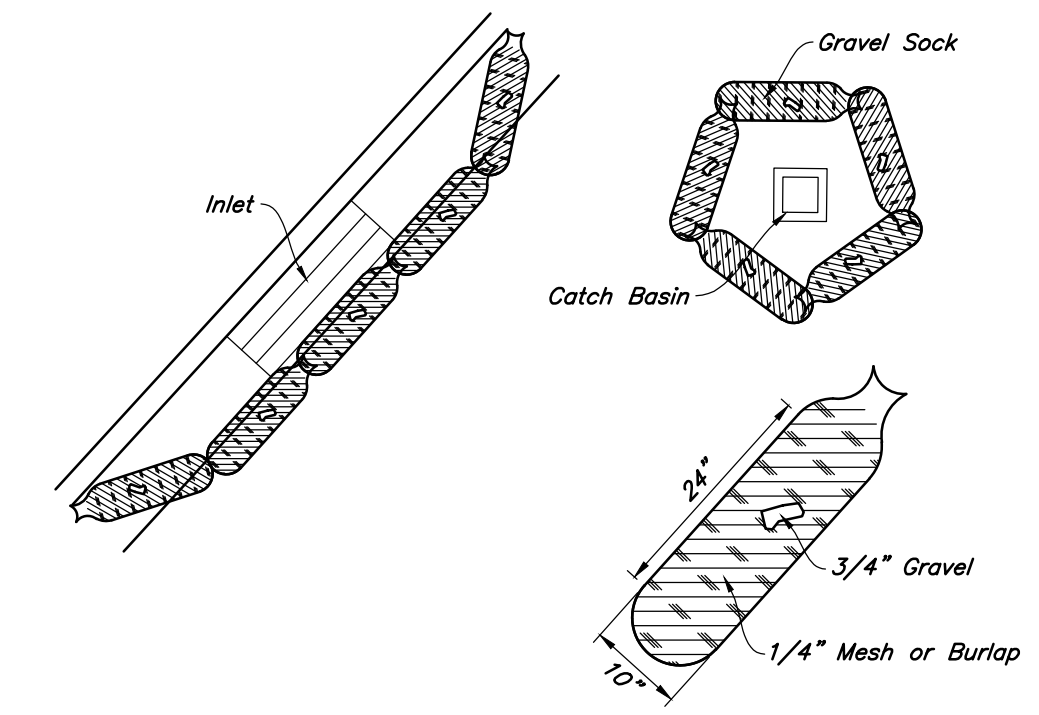
15 Mar, 2024
 SHEET NO.
C5.1



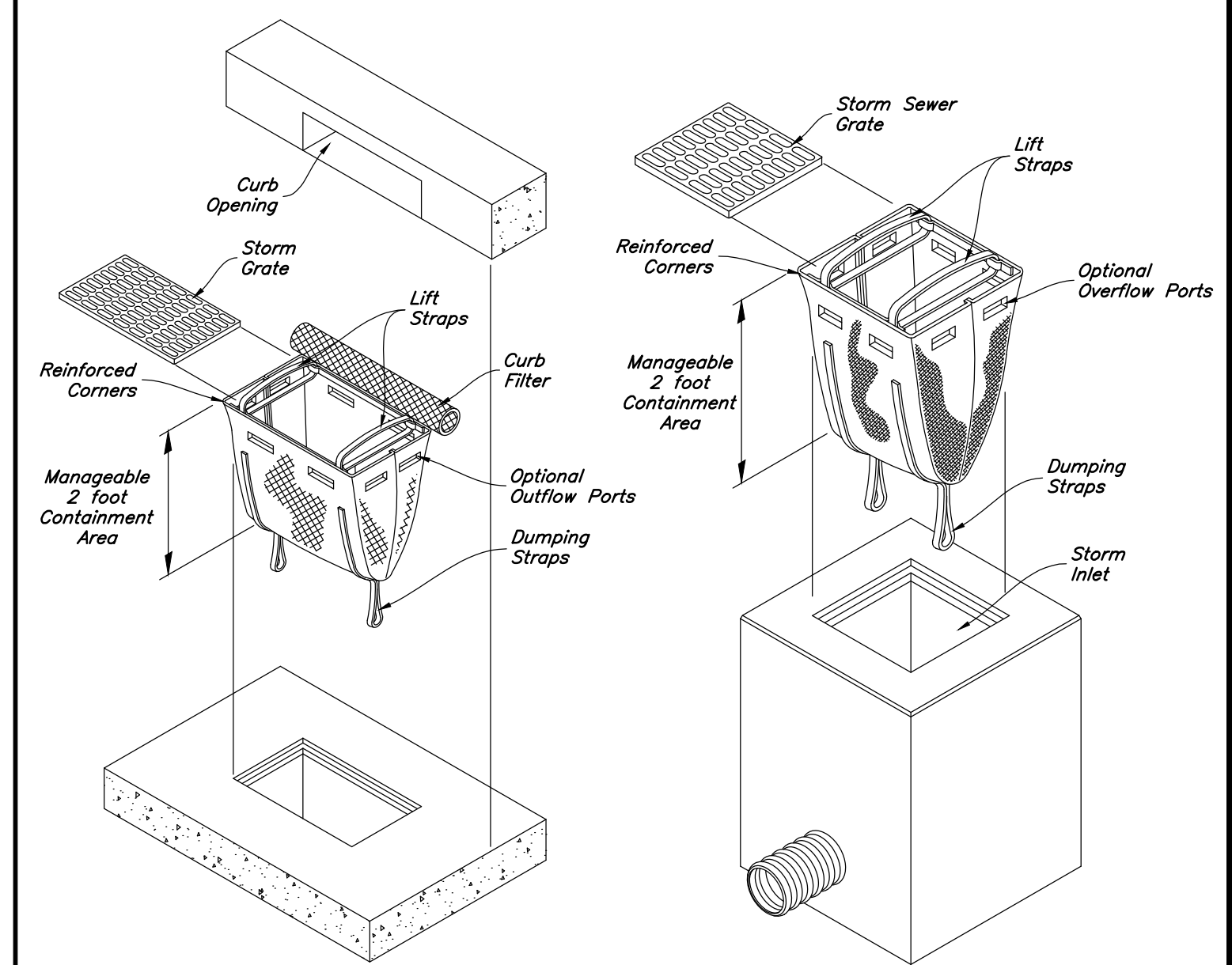


- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
 3. Collected material shall be removed when "bulges" develop in the silt fence.

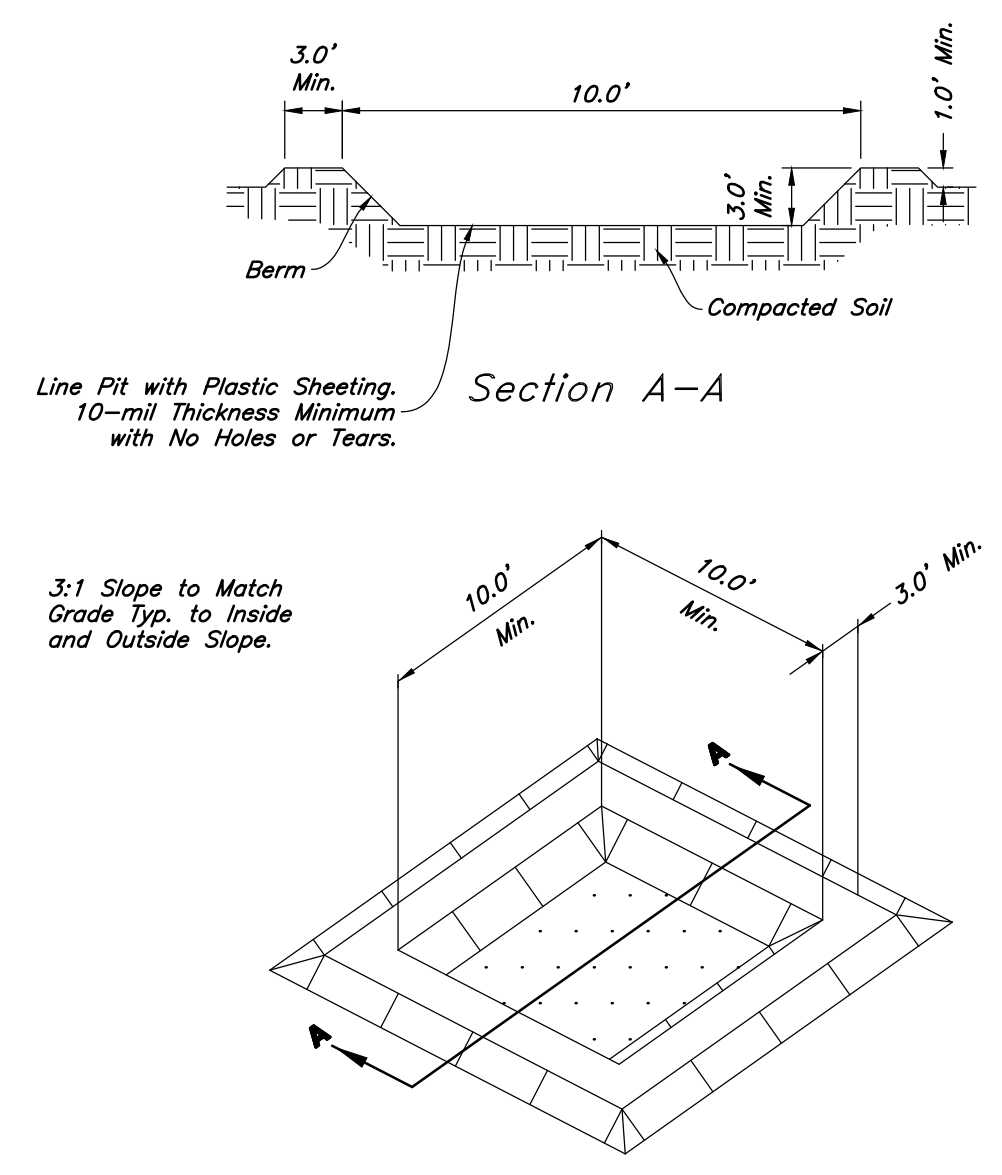
3 Silt Fence Section
Not to Scale



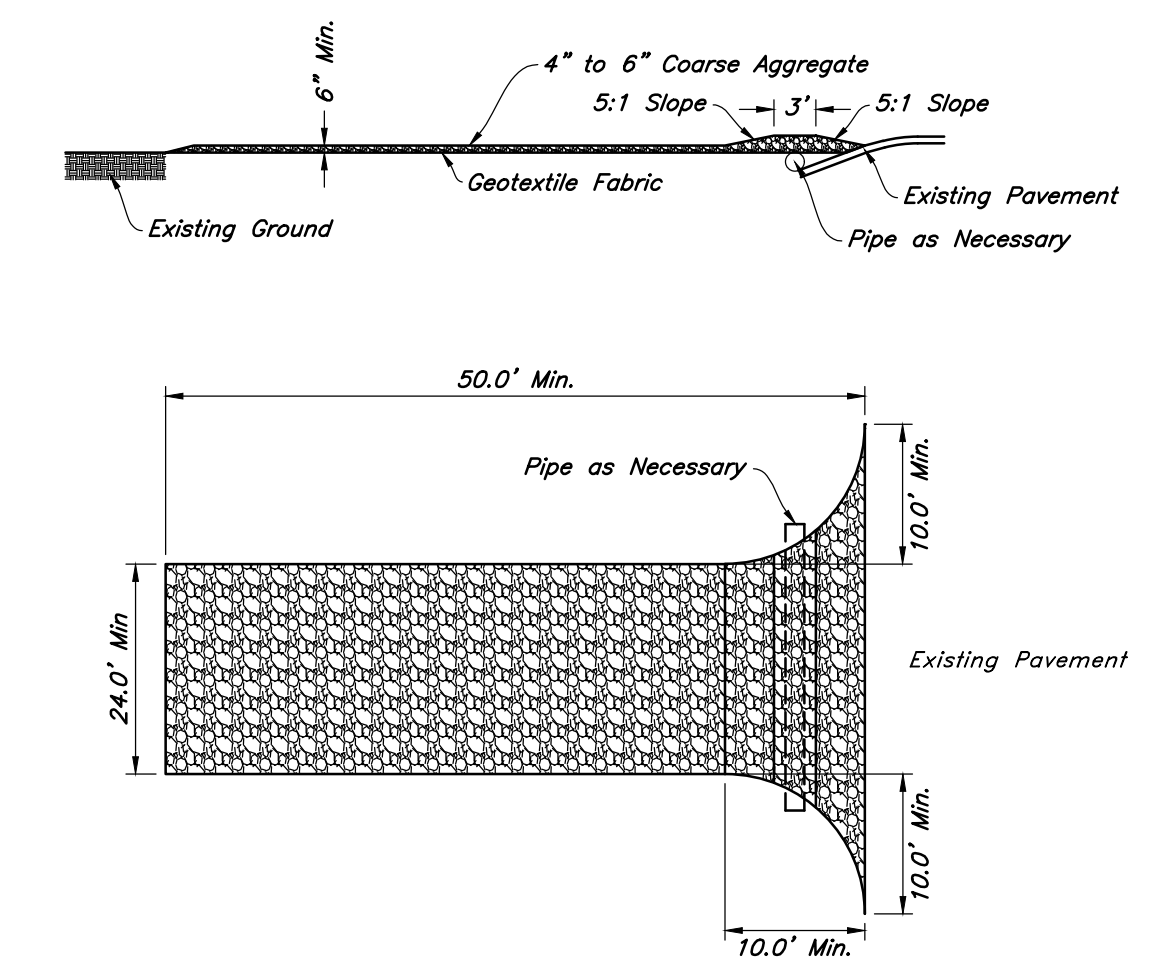
5 Gravel Sock Sediment Barrier
Not to Scale



2 Dandy Sack Inlet Protection
Not to Scale



4 Concrete Washout
Not to Scale



1 Stabilized Construction Entrance
Not to Scale

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Designed by: LC
Drafted by: NT
Client Name:
Lock It Up Self Storage LLC
20-127ec2



Erosion Control Details
Lock It Up Storage
1903 North Washington Boulevard
North Ogden, Utah



15 Mar, 2024
SHEET NO.
C5.3