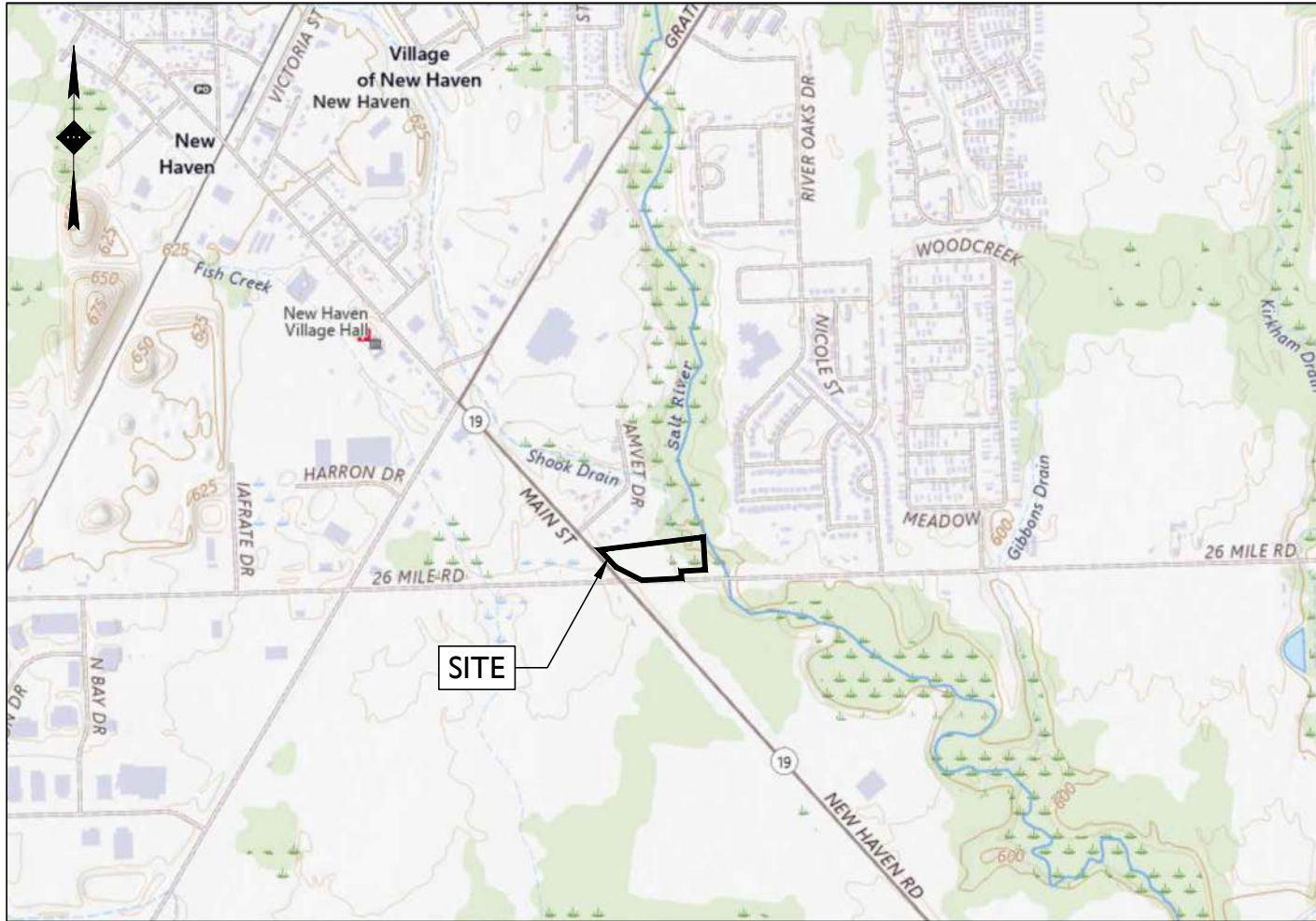
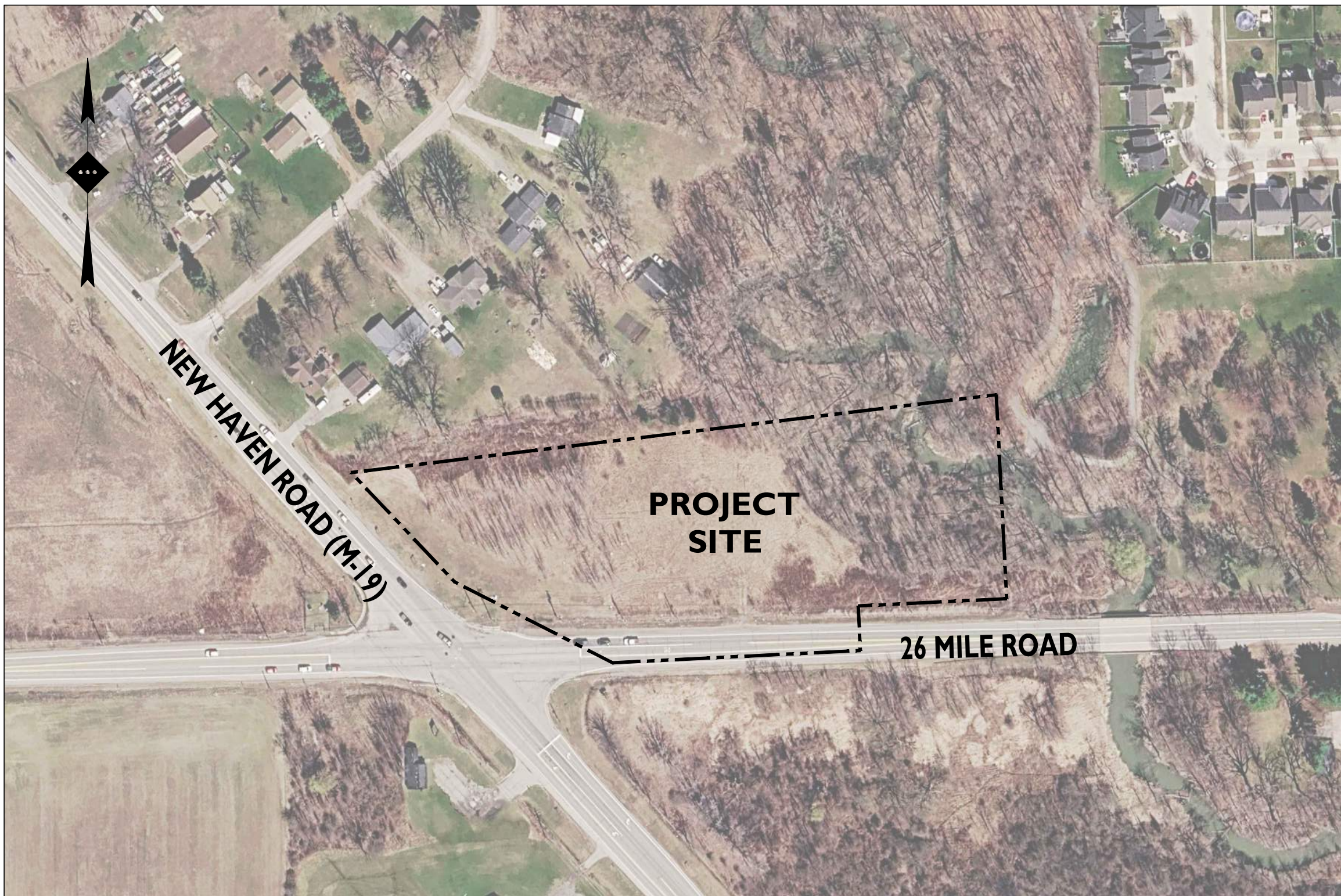




SOURCE: USGS TOPOGRAPHICAL MAP BUILDER

LOCATION MAP

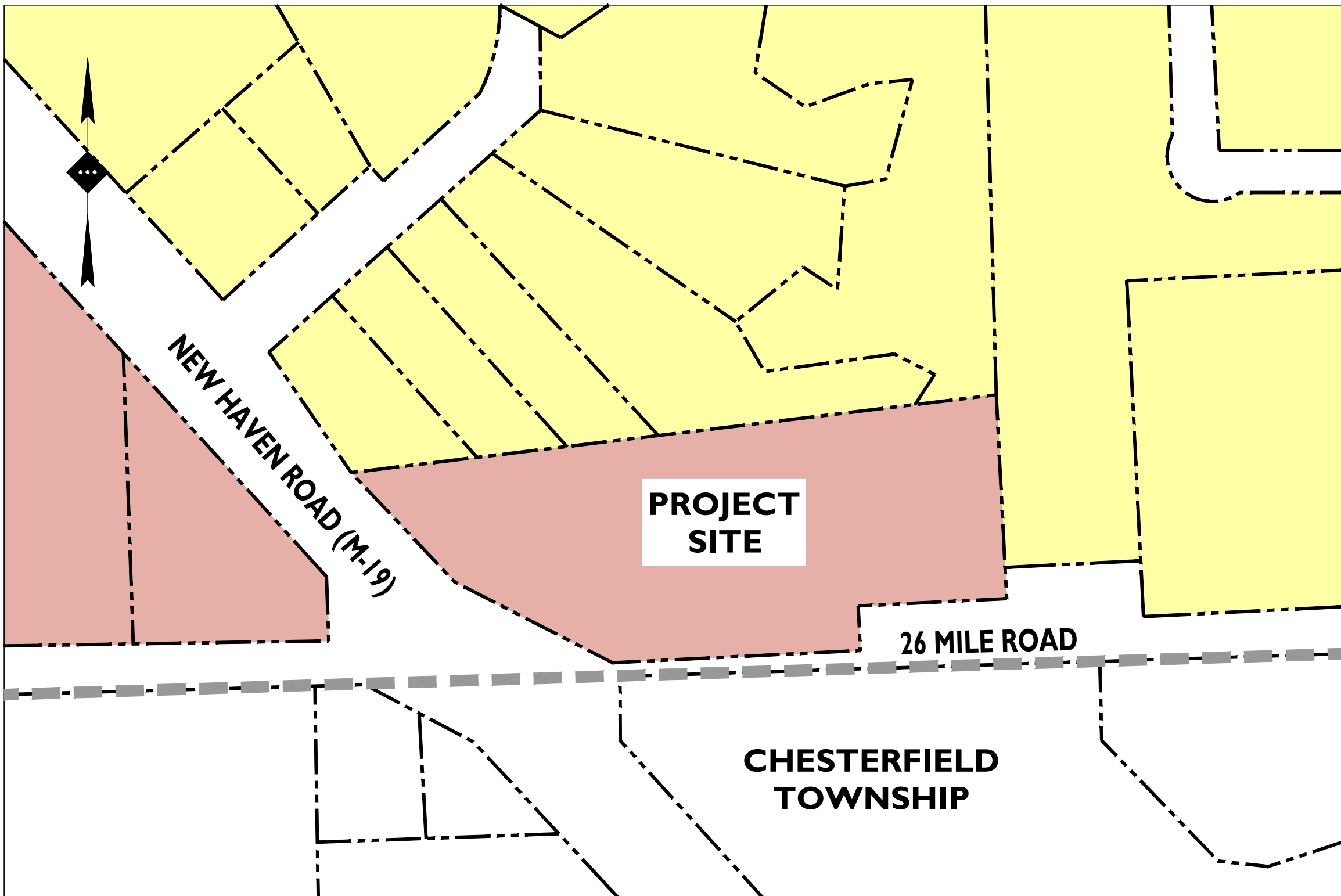
SCALE: 1" = 1500'±



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 150'±



SOURCE: VILLAGE OF NEW HAVEN ZONING MAP

GB: GENERAL BUSINESS
SF 1: SINGLE FAMILY

ZONING MAP

SCALE: 1" = 150'±

SITE DEVELOPMENT PLANS FOR YATOOMA OIL LLC PROPOSED VEHICLE FUELING STATION

PID: 15-09-03-100-022
56901 NEW HAVEN ROAD
NEW HAVEN, MACOMB COUNTY, MI

APPLICANT

YATOOMA OIL, LLC
51300 DANVIEW TECHNOLOGY COURT
SHELBY, MI 48315
586-327-1100
RANDYH@YATOOMAOIL.COM

NOT APPROVED FOR CONSTRUCTION

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SITE DEVELOPMENT PLANS

YATOOMA OIL
PROPOSED VEHICULAR
CONVENIENCE STATION

PID: 15-09-03-100-022
NORTHEAST CORNER OF NEW HAVEN ROAD AND 26 MILE ROAD
VILLAGE OF NEW HAVEN
MACOMB COUNTY, MICHIGAN

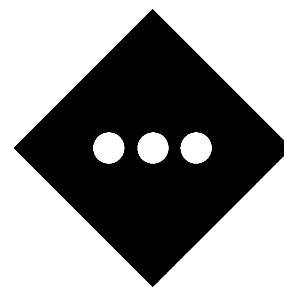
PARCEL DESCRIPTION:

LAND SITUATED IN THE VILLAGE OF NEW HAVEN, COUNTY OF MACOMB, STATE OF MICHIGAN DESCRIBED AS FOLLOWS: A PARCEL OF LAND LOCATED IN AND BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 34, TOWN 4 NORTH, RANGE 14 EAST, LENOX TOWNSHIP, MACOMB COUNTY, MICHIGAN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, COMMENCING AT A POINT 664.74 FEET EAST FROM THE SOUTHWEST CORNER OF SECTION 34, AND THENCE EXTENDING ALONG THE EASTERLY RIGHT OF WAY LINE OF NEW HAVEN ROAD NORTH 60 DEGREES 02 MINUTES 04 SECONDS WEST 239.03 FEET AND NORTH 40 DEGREES 35 MINUTES 04 SECONDS WEST 203.94 FEET, THENCE NORTH 85 DEGREES 58 MINUTES 10 SECONDS EAST, 875.23 FEET, THENCE SOUTH 00 DEGREES 05 MINUTES 00 SECONDS EAST 275.79 FEET, THENCE WEST 200.00 FEET ALONG THE NORTH LINE OF 26 MILE ROAD (120 FEET WIDE), THENCE SOUTH 00 DEGREES 05 MINUTES 00 SECONDS EAST 60.00 FEET, THENCE WEST 333.80 FEET ALONG THE SOUTH SECTION LINE, ALSO BEING THE CENTERLINE OF 26 MILE ROAD, TO THE POINT OF BEGINNING, BEING THE SAME PROPERTY AS DESCRIBED IN AN ALTA COMMITMENT FOR TITLE INSURANCE PREPARED BY BIRMINGHAM TITLE AGENCY AS ISSUING AGENT FOR WESTCOR LAND TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: BT-13614, COMMITMENT DATE: FEBRUARY 24, 2026.



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PLANS PREPARED BY:



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Phone 248.247.1115

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA / NSPS LAND TITLE SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, DATED 04/20/2026
 - ARCHITECTURAL PLANS BY UMLOR GROUP
 - AERIAL MAP RETRIEVED FROM GOOGLE EARTH PRO, RETRIEVED 06/25/2026
 - LOCATION MAP RETRIEVED FROM USGS TOPOGRAPHICAL MAP BUILDER, RETRIEVED 06/25/2026
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
SITE PLAN	C-2
GRADING PLAN	C-3
STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
UTILITY PLAN (FIRE)	C-6
LIGHTING PLAN	C-7
LANDSCAPING PLAN	C-8 & C-9
FIRE SUPPRESSION PLAN	C-10
CONSTRUCTION DETAILS	C-11

ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	1 OF 1



STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: DET-250599

TITLE:

COVER SHEET

DRAWING:

C-1

Y:\01250599\YATOOMA OIL, LLC\26 MILE AND NEW HAVEN ROAD, NEW HAVEN, MI\CD01250599-01.COV.DWG

LAND USE AND ZONING		
PID: 15-09-03-100-022		
GENERAL BUSINESS DISTRICT (GB)		
PROPOSED USE	SPECIAL LAND USE	
VEHICLE CONVENIENCE STATION	SPECIAL LAND USE	
OUTDOOR SALES		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	20,000 SF	214,820 SF (4.93 AC)
MINIMUM LOT WIDTH	150 FT	280.4 FT
MAXIMUM BUILDING COVERAGE	35%	3.35% (7,200 SF)
MINIMUM BUILDING HEIGHT	35 FT (2 STORIES)	< 35 FT
MINIMUM FRONT YARD SETBACK	35 FT	91.0 FT
MINIMUM SIDE YARD SETBACK	15 FT	463.5 FT
MINIMUM REAR YARD SETBACK	15 FT	64.4 FT
MINIMUM FRONT YARD PARKING SETBACK	20 FT	35.0 FT
MINIMUM SIDE YARD PARKING SETBACK	10 FT	10.0 FT
MINIMUM CANOPY SETBACK	30 FT	59.5 FT

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 515-101.D	VEHICULAR CONVENIENCE STATION: MINIMUM OF 5 SPACES, PLUS 4 SPACES PER SERVICE STALL 5 SPACES + (4 SPACES)(0 STALLS) = 5 SPACES RETAIL: 1 SPACE PER 175 SF OF GROSS FLOOR AREA (7,200 SF) (1 SPACE / 175 SF) = 41 SPACES TOTAL: 5 + 41 = 46 SPACES	49 SPACES
§ 515-101.B	90° PARKING: 9 FT X 18 FT WITH 24 FT AISLE	9 FT X 18 FT W/ 24 FT AISLE
§ 515-101.B	LOADING: 10 FT X 50 FT, 1 SPACE REQUIRED	10 FT X 50 FT 1 SPACE PROVIDED

PROPOSED UNDERGROUND STORAGE TANKS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, & FEDERAL REGULATIONS INCLUDING SECONDARY CONTAINMENT & LAKE DETECTION MEASURES

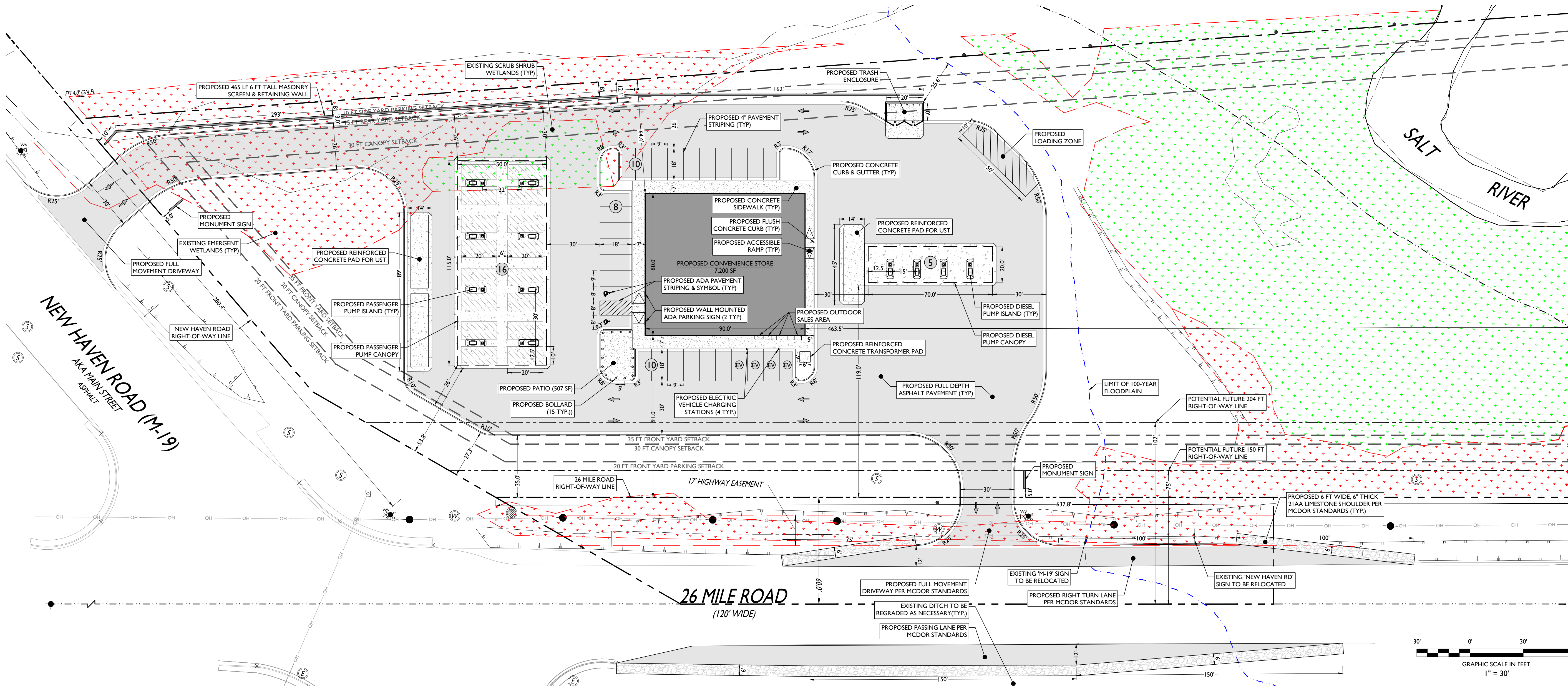
REMOVAL / RELOCATION OF WETLANDS WITHIN FOOTPRINT OF DEVELOPMENT TO BE COORDINATED WITH EGLE.

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

SYMBOL

	PROPERTY LINE
	100-YEAR FLOODPLAIN LIMIT
	SETBACK LINE
	PROPOSED CURB
	PROPOSED FLUSH CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	EXISTING SCRUB SHRUB WETLANDS
	EXISTING EMERGENT WETLANDS



YATOOMA OIL PROPOSED VEHICULAR CONVENIENCE STATION

PID: 15-09-03-100-022
NORTHEAST CORNER OF NEW HAVEN ROAD AND 26 MILE ROAD
VILLAGE OF NEW HAVEN
MACOMB COUNTY, MICHIGAN



STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: DET-250599

TITLE:

SITE PLAN

DRAWING:

C-2

BENCHMARKS:

BENCHMARK #1: SET CAPPED IRON LOCATED AT THE INTERSECTION OF THE NORTHERLY LINE OF 26 MILE RD AND THE EASTERLY LINE OF NEW HAVEN ROAD - 609.74'

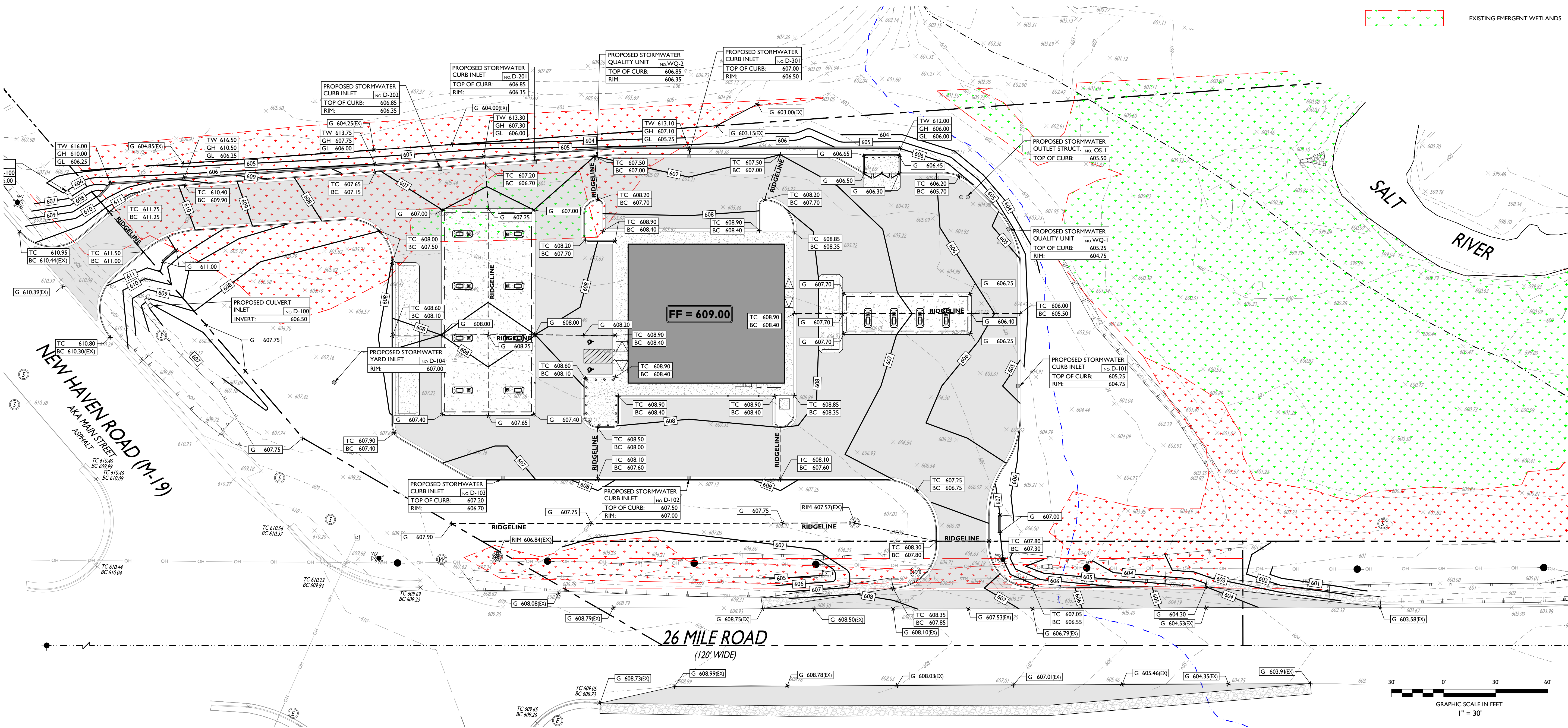
BENCHMARK #2: FOUND CAPPED IRON ON EASTERLY LINE OF NEW HAVEN ROAD - 612.03'

GRADING NOTES

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
- FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



SYMBOL

- PROPERTY LINE
- 100-YEAR FLOODPLAIN LIMIT
- PROPOSED GRADING CONTOUR
- PROPOSED GRADING RIDGELINE
- PROPOSED DIRECTION OF DRAINAGE FLOW
- × G 100.00 PROPOSED GRADE SPOT SHOT
- × TC 100.50 PROPOSED TOP OF CURB /
BC 100.00 BOTTOM OF CURB SPOT SHOT
- × TW 102.00 PROPOSED TOP OF WALL /
BW 100.00 BOTTOM OF WALL SPOT SHOT
- EXISTING SCRUB SHRUB WETLANDS
- EXISTING EMERGENT WETLANDS

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SITE DEVELOPMENT PLANS
YATOOMA OIL
PROPOSED VEHICULAR
CONVENIENCE STATION

PID: 15-09-03-100-022
NORTHEAST CORNER OF NEW HAVEN ROAD AND 26 MILE ROAD
VILLAGE OF NEW HAVEN
MACOMB COUNTY, MICHIGAN



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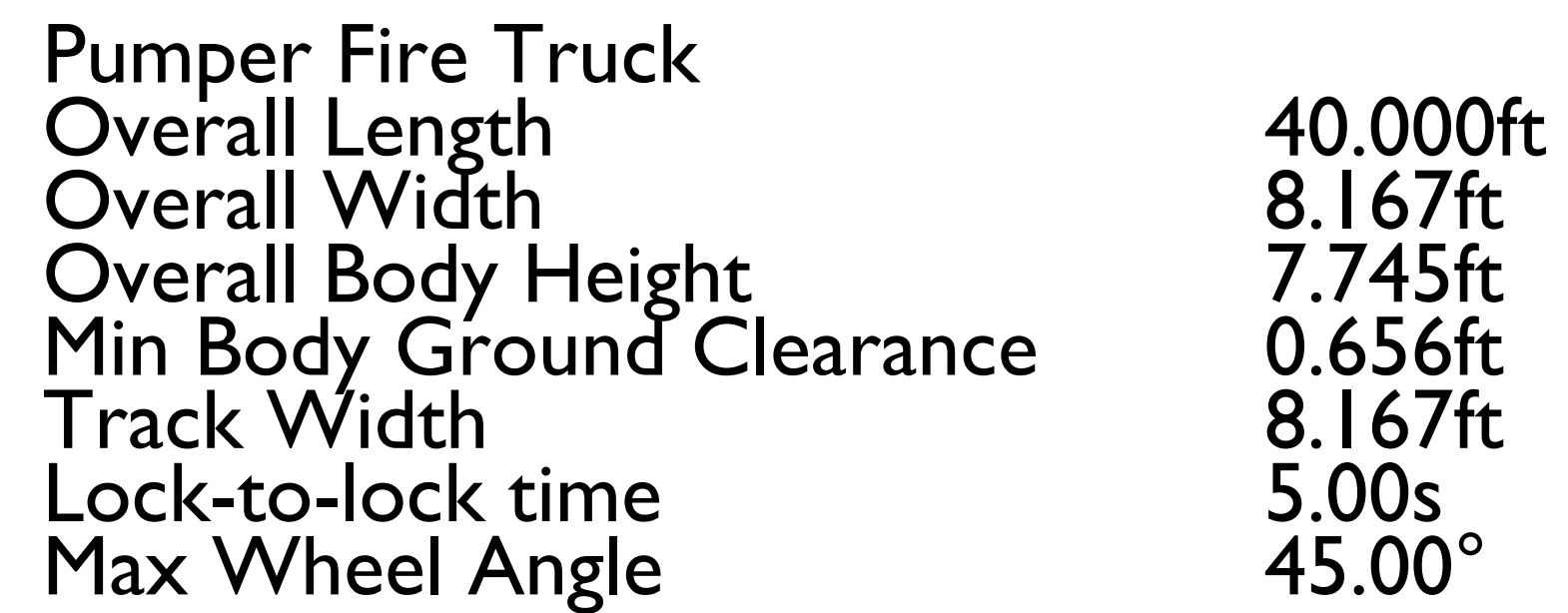
SCALE: 1" = 30' PROJECT ID: DET-250599

TITLE:

GRADING PLAN

DRAWING:

C-3



The site plan illustrates the fire truck circulation paths and hose lay limits for a building complex. The circulation paths are shown as red lines, and the hose lay limits are indicated by blue dashed lines. The plan includes labels for 'NEW HAVEN ROAD (M-19) AKA MAIN STREET ASPHALT', '26 MILE ROAD (120' WIDE)', and 'EXISTING FIRE HYDRANT'. A graphic scale bar at the bottom right indicates 1 inch equals 30 feet.

[illegible]

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SITE DEVELOPMENT PLANS

YATOOMA OIL

**PROPOSED VEHICULAR
CONVENIENCE STATION**

PID: 15-09-03-100-022
SOUTHWEST CORNER OF NEW HAVEN ROAD AND
VILLAGE OF NEW HAVEN
MACOMB COUNTY, MICHIGAN



STONEFIELD
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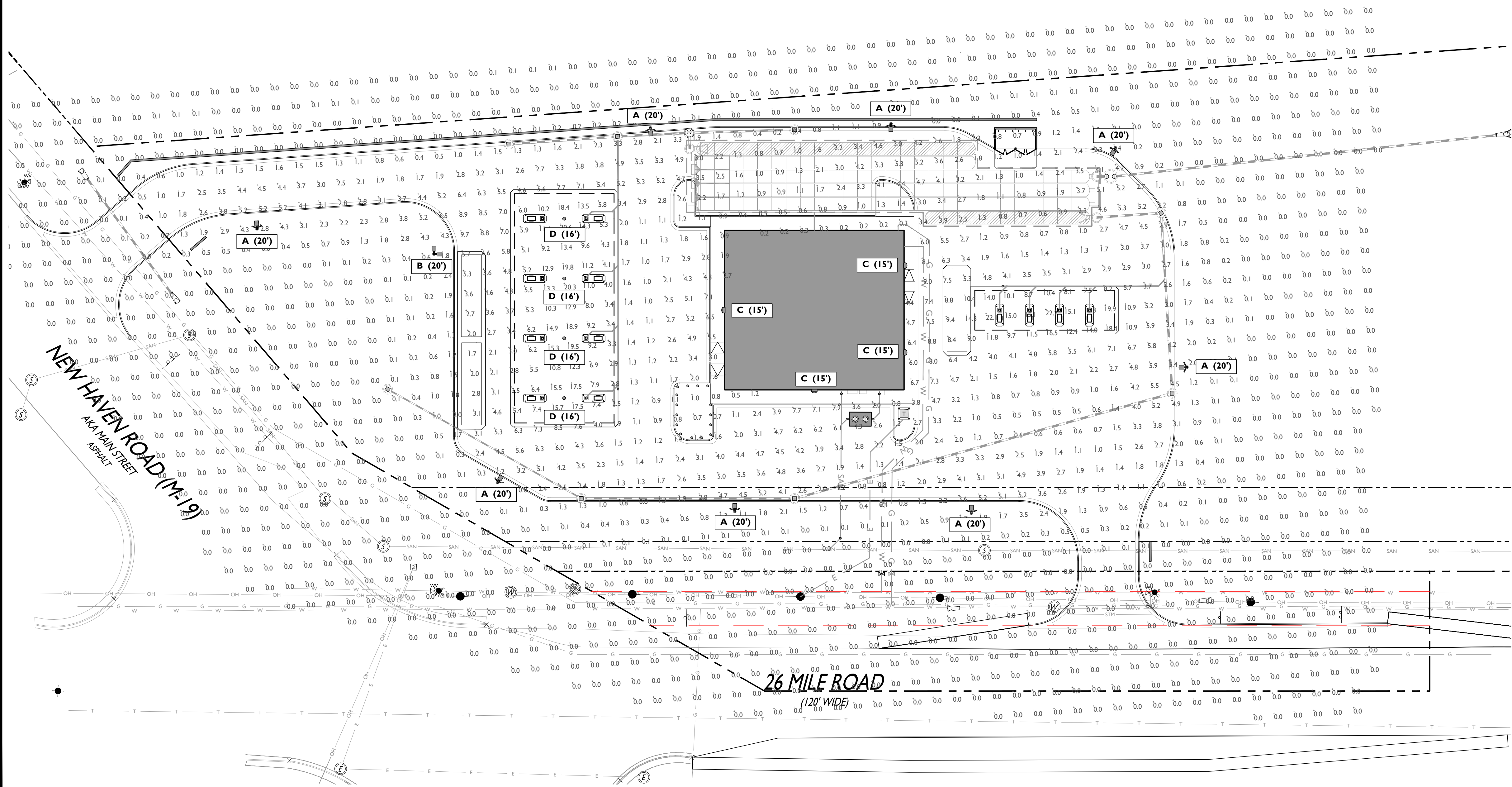
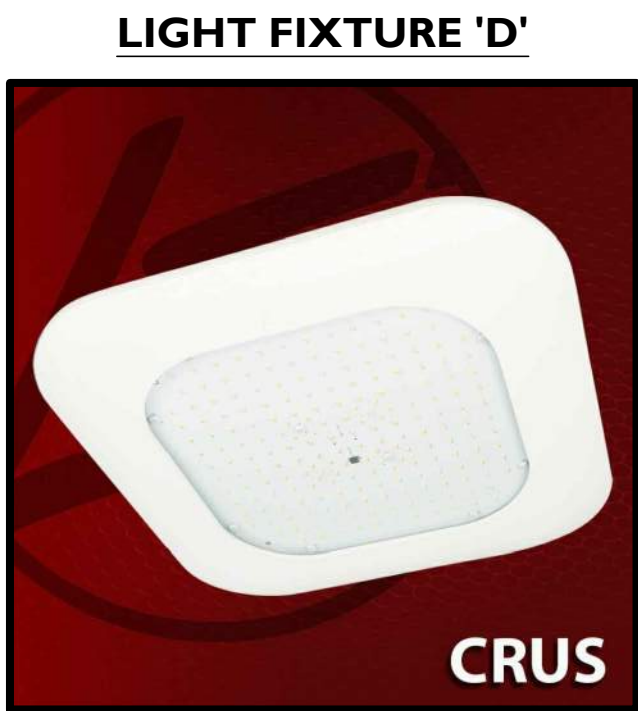
SCALE:	1" = 30'	PROJECT ID: DET-250599
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UTILITY PLAN (FIRE)

DRAWING:

C-6

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	18	LSI MIRADA MEDIUM OUTDOOR LED AREA LIGHT - 18,000 LUMEN PACKAGE	TYPE III	0.9	LSI LIGHTING	MRM-LED-18LSIL-3-40-70CRI-IL
	B	1	LSI MIRADA MEDIUM OUTDOOR LED AREA LIGHT - 18,000 LUMEN PACKAGE	TYPE III	0.9	LSI LIGHTING	MRM-LED-18LSIL-3-40-70CRI-IL
	C	4	LSI MIRADA MEDIUM WALL SCONCE - 15,000 LUMEN PACKAGE	TYPE III	0.9	LSI LIGHTING	XWM-3-LED-15SL-40-70CRI
	D	7	SCOTTSDALE LEGACY (CRUS) LED CANOPY LUMINAIRE	N/A	0.9	LSI LIGHTING	CRUS-SC-HO-40



<u>SYMBOL</u>	<u>DESCRIPTION</u>
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
⁺ X,X	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

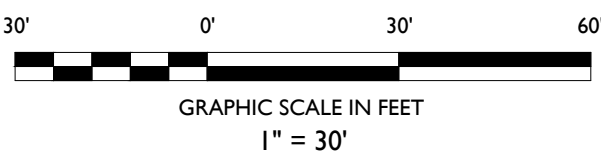
GENERAL LIGHTING NOTES

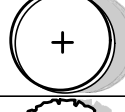
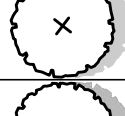
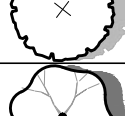
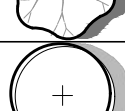
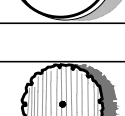
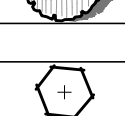
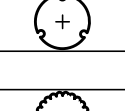
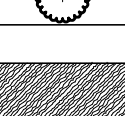
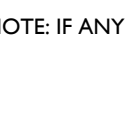
1. THE LIGHTING LEVELS DEPECTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER, ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE FACTORS SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WHENEVER AVAILABLE, THE EXISTING LIGHT LEVELS DEPECTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURERS DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:

• LIGHT EMITTING DIODES	0.90
• HIGH PRESSURE SODIUM	0.72
• METAL HALIDE	0.77
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING LIGHTING LOCATIONS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AN AS-BUILT PLAN OF THE WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ATTN LIGHTING NOTES:

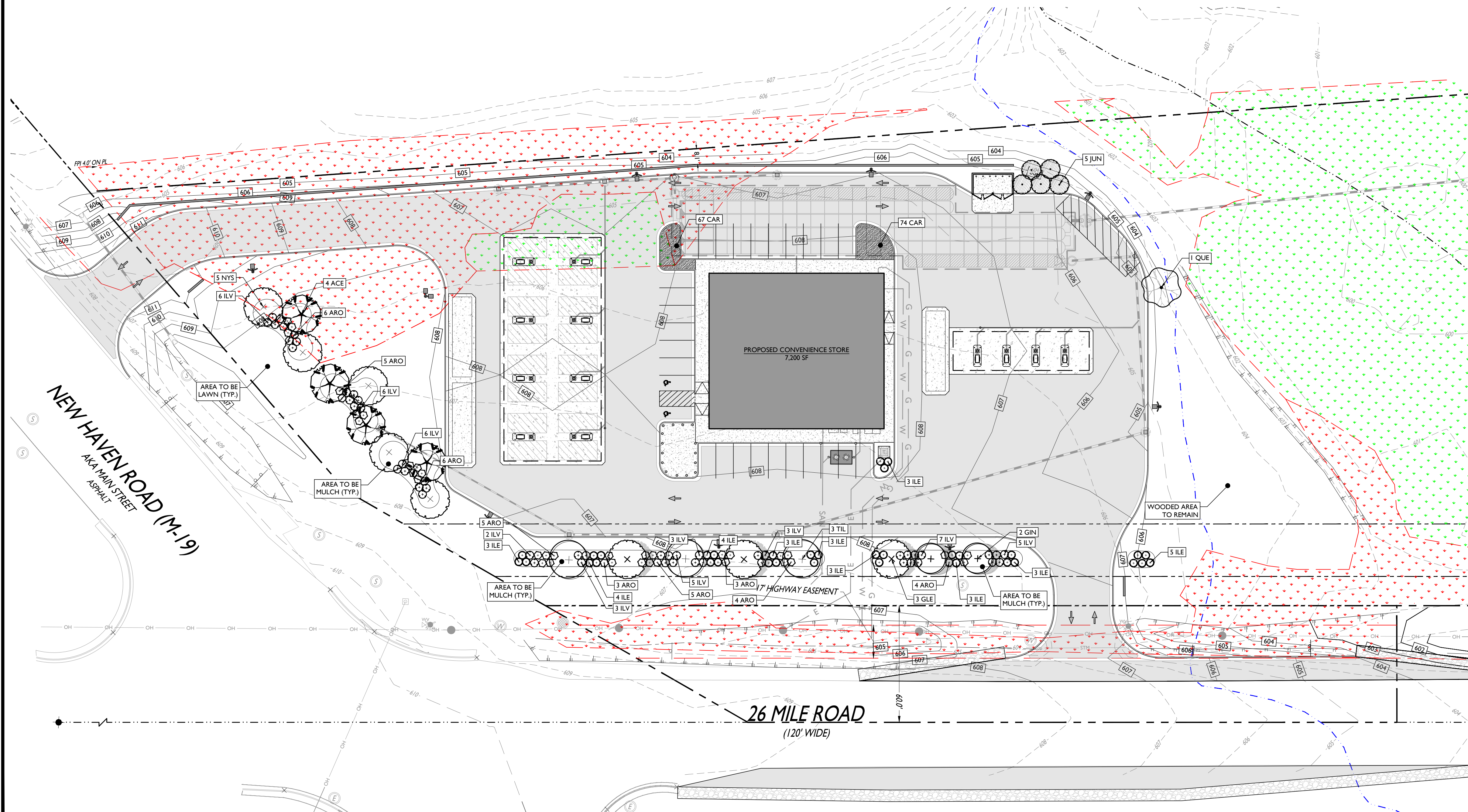
1. THE CONTRACTOR SHALL REPLACE LAMP COVERS, RELAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS OTHERWISE NOTED. THE EXISTING FIXTURE IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
FIXTURE X = MINIMUM WATTAGE
2. PRIOR TO THE START OF THE CONTRACT, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED IN THE PLAN SET.
3. THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) ARE CAPABLE OF SUPPORTING THE PROPOSED LIGHTS AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTS TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED LIGHTS SHALL NOT INTERFERE WITH OR OTHERWISE CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENTS (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IF ANY EXISTENCE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
5. ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT AT RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE THE PROPOSED LIGHTS. WITHIN THE 60 FOOT AT RADIUS, SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL EXISTING LANDSCAPE, TREES AND PLANTS. THE CONTRACTOR SHALL LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
6. PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER IMMEDIATELY IF STOPPING LIGHTS OR OTHER TYPES OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
7. THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
8. ALL LIGHTING SHALL BE OPERABLE UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET. HAVE THE PHOTOCELL OPTION ENABLED.
9. EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDSCAPE LIGHTS, STATION LIGHTS, ETC.) WITHIN THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM LIGHTING REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE ALL UNCONTROLLED LIGHT FIXTURES.

[illegible]

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	ACE	4	ACER RUBRUM	RED MAPLE	2.5' - 3" CAL	B&B
	GIN	2	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	2.5' - 3" CAL	B&B
	GLE	3	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.5' - 3" CAL	B&B
	NYS	5	NYSSA SYLVATICA	TUPELO	2.5' - 3" CAL	B&B
	QUE	1	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5' - 3" CAL	B&B
	TIL	3	TILIA CORDATA	LITTLELEAF LINDEN	2.5' - 3" CAL	B&B
EVERGREEN TREES						
	JUN	5	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8' - 10' HT	B&B
SHRUBS						
	ARO	41	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY	24" - 30"	POT
	ILV	46	ILEX VERTICILLATA	WINTERBERRY	24" - 30"	POT
EVERGREEN SHRUBS						
	ILE	34	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	30" - 36"	POT
GROUND COVERS						
	CAR	141	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	POT, 24" O.C.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 515.91.B.1	SCREENING REQUIREMENTS	
	SCREEN WALL- 5 FT GREENBELT ADJACENT TO SCREEN WALL FOR ITS ENTIRE LENGTH	8.1 FT
	GREENBELT REQUIREMENT	
	1 LARGE DECIDUOUS OR EVERGREEN TREE AND 4 SHRUBS FOR EVERY 30 LF	9 TREES
	NEW HAVEN ROAD: 257 LF (257 LF) / (30 LF) * (1 TREE) = 9 TREES (257 LF) / (30 LF) * (4 SHRUBS) = 35 SHRUBS	35 SHRUBS
§ 515.91.D	26 MILE ROAD: 637 LF (637 LF) / (30 LF) * (1 TREE) = 22 TREES	
	(637 LF) / (30 LF) * (4 SHRUBS) = 85 SHRUBS	8 PROPOSED TREES + EXISTING WOODED AREA TO REMAIN 85 SHRUBS
	INTERIOR LANDSCAPING REQUIREMENTS	
	INTERIOR LANDSCAPING AREAS SHALL BE PROVIDED EQUAL TO AT LEAST 5% OF TOTAL LOT AREA (21,820 SF) * (0.05) = 10,741 SF OF LANDSCAPE AREA	145,190 SF
	1 TREE AND 2 SHRUBS FOR EVERY 400 SF OF INTERIOR AREA (10,741 SF / 400 SF) * (1 TREE) = 27 TREES (10,741 SF / 400 SF) * (2 SHRUBS) = 54 SHRUBS	17 PROPOSED TREES + EXISTING WOODED AREA TO REMAIN 120 SHRUBS
§ 515.91.E.1	PARKING LOT LANDSCAPING REQUIREMENTS	
	20 SF OF LANDSCAPING FOR EVERY 10 PARKING SPACES (50 SPACES / 10) (20 SF) = 100 SF	664 SF
§ 515.91.E.2a	1 TREE FOR EVERY 100 SF OF REQUIRED LANDSCAPING AREA (100 SF) / (100 SF) = 1 TREE	1 TREE
§ 515.160.A.5	VEHICLE CONVENIENCE STATIONS	
	5 FT WIDE GREENBELT SHALL BE INSTALLED ADJACENT TO REQUIRED WALL	8.1 FT



TREE STAKES, GUY WIRES AND TREE WRAP ARE TO BE REMOVED AFTER 1 YEAR



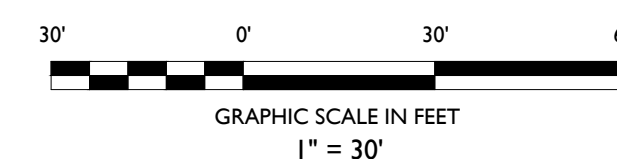
Know what's **below**
Call before you dig.

IRRIGATION NOTE:

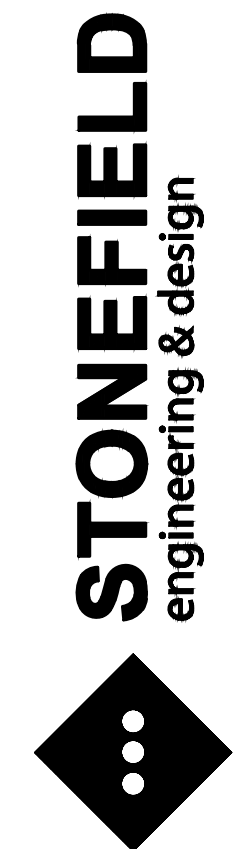
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE FOR EACH OF THE PSI RATES. CONTRACTOR TO PROVIDE PUMP, PUMP SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS TO A MINIMUM 4 INCH DEPTH OF SOFT TISSUE.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. ALL SLOPES SHALL BE SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN THE LINE OF LANDSCAPED AREAS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



NOT APPROVED FOR CONSTRUCTION



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SITE DEVELOPMENT PLANS

YATOOMA OIL

PROPOSED VEHICULAR CONVENIENCE STATION

PID: 15-09-03-100-022
NORTHEAST CORNER OF NEW HAVEN ROAD AND 26 MILE ROAD
VILLAGE OF NEW HAVEN
MACOMB COUNTY, MICHIGAN



SCALE:	1" = 30'	PROJECT ID: DET-250599
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TITLE:

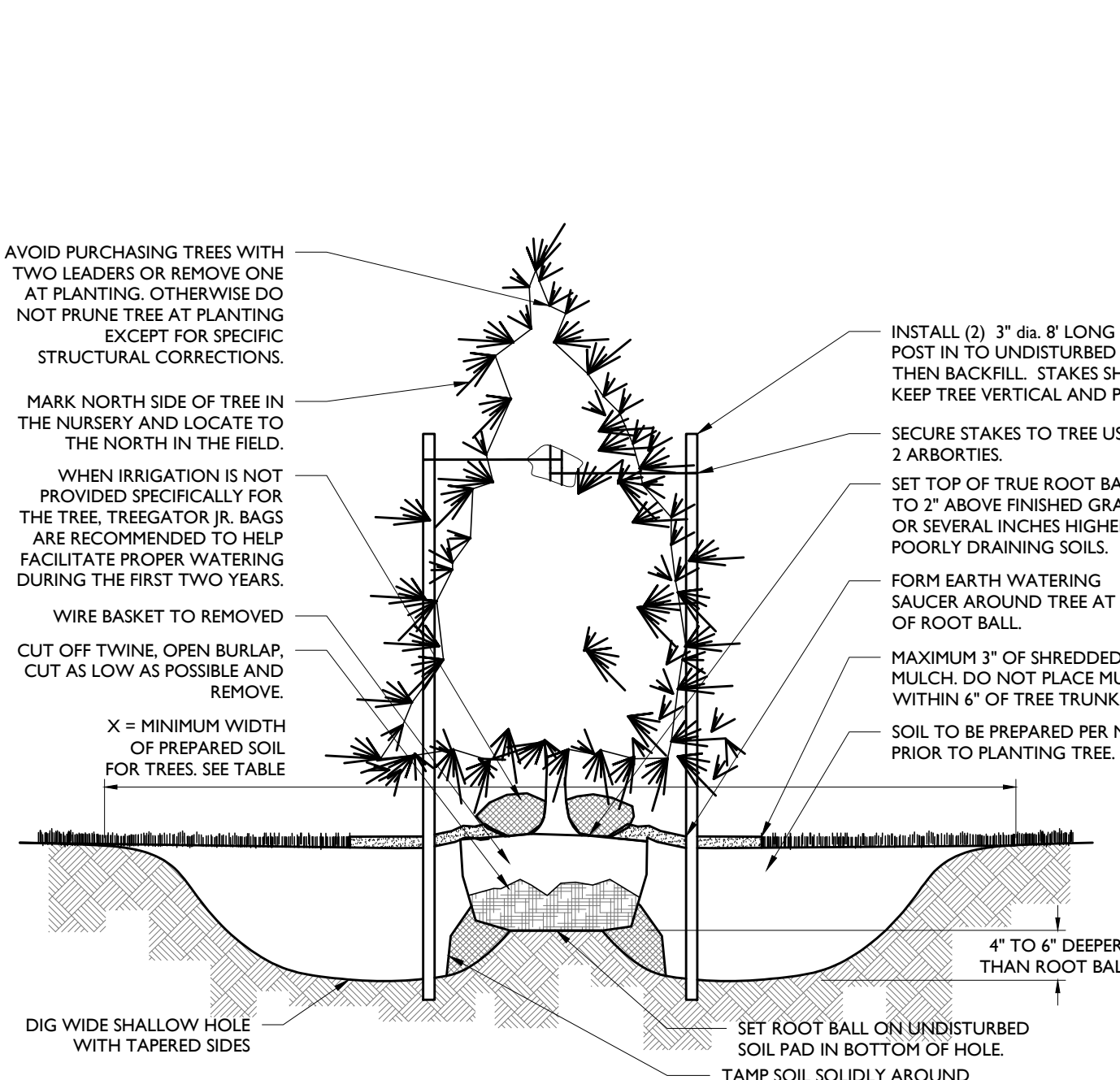
LANDSCAPING PLAN

DRAWING:

C-8

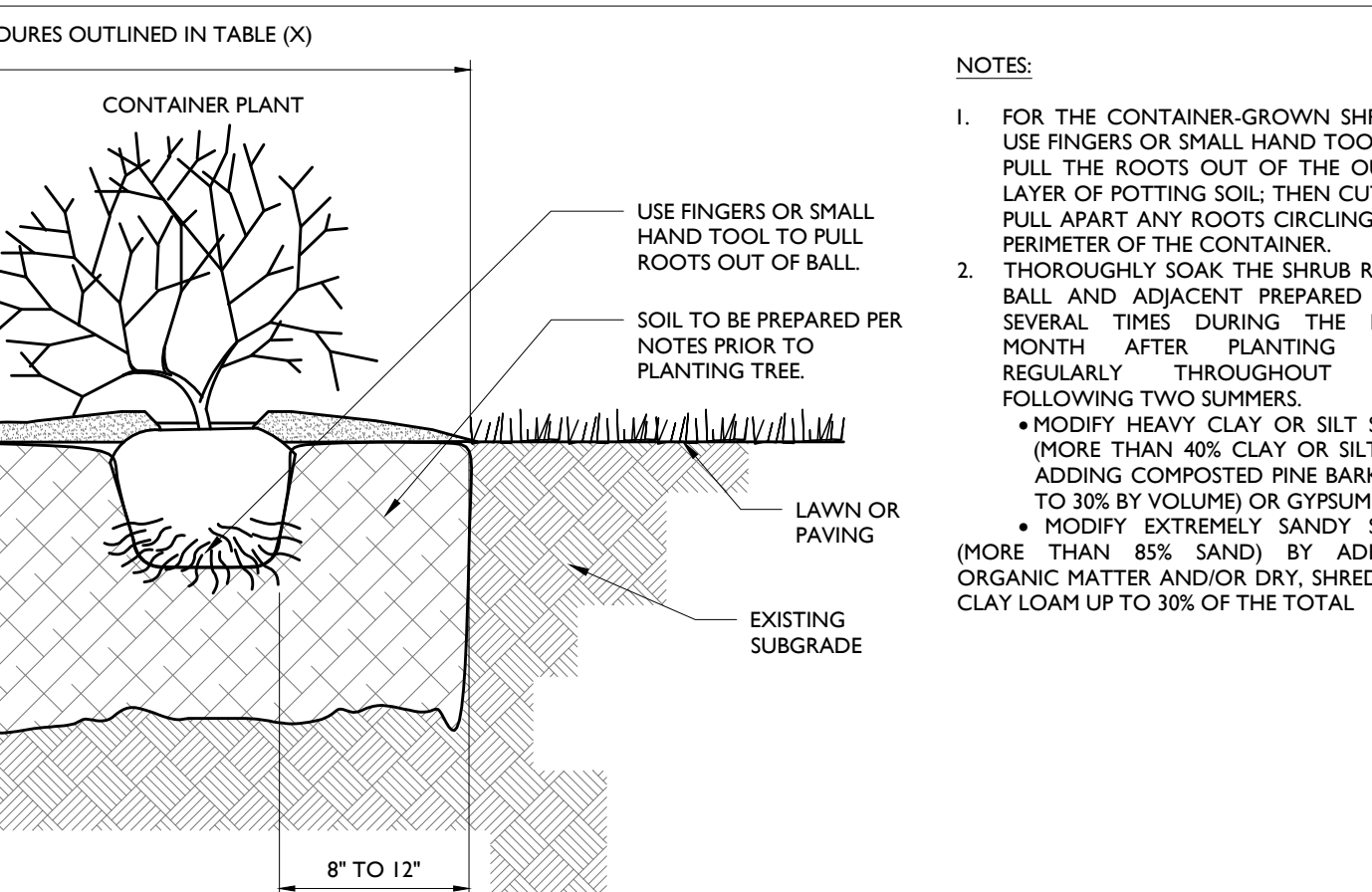
NOTES

2. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF THE POTTING SOIL; THEN CUT OR PRUN APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
3. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
4. SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



CONIFEROUS TREE PLANTING DETAIL

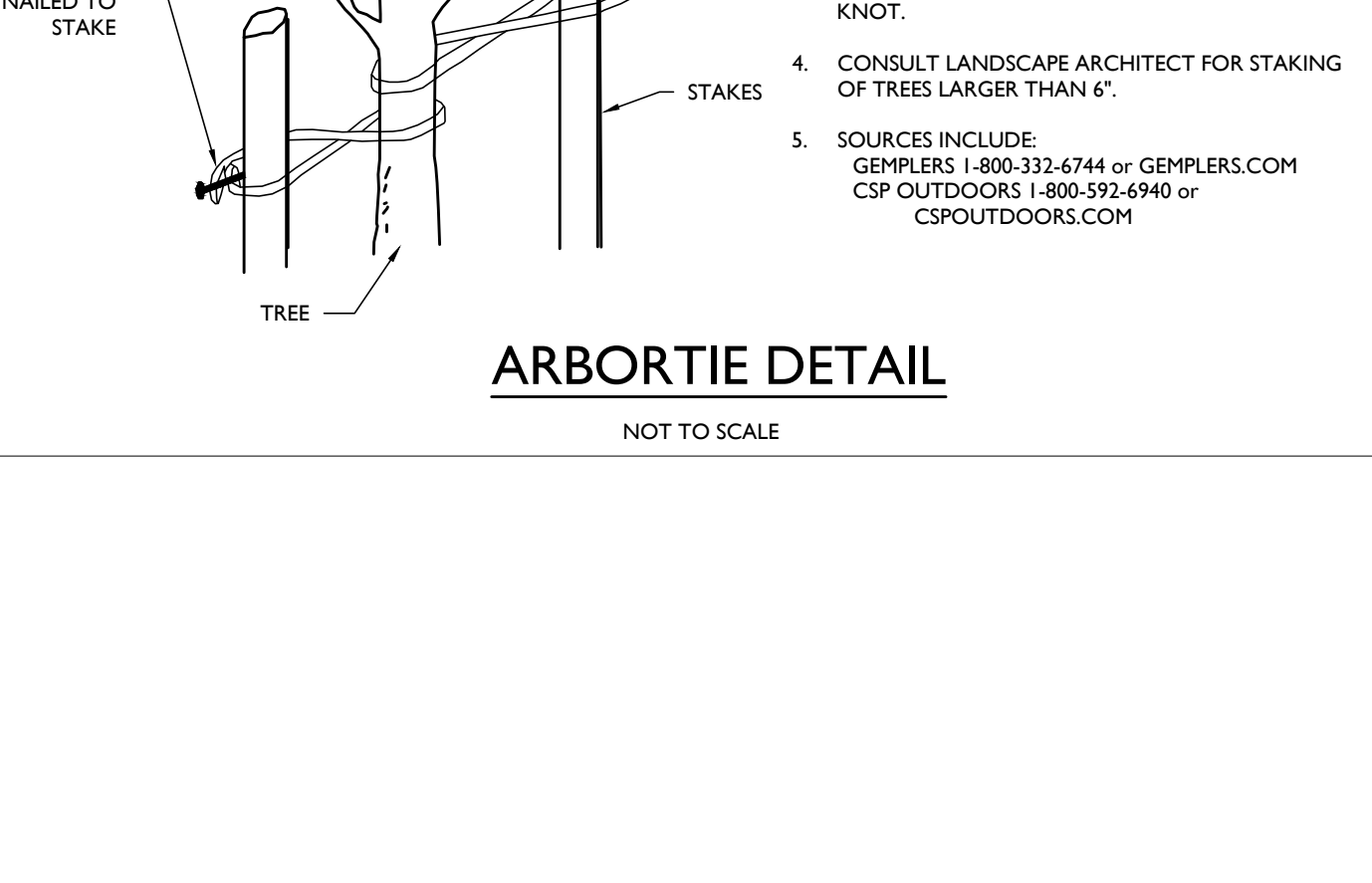
NOT TO SCALE



PLANTING DETAIL

3

-
- ARBOR TIE
- INSTALLATION GUIDELINES:
1. LOOP TIE AROUND TREE AND NAIL TO CEDAR STAKE.
 2. REMOVE ALL STAKING AND TIES AT END OF FIRST GROWING SEASON.
 3. HOLD TIES AS SUPPORTS ONLY. DO NOT USE STAKES



PLANT QUALITY AND HANDLING NOTES

- [illegible]

WITH SOIL OR MULCH AND THEN WATERING

8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARP OR OTHER SUITABLE COVERING SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE KEPT CLEAN AND FREE OF DIRT AND DEBRIS. PLANTS SHALL BE LOADED AND UNLOADED CAREFULLY, WITHOUT SHAKING, TIPPING, OR DIPPING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE PLANTS IN ALL WEATHER CONDITIONS, INCLUDING HOT, COLD, OR ARE IN TEMPORARY STORAGE.
9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTING LONG THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT INSTALLED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE KEPT MOIST AT ALL TIMES UNTIL THEY ARE FULLY ESTABLISHED. PLANTS THAT ARE DROOPING, WILTING, OR HAVE BROWNED, CRACKED, OR LEAF LOSS, PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEADED UP WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH BIRTS OR OTHER DEFECTS SHALL BE REJECTED. PLANTS SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY PLANTS THAT ARE HEALTHY AND FREE OF DISEASE OR INJURY SHALL BE REMOVED.
13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REMOVE THE PLANTING AND REPLACE WITH ANOTHER PLANTING OF THE SAME SPECIES AND SIZE.
14. IF PLANTS ARE PROPOSED WITH SINGLE TRIANGLE TRUNKS, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - DECEMBER 15)
 - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL BE PLANTED DURING THE FALL SEASON:

ABIES CONCOLOR CORNUS VA

- ACER FREEMIAN
 ACER RUBRUM
 ACER SACCHARINUM
 BETULA VARIETIES
 CARPINUS VARIETIES
 CEDRUS DEODARA
 CELTIS VARIETIES
 CERIDOPHILUM VARIETIES
 CERCIS CANADENSIS
 CORNUS VARIETIES
 CRATAEGUS VARIETIES
 CUPRESSOCYPARIS LETAUNDII
 FAGUS VARIETIES
 HALESTIA VARIETIES
 ILEX V. FOSTER
 ILEX NELLIE STEVENS
 ILEX OPACA
 JUNIPERUS VIRGINIANA
 KOELERUTRA PANCULATA
 LIQUIDAMBAR VARIETIES
 LIRODENDRON VARIETIES
 MYSL IN LEAF
 NYSSA SYLVATICA
 PLATANUS VARIETIES
 POPULUS VARIETIES
 PYRUS VARIETIES
 QUERCUS VARIETIES (NOT Q. PALUSTRIS)
 SALIX VARIETIES
 SALIX VEEPING VARIETIES
 SORBUS VARIETIES
 TAXODIUM VARIETIES
 TAXUS REPENS
 TILIA TOMENTOSA VARIETIES
 ULMUS PARVIFOLIA VARIETIES
 ZELKOVA VARIETIES
- IF A PROPOSED PLANT IS UNOBTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORKING DAY. EXCESS MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, BRIBING GRASS, WEEDS, WATER RINGS OR AXES TO THE PROJECT LANDSCAPE DESIGNER, MUNCIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3") (1/3" OF THE GRASS). WHEN GRASS IS DRY, MOVER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN GRASS IS HEAVY, GRASS IS PRUNED TO PREVENT DESTRUCTION OF THE GRASS BY UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- GRASSSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD. UNTIL PLANTS ARE ESTABLISHED, IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
- THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
- IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE PLANT ROOTS. APPLY 100% OF THE PRODUCT TO THE SOIL SURROUNDING THE PLANT ROOTS. THE PRODUCT IS NOT EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION. MYCORRHIZAL TREE SAVERS IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.

SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.

FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.

PLANT SPECIES: PLANT SPECIES THAT DO NOT FORM MYCORRHIZAL FUNGAL ASSOCIATIONS WILL NOT BENEFIT FROM DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

HEALTHY START MACRO TABS 12-8-8

1. SEED MIXTURE SHALL BE PRES'LEAVE, LOW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."
3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION."
5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, REMOVAL OF SEED, OR OTHER TRESPASS SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

TABLE NOTES:

1. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY TWO TO FOUR GALLONS PER INCH WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.

2. WHEN IRRIGATING FOR VITALITY, DELETE DAY 1 IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.

3. WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

TABLE NOTES

1. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
3. WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.



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PID: 15-09-03-100-022
NORTHEAST CORNER OF NEW HAVEN ROAD AND 26 MILE ROAD

**WILLAGE OF NEW HAVEN
MACOMB COUNTY MICHIGAN**

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STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: DET-250599

TITLE: _____

LANDSCAPING DETAILS

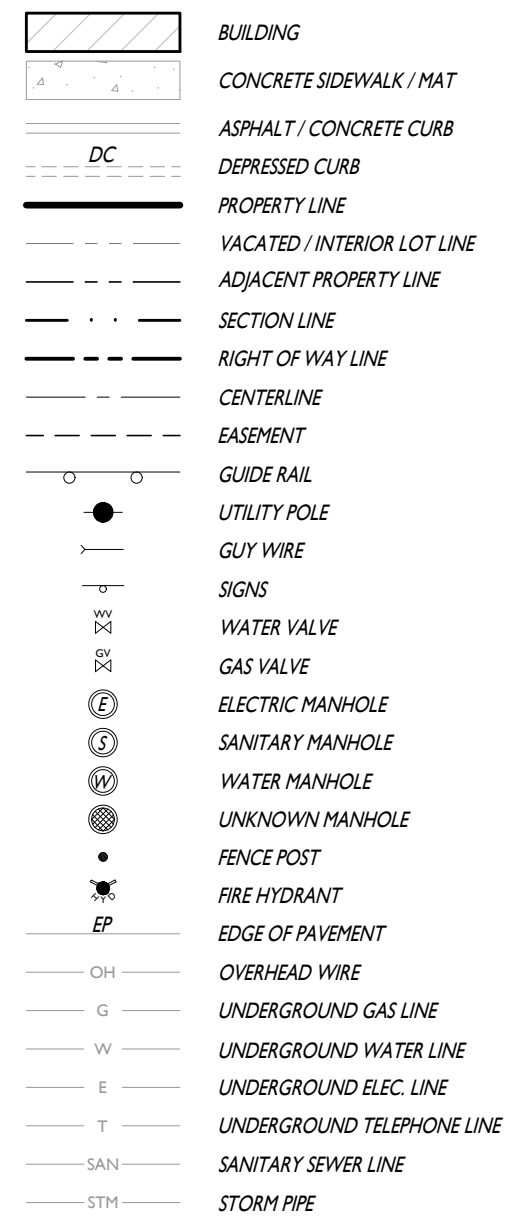
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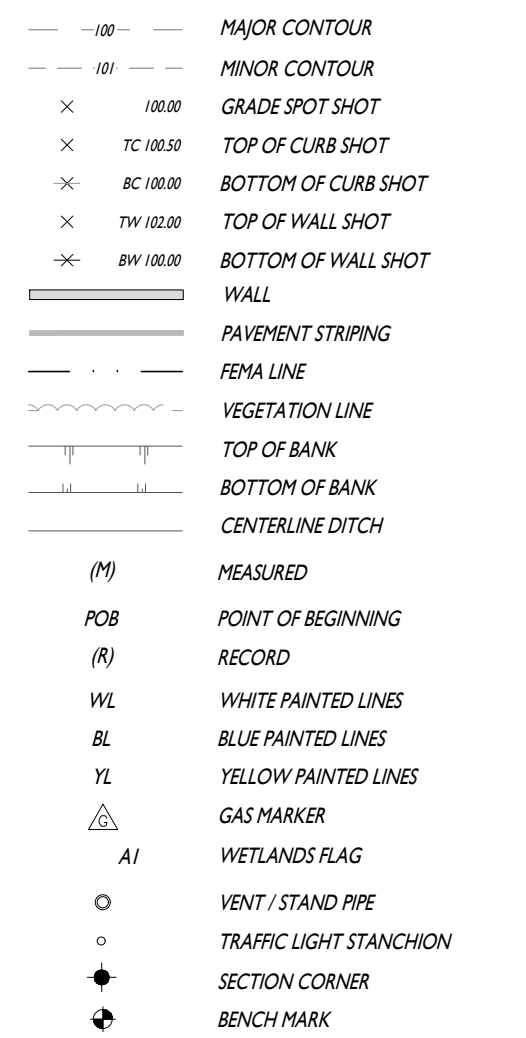


C-10

SYMBOL DESCRIPTION



SYMBOL DESCRIPTION



SURVEY NOTES:

- THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING MARCH OF 2026, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY IS VALID ONLY WHEN A DIGITAL SEAL IS AFFIXED HERETO.
- THE SURVEYOR IS NOT QUALIFIED TO IDENTIFY ENVIRONMENTAL CONDITIONS OR THE PRESENCE OR ABSENCE OF WETLANDS.
- THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND OR SANITARY INVERTS ARE DEPICTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES. BEFORE ANY EXCAVATIONS ARE BEGUN, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- BEARINGS ARE REFERENCED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM (NAD83) SOUTH ZONE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), ESTABLISHED VIA RTK GPS OBSERVATIONS UTILIZING MICHIGAN DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OPERATING REFERENCE SYSTEM (MDOT CORS).
TEMPORARY BENCHMARKS:
- BENCHMARK #1: SET CAPPED IRON LOCATED AT THE INTERSECTION OF THE NORTHERLY LINE OF 26 MILE RD AND THE EASTERLY LINE OF NEW HAVEN ROAD - 609.74'
- BENCHMARK #2: FOUND CAPPED IRON ON EASTERLY LINE OF NEW HAVEN ROAD - 612.03'
- BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) ARE UNKNOWN.
- WETLANDS FLAG LOCATIONS ARE SHOWN PER SURVEY REFERENCE #3.

SURVEY REFERENCES:

- DEED BETWEEN DECORA PARK, LLC (GRANTOR) AND NEW HAVEN ROAD DEVELOPMENT (GRANTEE), DATED JULY 10, 2009 AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS, MACOMB COUNTY, MICHIGAN IN LIBER 19865 PAGE 397.
- ALTA COMMITMENT FOR TITLE INSURANCE PREPARED BY BIRMINGHAM TITLE AGENCY AS ISSUING AGENT FOR WESTCOR LAND TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: BT-13614, COMMITMENT DATE: FEBRUARY 24, 2026.
- WETLANDS DELINEATION MAP FOR 26 MILE AND NEW HAVEN, LENOX TOWNSHIP, MACOMB COUNTY, MICHIGAN, PREPARED BY BARR ENGINEERING COMPANY, FIELD DATE APRIL 7, 2026.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X (UNSHADED) (ARTEA OF MINIMAL FLOOD HAZARD), ZONE X (SHADED) (0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE), ZONE AE WITH BFE 602.6) AND ZONE AE (REGULATORY FLOODWAY) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 260120, MAP NUMBER 26099C0256G WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.

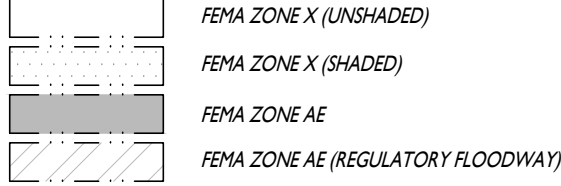


EXHIBIT A - PARCEL DESCRIPTION:

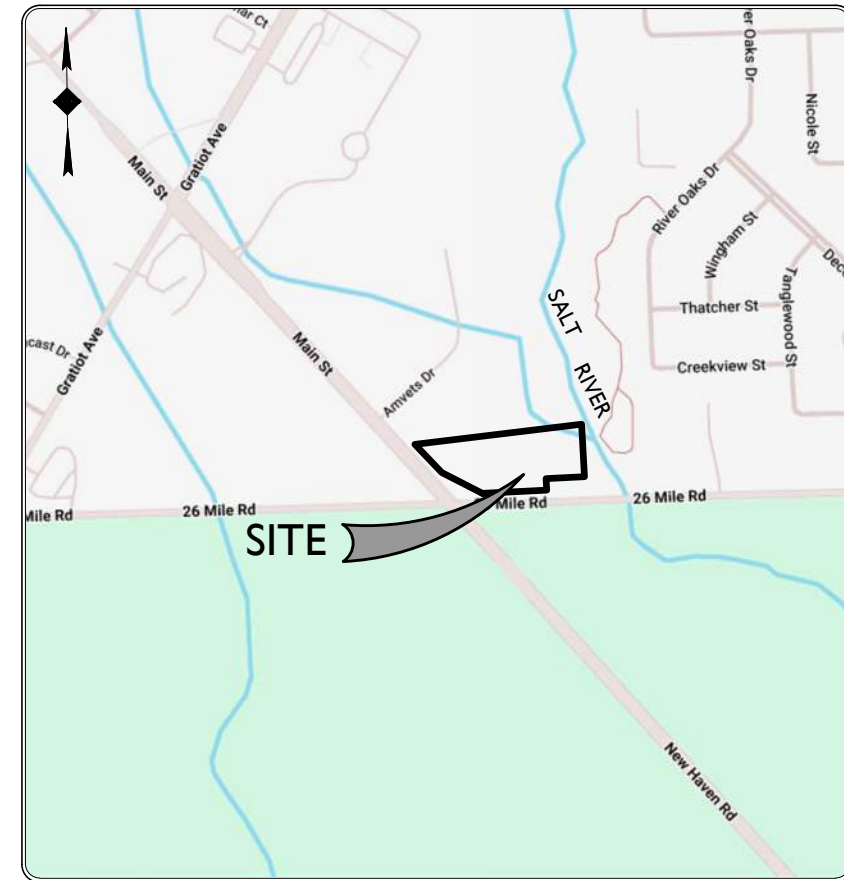
LAND SITUATED IN THE VILLAGE OF NEW HAVEN, COUNTY OF MACOMB, STATE OF MICHIGAN DESCRIBED AS FOLLOWS: A PARCEL OF LAND LOCATED IN AND BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 34, TOWN 4 NORTH, RANGE 14 EAST, LENOX TOWNSHIP, MACOMB COUNTY, MICHIGAN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, COMMENCING AT A POINT 664.74 FEET EAST FROM THE SOUTHWEST CORNER OF SECTION 34, AND THENCE EXTENDING ALONG THE EASTERLY RIGHT OF WAY LINE OF NEW HAVEN ROAD NORTH 60 DEGREES 02 MINUTES 04 SECONDS WEST 239.03 FEET AND NORTH 40 DEGREES 35 MINUTES 04 SECONDS WEST 203.94 FEET, THENCE NORTH 85 DEGREES 58 MINUTES 10 SECONDS EAST, 875.13 FEET, THENCE SOUTH 00 DEGREES 05 MINUTES 00 SECONDS EAST 275.79 FEET, THENCE WEST 200.00 FEET ALONG THE NORTH LINE OF 26 MILE ROAD (120 FEET WIDE), THENCE SOUTH 00 DEGREES 05 MINUTES 00 SECONDS EAST 600.00 FEET, THENCE WEST 333.80 FEET ALONG THE SOUTH SECTION LINE, ALSO BEING THE CENTERLINE OF 26 MILE ROAD, TO THE POINT OF BEGINNING.

BEING THE SAME PROPERTY AS DESCRIBED IN AN ALTA COMMITMENT FOR TITLE INSURANCE PREPARED BY BIRMINGHAM TITLE AGENCY AS ISSUING AGENT FOR WESTCOR LAND TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: BT-13614, COMMITMENT DATE: FEBRUARY 24, 2026.

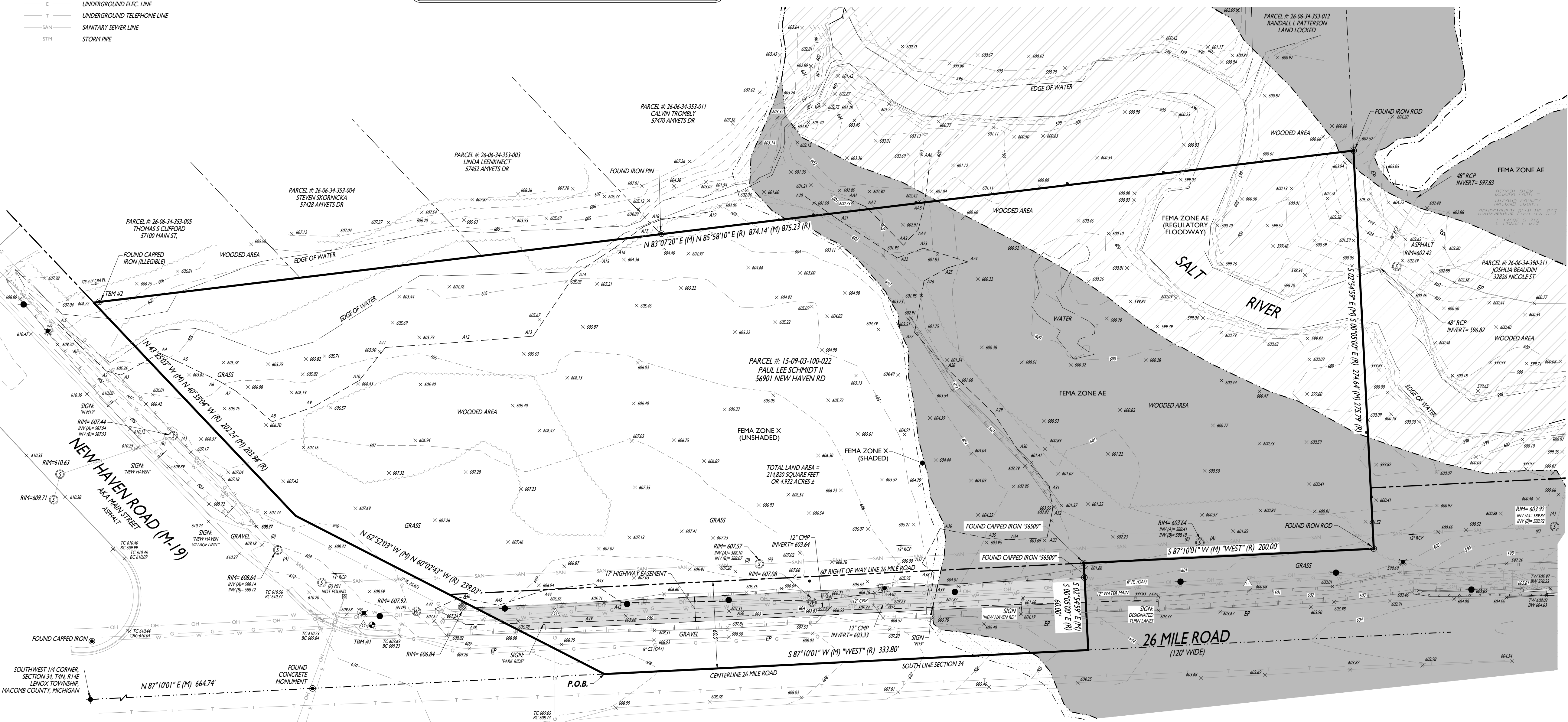
SCHEDULE B PART II - EXCEPTIONS:

- NO SURVEY RELATED EXCEPTIONS

FROM AN ALTA COMMITMENT FOR TITLE INSURANCE PREPARED BY BIRMINGHAM TITLE AGENCY AS ISSUING AGENT FOR WESTCOR LAND TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: BT-13614, COMMITMENT DATE: FEBRUARY 24, 2026.



SOURCE: GOOGLE MAPS VICINITY MAP NOT TO SCALE



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ALTA / NSPS LAND TITLE SURVEY

MAP OF:

PARCEL #: 15-09-03-100-022
PART OF THE SOUTHWEST 1/4 OF SECTION 34
TOWN 4 NORTH, RANGE 14 EAST
56901 NEW HAVEN ROAD
VILLAGE OF NEW HAVEN
MACOMB COUNTY, MICHIGAN

ISSUE	DATE	DRAFT BY	CHECK BY	FIELD DATE	FIELD CREW	DESCRIPTION
2	04/20/26	AG	AG	-	-	ADD WETLANDS
1	03/11/26	DJS	AG	03/01/26	JU/SM	ISSUED

THIS IS TO DECLARE THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2026 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8, 9 & 13 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON MARCH 01, 2026

ANTHONY D. GIGLIO JR, PS
MICHIGAN PROFESSIONAL SURVEYOR NO. 4001071395

SCALE: 1" = 40' PROJECT ID: DET-250599 SHEET: 1 OF 1



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