

Site/Building Data

Site/Property Area: 91,386 Sq Ft (2.09 Ac)

Chapter 515: Zoning:
515-5 Zoning Map: Zoning Districts
Existing Zoning: GB - General Business

Chapter 515-50: General Business Districts (GB)
515-51 Principal Permitted Uses General Business Districts - GB
515-52 (M) New and used vehicle sales
515-74 Schedule of Area Regulations
Zoning District: GB - General Business Districts - GB

Building Height
Max (2 Stories): 1 Existing No Change
Max (35 Feet): 18'-8" Existing No Change
Building Setback
Min Front (35 Feet): 78'-0" Existing No Change
Min Rear (15 Feet): 16'-8" Existing No Change
Max Lot Coverage
Building (35%): ~1% Existing No Change

Chapter 515-101: Off Street Parking and Loading
515-101 (D) Number of Spaces Required: Motor Vehicle Sales & Service

1 per 200 Sq Ft of Usable Customer Area: 1,000	Sq.Ft. (Office)
Ratio: 200	Sq.Ft. (Garage)
Required: 5	Spaces
1 per Auto Service Stall: 1	Stall
Ratio: 1	Stall
Required: 2	Spaces
Total Parking Required: 7	Spaces
Total Parking Provided: 9	Spaces
Parking Overage/Underage: 2	Spaces

515-101 (G) Barrier-free parking standards: 1-25 (9)
Total Parking Required: 1
Total Parking Provided: 1

515-101 (B1) Parking Space Layout and Design:
Parking Pattern: 75° to 90°
Parking Space Width (Min 9 Ft): 9'
Parking Space Length (Min 18 Ft): 18'
Maneuvering Lane (Min 24 Ft): 24'

Parking Pattern: 0°	Actual
Parking Space Width (Min 8 Ft): 8'	Actual
Parking Space Length (Min 22 Ft): 22'	Actual
Maneuvering Lane - One Way (Min 12 Ft): 28'	Actual

LEGAL DESCRIPTION

DESCRIPTION 06-33-276-035

PART OF LOTS 19, 20, 21, AND 22, SUPERVISOR'S PLAT OF NEW HAVEN GARDENS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 20 OF PLATS, PAGE 31, MACOMB COUNTY RECORDS, DESCRIBED AS COMMENCING AT THE SOUTHEASTERLY CORNER OF LOT 23 OF SAID PLAT; THENCE NORTH 32 DEGREES 38'15" EAST 144.74 FEET; THENCE SOUTH 51 DEGREES 21'27" EAST 168.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 32 DEGREES 41'04" EAST 348.30 FEET; THENCE SOUTH 51 DEGREES 19'30" EAST 182.00 FEET; THENCE SOUTH 32 DEGREES 41'04" WEST 348.20 FEET; THENCE NORTH 51 DEGREES 21'27" WEST 182.00 FEET TO THE POINT OF BEGINNING.

DESCRIPTION 06-33-276-035

T.4N., R.14E. SECTION 39 COMM AT THE EAST 1/4 CORNER; THENCE N.00°13'31"E. 178.59 FEET TO POB. THENCE S.32°50'49"W. 43.36 FEET; THENCE N.56°47'16"W. 150.00 FEET; THENCE N.32°52'31"E. 186.11 FEET; THENCE S.57°09'10"E. 149.89 FEET; THENCE N.32°50'50"W. 143.71 FEET TO POB.

DRAWING INDEX

ARCHITECTURAL
A1 PROPOSED SITE PLAN

SURVEY

1 OF 1 BOUNDARY & TOPOGRAPHICAL SURVEY

PARKING

201 SPACES FOR VEHICLE DISPLAY
9 SPACES FOR EMPLOYEE
9 SPACES FOR CUSTOMER

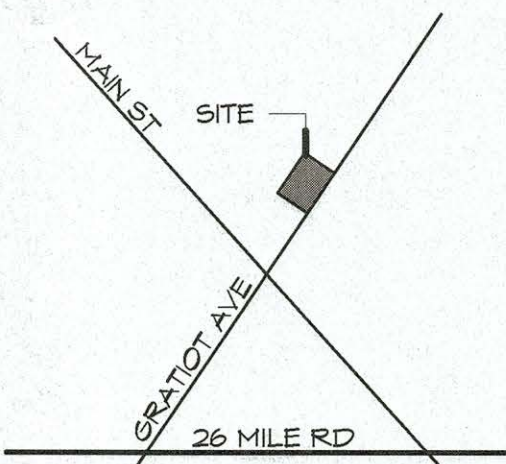
LANDSCAPING

8,307 SQ. FT. OF LANDSCAPING TO BE PROVIDED BUT NOT REQUIRED

6" CRUSHED COMPACTED ASPHALT MILLINGS ON COMPACTED SOIL. COMPACT TO 95% S.P.M.d.d.

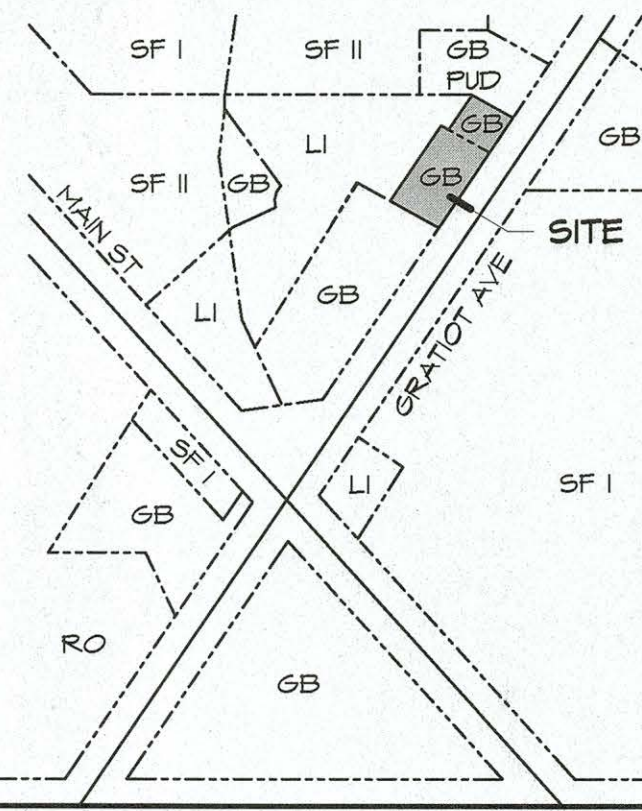
PAVEMENT SECTION

SCALE: No Scale



VICINITY MAP

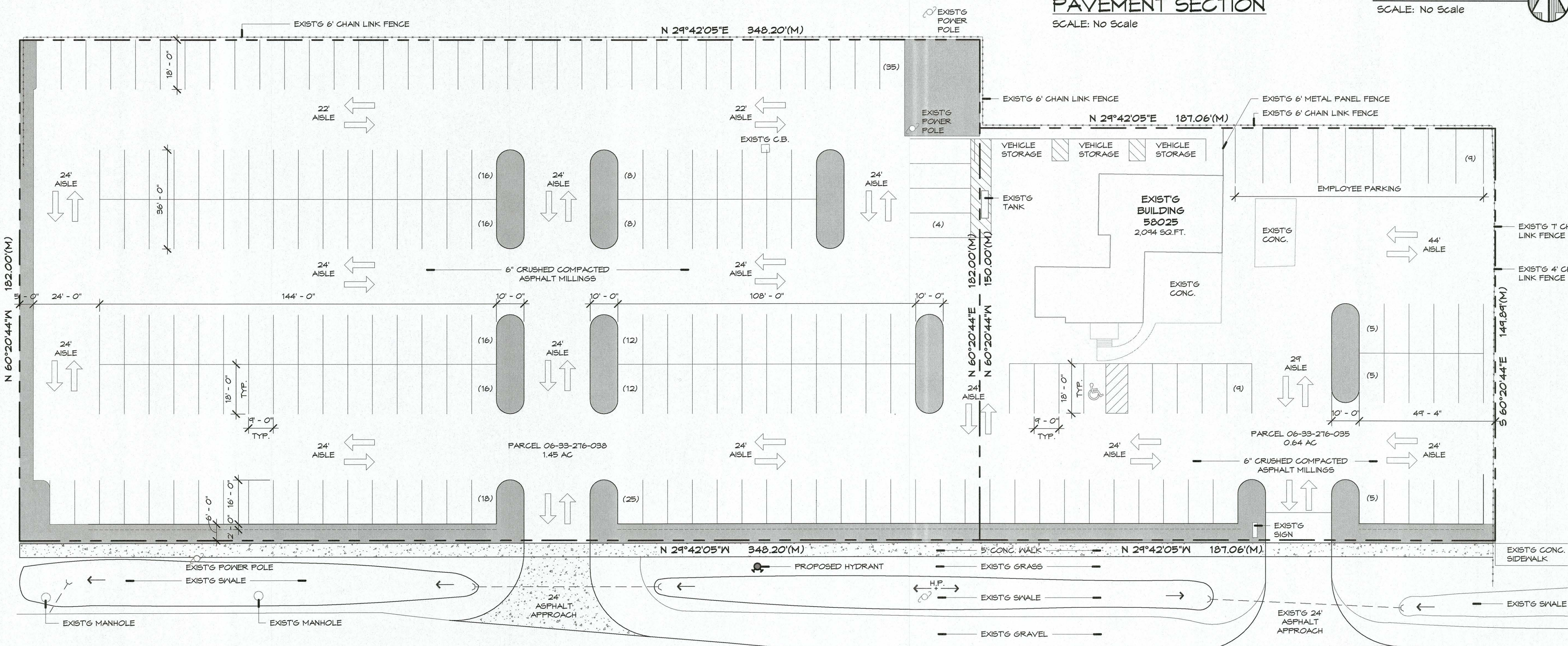
SCALE: No Scale



GB = GENERAL BUSINESS DISTRICT
LI = LIGHT INDUSTRIAL
SF I = SINGLE FAMILY
SF II = SINGLE FAMILY
RO = RESIDENTIAL OFFICE

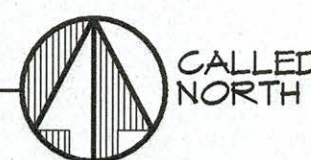
ZONING MAP

SCALE: No Scale



PROPOSED SITE PLAN

SCALE: 1" = 20'-0"



GRATIOT AVE

Drawn by: Anthony J Baker IV
Checked by: Benedetto Tiseo

Seal / Signature



Date: JUL 15 2025

Issued for: SITE PLAN APPROVAL - SLU Date: 15 JUL 2025

NOT FOR CONSTRUCTION

PROPOSED SITE PLAN

Project No. 25010 Sheet No. A1

Date Printed:

