

Proposed New Drive Thru Canopy Extension and Entry Alterations for: Extra Credit Union - New Haven, MI

59010 Gratiot Avenue New Haven, Michigan 48048

PREPARED FOR:

GJ Perelli Construction for:
Extra Credit Union
59010 Gratiot Avenue,
New Haven, MI 48048

PREPARED BY:

MACDONELL ASSOCIATES ARCHITECTS
312 E. LIBERTY ST.
MILFORD, MI 48381
(248) 302-0158

CRAIG MACDONELL AIA NCARB #1301035158 (ARCHITECT IN RESPONSIBLE CHARGE)

SURVEY / ENGINEERING PREPARED BY:

Urban Land Consultants, LLC
8800 23 Mile Road
Shelby Township, MI 48316
Phone: 586-731-8030

LANDSCAPING PREPARED BY:

NOT APPLICABLE AS NO EXISTING AREAS ARE BEING CHANGED.

RETAIL DESIGN PREPARED BY:

Steve Bacon DSA, RDI - CUMO Designs, LLC
36989 Fox Glen
Farmington Hills, MI 48331 USA
C: (248) 410 4485
sbacon@cumodesigns.com

PROPOSED USE:

THE PROPOSED PROJECT IS TO CONSTRUCT A NEW DRIVE THRU CANOPY EXTENSIONS AND ALTERATIONS TO UPDATE THE MAIN ENTRY FOR EXTRA CREDIT UNION

GOVERNING MUNICIPALITY:

VILLAGE OF NEW HAVEN
57775 Main Street
New Haven, Michigan 48048
Phone: (586) 749-5301
Fax: (586) 749-9055

GENERAL INFORMATION:

ANY POSSIBLE GENERATION OF DUST, ODOR, SMOKE, FUMES, NOISE, LIGHTS, ETC.



LOCATION AERIAL

OUTDOOR STORAGE:
OUTDOOR STORAGE IS NOT PROPOSED ON THE SITE.

ALL SITE LIGHTING IS EXISTING AND IS AS ORIGINALLY APPROVED AND NOT ENROACH UPON ABUTING PROPERTIES OR RIGHT OF WAYS. ALL GLARE SHALL BE ELIMINATED FROM ALL LIGHT FIXTURES.

ALL LANDSCAPED AREAS ARE EXISTING AND SHALL REMAIN AUTOMATICALLY IRRIGATED.

ALL TRASH WILL BE REMOVED OFF SITE BY 3RD PARTY TRASH SERVICE FOR SECURITY REASONS.

MECHANICAL SYSTEM HVAC:
ALL HVAC FOR THE EXISTING CREDIT UNION IS EXISTING. NO NEW ROOF TOP UNITS WILL BE PART OF THIS PROJECT.

Registered Design Professional in Responsible Charge:
Craig MacDonell AIA NCARB #1301035158
Deferred Submittals:
NO DEFERRED SUBMITTALS

LEGAL DESCRIPTION

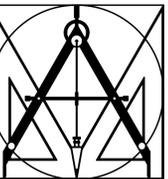
PARCEL 1:
REFER TO SURVEY AND CIVIL ENGINEERING DOCUMENTS AS PREPARED BY URBAN LAND ASSOCIATES FOR LEGAL DESCRIPTION.

| SPA SHEET INDEX: | | |
|----------------------------------|---|---------------------------|
| GENERAL: | PREPARED BY: | |
| CS-001 | COVER SHEET / SHEET INDEX | MACDONELL ASSOCIATES |
| CIVIL ENGINEERING AND LANDSCAPE: | | |
| 1 | PLAN OF CIVIL ENGINEERING | URBAN LAND ASSOCIATES |
| 2 | FIRE TRUCK TURNING SIMULATION PLAN | |
| 2 | PLAN OF EXISTING CONDITIONS - SURVEY | |
| ARCHITECTURAL: | | |
| AS-100 | ARCHITECTS SITE PLAN W/ DETAILS | MACDONELL ASSOCIATES |
| LS-100 | EXISTING LANDSCAPE PLAN - FORMER RITE AID | |
| A-210 | EXISTING / PROPOSED 1ST FLOOR PLAN | |
| A-301 | EXISTING / PROPOSED EXTERIOR ELEVATIONS | |
| A-302 | EXISTING / PROPOSED EXTERIOR ELEVATIONS | |
| SITE PHOTOMETRIC STUDY: | | |
| | SITE PHOTOMETRIC STUDY | CLARUS DEFERRED SUBMITTAL |
| CUMO DESIGNS RETAIL DESIGNER: | | |
| 1 | PHOTOGRAPHIC OVERLAY RENDERING | CUMO DESIGNS |

AUTHORIZED SIGNATURE _____ DATE _____

TITLE _____ COMPANY _____

BY SIGNING ABOVE, THE OWNER / AUTHORIZED REPRESENTATIVE ACKNOWLEDGES THAT THE DESIGN INFORMATION IN THIS DRAWING IS ACCEPTABLE AND REPRESENTS THE APPROVED DESIGN. ANY OWNER REQUESTED DESIGN CHANGES MADE AFTER THE ABOVE DATE MAY BE SUBJECT TO ADDITIONAL DESIGN FEES. NO CHANGES WILL BE MADE WITHOUT THE EXPRESS WRITTEN DIRECTION AND AUTHORIZATION OF THE OWNER / AUTHORIZED REPRESENTATIVE.



MACDONELL ASSOCIATES
ARCHITECTURE • PLANNING • INTERIORS

312 E. LIBERTY ST.
MILFORD, MICHIGAN 48381
(248) 685-1873
(248) 302-0158 CELL
ravensrock@msn.com



CONSULTANT:



PROJECT: NEW BRANCH ALTERATIONS FOR:
EXTRA CREDIT UNION
59010 GRATIOT AVE
NEW HAVEN, MICHIGAN 48048
(586) 276-3000
OWNER: EXTRA CREDIT UNION
59010 GRATIOT AVE
NEW HAVEN, MICHIGAN 48048
(248) 646-1717 CONTACT: GARY PERELLI CONTRACTOR

ISSUED FOR:
OWNER REVIEW
SPA REVIEW SUBMITTAL
DATE: 08/28/2025
BY: [Signature]

SHEET CONTENT:
SPA COVER SHEET
DRIVE THRU CANOPY

FILE NO.: ECU-25-033

SHEET NO.: CS-001

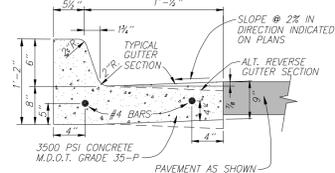
PRELIMINARY NOT FOR CONSTRUCTION



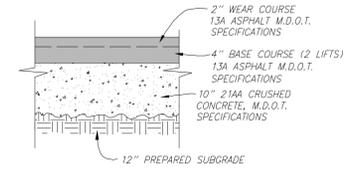
KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.

Contractor Note:
The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

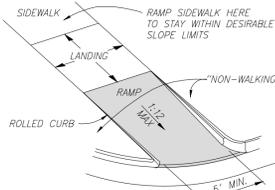
NOTE: ALTERNATE REVERSE GUTTER SECTION TO BE USED ONLY WHEN DRAINING AWAY FROM CURB. SEE GRADING PLAN.



6" ON-SITE CONCRETE CURB & GUTTER
M.D.O.T. R-30-G, F2
(NO SCALE)



ASPHALT PAVEMENT DETAIL
(NO SCALE)



ADA RAMP SIDEWALK DETAIL
(NO SCALE)

NOTES

1. "NO PARKING-FIRE LANE" SIGNS SHALL BE INSTALLED AND MAINTAINED AS DESIGNATED BY THE FIRE MARSHAL.
2. NO GRADING OR DRAINAGE IMPROVEMENTS ARE BEING MADE.
3. OFF-STREET PARKING NORTH OF THE SITE WILL NOT BE USED. IF PARKING IN THE AREA BECOMES NECESSARY, PARKING BLOCKS WILL BE ADDED ALONG THE NORTH SIDE OF THE PAVEMENT AS A VEHICLE BARRIER.
4. EXISTING PAVEMENT TO BE EVALUATED BY A GEOTECHNICAL ENGINEER TO CONFIRM THAT IT MEETS CURRENT USE STANDARDS.
5. DEFICIENCIES IN THE ASPHALT PARKING LOT WILL BE REPAIRED, AND THE ENTIRE LOT WILL BE SEAL COATED AND STRIPPED.
6. A TRAFFIC IMPACT STUDY MAY BE REQUIRED SUBJECT TO THE VILLAGE & MCDR REVIEW & APPROVAL.
7. THE VILLAGE SHALL BE HELD HARMLESS FOR LIABILITIES OR DAMAGES OF ANY STORM, DRAINAGE, AND FLOODING ISSUES AS A RESULT OF THE PROPOSED ACTIVITIES.

NOTE:

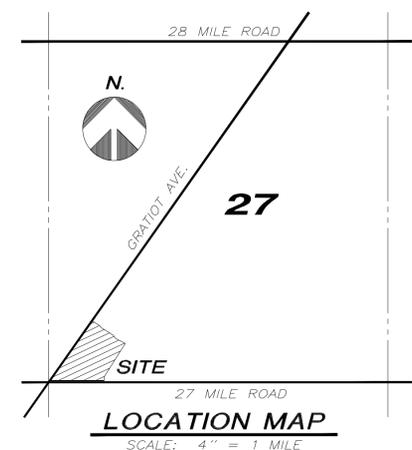
NO FLOODPLAIN PER FEMA MAP OR WETLANDS PER EOLE MHS MAP EXIST ON SITE.

NORTH



SCALE: 1"=30'

0' 15' 30' 60' 90'



LOCATION MAP

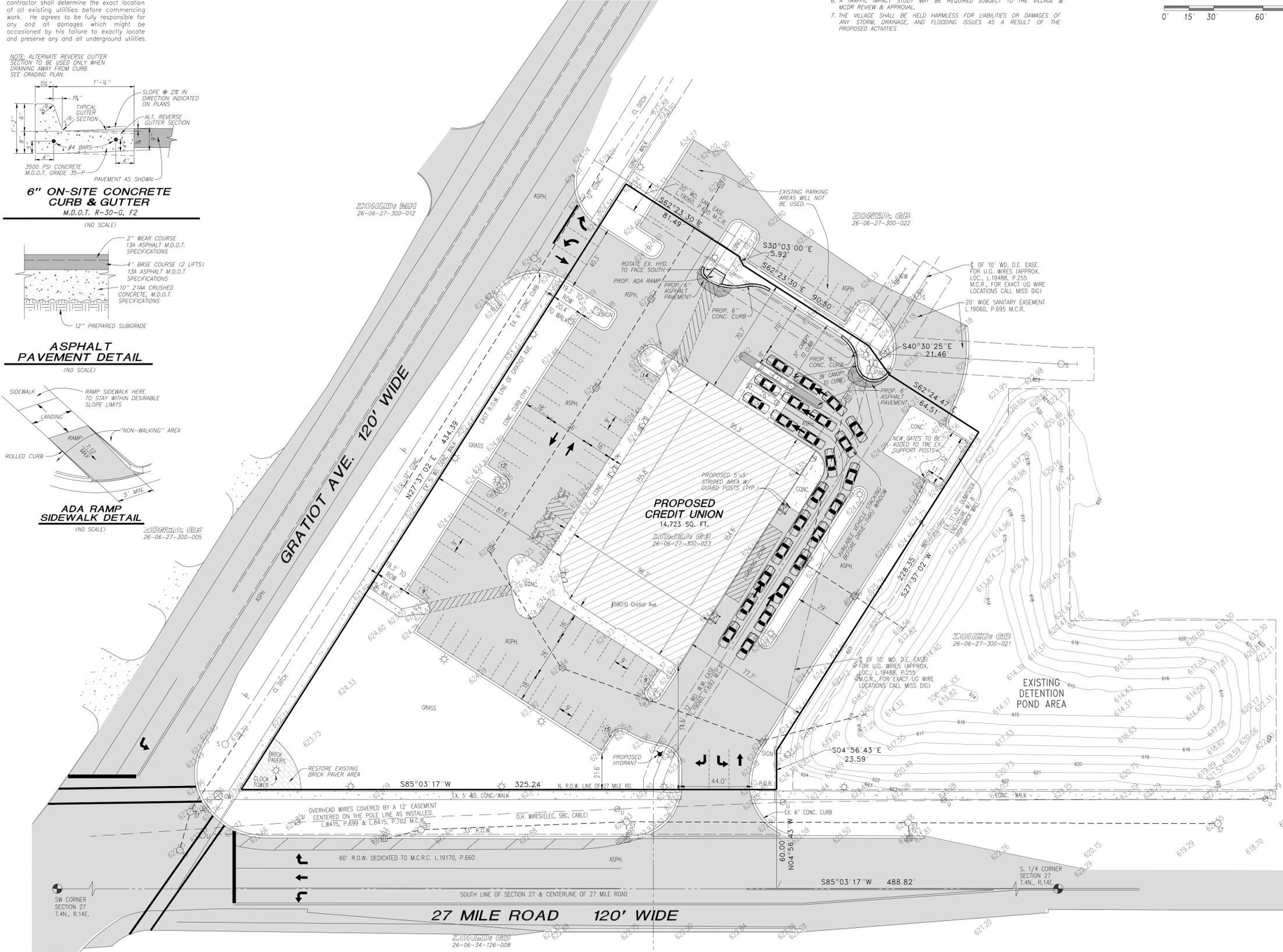
SCALE: 4" = 1 MILE

PROPERTY DESCRIPTION

A parcel of land in the Southwest 1/4 of Section 27, Town 4 North, Range 14 East, Village of New Haven, Macomb County, Michigan, described as: Commencing at the South 1/4 corner of Section 27; thence South 85 degrees 03 minutes 17 seconds West, 488.82 feet along the South line of Section 27 and the centerline of 27 Mile Road; thence North 04 degrees 56 minutes 43 seconds West, 60.00 feet to a point on the Northerly 60 foot right of way line of 27 Mile Road and the point of beginning; thence along said line South 85 degrees 03 minutes 17 seconds West 325.24 feet to a point on the East right of way line of Gratiot Avenue; thence along said line North 27 degrees 37 minutes 02 seconds East 434.39 feet; thence South 62 degrees 23 minutes 30 seconds East, 81.49 feet; thence South 30 degrees 03 minutes 00 seconds East 5.92 feet; thence South 62 degrees 23 minutes 30 seconds East 90.50 feet; thence South 40 degrees 30 minutes 25 seconds East, 21.46 feet, thence South 62 degrees 24 minutes 47 seconds East, 64.51 feet; thence South 27 degrees 37 minutes 02 seconds West, 228.95 feet along a line parallel with the East right of way of Gratiot Avenue; thence South 04 degrees 56 minutes 43 seconds East, 23.59 feet to the point of beginning.

SITE CRITERIA

- PARCEL IDENTIFICATION #: 26-06-27-300-023
- ADDRESS: 59010 GRATIOT AVENUE
- EXISTING ZONING: GB
- ADJACENT ZONINGS: GB, MH
- AREA OF SITE: 2.084 ACRES
- EXISTING BUILDING AREA: 14,723 S.F.
- PROPOSED USE: CREDIT UNION WITH DRIVE-THRU
- SETBACKS (COMMERCIAL GB):
 - FRONT = 35' FROM R.O.W. LINE
 - SIDE = 15'
 - REAR = 15'
- PARKING SUMMARY:
 - SPACES REQUIRED: 59 SPACES (INCLUDES 3 ADA SPACES)
 - SPACES PROVIDED: 59 SPACES (INCLUDES 3 ADA SPACES)
- UTILITY SUMMARY:
 - WATER MAIN: MUNICIPAL
 - SANITARY SEWER: MUNICIPAL
 - STORM SEWER: EXISTING ENCLOSED PIPE WITH OUTLET TO EXISTING OFF-SITE DETENTION POND
- SIGNAGE: NOT PART OF THIS SUBMITAL



LEGEND

- 100 EXISTING CONTOURS
- 10000 EXISTING GRADE
- EXISTING GRAVEL
- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED ASPHALT PAVING WITH CONCRETE CURB

TOPOGRAPHY LEGEND

- WATER MAIN
- STORM SEWER
- SANITARY SEWER
- EASEMENT
- EX. U.G. ELEC.
- EX. O.H. WIRES
- EX. U.G. TELE.
- EX. U.G. GAS
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- UTILITY MANHOLE
- STORM MANHOLE
- END OF PIPE
- SANITARY MANHOLE
- CLEAN-OUT
- MANHOLE
- HYDRANT
- GWV GATE VALVE WELL
- WATER VALVE
- WATER BOX
- VALVE
- LIGHT POLE
- AIR CONDITIONER
- MAIL BOX
- FENCE POST
- DOWN SPOUT
- SOL. BORING
- ELEC TRANS PAD
- UTILITY POLE
- GUY ANCHOR
- SIGN POST
- SPRINKLER HEAD
- GAS METER
- TELEPHONE RISER
- ELECTRICAL RISER
- CABLE TV RISER
- FINISHED FLOOR
- BASEMENT FLOOR
- CONC. CONCRETE
- CF
- BF
- CONC. CONCRETE
- SET IRON BAR
- SET IRON BAR
- FOUND IRON BAR
- FOUND C. MONUMENT

SHEET INDEX

1. SITE PLAN
2. FIRE TRUCK TURNING MOVEMENT SIMULATION
3. EXISTING CONDITIONS

250830-11343

CIVIL ENGINEERING SITE PLAN
PART OF THE S.W. 1/4 OF SECTION 27
T.4N., R.14E., VILLAGE F NEW HAVEN
MACOMB COUNTY, MICHIGAN

DATE: 250830-11343
JOB NO.: 250830-11343
DATE: 12-17-2025
SCALE: 1"=30'
DRAWN BY: DKZ
CHECKED BY: P65
SHEET 1 OF 3
REVISED PER VILLAGE REVIEW: 2-9-26

PROPOSED CREDIT UNION
FOR: GARY PERELLI
PERELLI & COMPANY
521 BIRMINGHAM, SUITE 219
BIRMINGHAM, MI 48009
(248) 646-1717



PHONE: 586-371-8030
WWW.URBAN-LAND.COM
URBAN LAND CONSULTANTS
PLANNERS LAND SURVEYORS
8800 23 MILE ROAD, SHELBY TWP., MI 48316-4516



KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.

Contractor Note:
The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

NOTES

1. ALL UTILITIES AND GRADING SHOWN ARE FOR PLANNING PURPOSES ONLY. EXACT UTILITY LOCATIONS AND GRADING TO BE DETERMINED DURING ENGINEERING.
2. "NO PARKING-FIRE LANE" SIGNS SHALL BE INSTALLED AND MAINTAINED AS DESIGNATED BY THE FIRE MARSHAL.
3. NO GRADING OR DRAINAGE IMPROVEMENTS ARE BEING MADE.

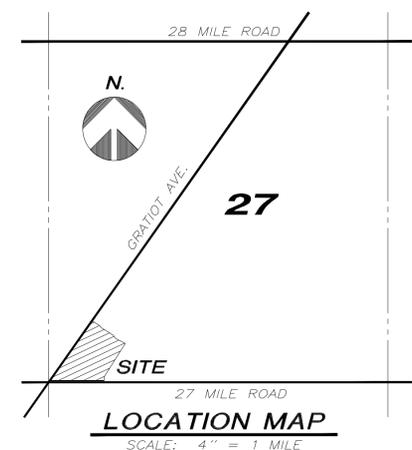
NOTE:

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NORTH



SCALE: 1"=30'



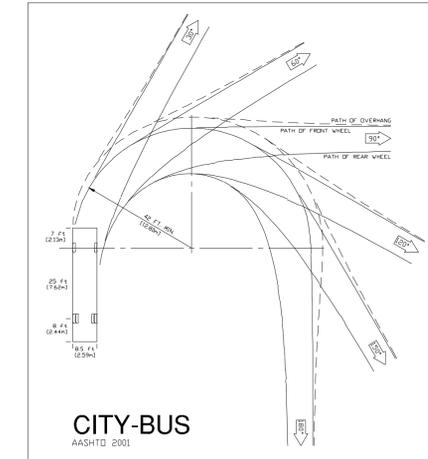
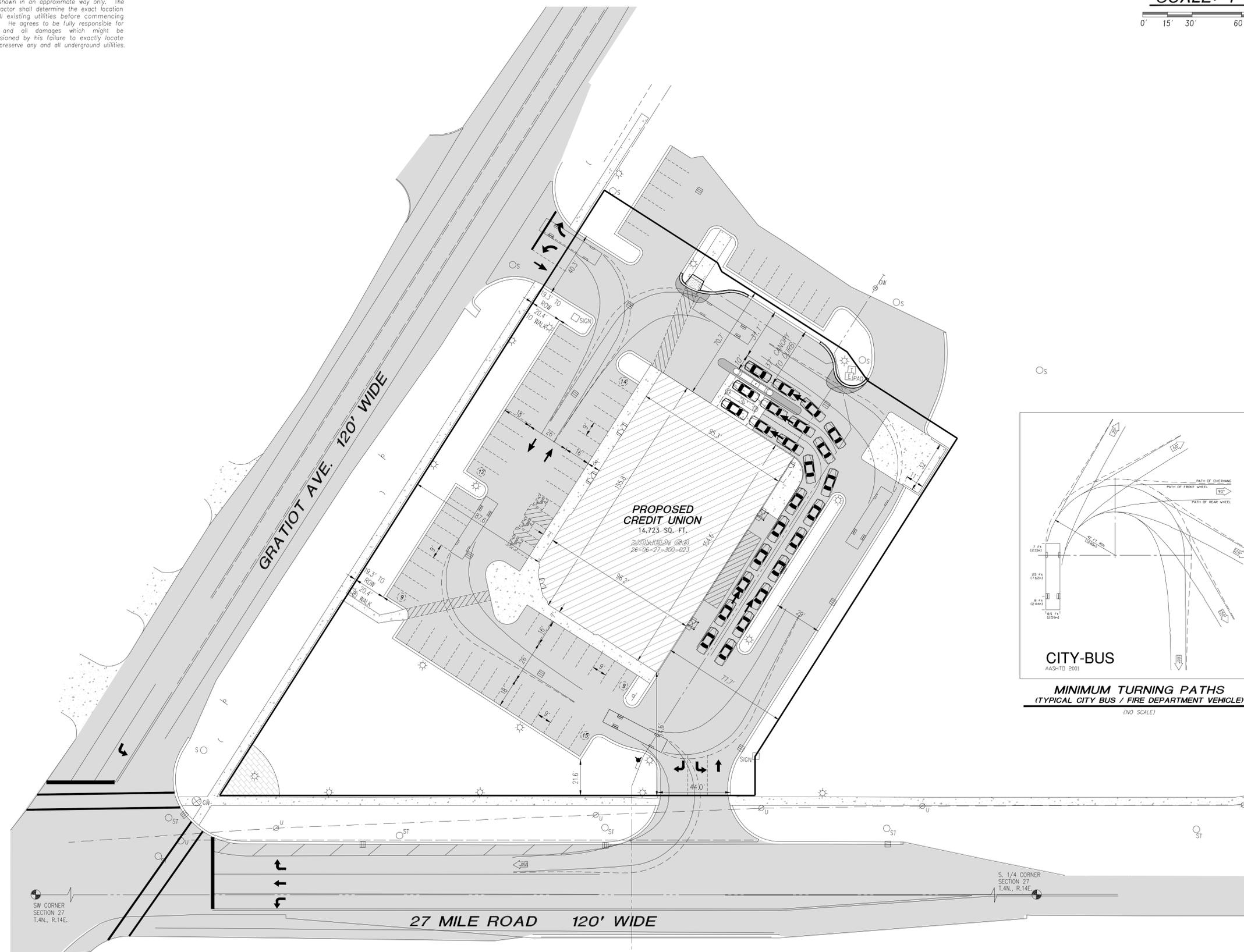
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| | |
|----------------------------|--------------|
| DATE | 250830-11343 |
| ADDITIONS AND/OR REVISIONS | |
| JOB NO. | 250830-11343 |
| DATE | 12-17-2025 |
| SCALE | 1"=30' |
| DRAWN BY | DKZ |
| CHECK BY | P65 |
| SHEET | 2 OF 3 |
| FILE | Blk. |



LEGEND

- EXISTING GRAVEL
- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED ASPHALT PAVING WITH CONCRETE CURB

TOPOGRAPHY LEGEND

- WATER MAIN
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- GARAGE FLOOR
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- SMN SET MAG. NAIL
- SET IRON BAR
- FOUND IRON BAR
- FOUND C. MONUMENT

PROPOSED CREDIT UNION

FOR: GARY PERELLI
PERELLI CONSULTANTS
521 BIRMINGHAM SUITE 219
BIRMINGHAM, MI 48009
(248) 646-1717

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CIVIL ENGINEERS PLANNERS LAND SURVEYORS
8800 23 MILE ROAD SHELBY TWP., MI 48316-4516

K:\2025\08\250830\BANGITE PLAN\02 - FD TRUCK ROUTE.dwg, 2/6/2025 5:56:33 PM, DWG TO PDF PLOT3



KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.

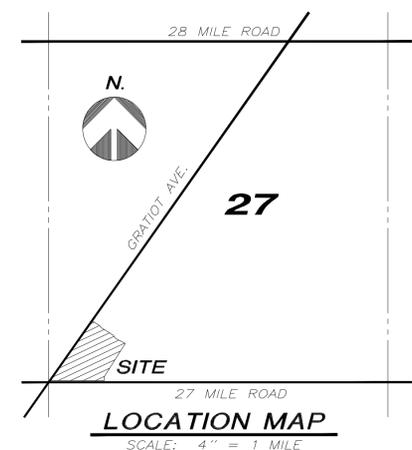
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MAP OR WETLANDS PER EGLE
MHS MAP EXIST ONSITE

NORTH



SCALE: 1"=30'



PROPERTY DESCRIPTION

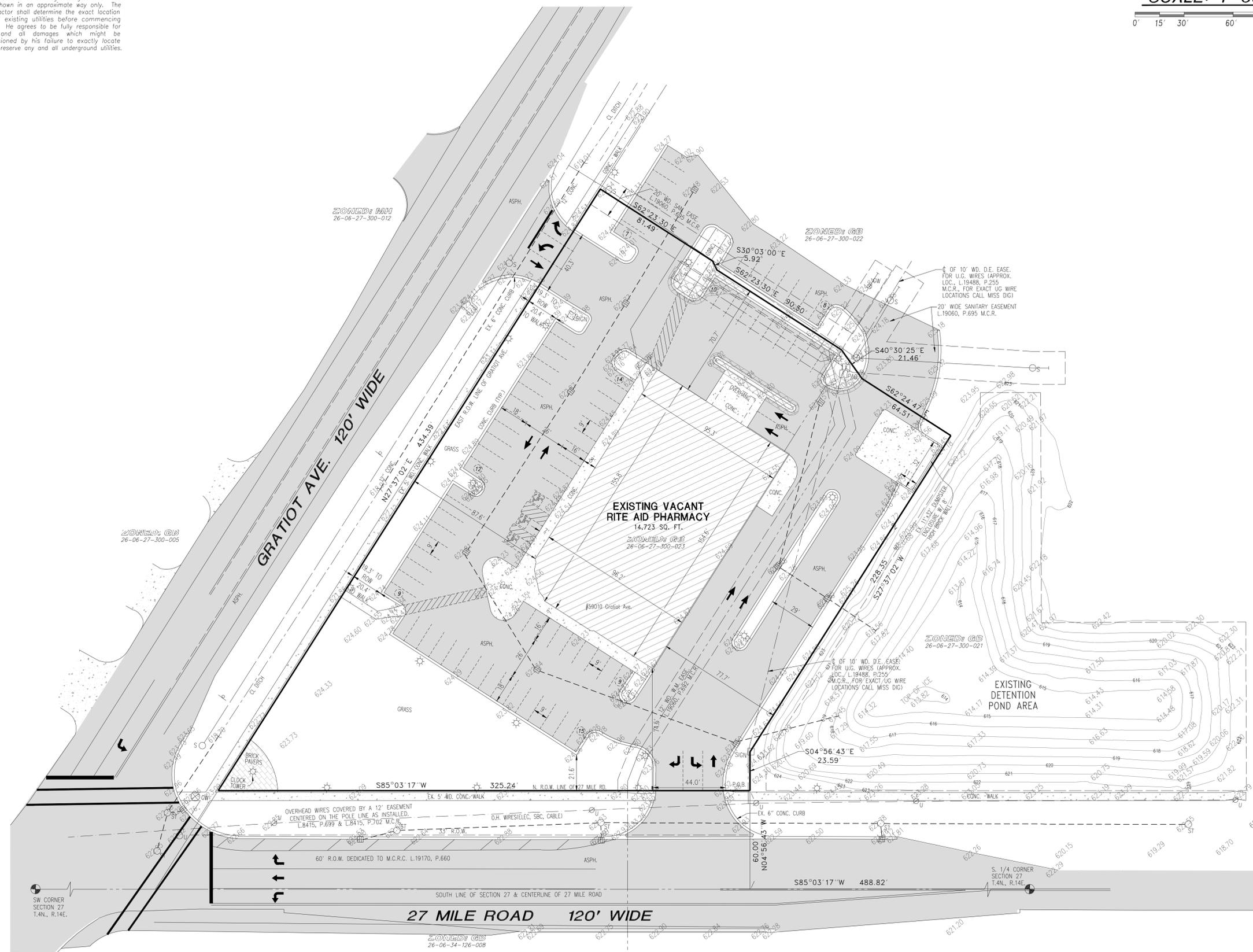
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- AREA OF SITE: 2.084 ACRES
- EXISTING BUILDING AREA: 14,723 S.F.
- EXISTING USE: VACANT RITE AID
- SETBACKS (COMMERCIAL GB):
 - FRONT = 35' FROM R.O.W. LINE
 - SIDE = 15'
 - REAR = 15'
- PARKING SUMMARY:
 - SPACES PROVIDED: 84 SPACES (INCLUDES 3 ADA SPACES)
- UTILITY SUMMARY:
 - WATER MAIN: MUNICIPAL
 - SANITARY SEWER: MUNICIPAL
 - STORM SEWER: EXISTING ENCLOSED PIPE WITH OUTLET TO EXISTING OFF-SITE DETENTION POND

SOILS (ENTIRE SITE IS NAPPANEE CLAY LOAM)

NCA NAPPANEE CLAY LOAM (0 TO 2% SLOPES)
0"-7" DARK BROWN CLAY LOAM, 7"-13" BROWN SILTY CLAY, 13"-27" BROWN CLAY, 27"-60" GRAYISH-BROWN SILTY CLAY. PERMEABILITY AND RUNOFF ARE SLOW.



LEGEND

- 100 EXISTING CONTOURS
- 10000 EXISTING GRADE
- EXISTING GRAVEL
- EXISTING ASPHALT
- EXISTING CONCRETE
- REMOVALS

TOPOGRAPHY LEGEND

- WATER MAIN
- STORM SEWER
- SANITARY SEWER
- EASEMENT
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- EX. U.G. WIRE
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- BASEMENT FLOOR
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- SET MAC. MAIL
- SET IRON BAR
- FOUND IRON BAR
- MON FOUND C. MONUMENT

EXISTING CONDITIONS
PART OF THE S.W. 1/4 OF SECTION 27
T.4N., R.14E., VILLAGE F NEW HAVEN
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DATE: 2-9-26
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5217 BURNINGHAM SUITE 219
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URBAN LAND CONSULTANTS
PLANNERS LAND SURVEYORS
8800 23 MILE ROAD
SHELBY TWP., MI 48316-4516

PROPERTY DESCRIPTION

The Land referred to herein below is situated in the County of Macomb, State of Michigan and is described as follows:

Land in the Township of Lenox, Village of New Haven, County of Macomb, State of Michigan:

A parcel of land in the Southwest 1/4 of Section 27, Town 4 North, Range 14 East, Village of New Haven, Macomb County, Michigan, described as: Commencing at the South 1/4 corner of Section 27; thence South 85 degrees 03 minutes 17 seconds West, 488.82 feet along the South line of Section 27 and the centerline of 27 Mile Road; thence North 04 degrees 56 minutes 43 seconds West, 60.00 feet to a point on the Northerly 60 feet right of way line of 27 Mile Road and the point of beginning; thence along said line South 85 degrees 03 minutes 17 seconds West 325.24 feet to a point on the East right of way line of Gratiot Avenue; thence along said line North 27 degrees 37 minutes 02 seconds East 434.39 feet; thence South 62 degrees 23 minutes 30 seconds East, 81.49 feet; thence South 30 degrees 03 minutes 00 seconds East 5.92 feet; thence South 62 degrees 23 minutes 30 seconds East 90.50 feet; thence South 40 degrees 30 minutes 25 seconds East, 21.46 feet; thence South 62 degrees 24 minutes 47 seconds East, 64.51 feet; thence South 27 degrees 37 minutes 02 seconds West, 228.35 feet along a line parallel with the East right of way of Gratiot Avenue; thence South 04 degrees 56 minutes 43 seconds East, 23.59 feet to the point of beginning.

SITE INFORMATION:

PARCEL SIZE:
GROSS: 2.084 ACRES (90,780 SF)
NET: 2.084 ACRES (90,780 SF)

CURRENT ZONINGS:
GB: GENERAL BUSINESS DISTRICT

ADJACENT ZONING:
NORTH: GB: GENERAL BUSINESS DISTRICT
SOUTH: GB: GENERAL BUSINESS DISTRICT
WEST: GB: GENERAL BUSINESS DISTRICT
EAST: GB: GENERAL BUSINESS DISTRICT

BUILDING SETBACKS: REQUIRED: EXISTING:
FRONT: 35'-0" >35'-0"
SIDE: 15'-0" (X2 = 30) >15'-0"
REAR: 15'-0" >15'-0"

BUILDING HEIGHT: ALLOWED: EXISTING:
35'-0" 22'-0" HIGH POINT OF ROOF
(2 STORIES) (2 STORIES)

BUILDING AREA:
BUILDING 1: 14,723 S.F.
DRIVE THRU CANOPY: 640 S.F. OF ROOF AREA
TOTAL FLOOR AREA: 14,723 S.F.

LOT COVERAGE:
BUILDING LOT COVERAGE:
ALLOWABLE: 35%
PROPOSED: 14,723 / 90,780 = 16.2% OF GROSS ACREAGE
PARKING REQUIREMENTS:
615-101: 1 SPACE FOR EACH 250 SF USABLE FLOOR AREA
59 SPACES REQUIRED

TOTAL NUMBER OF SPACES REQUIRED: 59 SPACES
TOTAL NUMBER OF SPACES PROVIDED: 59 SPACES (3 H.C.)

LOADING REQUIREMENTS:
615-101: 1 SPACE FOR EACH 2,000 TO 19,999 SF GFA
(14,723 GFA = 1 SPACE)

NOTE

THIS SURVEY IS BASED UPON A COMMITMENT FOR TITLE INSURANCE BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER: VT-2025-13837 Dated: AUGUST 8, 2025

BEARINGS IN RELATION TO DESCRIPTION OF RECORD.

THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THE LOCATION OF UTILITIES SHOWN ON THIS SURVEY, BOTH ABOVE AND BELOW GROUND, ARE SHOWN FROM INFORMATION OF RECORD SUPPLIED TO THE SURVEYOR AND A VISUAL INSPECTION OF THE PREMISES; NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF. EXACT LOCATION SHOULD BE VERIFIED IN THE FIELD WITH THE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION WHICH MAY AFFECT THE UTILITY.

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP No. 26099C02566, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 29, 2006, FOR COMMUNITY NUMBER 260446, IN MACOMB COUNTY, STATE OF MICHIGAN, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY OF WHICH SAID PROPERTY IS LOCATED.

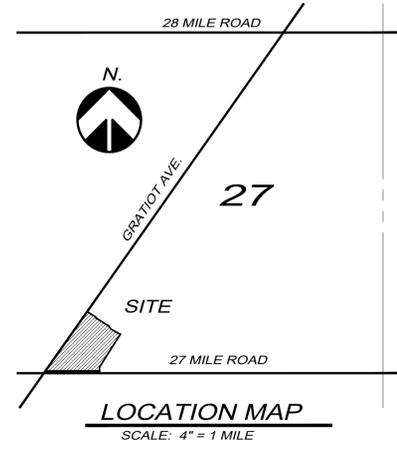
TITLE EXCEPTIONS

- Items 1-6 NOT SHOWN ON SURVEY. NOTHING TO PLOT
- Item 7 RIGHTS OF THE PUBLIC AND OF ANY GOVERNMENTAL UNIT IN ANY PART OF LAND TAKEN, USED OR DEEDED FOR HIGHWAY PURPOSES.
- Items 8-23 NOT SHOWN ON SURVEY. NOTHING TO PLOT
- Item 24 SUBJECT TO AN EASEMENT AND OPERATING AGREEMENT AS RECORDED IN L.19587, P.819 MACOMB COUNTY RECORDS. NOT SHOWN ON SURVEY. NOTHING TO PLOT

NORTH

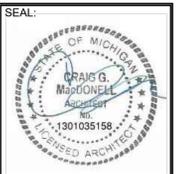


SCALE: 1"=30'



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PROJECT: **NEW BRANCH ALTERATIONS FOR: EXTRA CREDIT UNION**
59010 GRATIOT AVE
NEW HAVEN, MICHIGAN 48048
(566) 276-3000
OWNER: **EXTRA CREDIT UNION**
59010 GRATIOT AVE
NEW HAVEN, MICHIGAN 48048
(248) 646-1717 CONTACT: GARY PERELLI CONTRACTOR

| | | |
|-------------|--------------|------|
| ISSUED FOR: | OWNER REVIEW | DATE |
| BY: | DATE | DATE |
| DATE | DATE | DATE |

SHEET CONTENT:
ARCHITECTS SITE PLAN EXISTING CONDITIONS

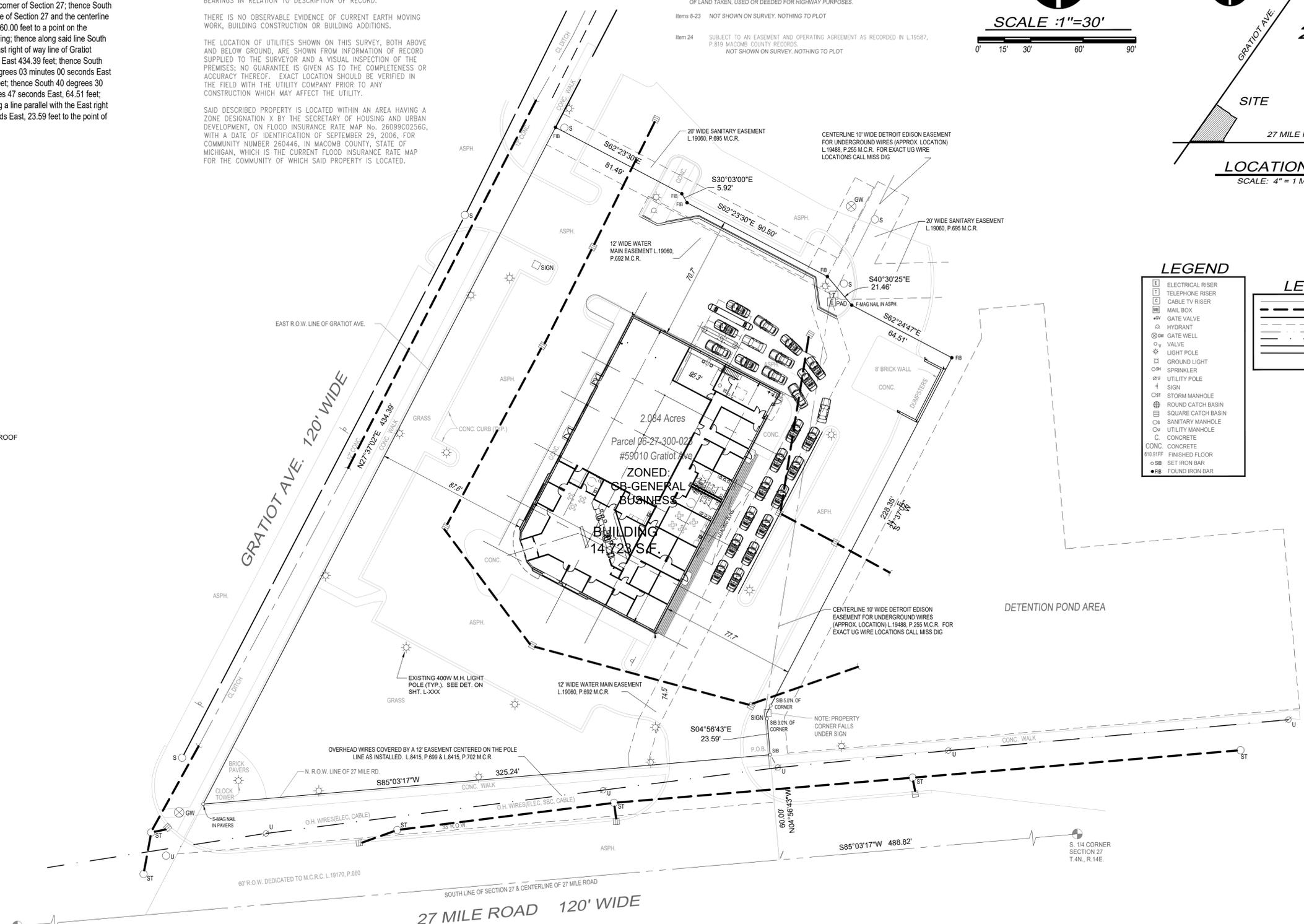
FILE NO.: **ECU-25-033**
SHEET NO.: **AS-100**

LEGEND

- ELECTRICAL RISER
- TELEPHONE RISER
- CABLE TV RISER
- MAIL BOX
- GATE VALVE
- HYDRANT
- GATE WELL
- VALVE
- LIGHT POLE
- GROUND LIGHT
- SPRINKLER
- UTILITY POLE
- SIGN
- STORM MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- SANITARY MANHOLE
- UTILITY MANHOLE
- CONCRETE
- CONC. CONCRETE
- 610.91FF FINISHED FLOOR
- SET IRON BAR
- FOUND IRON BAR

LEGEND

- WATER MAIN
- STORM SEWER
- SANITARY SEWER
- EASEMENT
- EX. U.G. ELEC.
- EX. U.G. WIRE
- EX. U.G. TELE.
- EX. U.G. GAS



KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.

Contractor Note:
The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'-0"

PLANTING SCHEDULE

| KEY | QUANT. | SPECIES | SIZE | SPEC. |
|---------------------------|--------|--|-----------|-------------------|
| Shade Trees | | | | |
| AR | 19 | Acer rubrum Red Maple | 2.5' cal. | D4B |
| AS | 3 | Acer saccharum Sugar Maple | 2.5' cal. | D4B |
| GT | 15 | Gleditsia t. 'Skyline' Skyline Honeylocust | 2.5' cal. | D4B |
| TC | 5 | Tilia cordata 'Greenspire' Greenspire Linden | 2.5' cal. | D4B |
| Ornamental Trees | | | | |
| HS | 4 | Malus 'Snowdrift' Snowdrift Crab | 2' cal. | D4D |
| SC | 6 | Malus 'Sentinel' Sentinel Crab | 2' cal. | D4D |
| DN | 3 | Desula nigra River Birch | 2' cal. | D4D Multi-stem |
| Evergreen Trees | | | | |
| PP | 19 | Picea pungens Colorado Spruce | 6' ht. | D4B |
| Shrubs | | | | |
| EA | 43 | Euonymus alata 'Compacta' Dwarf Burningbush | 24" ht. | cont. |
| CS | 29 | Cornus a. 'Siberica Bloodgood' Bloodgood Siberian Dogwood | 3'-4' ht. | cont. |
| SB | 43 | Spiraea b. 'Anthony Waterer' Anthony Waterer Spiraea | 24" ht. | cont. |
| JT | 71 | Juniperus s. 'tamariscifolia' Tarnis Juniper | 24" spd. | cont. |
| VT | 50 | Viburnum p. l. 'Compactum' Compact American Cranberrybush | 24" ht. | cont. |
| Perennials/Grasses | | | | |
| HS | 126 | Hemerocallis 'Stella-D'Oro' Stella D'Oro Daylily | 1 gal. | cont. |
| PE | 29 | Panicum 'Meaden Grass' Meaden Grass | 1 gal. | cont. |
| RF | 11 | Rudbeckia f.s. 'Goldsturm' Black Eyed Susan | 1 gal. | cont. |

LANDSCAPE DATA

| ROAD FRONTAGE (BUFFER D.) | REQUIRED | PROVIDED |
|---|--|--|
| GRATIOT AVE. 485' (1 TREE/SOUL.) (4 SHRUBS/SOUL.) | 15 TREES 60 SHRUBS | 15 TREES 60 SHRUBS |
| 27 MILE ROAD 265' (1 TREE/SOUL.) (4 SHRUBS/SOUL.) | 10 TREES 40 SHRUBS | 10 TREES 40 SHRUBS |
| PARKING LOT "SPACES (200SF.) = 1560 160/1000" | 14 TREES 56 SHRUBS | 14 TREES 56 SHRUBS |
| INTERIOR LANDSCAPE 53' CUT WALK 11,870' (2) = 4578/400H4 SOUL. (1) = 400/1000 "NEEDLES" 4 SHRUBS/SOUL. | 14 TREES 28 SHRUBS 11 TREES 42 SHRUBS | 14 TREES 28 SHRUBS 11 TREES 42 SHRUBS |

EXTRA CREDIT UNION WILL BE RESTORING EXISTING LANDSCAPING TO ORIGINAL LANDSCAPE REQUIREMENTS - BASED ON PLANNERS CALCULATIONS ALONG GRATIOT THE CURRENT DESIGN EXCEEDS THAT OF ORDINANCE REQUIREMENTS - EXISTING PLANTING CONDITION WILL BE EVALUATED IN THE SPRING AND ANY DEAD VEGETATION WILL BE REPLACED.

LANDSCAPE NOTES

- PLANTING NOTES**
- ALL PLANT MATERIAL SHALL BE NORTHERN NURSERY GROWN NOT GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERY STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY THE OWNER/CONSTRUCTION MANAGER. THE OWNER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
 - SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED. ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE MUNICIPALITY AND OWNER.
 - ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND FREE FROM CONDICTION ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
 - PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DO NOT EXCEED 15' PER DETAIL. PLANT TREES AND SHRUBS AT THE BATH GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. HEAVY CLAY SOILS ARE IDENTIFY PLANT TREES AND SHRUBS HIGHER APPROX. 1/2 OF THE ROOT BALL ABOVE GRADE.
 - REMOVE ALL THINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/2 OF BURLAP FROM BATH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
 - FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.

TOPSOIL AND SOD NOTES

- ALL DISTURBED AREAS SHALL BE REVEGETATED. SOIL SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOIL SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOIL TIGHTLY WITH NO GAPS AND WITH GRAIN IN SAME DIRECTION. SOIL SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOIL UNTIL ACCEPTED FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE.
- SOD SHALL BE INSTALLED ON A MIN. OF 3" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRIABLE TOPSOIL FREE OF STONES & LIM. AND LARGER ROCKS, STICKS OR OTHER FOREIGN MATERIAL INCLUDING NOxious PLANTS. PA BETWEEN 4.0 AND 6.5. SALTS SOO APPROX. 100 PPM. ORGANIC CONTENT IS 10% TO 12% NOT ALL TOPSOIL. UNTIL FINISH. FREE OF LUMPS AND DEPRESSIONS.

IRRIGATION NOTES

- ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE G.C. SHALL BE RESPONSIBLE FOR OBTAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE G.C. SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO CONSTRUCTION OF WORK.

LEGEND



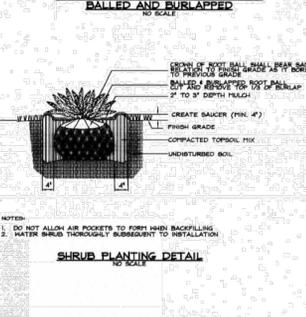
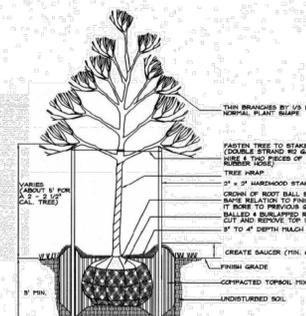
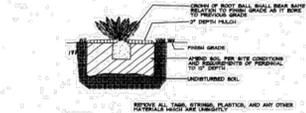
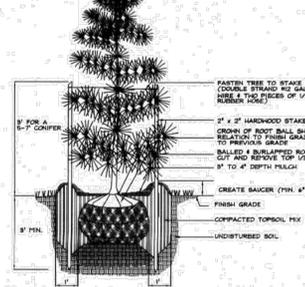
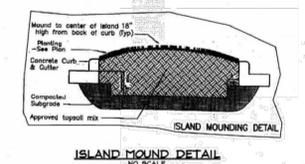
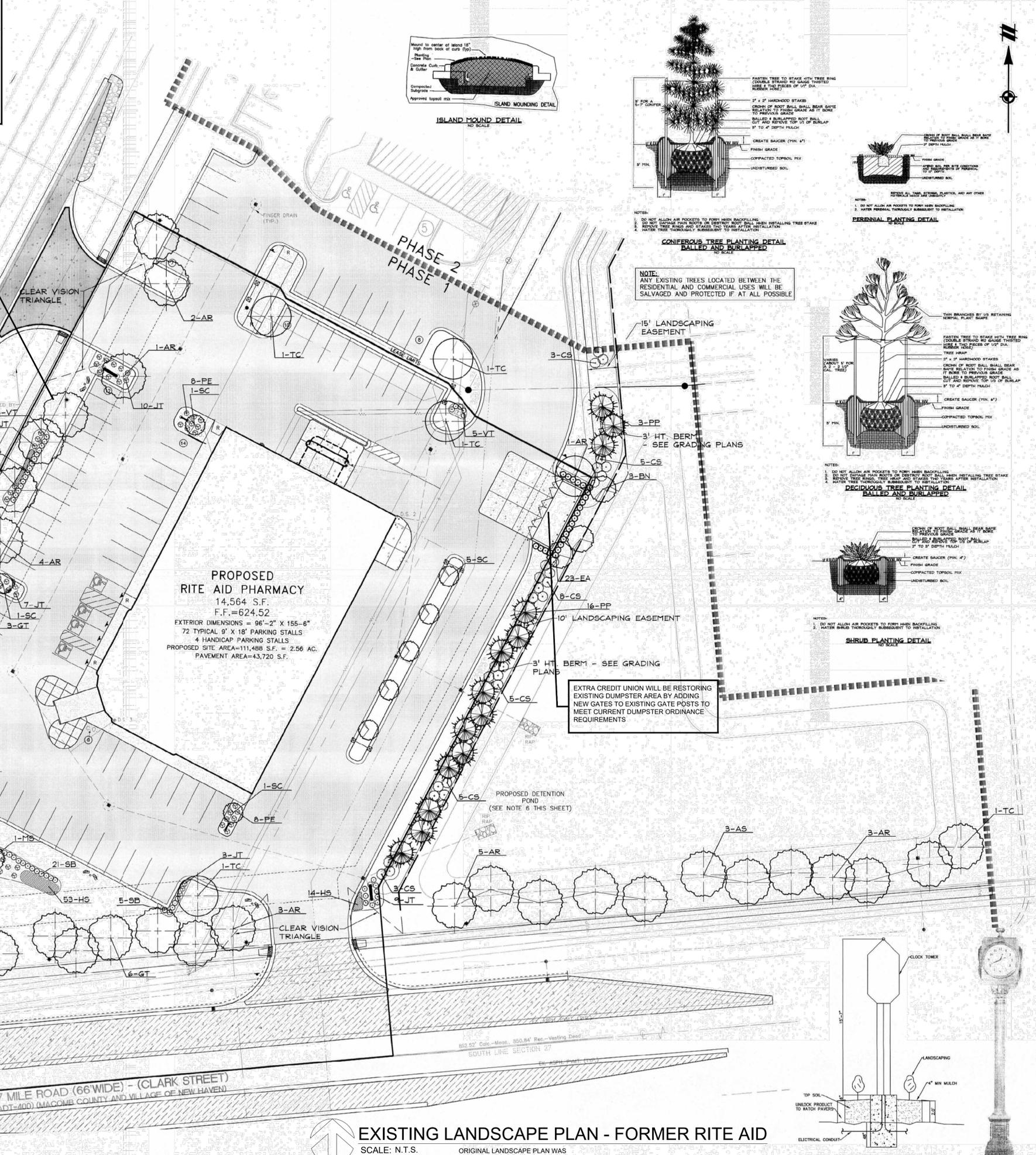
EXTRA CREDIT UNION WILL BE RESTORING EXISTING CLOCK ARE TO ORIGINAL LANDSCAPE REQUIREMENTS - INCLUDING BUT NOT LIMITED TO TUCK POINTING AT EXISTING PLANTER - RESTORATION OF PAVERS AND PLANTINGS AND RE-FINISHING OF EXTERIOR OF CLOCK IF REQUIRED.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

EXTRA CREDIT UNION WILL BE RESTORING EXISTING LANDSCAPING TO ORIGINAL LANDSCAPE REQUIREMENTS - BASED ON PLANNERS CALCULATIONS ALONG 27 MILE THE CURRENT DESIGN EXCEEDS THAT OF ORDINANCE REQUIREMENTS - EXISTING PLANTING CONDITION WILL BE EVALUATED IN THE SPRING AND ANY DEAD VEGETATION WILL BE REPLACED.



- NOTES:**
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
 - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 - REMOVE TREE STAKE AND STAKE TIE STRIPS AFTER INSTALLATION.
 - WATER TREE THOROUGHLY SUBSEQUENT TO INSTALLATION.

NOTE: ANY EXISTING TREES LOCATED BETWEEN THE RESIDENTIAL AND COMMERCIAL USES WILL BE SALVAGED AND PROTECTED IF AT ALL POSSIBLE.

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EXTRA CREDIT UNION WILL BE RESTORING EXISTING DUMPSTER AREA BY ADDING NEW GATES TO EXISTING GATE POSTS TO MEET CURRENT DUMPSTER ORDINANCE REQUIREMENTS.

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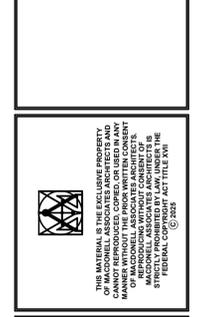
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CONSULTANT:



CONSULTANT:

PROJECT: NEW BRANCH ALTERATIONS FOR:
EXTRA CREDIT UNION
59010 GRATIOT AVE
NEW HAVEN, MICHIGAN 48048
(566) 276-3000

OWNER: EXTRA CREDIT UNION
59010 GRATIOT AVE
NEW HAVEN, MICHIGAN 48048
(248) 646-1717

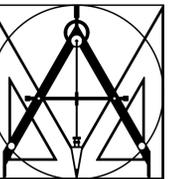
CONTACT: GARY PERELLI CONTRACTOR

ISSUED FOR:
OWNER REVIEW
DATE: 08/28/2025
BY: [Signature]
DATE: 08/28/2025
BY: [Signature]

SHEET CONTENT:
EXISTING LANDSCAPE PLAN - FORMER RITE AID

FILE NO.: ECU-25-033
SHEET NO.: LS-100





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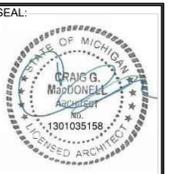
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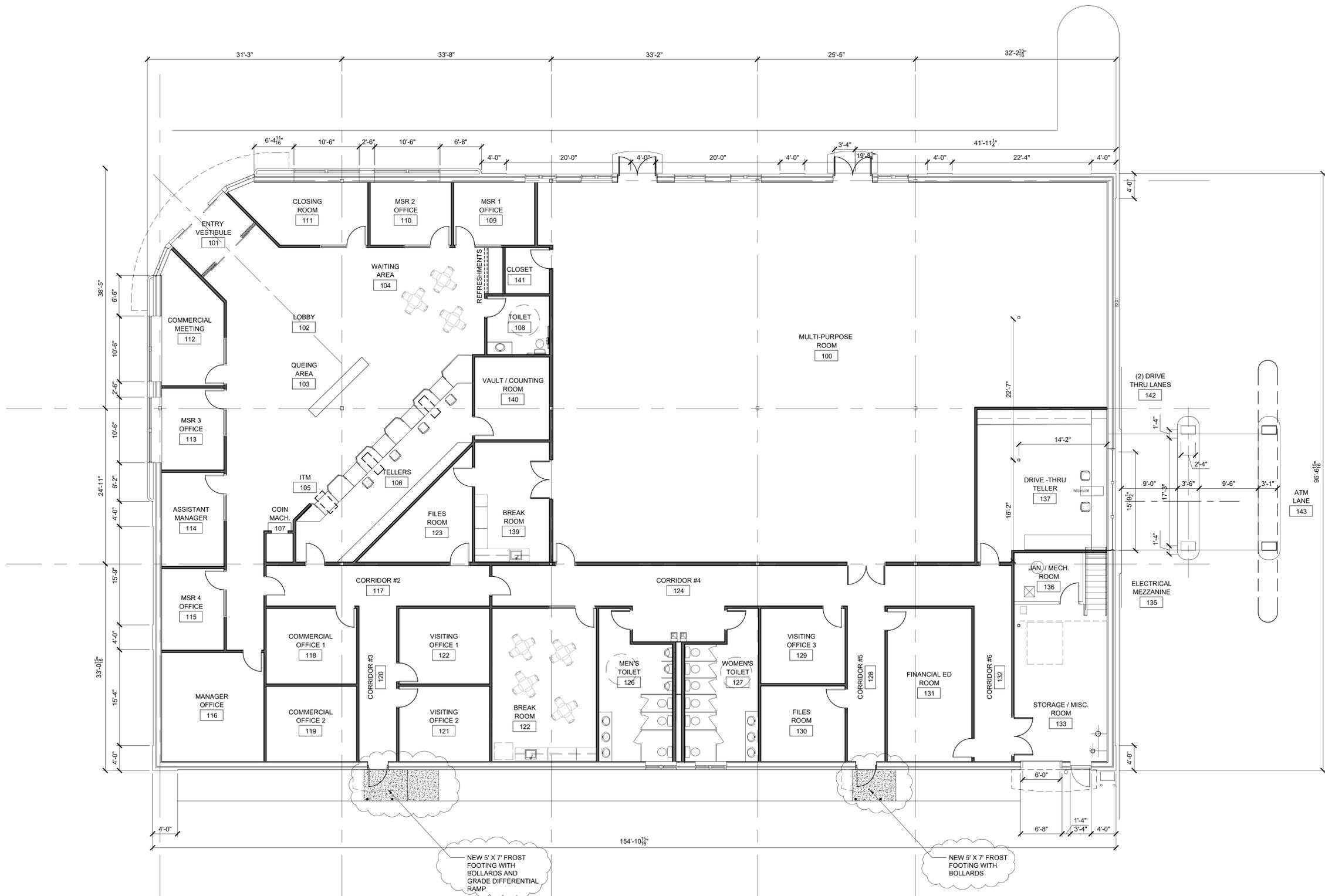
CONTACT: GARY PERELLI CONTRACTOR

ISSUED FOR:
OWNER REVIEW
DATE: 08/28/2025
BY: TRAVIS G. MACDONELL
PROJECT NO. ECU-25-033

SHEET CONTENT:
EXISTING /
FLOOR PLAN
W/ PROPOSED
ALTERATION
NEW WORK

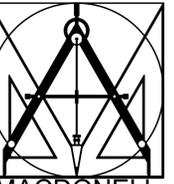
FILE NO.: ECU-25-033

SHEET NO.: A-210



FIRST FLOOR PLAN - PROPOSED ALTERATIONS NEW WORK

SCALE: 1/8" = 1'-0"



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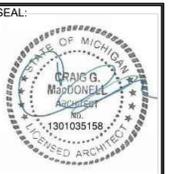
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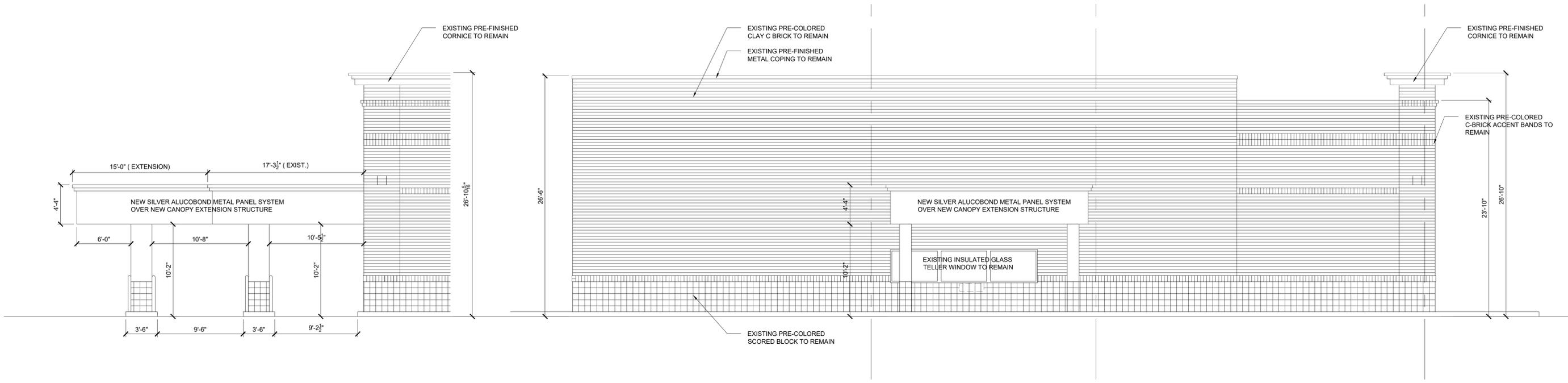
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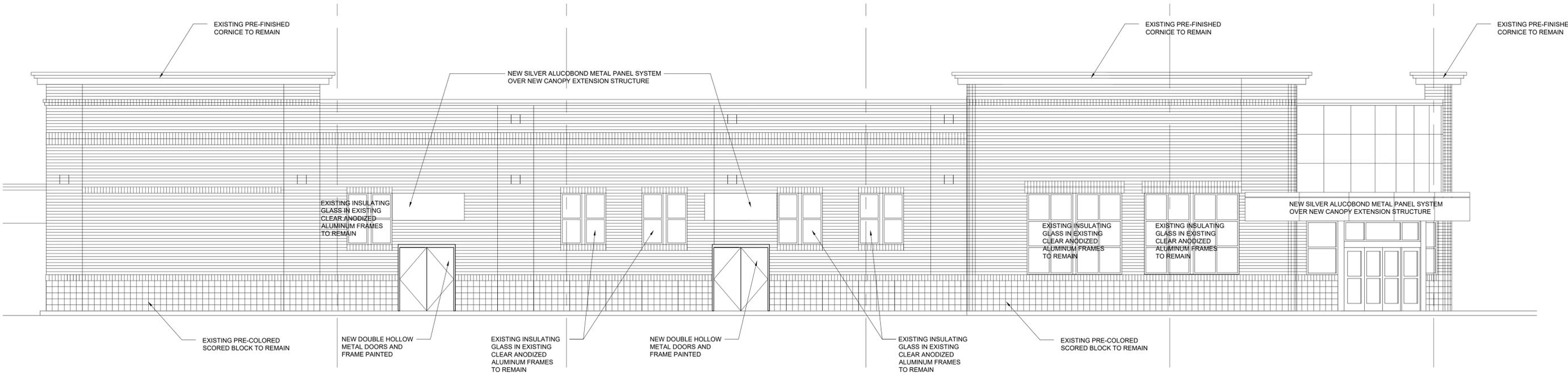


WEST ELEVATION - DRIVE THRU CANOPY EXPANSION

SCALE: 3/16" = 1'-0"

NORTH ELEVATION - EXISTING CONDITIONS / NEW ALTERATIONS

SCALE: 3/16" = 1'-0"



WEST ELEVATION - EXISTING CONDITIONS / NEW ALTERATIONS

SCALE: 3/16" = 1'-0"

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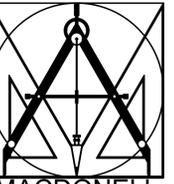
ISSUED FOR:

| | | | | | |
|------------|-----|--------|------------|-----|--------|
| DATE | BY | REVIEW | DATE | BY | REVIEW |
| 08/23/2025 | SPR | REVIEW | 08/23/2025 | SPR | REVIEW |
| 09/02/2025 | SPR | REVIEW | 09/02/2025 | SPR | REVIEW |
| 09/02/2025 | SPR | REVIEW | 09/02/2025 | SPR | REVIEW |

SHEET CONTENT:
**EXISTING/
PROPOSED
EXTERIOR
ELEVATIONS**

FILE NO.:
ECU-25-033

SHEET NO.:
A-301



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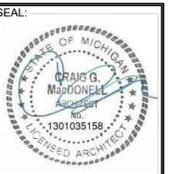
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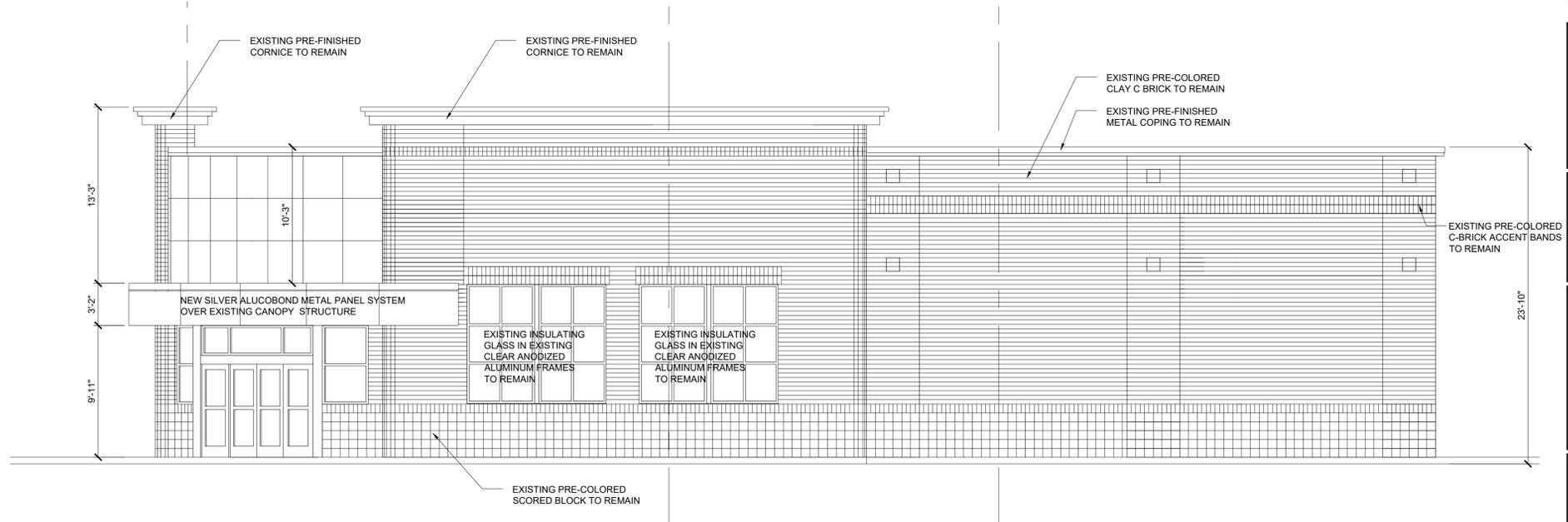
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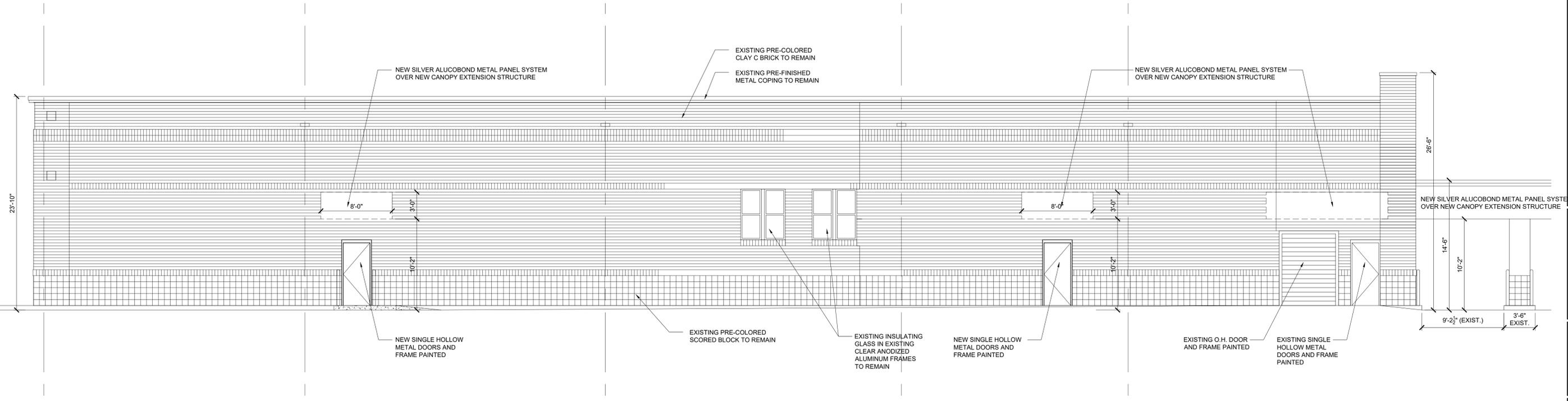
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SOUTH ELEVATION - EXISTING CONDITIONS / NEW ALTERATIONS

SCALE: 3/16" = 1'-0"



EAST ELEVATION - EXISTING CONDITIONS / NEW ALTERATIONS

SCALE: 3/16" = 1'-0"

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ISSUED FOR:
OWNER REVIEW
DATE: 08/23/2025
DATE: 02/20/2025
DATE: 01/21/2025

SHEET CONTENT:
**EXISTING/
PROPOSED
EXTERIOR
ELEVATIONS**

FILE NO.:
ECU-25-033

SHEET NO.:
A-302



THESE DRAWINGS ARE CONSIDERED DESIGN INTENT AND ARE NOT FOR CONSTRUCTION
 DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ARE FOR GUIDANCE ONLY.
 FIELD DIMENSIONS AND CLIENT EQUIPMENT SPEC'S MUST BE TAKEN PRIOR TO MANUFACTURE.

- preliminary
- presentation
- final/bid
- revision

client

Extra Credit UNION

location

NEW HAVEN, MI

project

CONCEPT

drawn

SB

date

22 Dec 2025

drawing number

I-404

title

**EXTERIOR
CONCEPT
RENDERING**

scale

NTS