

# LIONS CLUB

# INTERIOR RENOVATION

57882 LUTES STREET  
NEW HAVEN, MI 48048

**BUILDING CODES & DESIGN STANDARDS:**

PROJECT LOCATION: NEW HAVEN, MI  
2021 MICHIGAN MECHANICAL CODE  
2021 MICHIGAN PLUMBING CODE  
2023 MICHIGAN PART 8 ELECTRICAL CODE  
2021 MICHIGAN UNIFORM ENERGY CODE-COMMERCIAL  
2021 INTERNATIONAL PROPERTY MAINTENANCE CODE  
2021 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS, AREA  
OF WORK, ALTERATION LEVEL 2, W/ REFERENCES TO MICHIGAN BUILDING  
CODE 2021

**PROJECT SCOPE:**

THIS PROJECT INVOLVES AN INTERIOR RENOVATION OF AN EXISTING  
BANQUET HALL. THE WORK WILL INCLUDE ARCHITECTURAL,  
MECHANICAL & ELECTRICAL ENGINEERING FOR THE PROPOSED  
INTERIOR RENOVATIONS.

**SHEET INDEX:**

A.1 TITLE SHEET, LOCATION, DEMOLITION, FLOOR & REFLECTED  
CEILING PLANS  
A.2 DOOR SCHEDULE, DETAILS & BARRIER FREE MOUNTING HEIGHTS  
M.0 MECHANICAL LEGENDS, SYMBOLS, SHEET INDEX & DEMOLITION PLAN  
M.1 OVERALL PLUMBING FLOOR PLAN  
M.2 OVERALL HVAC & ROOF PLAN  
M.4.0 MECHANICAL SCHEDULES  
M.4.1 MECHANICAL DETAILS  
M.5 MECHANICAL SPECIFICATIONS  
E.0 ELECTRICAL RISER DIAGRAM, GENERAL NOTES, & SCHEDULES  
E.1 ELECTRICAL FLOOR PLANS- DEMOLITION, POWER & LIGHTING

**BUILDING DATA:**

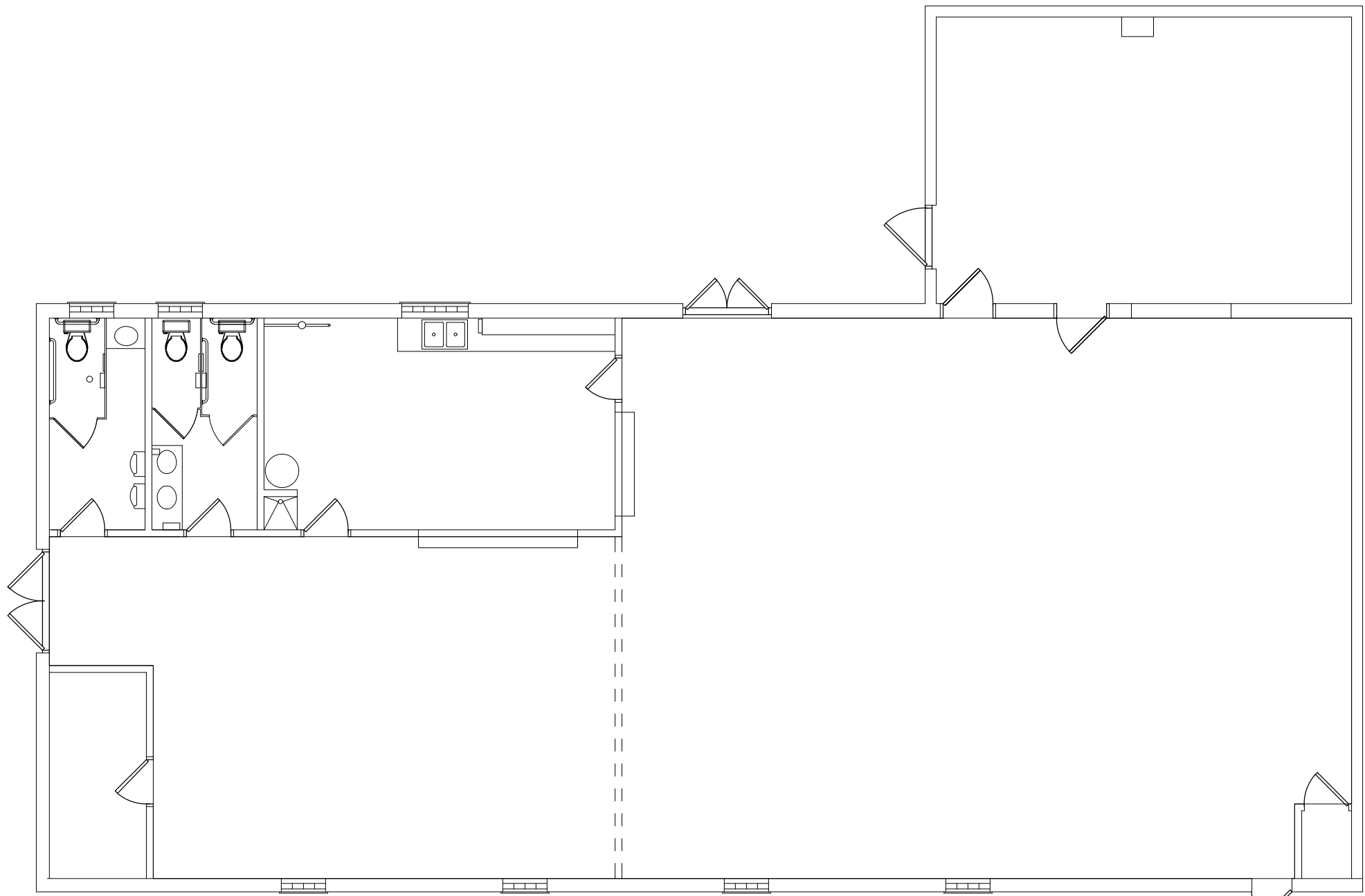
TENANT AREA: 3,038SF. GROSS AREA (EXCLUDING EXTERIOR WALL  
THICKNESS)  
CONSTRUCTION TYPE: TYPE VB  
USE GROUP: ASSEMBLY A-2  
NON-SPRINKLED  
OCCUPANCY CALCULATION: (BY RATIO)  
ASSEMBLY (1 PER 15 SF. GROSS) SF/15 = OCCUPANTS  
BARRIER FREE TOILET ROOM  
MAXIMUM TRAVEL DISTANCE 200'

**EGRESS OCCUPANT LOADS:**

TOTAL NUMBER OF OCCUPANTS (BY RATIO): 171 EGRESS  
WIDTH/OCCUPANT (1000:1 IBC): 02  
EGRESS WIDTH REQUIRED: NO. OF OCCUPANTS x EGRESS WIDTH  
X 0.2" = 3.4"  
EGRESS WIDTH PROVIDED: XX"  
NUMBER OF EXITS REQUIRED (1102.1 IBC): 1  
NUMBER OF EXITS PROVIDED: 4

**GENERAL NOTES:**

1. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE  
CONTRACTOR IS RESPONSIBLE FOR THE WORK NOTED HERE IN.  
COORDINATE ALL DRAWINGS/NEW WORK & NOTIFY ARCHITECT/  
OWNER OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE  
PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE  
CONTRACTOR TAKING FULL RESPONSIBILITY & LIABILITY FOR SAID  
DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE  
OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE  
WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WOOD, INCLUDING BLOCKING, USED SHALL BE FIRE  
RETARDANT TREATED.
5. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE,  
COUNTY CODE REGULATIONS & O.S.H.A.
6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE  
KEEPING FLOOR LEVEL @ WALL BASE CONDITION.
7. REINFORCE WALL & PROVIDE BLOCKING AS REQUIRED TO  
SUPPORT WALL CABINETS & COUNTERTOPS.
8. COORDINATE W/ OWNER'S SUPPLIED EQUIPMENT FOR  
INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL/  
CEILING MOUNTED ITEMS: TV'S, SPEAKERS ETC.
9. CONTRACTOR SHALL CONDUIT A ROUGH ELECTRICAL  
INSPECTION W/ OWNER, PRIOR TO ENCLOSING WALLS, FOR THE  
PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER,  
DATA, SWITCH, THERMOSTAT, ETC.
10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL  
BE FIRE CAULKED/TAPED.
11. CONTRACTOR SHALL COORDINATE ALL OWNER SUPPLIED  
ITEMS FOR THE CONTRACTOR TO INSTALL.
12. MECHANICAL CONTRACTOR TO CONNECT VENT LINES, WATER  
SUPPLY & SANITARY TO EXISTING STUBS.
13. INSTALL TACTILE EXIT SIGNS REQUIRED BY SECTION 103.4 MBC.



**DEMOLITION PLAN**

SCALE: 1/8"=1'-0"

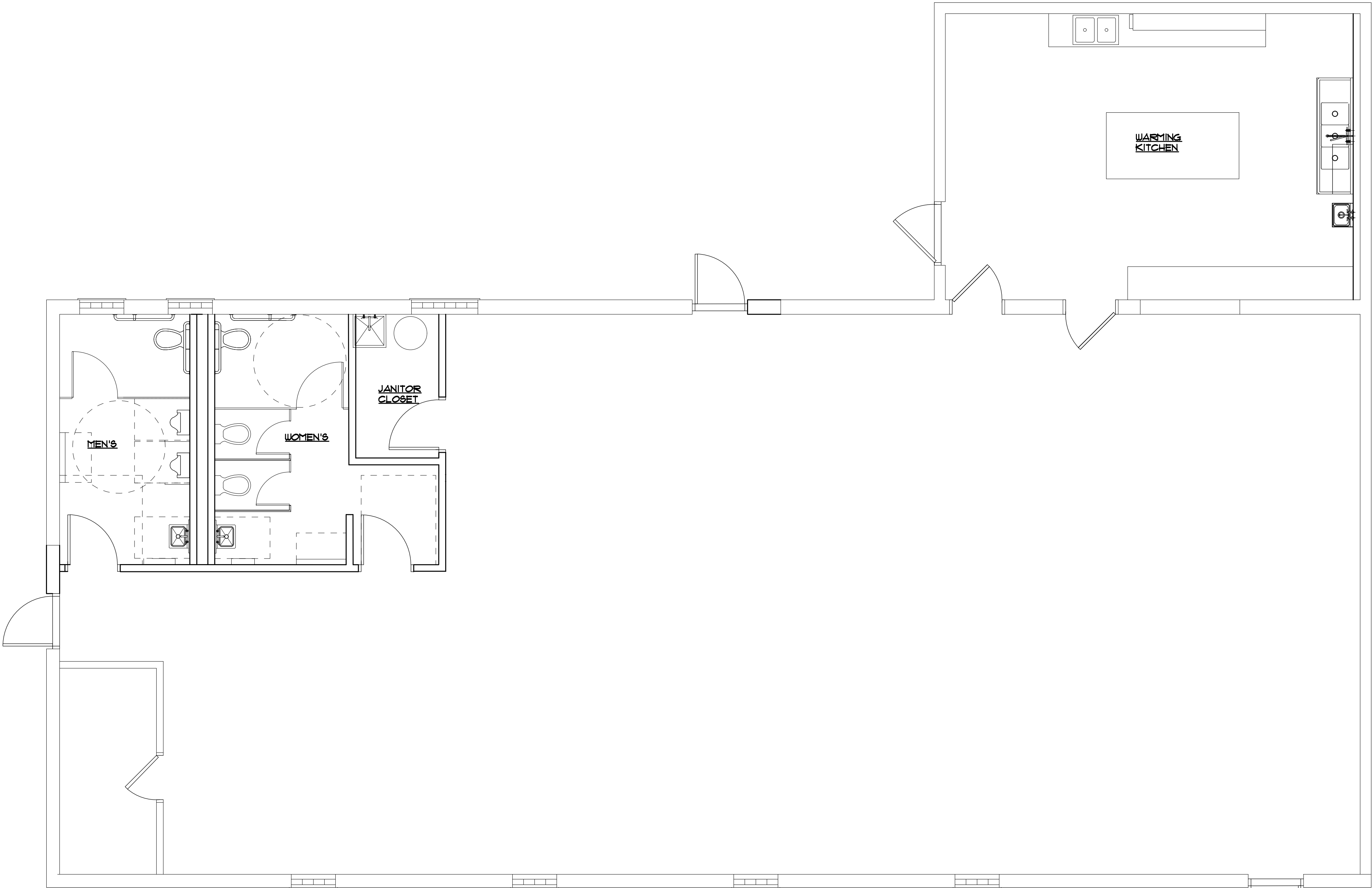


**DEMOLITION NOTES:**

1. SAW-CUT REMOVED & REPLACE CONCRETE SLAB AS  
REQUIRED FOR PLUMBING INSTALLATION (SEE  
MECHANICAL DWGS.)

**NOTE:**

1. REFER TO MECHANICAL & ELECTRICAL DRAWINGS  
FOR ADDITIONAL DEMOLITION NOTES.



**FLOOR PLAN**

SCALE: 1/4"=1'-0"

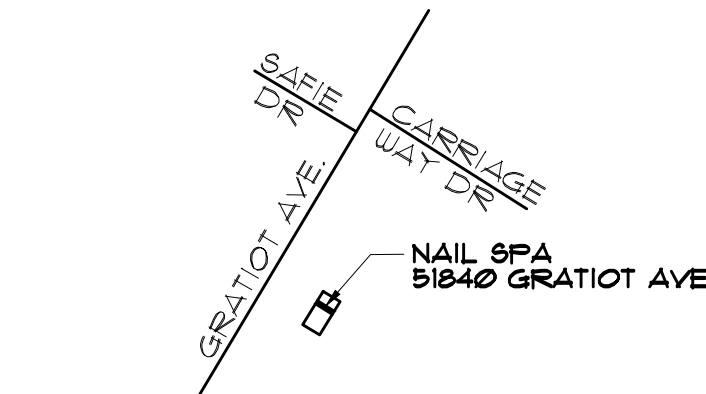


**WALL TYPES:**

- 5/8" GYP. BD. ON EACH SIDE 3 5/8" 20 GA.  
METAL STUDS @ 1'-4" O.C. FROM FINISH FLOOR TO  
U/S OF ROOF DECK
- EXISTING DEMISING WALL-5/8" TYPE 'X' GYP.  
BD. ON 6" METAL STUDS FROM FINISH FLOOR  
TO UNDERSIDE OF ROOF DECK (1 HOUR RATED)  
FILL DECK FLUTES W/ FIRE RAPING INSULATION.
- (E) EXISTING
- 5/8" GYP. BD. ON 3 5/8" 20 GA. METAL STUDS @  
1'-4" O.C. 4'-0" HIGH W/ CAF BY OWNER.
- SAME AS 'A' EXCEPT TO UNDERSIDE OF EXIST.  
LAY-IN CEILING GRID & SOFFIT (FIELD VERIFY)

**NOTES:**

1. DOOR W/O DOOR TAGS & SHOWN @ 45° ARE  
EXISTING TO REMAIN.
2. TILE FLOORING, BASE, WALL PAINT, & CEILING  
GRID FINISHES BY OWNER.
3. (E)- EXISTING
4. BOX OUT FOR DUCTWORK, & ELECTRICAL  
RECEPTACLE. COORDINATE EXACT LOCATION IN  
FIELD. BOX OUT TO EXTEND 4" ABOVE LAY-IN  
CEILING (TYP.)
5. 3" STAND PIPE 48" HIGH W/ 4X4X3/8" STEEL R.  
EXPANSION BOLT @ CORNER



**LOCATION PLAN**

SCALE: NO SCALE

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PROJECT  
**LIONS CLUB INTERIOR  
RENOVATION**  
57882 LUTES STREET  
NEW HAVEN, MI 48048

SUBJECT  
TITLE SHEET, LOCATION,  
DEMOLITION PLANS

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**ISSUED:**  
BIDS & PERMITS  
12/XX/2025

DRAWN T.J.F.  
CHECKED T.J.F.  
APPROVED T.J.F.  
BDS  
CONSTR

DO NOT SCALE  
PRINTS - USE  
FIGURED  
DIMENSIONS ONLY

JOB NO.  
**2025084**

SHEET  
**A.1**  
LIONS CLUB