



Legend

SF - SINGLE FAMILY

SF I - SINGLE FAMILY

SF II - SINGLE FAMILY

MF - MULTIPLE FAMILY

MH - MANUFACTURED HOUSING

GB - GENERAL BUSINESS

GBD - GENERAL BUSINESS DOWNTOWN

LI - LIGHT INDUSTRIAL

HI - HEAVY INDUSTRIAL

RO - RESIDENTIAL OFFICE

IO - INDUSTRIAL OFFICE

PUD

PROPOSED NEW BUILD OUT FOR:

GAS STATION - RETAIL SHOPS

59010 GRATIOT AVENUE
NEW HAVEN, MI

SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT-GRATIOT AVENUE	25'-0"	114'-6"	114'-6"
FRONT-27 MILE ROAD	25'-0"	65'-0"	65'-0"
SIDE	10'-0"	56'-6"	56'-6"
REAR	20'-0"	120'-0"	120'-0"

SITE INFORMATION	
SITE INFORMATION:	
ZONED:	"GB" GENERAL BUISNESS
TOTAL SITE AREA: 271,378 SQ.FT.	
TOTAL ACREAGE: 271,378/43,560 = 6.23 ACERS	
BUILDING COVERAGE	
TOTAL BUILDING AREA: 14,564 SQ.FT	
BUILDING COVERAGE:14,564/271,378 = 0.05X100 = 5 %	
PARKING AVAILABILTY EXISTING:	
BUILDING AREA :	14,564 SQ. FT.
PARKING RATIO :	1 Parking Space For Every 171 Square Feet of Gross Floor Area
TOTAL PARKING :	84 SPACES
PARKING AVAILABILTY PROPOSED:	
BUILDING AREA :	14,564 SQ. FT.
PARKING RATIO :	1 Parking Space For Every 227 Square Feet of Gross Floor Area
TOTAL PARKING :	51 SPACES + 12 SPACES UNDER CANOPY

LEGAL DESCRIPTION
PER THE CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 50-563504 SITUATED IN THE VILLAGE OF NEW HAVEN, MACOMB COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT SOUTH 1/4 POST SECTION 27, TOWN 4 NORTH, RANGE 14 EAST, THENCE SOUTH 85 DEGREES 04 MINUTES 30 SECONDS WEST 850.84 FEET, THENCE NORTH 27 DEGREES 32 MINUTES EAST 1207.70 FEET ALONG EAST SIDELINE GRATIOT HIGHWAY, OR M19, 120 FEET WIDE, THENCE NORTH 84 DEGREES 52 MINUTES EAST 198.50 FEET, THENCE SOUTH 05 DEGREES 08 MINUTES EAST 1019.75 FEET TO POINT OF BEGINNING.
PARCEL IDENTIFICATION
N0. 26-06-27-300-023

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Fire Savvy Consultants

701 Woodward Heights, Suite 106

Ferndale, MI 48220

Plan Review #: 25-2-330R

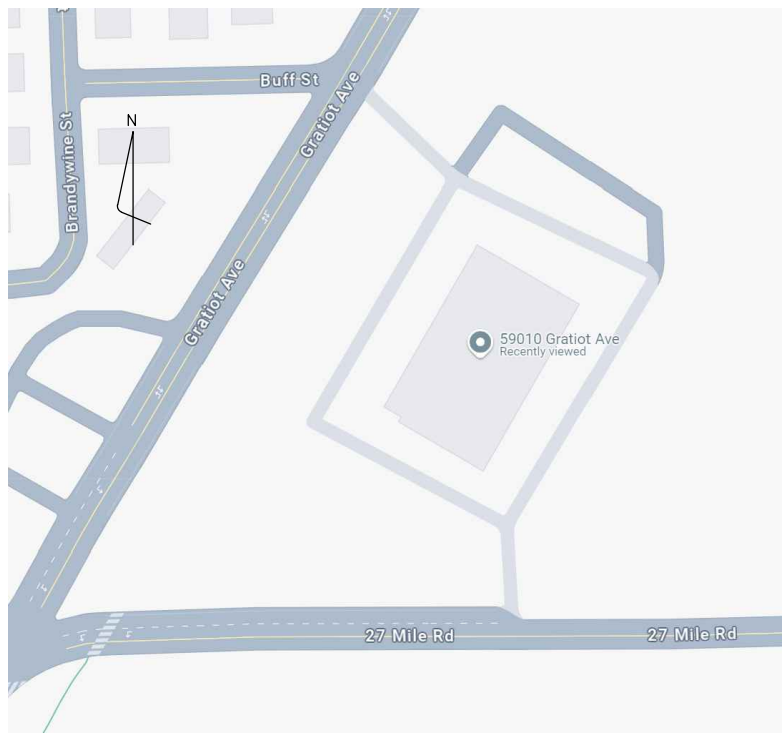
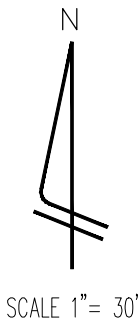
Reviewed by: Timothy J. Blackwood Jr.

We recommend the submittal be: **NOT APPROVED**

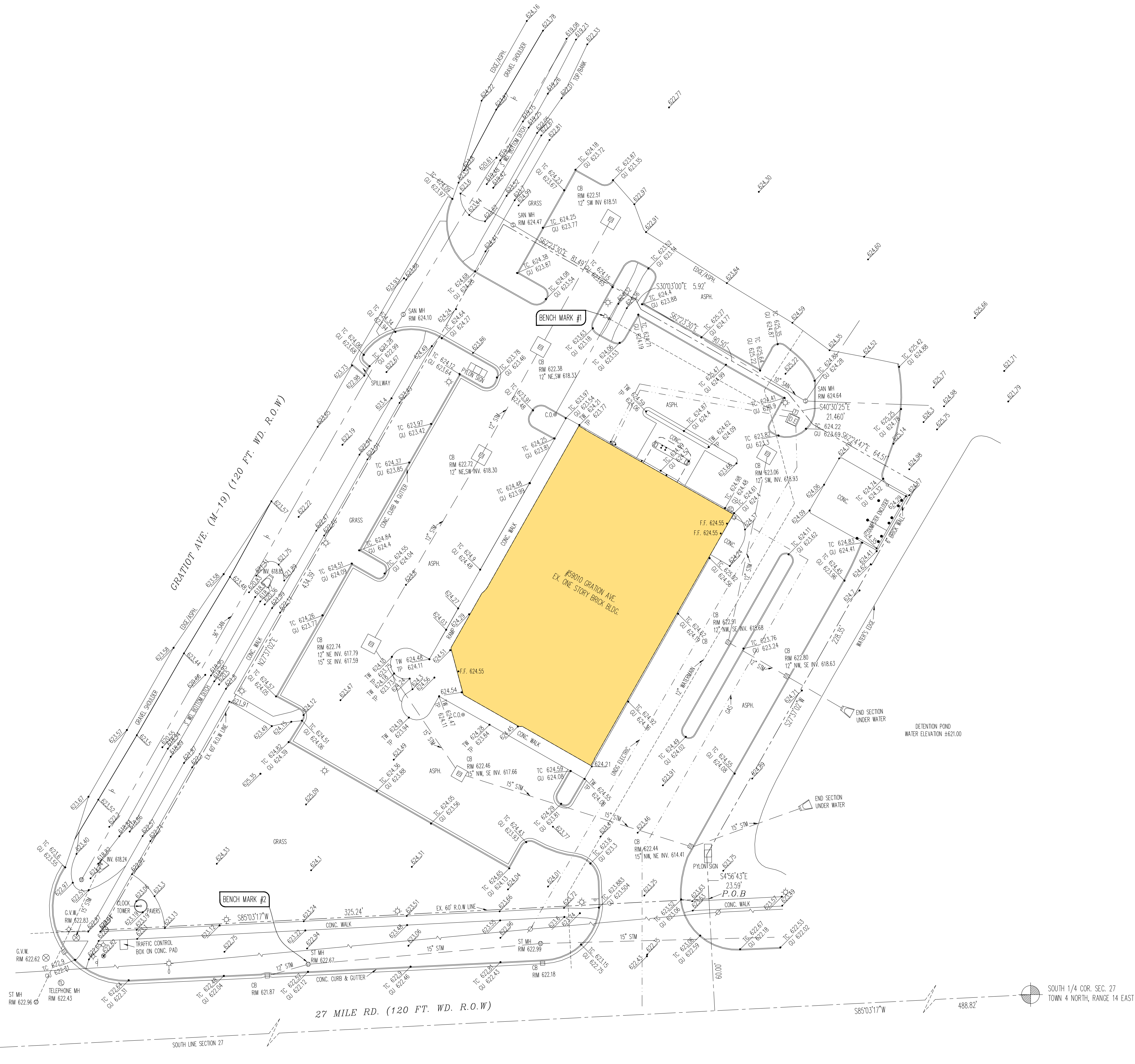
Date: July 25, 2025

See letter for comments

PROJECT DESCRIPTION	SITE INFORMATION
THE EXISTING BUILDING USED TO BE A RITE AID , THE PROPOSED USE OF THE BUILDING WE ARE SUBMITTING IN THE PROPOSED SHEETS BELOW SHOW A PROPOSED GAS STATION WITH A DIVE-IN CANOPY AND 6 PUMPS UNDER, RETAIL SHOPS AS INDICATED IN THE FLOOR PLAN AND ELEVATIONS. IMPORTANT NOTE: ALL EXISTING EXTERIOR LIGHTING AND LANDSCAPING TO REMAIN EXCEPT FOR BEING IN PROGRESS AREA. PROPOSED LIGHTS AND LANDSCAPING TO SUBSTITUTE ANY REMOVED LIGHTS OR TREES OR SHRUBS.	SALE TYPE: INVESTMENT OR OWNER USER PROPERTY TYPE: RETAIL PROPERTY SUBTYPE: DRUG STORE BUILDING SIZE: 14,564 SF YEAR BUILT: 2009 TENANCY: SINGLE BUILDING HEIGHT: 1 STORY BUILDING FAR: 0.05 ZONING: GENERAL BUSINESS PARKING: 85 SPACES (5.84 SPACES PER 1,000 SF LEASED) FRONTAGE: 307 FT ON GRATIOT AVE



LOCATION MAP
(N.T.S.)



FLOOD HAZARD NOTE
THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD ZONE AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THE PROPERTY LIE WITHIN ZONE "X" (MINIMUM FLOOD HAZARD) OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. 26099C02576 AFFECTIVE DATE OF 09-29-2006

BENCH MARKS

B.M. #1: ARROW ON FIRE HYDRANT
ELEVATION= 626.30 (NAVD88)

B.M. #1: RIM OF STORM MANHOLE
ELEVATION= 622.67 (NAVD88)

PROPERTY DESCRIPTION

LAND IN THE TOWNSHIP OF LENOX, VILLAGE OF NEW HAVEN, COUNTY OF MACOMB, STATE OF MICHIGAN:
A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 27, TOWN 4 NORTH, RANGE 14 EAST, VILLAGE OF NEW HAVEN, MACOMB COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 27; THENCE S 85°03'17" W, 488.82 FEET ALONG THE SOUTH LINE OF SECTION 27 AND THE CENTERLINE OF 27 MILE ROAD; THENCE N 04°56'43" W, 60.00 FEET TO A POINT ON THE NORTHERLY 60 FEET RIGHT OF WAY LINE OF 27 MILE ROAD AND THE POINT OF BEGINNING; THENCE ALONG SAID LINE S 85°03'17" W, 325.24 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF CRATIOT AVENUE; THENCE ALONG SAID LINE N 27°37'02" E, 434.39 FEET; THENCE S 62°23'30" E, 81.49 FEET; THENCE S 30°03'00" E, 5.92 FEET; THENCE S 62°23'30" E, 90.50 FEET; THENCE S 40°30'25" E, 21.46 FEET; THENCE S 62°24'47" E, 64.51 FEET; THENCE S 27°37'02" W, 228.35 FEET ALONG A LINE PARALLEL WITH THE EAST RIGHT OF WAY LINE OF CRATIOT AVENUE; THENCE S 04°56'43" E, 23.59 FEET TO THE POINT OF BEGINNING.

SURVEY TECH.

LAND SURVEYING CIVIL ENGINEERING
3253 LYNHURST CT., OAKLAND TWP., MI 48306
TEL (248) 670-6556

TOPOGRAPHIC SURVEY

PROPRIETOR: AMMAR DALOU

SCALE: 1"=30'	DATE: 05-02-2025	JOB #: 25115	SHEET:
DRAWN BY: M.M.F.	CHECKED BY: D.R.	APPROVED BY:	



EXISTING	PROPOSED	LEGEND

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CAN NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN.





EXISTING SITE PLAN

SCALE: 1" = 20'-0"

GRATIOT AVENUE / M-19(120)

FULL ACCESS DRIVE

GRATIOT AVENUE / M-19(120' WIDE)

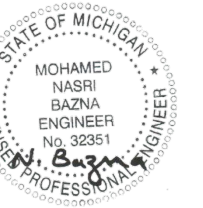
#59010 GRATIOT AVE
COMMERCIAL
RITE AID

27 MILE ROAD (66' WIDE) - (CLARK STREET)
(ADT-400) (MACOMB COUNTY AND VILLAGE OF NEW HAVEN)

FULL ACCESS DRIVE

Architect Info:

Seal:



GAS STATION - RETAIL SHOPS

59010 Gratiot Avenue, New Haven, MI

HASSANEIN AL AKARI - AMMAR DALOU

Project Name:

Project Location:

Owner:

Sheet Title:

SP-1

Sheet Number:

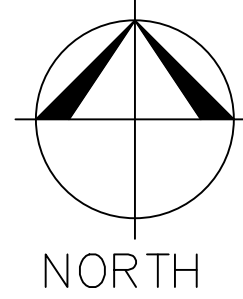
EXISTING SITE
PLAN

Scale:

NOTED

DATE:

03/31/2025



PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

GRATIOT AVENUE / M-19(120')

FULL ACCESS DRIVE

GRATIOT AVENUE / M-19(120' WIDE)

27 MILE ROAD (66' WIDE) - (CLARK STREET)
(ADT-400) (MACOMB COUNTY AND VILLAGE OF NEW HAVEN)

FULL ACCESS DRIVE

#59010 GRATIOT AVE
COMMERCIAL
RITE AID

55 AVAILABLE
PARKING SPACES
EX ASPHALT
PAVEMENT

LAWN

LAWN

LAWN

LAWN

LAWN

Architect Info:

Seal:



GAS STATION - RETAIL SHOPS

59010 Gratiot Avenue, New Haven, MI

HASSANEIN AL AKARI - AMMAR DALOU

Project Name:

Project Location:

Owner:

Sheet Title:

SP-2

Sheet Number:

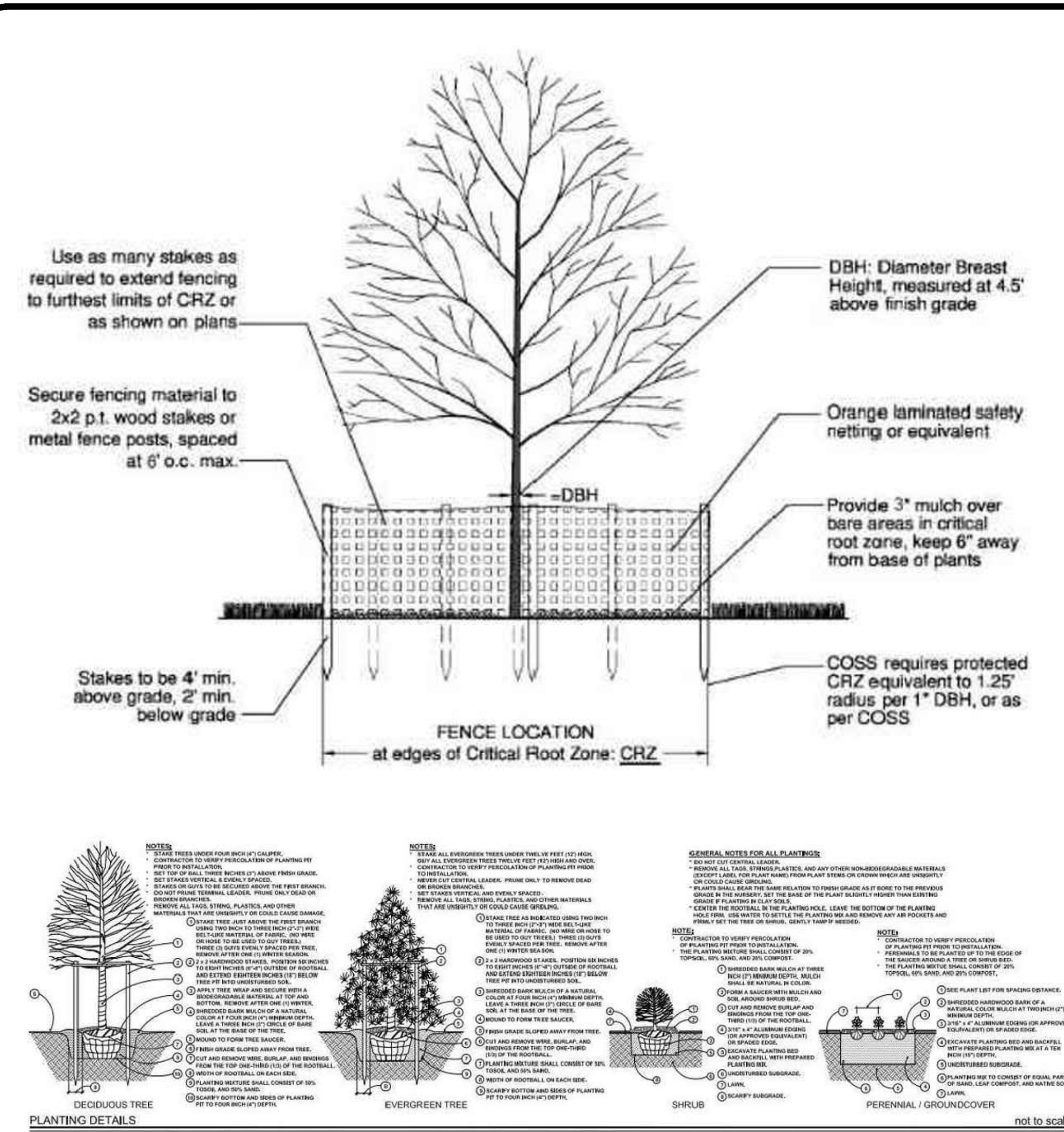
PROPOSED SITE
PLAN

Scale:

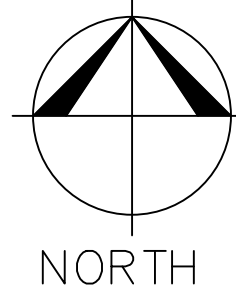
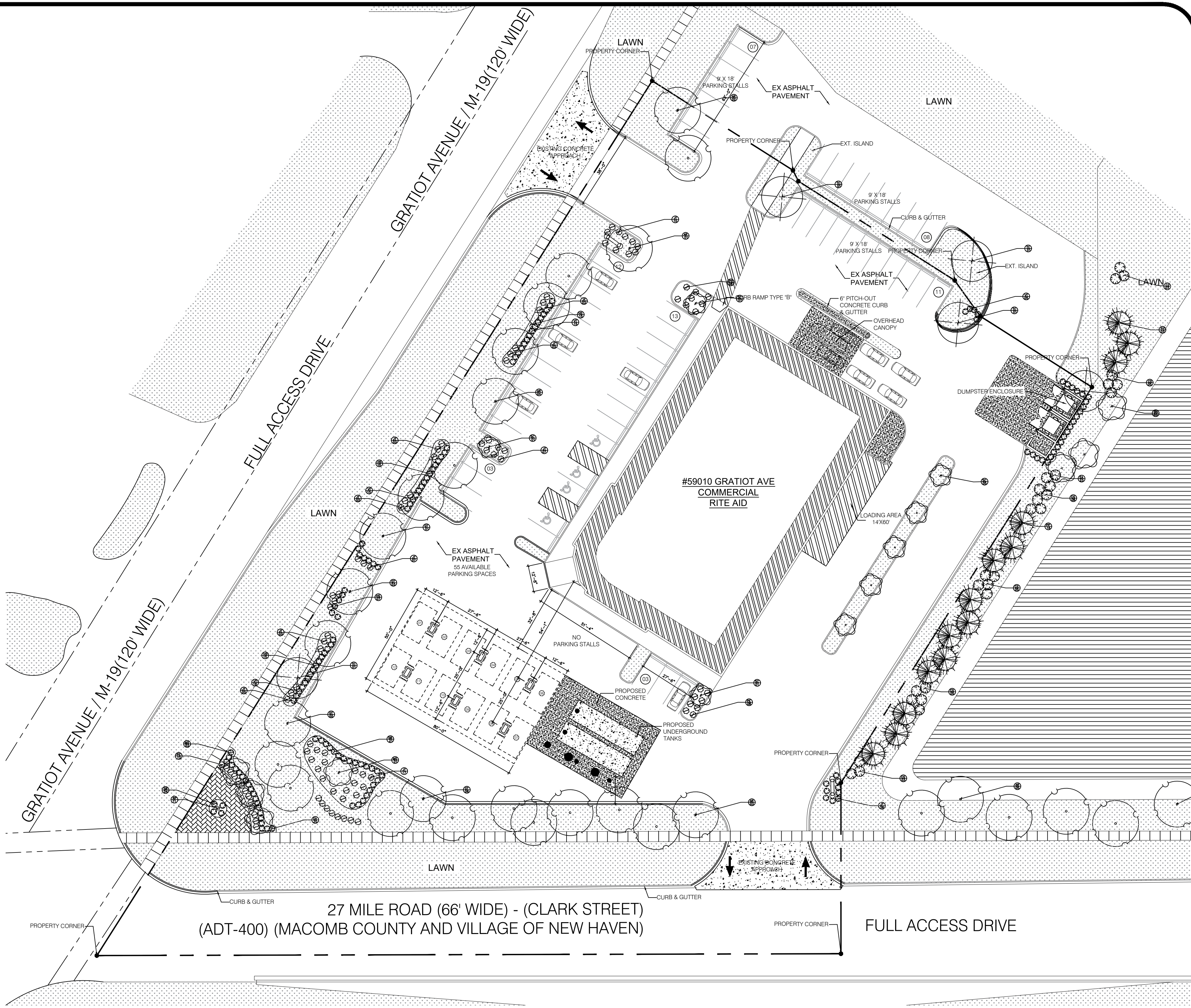
NOTED

DATE:

03/31/2025



SYMBOL	NAME	QUANTITY
	TC	QTY = 1
	MS	QTY = 1
	GT	QTY = 3
	VT	QTY = 15
	SB	QTY = 26
	JT	QTY = 9
	HS	QTY = 68



PROPOSED LANDSCAPING PLAN
SCALE: 1" = 30'-0"

PROPOSED	QUANTITY REMOVED DUE TO PROPOSED CONSTRUCTION	PROVIDED
FRONTAGE LANDSCAPE TREES (27 MILE RD)	TREES: 1 TC - 1 MS - 1 GT SHRUBS: 3 JT - 26 SB - 53 HS	3 TREES - 29 SHRUBS 53 LILYS
FRONTAGE LANDSCAPE TREES (GRATIOT AVENUE)	TREES: 2 GT SHRUBS: 6 JT - 15 VT - 15 HS	2 TREES - 36 SHRUBS

Architect Info:

Seal:

Project Name: GAS STATION - RETAIL SHOPS

Project Location: 59010 Gratiot Avenue, New Haven, MI

Owner: HASSANEIN AL AKARI - AMMAR DALOU

Sheet Title: SP-3

Sheet Number: PROPOSED LANDSCAPING PLAN

Scale: NOTED

DATE: 03/31/2025

GENERAL PHOTOMETRIC SCHEDULE

FOR EVALUATION USE ONLY	2.05
MAXIMUM FOOT-CANDLES	17.7
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	381.17
AVERAGE TO MINIMUM FC RATIO	43.95

GENERAL NOTES

- ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES AND DOES NOT CAUSE GLARE OR LIGHT TRESPASS THAT INTERFERES WITH THE VISION OF MOTORISTS. LIGHTING SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO.278.
- SIGNS SHALL MEET THE REQUIREMENTS OF ZONING ORDINANCE NO.278.
- NO OUTSIDE STORAGE WILL BE ALLOWED, WHICH INCLUDES PALLET STORAGE, OVERNIGHT VEHICLES, TRAILER STORAGE, OR SHIPPING CONTAINERS.
- GROUND-MOUNTED TRANSFORMERS AND ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED PER ZONING ORDINANCE NO.278.
- NO LAND DIVISION OR COMBINATION IS REQUIRED,
- NO SPECIAL LAND USE PERMIT APPLICATIONS ARE REQUIRED.



TECHNICAL DATA SHEET



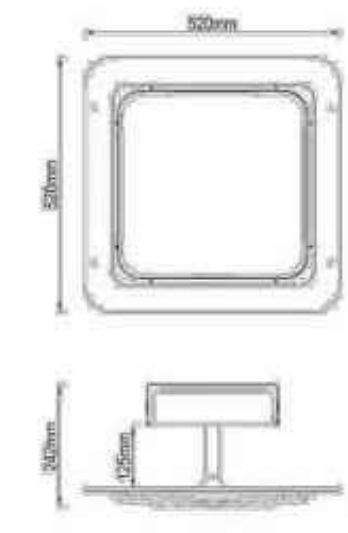
NAME: LED Canopy Light
P/N: SNC-CP-150W-3421-1602
DLC CODE :#9AFABNC

Advantage:

- UL, cUL, DLC certificate
- High CRI
- Mean Well IP65 driver, Input voltage 100-277vac
- No UV or IR in the beam
- Easy to install and operate
- Energy saving, Long lifespan
- Light is soft and uniform, Safe to eyes
- Instant start, NO flickering, NO humming
- Green and eco-friendly without mercury

Application:

- Gas station
- Service station, Toll station



SNC OPTO ELECTRONIC CO., LTD
Tel: +86-755-29683009
www.snc-lighting.com

Fax: +86-755-29684853
E-mail: info@snc-led.com



VIETNAM JJ LIGHTING COMPANY LIMITED

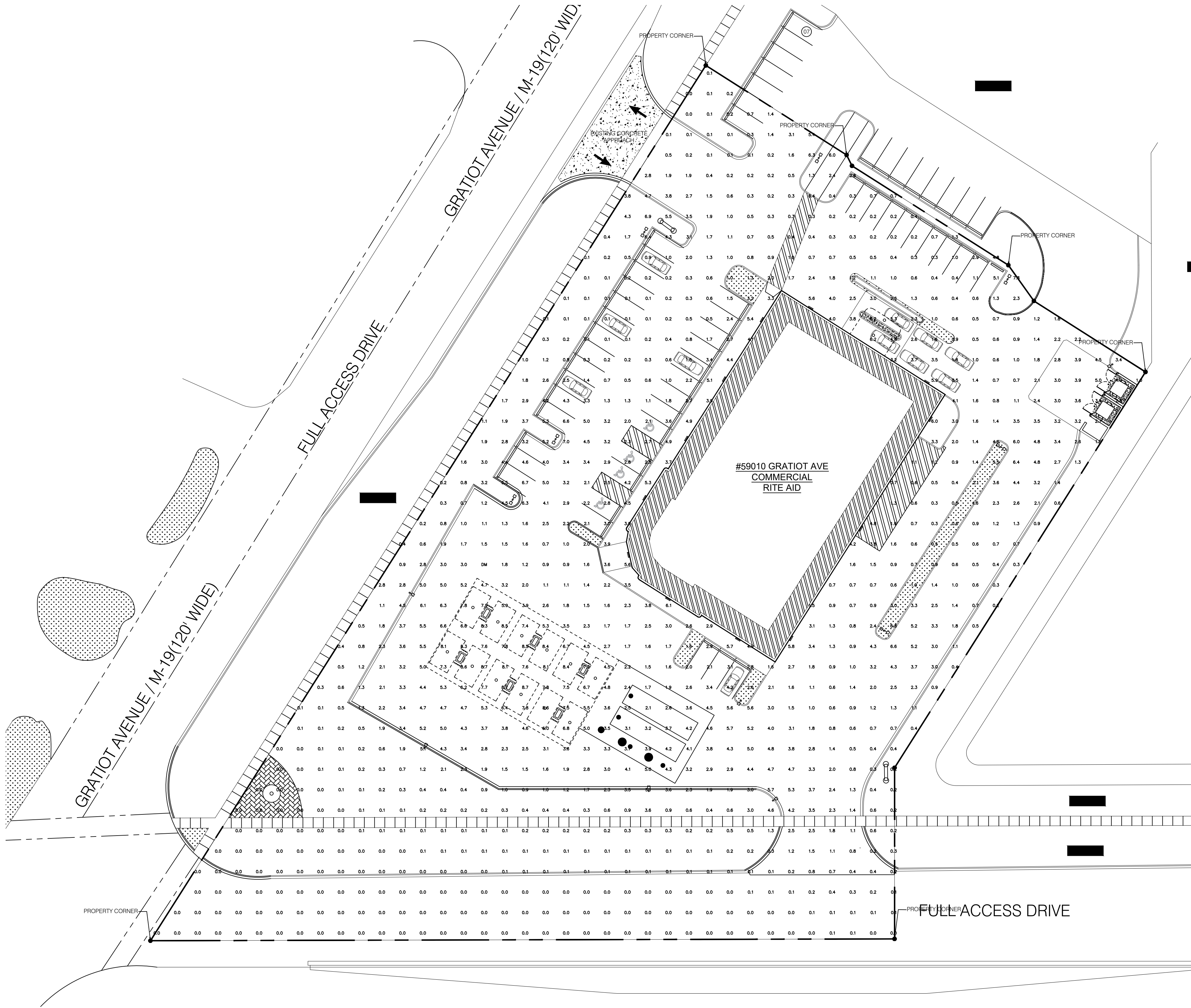
China: PPN2016, TND2016, LED Source: SMD3535, CRI>90, LM80 Lumens: 160,000lm
Shell Material: Bronze Aluminum Body/Glass Cover(A series)
Color Temperature: 3000K/4000K/5000K/6000K/CT65
Warranty: 5 Years
Certification: UL, FCC, CE, RoHS
Material No. Description:
DIM (Drawing Dimension)
DSD (Drawing-Driving Function)
DDE (Drawing-Emergency Function)
DCE (Drawing-Emergency-Emergency Function)
DCC (Color Temperature)

Part No.	Lumens (lm)	Power (W)	LED	Driver	Dimensions (mm)	Light Output (lm)	Notes
WPN01-0500LM, 01000000	4000	40W					
WPN01-0500LM, 01000000	8000	80W					
WPN01-0500LM, 01000000	160,000	80W	SMD3535	5-100 driver	112*76*27.5	AC100-277V	Body with 90° angle (provided)
WPN01-1000LM, 01000000	10000						
WPN01-1000LM, 01000000	10000						

The accessory of LED Wall Pack

The quotation is necessary in order for reference, the separate packed accessory item should be made at 10 Vietnam central and other items, Vietnam directly, and please see the list for your choice.

	AC100-200V/200V surge protection device		
	AC100-200V/200V surge protection device		
	Infrared sensor, DC12V		
	Infrared sensor & daylight sensor, AC100-277V		
	The remote controller of infrared sensor sensor		
	Emergency battery backup driver, AC100-277V/100W		



PROPOSED PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

Architect Info:

Seal:



Project Name: GAS STATION - RETAIL SHOPS

Project Location: 59010 Gratiot Avenue, New Haven, MI

Owner: HASSANEIN AL AKARI - AMMAR DALOU

Project Name:

Project Location:

Owner:

Sheet Title:

SP-4

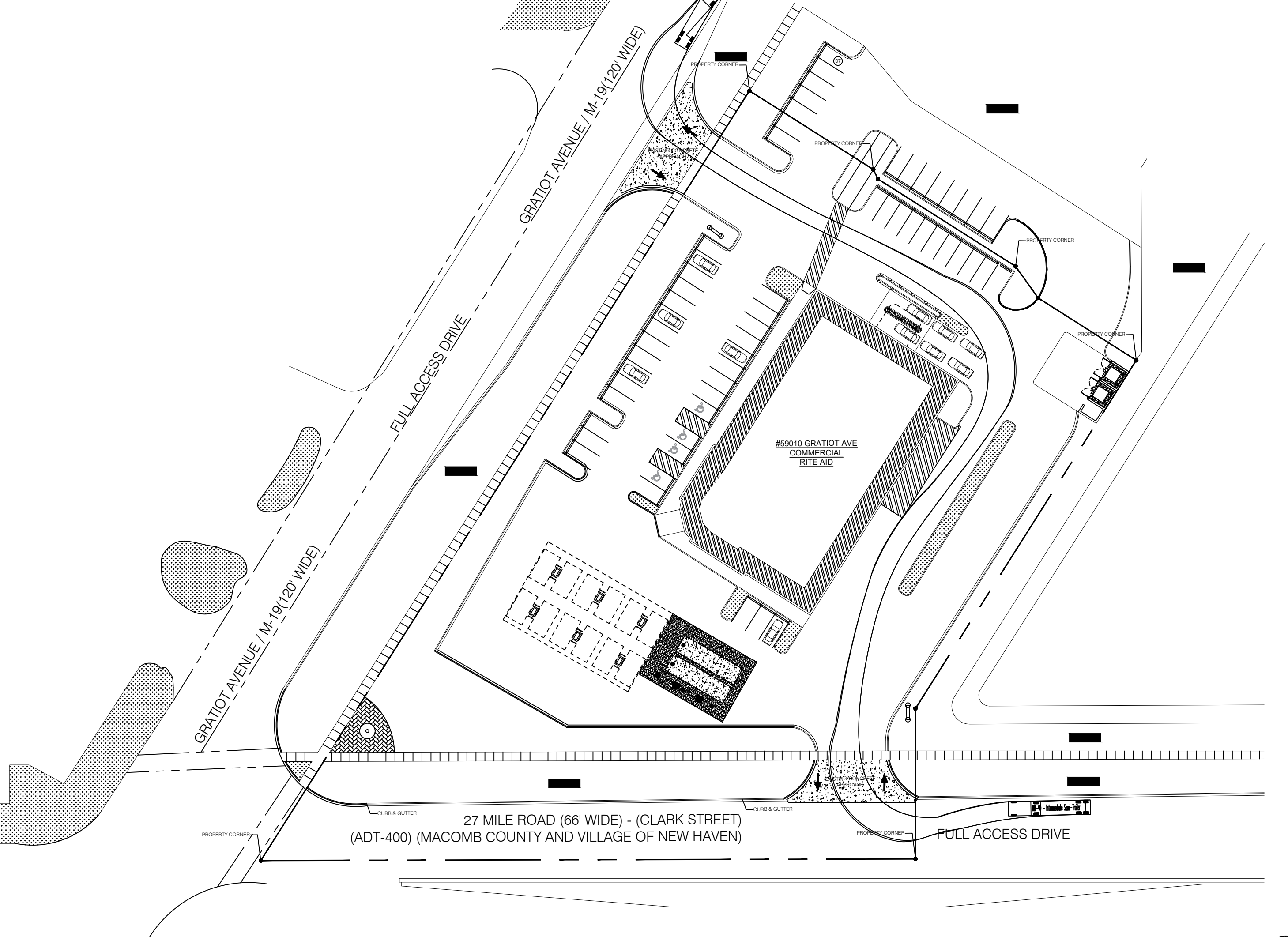
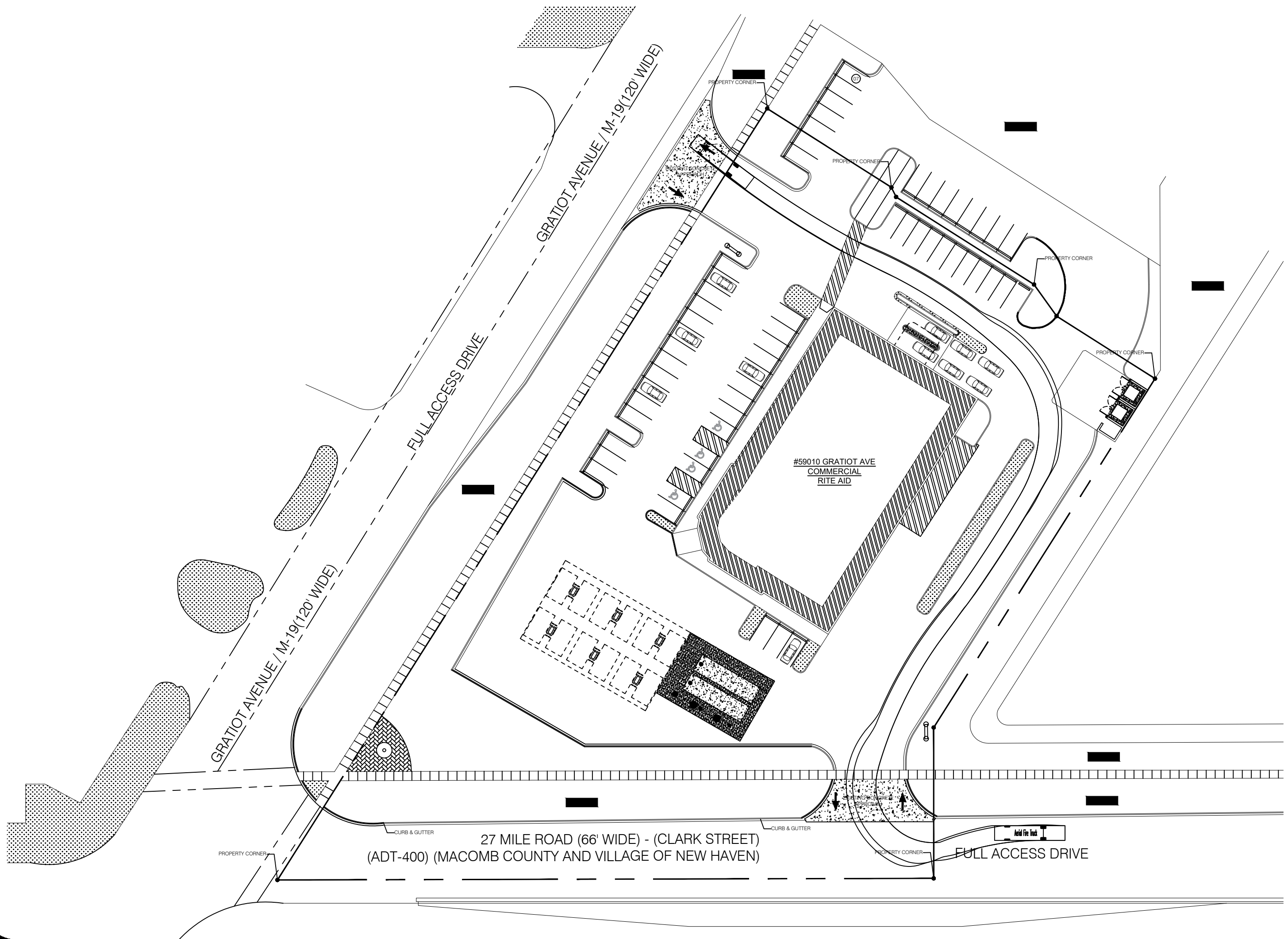
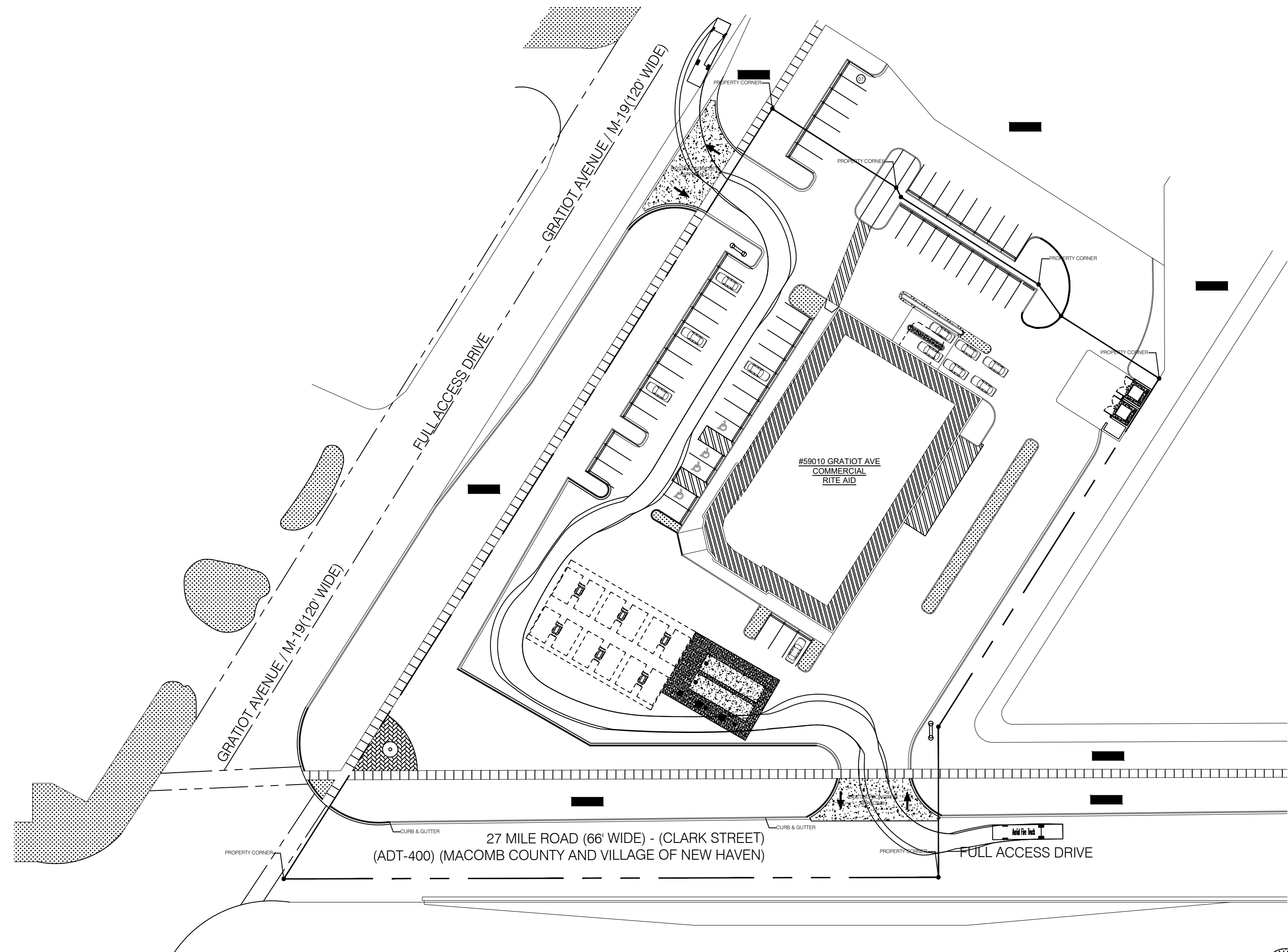
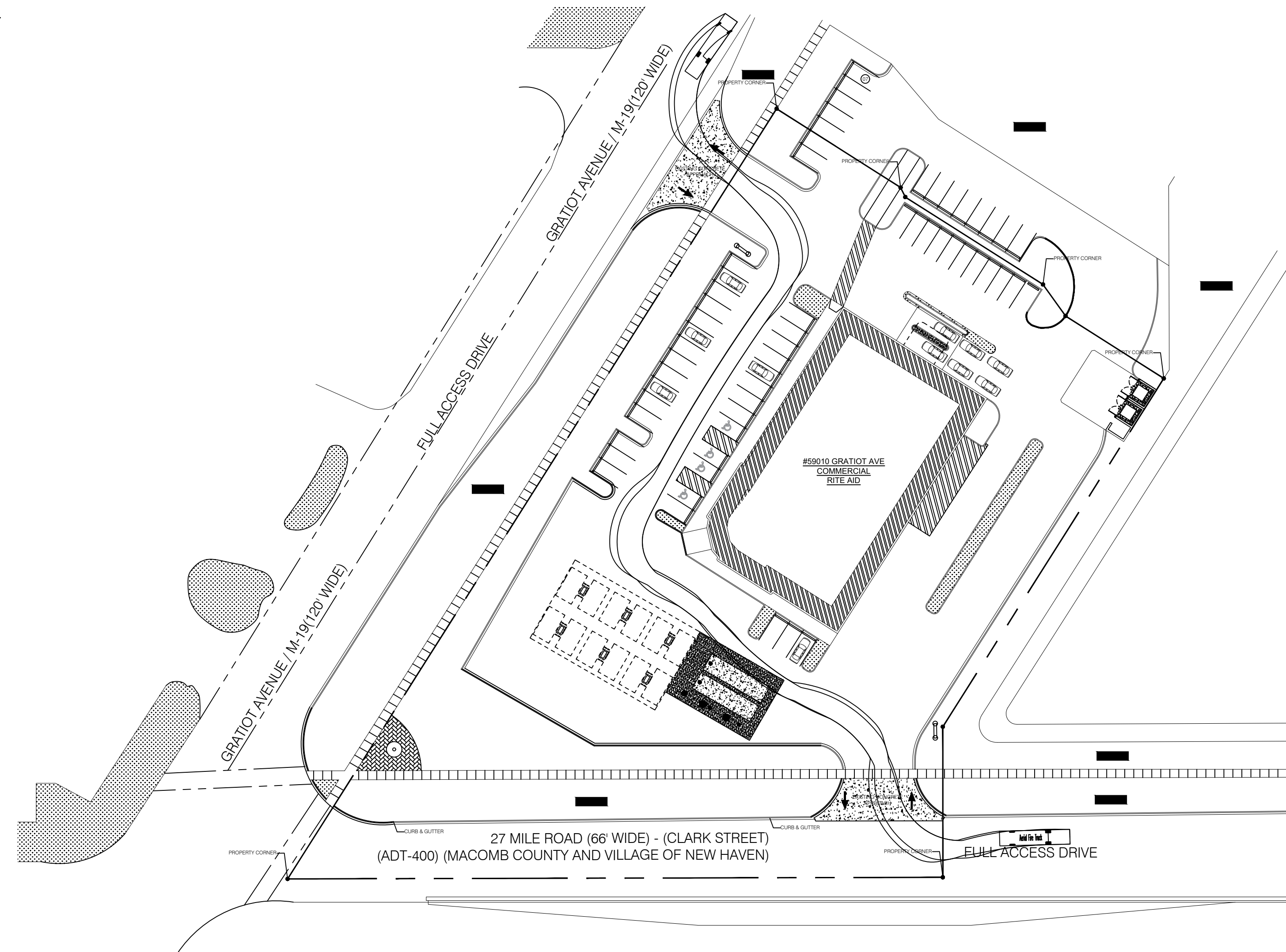
Sheet Number:
PROPOSED
PHOTOMETRIC
PLAN

Scale:

NOTED

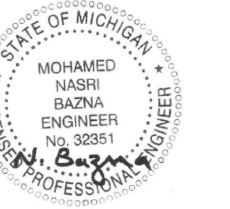
DATE:

03/31/2025



Architect Info:

Seal:



GAS STATION - RETAIL SHOPS

59010 Gratiot Avenue, New Haven, MI

HASSANEIN AL AKARI - AMMAR DALOU

Project Name:

Project Location:

Owner:

Sheet Title:

SP-5

Sheet Number:

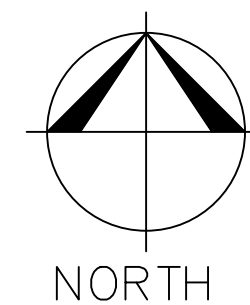
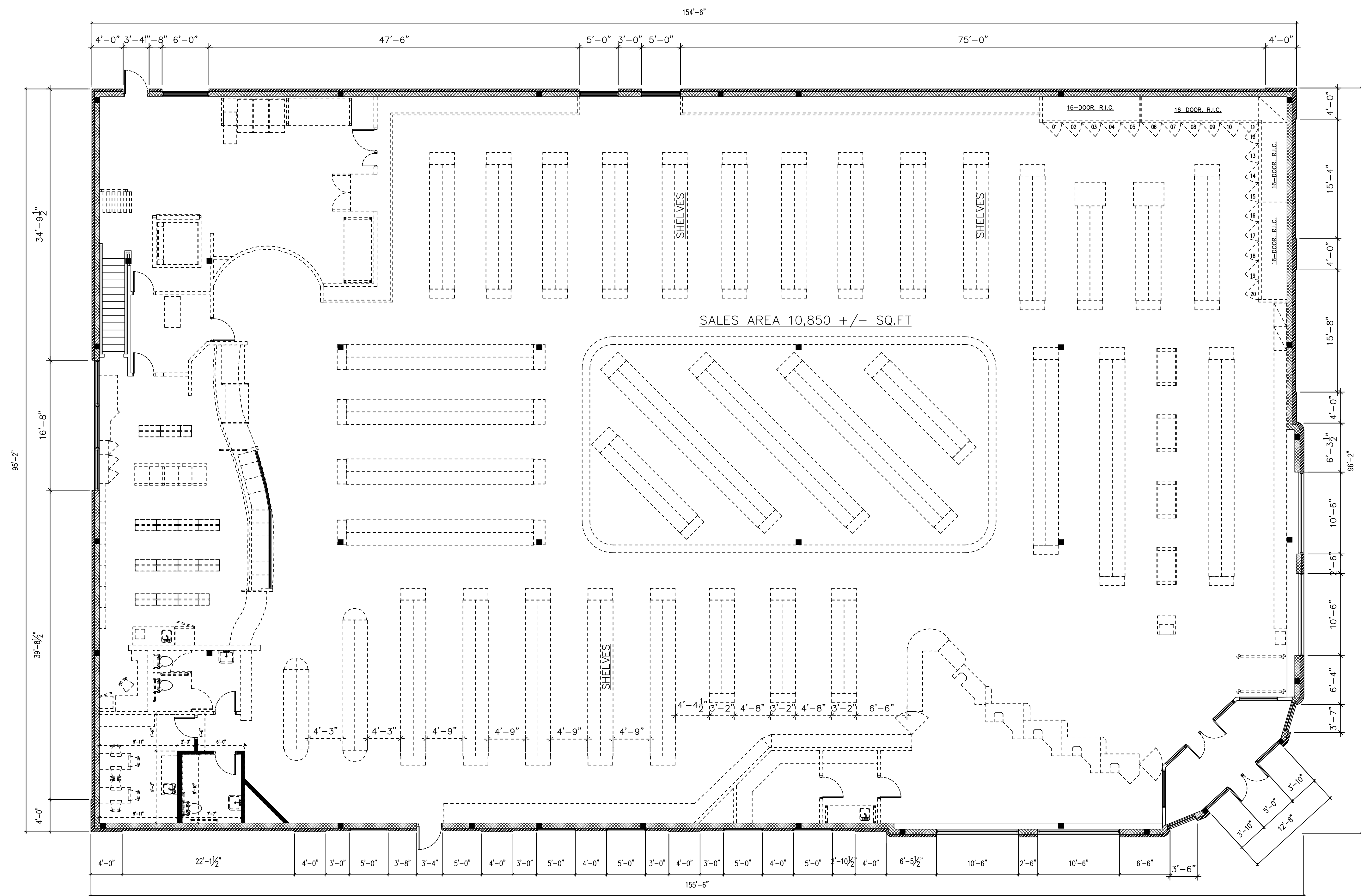
PROPOSED
TRUCK CIRCULATION
PLAN

Scale:

NOTED

DATE:

03/31/2025

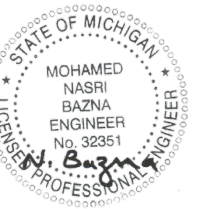


EXISTING FLOOR PLAN / INTERIOR DEMO PLAN

SCALE: 1/8" = 1' - 0"

Architect Info:

Seal:



GAS STATION - RETAIL SHOPS

59010 Gratiot Avenue, New Haven, MI

HASSANEIN AL AKARI - AMMAR DALOU

Project Name:

Project Location:

Owner:

Sheet Title:

A-1

Sheet Number:

EXISTING FLOOR PLAN

Scale:

NOTED

DATE:

03/31/2025

Architect Info:

Seal:



A circular professional seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "1820" at the bottom. The inner ring contains the text "ENGINEER". The center of the seal contains the name "MOHAMED HANER BAZHA" and the number "NO. 3034". A signature, "M. Bazha", is written across the center of the seal.



Project Name: GAS STATION - RETAIL SHOPS

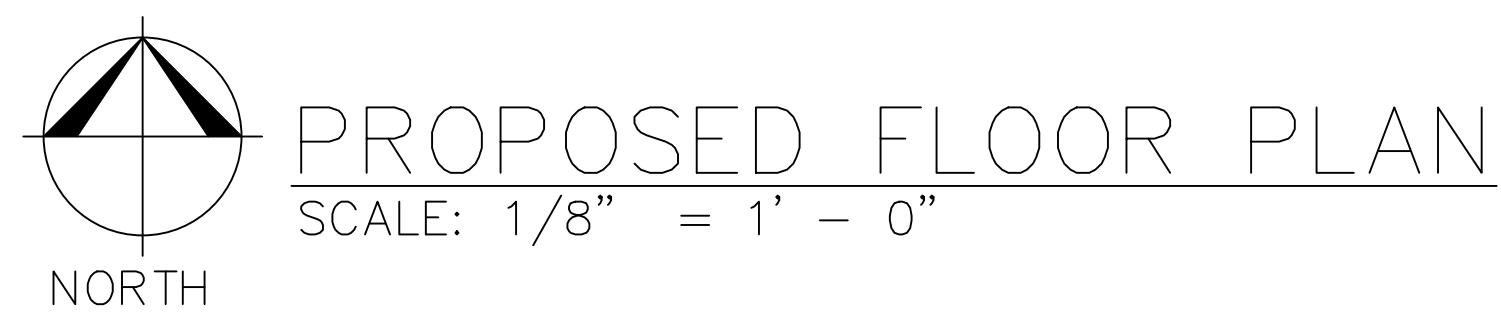
Project Location: 59010 Gratiot Avenue, New Haven, MI

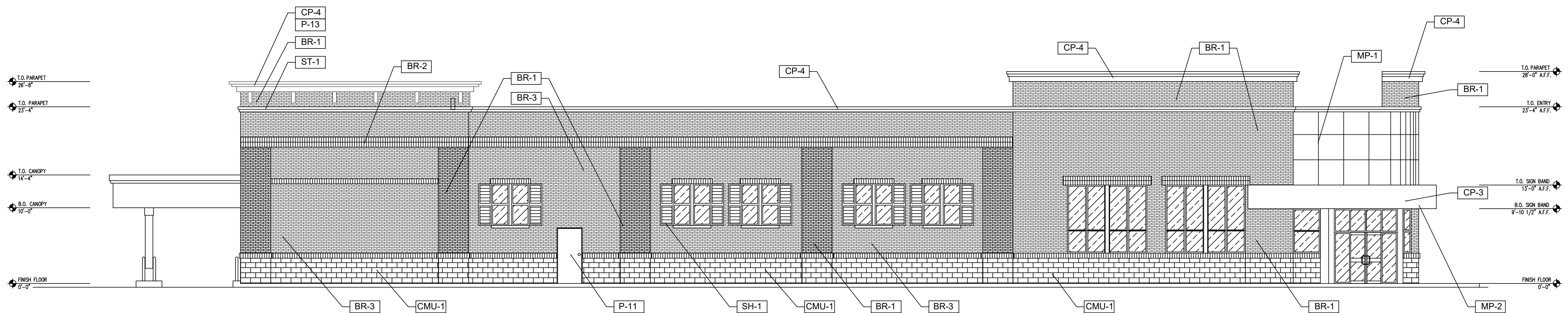
Owner: HASSANEIN AL AKARI - AMMAR DALOU

<u>Sheet Title:</u>
A-1.2
<u>Sheet Number:</u>
PROPOSED FLOOR PLAN
<u>Scale:</u>
NOTED
<u>DATE:</u>
03/31/2025

PROPOSED FLOOR PLAN

3/31/2025





SCALE: 1/8" = 1' - 0"

Architect Info:

Seal:



Project Name: GAS STATION - RETAIL SHOPS
Project Location: 59010 Gratiot Avenue, New Haven, MI
Owner: HASSANEIN AL AKARI - AMMAR DALOU

Sheet Title:

A-2.1

Sheet Number:

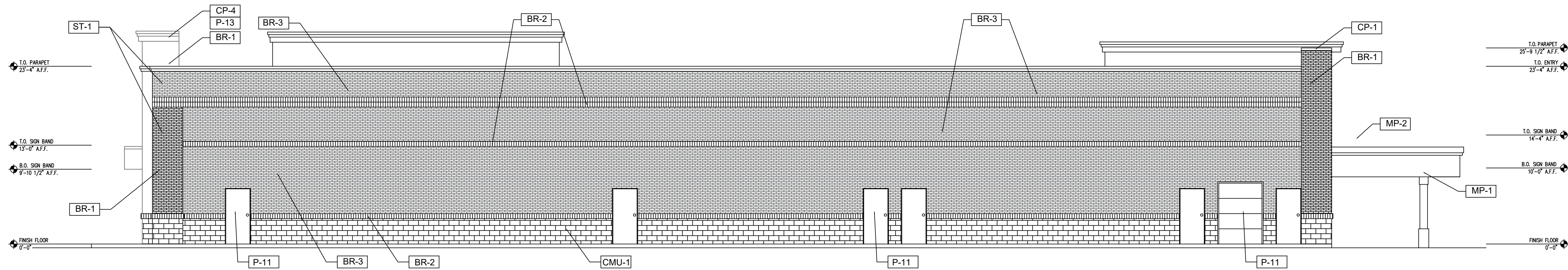
PROPOSED ELEVATIONS

Scale:

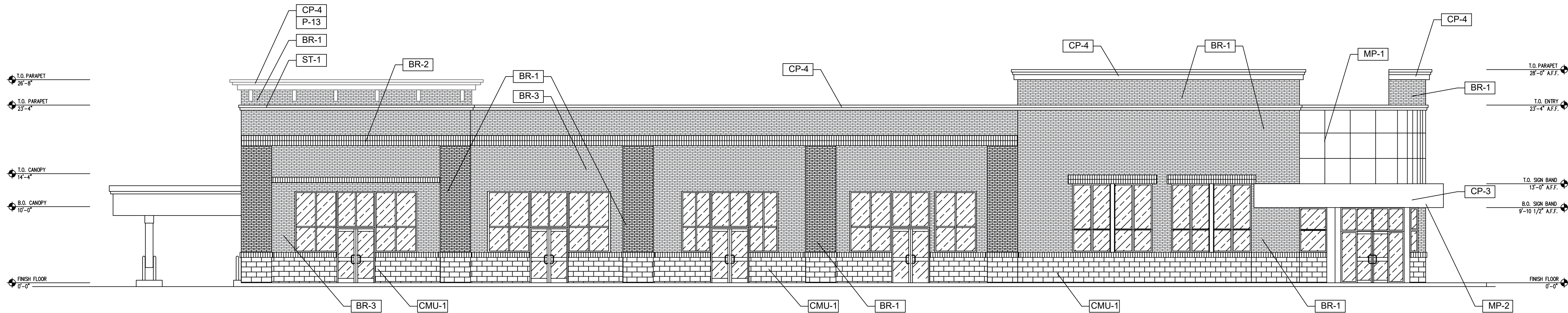
NOTED

DATE:

03/31/2025



PROPOSED EAST ELEVATION
SCALE: 1/8" = 1' - 0"



PROPOSED WEST ELEVATION
SCALE: 1/8" = 1' - 0"

NOTE :
ALL EXISTING MATERIALS TO REMAIN
(VERIFY COLORING BY OWNER MATCHING NEW HAVEN TOWNSHIP CODES)
PROPOSED MATERIAL SUCH AS WINDOWS (GLASS - ALUMINUM) TO MATCH EXISTING