

PRELIMINARY PLAN APPLICATION

ARCHWOOD TOWNHOMES



Presented by





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Development Narrative

THE SUBJECT PARCEL IS A ±10-ACRE MULTIFAMILY-2 SITE LOCATED WITHIN THE CASTLE VALLEY RANCH PUD IN THE TOWN OF NEW CASTLE. IT IS STRATEGICALLY POSITIONED ADJACENT TO KEY COMMUNITY ASSETS—INCLUDING KATHERYN SENIOR ELEMENTARY, RIVERSIDE MIDDLE SCHOOL, VIX PARK, AND HOT SHOT PARK—WITH PLANNED ACCESS VIA THE EXTENSION OF NORTH WILDHORSE DRIVE AND CONNECTION TO EXISTING UTILITY SERVICES.

THE SITE FEATURES GENTLY SLOPING TERRAIN CHARACTERIZED BY NATIVE SAGEBRUSH, PINON, AND JUNIPER INTERMINGLED WITH OPEN MEADOW AND PASTURE AREAS. A NATURAL DRAINAGE CHANNEL AND A NETWORK OF RECREATIONAL TRAILS TRAVERSE THE PROPERTY, UNDERSCORING ITS LARGELY UNDEVELOPED CHARACTER AND PROVIDING SEAMLESS CONNECTIVITY TO ADJACENT PARKLANDS.

THE PROPOSED RESIDENTIAL DEVELOPMENT ENVISIONS A VIBRANT MIX OF 66 TOWNHOMES THAT ENHANCE HOUSING DIVERSITY WHILE PRESERVING APPROXIMATELY 20% OF THE SITE AS OPEN SPACE. KEY DESIGN PRIORITIES INCLUDE CLUSTERING UNITS TO RESPOND TO EXISTING TOPOGRAPHY, INTEGRATING ON-SITE TRAIL ACCESS FOR ENHANCED CONNECTIVITY, INSTALLING OUTDOOR RECREATIONAL COURTS FOR PUBLIC USE, AND CREATING HIGH-QUALITY, LIVABLE SPACES THAT ALIGN WITH NEW CASTLE'S COMPREHENSIVE PLAN GOALS.

Conformance with Comprehensive Plan

GOAL CG-5: EMBRACING SMART GROWTH PRINCIPLES

We conform to Smart Growth by integrating mixed land uses, compact building design, and a diverse range of housing opportunities that foster walkable, vibrant communities. In addition, our project preserves open space and prioritizes development toward existing communities while ensuring predictable, cost-effective decision-making.

SUPPORTING RESIDENTIAL AND COMMERCIAL GROWTH

Our project reinforces New Castle's infrastructure by upgrading on-site utilities, transportation networks, and public amenities to support new residential growth. Additionally, we are aligned with the Town's strategic commercial infrastructure initiatives to foster economic development and ensure robust connectivity both on- and off-site.

POLICY HO-2B: FAVORING DEVELOPMENTS WITH HIGHER BUILDING DENSITIES.

Our project meets Policy HO-2B by delivering smaller, efficiently designed units in a higher-density format that serve middle and lower-income homebuyers. This approach maximizes housing opportunities and aligns with New Castle's land use policies, ensuring affordability and quality for the community.

POLICY POST-1A: ENHANCING COMMUNITY CONNECTIVITY

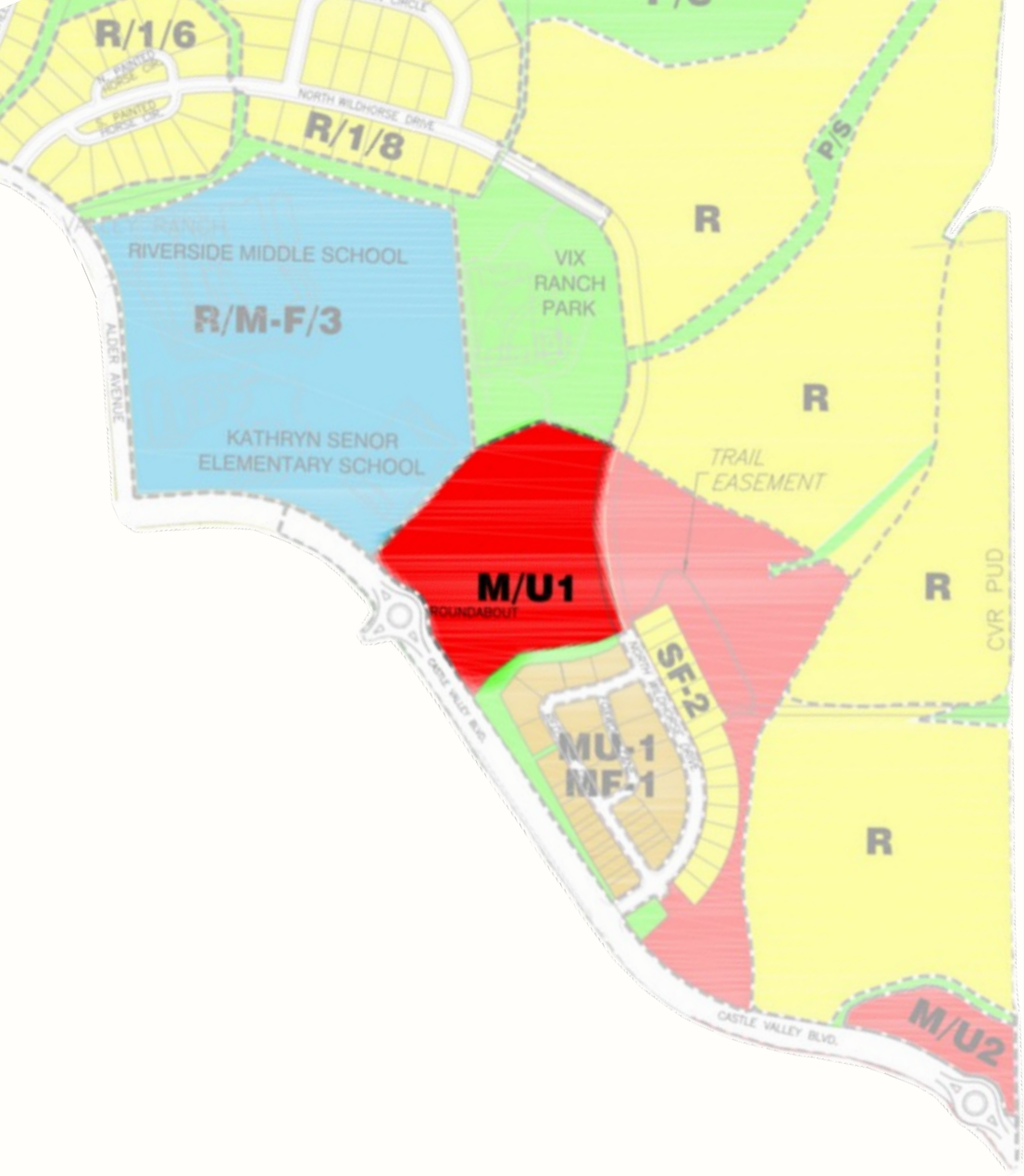
Our project conforms with Policy POST-1A by dedicating land and establishing trail easements that integrate seamlessly with existing park networks. Furthermore, our development is structured to generate resources that directly support the creation and enhancement of public park facilities and trail systems throughout New Castle,

GOAL E-2: STRENGTHENING LOCAL ECONOMY

Our project supports Goal E-2 by fostering mixed-use development that encourages local business growth and employment opportunities within New Castle. By integrating residential spaces with future commercial potential, we contribute to a more sustainable local economy and help increase employment opportunities for town residents .

POLICY CD-1G: DESIGN DIVERSITY

Our project embraces Policy CD-1G by implementing innovative multifamily layouts that break away from monotonous repetition. This design strategy creates distinctive, quality indoor and outdoor spaces that elevate the overall residential experience.



MF-2 Zoning PUD

Allowed Per Code	Proposed
Multifamily Residential Dwellings	Yes
Recreation & Entertainment	Yes Playground
Required Per Code	
10% Gross Area as Open Space	19.3% Gross Area as Open Space
Max Residential Density= 10 Units/Acre	6.4 Units/Acre
Residential Parking= 122	Parking Provided= 205

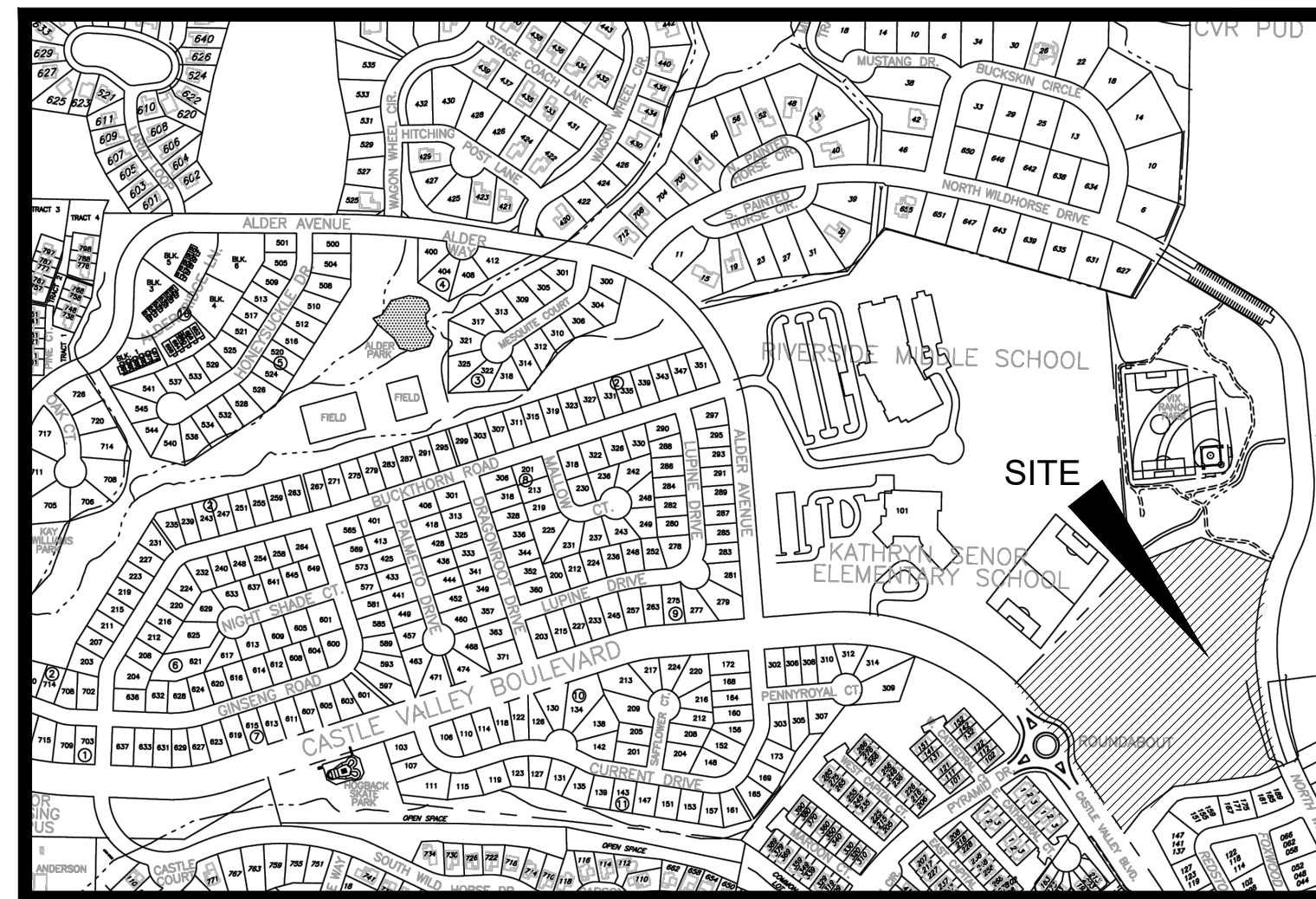
Approved Land Usage

OUR OPPORTUNITY



SITE DEVELOPMENT PLANS FOR ARCHWOOD TOWN HOMES

CASTLE VALLEY BOULEVARD
TOWN OF NEW CASTLE
GARFIELD COUNTY, COLORADO 81647
10.315ACRES
66 RESIDENTIAL LOTS & 7 OPEN AREAS



VICINITY MAP
N.T.S.

SHEET LIST TABLE	
Sheet Number	Sheet Title
C-1.0	COVER SHEET
S-1	IMPROVEMENT & TOPOGRAPHIC SURVEY
C-1.1	GENERAL NOTES
SP	SITE PLAN
C-2.0	DEMOLITION PLAN
C-3.0	PHASING PLAN
C-4.0	OVERALL GRADING PLAN
C-4.1	GRADING PLAN
C-4.2	GRADING PLAN
C-5.0	EROSION CONTROL PLAN
C-6.0	PRE-DRAINAGE AREA MAP
C-6.1	POST-DRAINAGE AREA MAP
C-6.2	DRAINAGE CALCULATIONS
C-6.3	OVERALL STORM PLAN
C-6.4	STORM LINE-A PLAN & PROFILE
C-6.5	STORM LINE-B PLAN & PROFILE
C-6.6	STORM LATERAL PROFILE
C-6.7	DETENTION POND PLAN
C-6.8	STORM DETAILS
C-7.0	WATER PLAN
C-7.1	WATER PROFILE
C-7.2	WATER DETAILS
C-8.0	SANITARY SEWER PLAN
C-8.1	SANITARY SEWER PROFILE
C-8.2	SANITARY SEWER DETAILS
C-9.0	OVERALL PAVING PLAN
C-9.1	PAVING PLAN & PROFILE
C-9.2	PAVING PLAN & PROFILE
C-9.3	PAVING PLAN & PROFILE
C-9.4	PAVING PLAN & PROFILE
C-9.5	PAVING DETAILS
C-10.0	SIGNAGE & STRIPING PLAN
C-11.0	FRANCHISE UTILITY & LIGHTING PLAN
C-12.0	SNOW STORAGE PLAN



NO.	DATE	DESCRIPTION	BY
1	08/25/25	1ST PRELIMINARY PUD SUBMITTAL	KP
2	02/12/26	2ND PRELIMINARY PUD SUBMITTAL	KP
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FOR PRELIMINARY
REVIEW ONLY

COVER SHEET
ARCHWOOD TOWNHOMES
CASTLE VALLEY BLVD
67 RESIDENTIAL LOTS & 7 OPEN AREAS
TOWN OF NEW CASTLE
GARFIELD COUNTY, COLORADO 81647

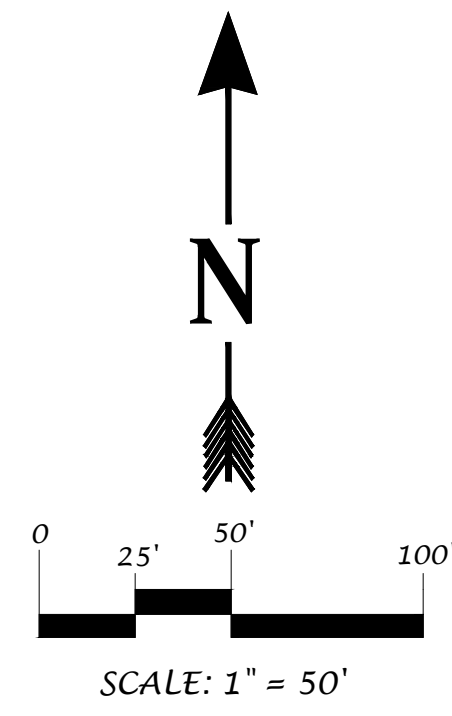
TRIANGLE
ENGINEERING LLC

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	SS	08/25/25	SCALE BAR	38-25	C-1.0

IMPROVEMENT SURVEY PLAT W/TOPOGRAPHY

SE1/4 SECTION 30, TOWNSHIP 5 SOUTH, RANGE 90 WEST OF THE 6TH PM
TOWN OF NEW CASTLE, COUNTY OF GARFIELD, STATE OF COLORADO
PARCEL NO. 2123-304-00-002



LEGEND

- ELECTRICAL TRANSFORMER
- IRRIGATION BOX
- WATER SPIGOT
- WATER VALVE BOX
- SANITARY MANHOLE
- COMMUNICATIONS PEDESTAL
- SET MAG NAIL & 1-1/2" ALUMINUM TAG TMC PLS 38215 IN PAVED PATH
- FOUND REBAR & 1-1/4" ORANGE PLASTIC CAP SGM PLS38182 (UNLESS OTHERWISE NOTED)

GARFIELD SCHOOL DISTRICT RE-2
RECEPTION NO. 493428
PARCEL NO. 2123-304-00-001

NORTH PARK
CRV SUBDIVISION EXEMPTION
RECEPTION NO. 720385
PARCEL NO. 2123-304-00-003

TEMPORARY EASEMENT
RECEPTION NO. 721301
BOOK 1915 PAGE 997

NORTH WILD HORSE ROAD
67.5' WIDE RIGHT-OF-WAY
RECEPTION NO. 733780
& EASEMENT AGREEMENT
RECEPTION NO. 721301

OWNER
TC MIDWEST LLC
RECEPTION NO. 733785
PARCEL NO. 2123-293-00-197

PROPERTY AREA
10.317± ACRES

INITIAL PROPERTY
CRV SUBDIVISION EXEMPTION
RECEPTION NO. 1002839
COUNTY OF GARFIELD
STATE OF COLORADO.

LOT 17
CASTLE VALLEY RANCH
FILING 10 BLOCK PA13
RECEPTION NO. 812500
PARCEL NO. 2123-293-25-017

OPEN SPACE 2
CASTLE VALLEY RANCH
FILING 9 BLOCK PA12
RECEPTION NO. 733785
PARCEL NO. 2123-304-54-101

POINT OF BEGINNING
SITE BENCH MARK
FOUND NO. 5 REBAR & 1-1/4"
ORANGE PLASTIC CAP
SGM PLS38182
ELEVATION: 5798.13

PROPERTY DESCRIPTION:

SPECIAL WARRANTY DEED RECORDED AS RECEPTION NO. 963575

A PARCEL OF LAND LOCATED IN THE SE1/4 OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 90 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GARFIELD, STATE OF COLORADO, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF CASTLE VALLEY BOULEVARD, SAME BEING THE WESTERNMOST CORNER OF CASTLE VALLEY RANCH PA12 FLG 9 FINAL, AS FILED WITH THE GARFIELD COUNTY CLERK AND RECORDER'S OFFICE, AS RECEPTION NO. 733785;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE THE FOLLOWING FIVE (5) COURSES:

- 1) N84°40'33"W 220.40 FEET;
- 2) ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 150.00 FEET, AN ARC LENGTH OF 93.27 FEET, CHORD BEARS N16°51'46"W 91.77 FEET;
- 3) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 95.83 FEET, AN ARC LENGTH OF 129.60 FEET, CHORD BEARS N37°47'30"W 119.95 FEET;
- 4) ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET, AN ARC LENGTH OF 63.58 FEET, CHORD BEARS N58°19'04"W 62.52 FEET;
- 5) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 784.64 FEET, AN ARC LENGTH OF 94.58 FEET, CHORD BEARS N43°33'19"W 94.52 FEET TO A POINT ON THE EASTERLY LINE OF THE GARFIELD SCHOOL DISTRICT RE2, AS FILED WITH SAID CLERK AND RECORDER'S OFFICE AS RECEPTION NO. 493428;

THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY ALONG SAID EASTERLY LINE N42°59'30"E 500.54 FEET TO A POINT IN THE SOUTHERLY LINE OF NORTH PARK PARCEL, AS FILED WITH SAID CLERK AND RECORDER'S OFFICE AS RECEPTION NO. 720385 AND RECEPTION NO. 721291;

THENCE WITH SAID SOUTHERLY LINE THE FOLLOWING TWO (2) COURSES:

- 1) N66°57'08"E 245.52 FEET;
- 2) S71°52'33"E 231.69 FEET TO A POINT IN THE WESTERLY RIGHT-OF-WAY LINE OF NORTH WILD HORSE ROAD; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:

- 1) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 736.00 FEET, AN ARC LENGTH OF 368.23 FEET, CHORD BEARS S05°37'46"W 364.40 FEET; 2) THENCE S08°42'12"E 68.52 FEET;
- 2) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 886.25 FEET, AN ARC LENGTH OF 217.43 FEET, CHORD BEARS S15°43'53"E 216.88 FEET TO A POINT IN THE NORTH LINE OF SAID CASTLE VALLEY RANCH PA12 FLG 9 FINAL; THENCE WITH SAID NORTH LINE THE FOLLOWING FOUR (4) COURSES:

- 1) S65°53'03"W 66.89 FEET;
- 2) S81°23'34"W 266.32 FEET;
- 3) S51°51'16"W 126.84 FEET;
- 4) S36°47'12"W 88.30 FEET TO THE POINT OF BEGINNING.

NOTES:

1. BASIS OF BEARINGS FOR THIS SURVEY IS A BEARING OF S81°23'34"W AS RECORDED IN RECEPTION NO. 963575 ALONG THE EASTERLY BOUNDARY LINE BETWEEN FOUND REBARS & 1-1/4" ORANGE PLASTIC CAPS SGM PLS38182, AS SHOWN HEREON.
2. DATE OF FIELD SURVEY: APRIL 24, 2025.
3. LINEAR UNITS USED TO PERFORM THIS SURVEY WERE U.S. SURVEY FEET.
4. THIS SURVEY IS BASED ON SPECIAL WARRANTY DEED RECORDED AS RECEPTION NO. 963575, AN IMPROVEMENT SURVEY PREPARED BY SGM DATED MAY 21, 2021 AND RECORDED AS SURVEY MAP #1232 IN THE GARFIELD COUNTY SURVEYOR'S OFFICE AND MONUMENTS FOUND IN PLACE AS SHOWN HEREON.
5. THIS PROPERTY IS SUBJECT TO RESERVATIONS, RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD OR IN PLACE.
6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, THEREFORE, ANY EXCEPTIONS TO TITLE THAT MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN REVIEWED BY TRUE NORTH COLORADO, LLC.
7. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) REFERENCED FROM NATIONAL GEODETIC SURVEY (NGS) STATION ANDERS HAVING AN ELEVATION OF 5594.09.
8. CONTOUR INTERVAL EQUALS 1-FOOT.
9. PROPERTY ZONED: M/U1 - MIXED USE. SETBACKS SHOWN WERE TAKEN FROM TOWN OF NEW CASTLE MUNICIPAL CODE. PLEASE CONSULT THE TOWN OF NEW CASTLE PLANNING DEPARTMENT FOR PROPERTY USE REGULATIONS AND SETBACK VERIFICATION.

SURVEYOR'S CERTIFICATION

I, RODNEY P. KISER, HEREBY CERTIFY TO TC MIDWEST, LLC THAT THIS IS AN "IMPROVEMENT SURVEY PLAT" AS DEFINED BY C.R.S. 38-53-102(9) AND THAT IT IS A MONUMENTED LAND SURVEY PERFORMED UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE, SHOWING THE LOCATION OF ALL STRUCTURES, VISIBLE UTILITIES, FENCES, HEDGES, OR WALLS SITUATED ON THE DESCRIBED PARCEL AND WITHIN FIVE FEET OF ALL BOUNDARIES OF SUCH PARCEL, ANY CONFLICTING BOUNDARY EVIDENCE OR VISIBLE ENCROACHMENTS, AND ALL AVAILABLE EASEMENTS. THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, HOWEVER IT IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

RODNEY P. KISER
LICENSED PROFESSIONAL LAND SURVEYOR
COLORADO REGISTRATION NO. 38215
TRUE NORTH COLORADO, LLC.

REVISED: JULY 1, 2025; ADJUSTED TOPOGRAPHY FROM NAVD88 DATUM TO NGVD29 DATUM.

TC MIDWEST, LLC
IMPROVEMENT & TOPOGRAPHIC SURVEY
PARCEL NO. 2123-304-00-002
TOWN OF NEW CASTLE, COUNTY OF GARFIELD, STATE OF COLORADO

TRUE NORTH COLORADO LLC.
A LAND SURVEYING AND MAPPING COMPANY
P.O. BOX 614 - 386 MAIN STREET UNIT 3
NEW CASTLE, COLORADO 81647
(970) 984-0474
www.trueorthcolorado.com

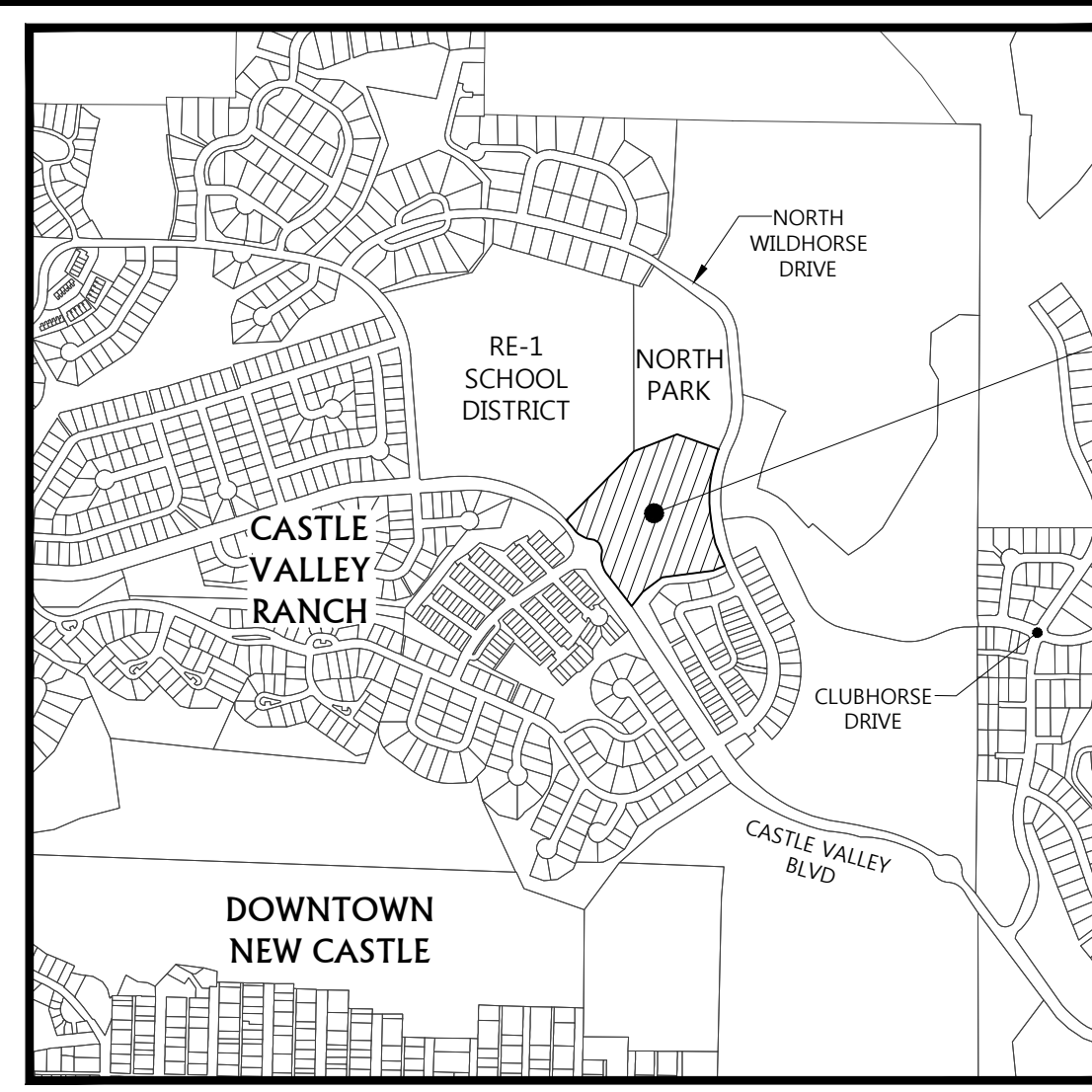
PROJECT NO: 2025-195	DRAWN RPK	SHEET 1 OF 1
DATE: MAY 13, 2025	SURVEYED RPK	

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

FINAL PLAT

ARCHWOOD TOWNHOMES

CASTLE VALLEY RANCH FILING 14, PA12 A SUBDIVISION IN THE SE1/4 SECTION 30,
TOWNSHIP 5 SOUTH, RANGE 90 WEST OF THE 6TH PM
TOWN OF NEW CASTLE, COUNTY OF GARFIELD, STATE OF COLORADO



VICINITY MAP
SCALE: 1" = 1000'

SITE

NORTH PARK
CRV SUBDIVISION EXEMPTION
RECEPTION NO. 720285
PARCEL NO. 2123-304-00-003

NORTH WILD HORSE ROAD
67.5' WIDE RIGHT-OF-WAY
RECEPTION NO. 733780
& EASEMENT AGREEMENT
RECEPTION NO. 721301

TEMPORARY EASEMENT
RECEPTION NO. 721301
BOOK 1915 PAGE 997
(SLOPE EASEMENT)
(VACATED BY THIS PLAT)

OWNER
TC MIDWEST LLC
RECEPTION NO. 733785
PARCEL NO. 2123-293-00-197

PROPERTY AREA
10.317± ACRES

TITLE CERTIFICATE

I, _____, AN AGENT AUTHORIZED OF LAND TITLE GUARANTEE COMPANY, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO ALL LANDS SHOWN UPON THIS PLAT AND THAT TITLE TO SUCH LANDS IS VESTED IN TC MIDWEST LLC, A TEXAS LIMITED LIABILITY COMPANY IS FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES (INCLUDING MORTGAGES, DEEDS OF TRUST, JUDGMENTS, EASEMENTS, CONTRACTS AND AGREEMENTS OF RECORD AFFECTING THE REAL PROPERTY IN THIS PLAT), EXCEPT AS SET FORTH IN THE COMMITMENT FOR TITLE INSURANCE ISSUED BY LAND TITLE GUARANTEE COMPANY, COMMITMENT NO. ABS63021376-7 DATED: DECEMBER 19, 2024.
DATED THIS _____ DAY OF _____, A.D. 2026.

LAND TITLE GUARANTEE COMPANY
901 GRAND AVENUE-SUITE 202
GLENWOOD SPRINGS, CO 81601

BY: _____
AUTHORIZED AGENT

TOWN COUNCIL CERTIFICATE

THIS PLAT APPROVED BY THE TOWN COUNCIL OF THE TOWN OF NEW CASTLE, GARFIELD COUNTY, COLORADO, THIS _____ DAY OF _____, A.D. 2026, FOR FILING WITH THE CLERK AND RECORDER OF GARFIELD COUNTY AND FOR CONVEYANCE TO THE TOWN OF THE PUBLIC DEDICATIONS SHOWN HEREON, SUBJECT TO THE PROVISION THAT APPROVAL IN NO WAY OBLIGATES THE TOWN OF NEW CASTLE FOR FINANCING OR CONSTRUCTING OF IMPROVEMENTS ON LAND, STREETS OR EASEMENTS DEDICATED TO THE PUBLIC EXCEPT AS SPECIFICALLY AGREED TO BY THE TOWN COUNCIL. ARCHWOOD TOWNHOMES, CASTLE VALLEY RANCH FILING 14, PA12 IS SUBJECT TO THE TERMS AND CONDITIONS OF TOWN OF NEW CASTLE ORDINANCE NO. 2025 - _____.

BY: _____
MAYOR

WITNESS MY HAND AND THE SEAL OF THE TOWN OF NEW CASTLE.

ATTEST: _____
TOWN CLERK

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE CLERK AND RECORDER OF GARFIELD COUNTY AT _____ O'CLOCK, _____ M., ON THE _____ DAY OF _____, A.D. 2026, AND IS DULY RECORDED AS RECEPTION NO. _____.

CLERK AND RECORDER

BY: _____
DEPUTY

INITIAL PROPERTY
CRV SUBDIVISION EXEMPTION
RECEPTION NO. 1002839
PARCEL NO. 2123-322-00-195

LOT 17
CASTLE VALLEY RANCH
FILING 10 BLOCK PA13
RECEPTION NO. 812300
PARCEL NO. 2123-293-25-017

CERTIFICATE OF OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS THAT TC MIDWEST LLC, A TEXAS LIMITED LIABILITY COMPANY BEING SOLE OWNER(S) IN FEE SIMPLE OF ALL THAT REAL PROPERTY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND LOCATED IN THE SE1/4 OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 90 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF GARFIELD, STATE OF COLORADO, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF CASTLE VALLEY BOULEVARD, SAME BEING THE WESTERMOST CORNER OF CASTLE VALLEY RANCH PA12 FIG 9 FINAL, AS FILED WITH THE GARFIELD COUNTY CLERK AND RECORDER'S OFFICE, AS RECEPTION NO. 733785;
THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE THE FOLLOWING FIVE (5) COURSES:
1) N84°40'33"W 220.40 FEET;
2) ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 150.00 FEET, AN ARC LENGTH OF 93.27 FEET, CHORD BEARS N16°51'46"W 91.77 FEET;
3) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 95.83 FEET, AN ARC LENGTH OF 129.60 FEET, CHORD BEARS N37°47'30"W 119.95 FEET;
4) ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET, AN ARC LENGTH OF 63.58 FEET, CHORD BEARS N58°19'04"W 62.52 FEET;
5) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 784.64 FEET, AN ARC LENGTH OF 94.58 FEET, CHORD BEARS N43°33'19"W 94.52 FEET TO A POINT ON THE EASTERLY LINE OF THE GARFIELD SCHOOL DISTRICT RE-2, AS FILED WITH SAID CLERK AND RECORDER'S OFFICE AS RECEPTION NO. 493428; THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY ALONG SAID EASTERLY LINE N42°59'30"E 500.54 FEET TO A POINT IN THE SOUTHERLY LINE OF NORTH PARK PARCEL, AS FILED WITH SAID CLERK AND RECORDER'S OFFICE AS RECEPTION NO. 720385 AND RECEPTION NO. 721291;

THENCE WITH SAID SOUTHERLY LINE THE FOLLOWING TWO (2) COURSES:
1) N66°57'08"E 245.52 FEET;
2) S71°52'33"E 231.69 FEET TO A POINT IN THE WESTERLY RIGHT-OF-WAY LINE OF NORTH WILD HORSE ROAD; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:
1) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 736.00 FEET, AN ARC LENGTH OF 368.23 FEET, CHORD BEARS S08°57'46"W 364.40 FEET; 2) THENCE S08°42'12"E 68.52 FEET;
3) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 886.25 FEET, AN ARC LENGTH OF 217.43 FEET, CHORD BEARS S15°43'53"E 216.88 FEET TO A POINT IN THE NORTH LINE OF SAID CASTLE VALLEY RANCH PA12 FIG 9 FINAL; THENCE WITH SAID NORTH LINE THE FOLLOWING FOUR (4) COURSES:
1) S65°53'03"W 66.89 FEET;
2) S81°23'34"W 266.32 FEET;
3) S51°51'16"W 126.84 FEET;
4) S36°47'12"W 88.30 FEET TO THE POINT OF BEGINNING.

AND CONTAINING 10.317 ACRES, MORE OR LESS, HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND BLOCKS AS SHOWN HEREON AND DESIGNATE THE SAME AS ARCHWOOD TOWNHOMES CASTLE VALLEY RANCH FILING 14, PA 12 IN THE TOWN OF NEW CASTLE, COUNTY OF GARFIELD, STATE OF COLORADO; AND DO HEREBY GRANT TO THE TOWN OF NEW CASTLE, COUNTY OF GARFIELD, COLORADO, FOR PUBLIC USE THE STREETS SHOWN HEREON, INCLUDING SILVERADO, TRAIL, NORTH LOOP, SOUTH LOOP, AND OPEN SPACE LOT 2X AND LOT 17X OF BLOCK A AND OPEN SPACE LOT 1X OF BLOCK B, SHOWN HEREON FOR THEIR INDICATED PUBLIC USE AND THE UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON FOR UTILITY AND DRAINAGE PURPOSES ONLY; AND SO FURTHER STATE THAT THIS SUBDIVISION SHALL BE SUBJECT TO THE PROTECTIVE COVENANTS FILED AND RECORDED FOR THIS SUBDIVISION IN THE OFFICE OF THE CLERK AND RECORDER OF GARFIELD COUNTY, COLORADO AS DOCUMENT NO. _____.

EXECUTED THIS _____ DAY OF _____, A.D. 2026.

OWNER:
TC MIDWEST LLC, A TEXAS LIMITED LIABILITY COMPANY
17774 PRESTON ROAD
DALLAS, TX 75252

BY: _____
SIGNATURE

PRINT NAME & TITLE

STATE OF COLORADO)
COUNTY OF GARFIELD)
TOWN OF NEW CASTLE)

THE FOREGOING CERTIFICATION OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2026, BY _____ AS _____ OF TC MIDWEST LLC.

WITNESS MY HAND AND SEAL

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

I, RODNEY P. KISER, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF COLORADO; THAT THIS PLAT IS A TRUE, CORRECT AND COMPLETE PLAT OF THE ARCHWOOD TOWNHOMES CASTLE VALLEY RANCH FILING 14, PA 12 AS LAID OUT, PLATTED, DEDICATED AND SHOWN HEREON, THAT SUCH PLAT WAS MADE FROM AN ACCURATE SURVEY OF SAID PROPERTY BY ME AND UNDER MY SUPERVISION AND CORRECTLY SHOWS THE LOCATION AND DIMENSIONS OF THE LOTS, EASEMENTS AND STREETS OF SAID SUBDIVISION AS THE SAME ARE STAKED UPON THE GROUND IN COMPLIANCE WITH STATE REGULATIONS GOVERNING THE SUBDIVISION OF LAND.

IN WITNESS WHEREOF I HAVE SET MY HAND AND SEAL THIS _____ DAY OF _____, 2026.

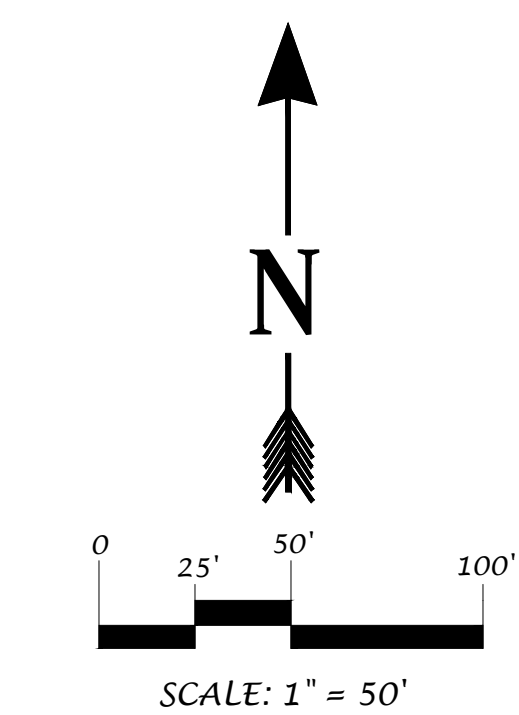
RODNEY P. KISER
LICENSED PROFESSIONAL SURVEYOR
COLORADO REGISTRATION NO. 38215

SURVEY NOTES:

1. BASIS OF BEARINGS FOR THIS FINAL PLAT IS A BEARING OF S81°23'34"W AS RECORDED IN RECEPTION NO. 963575 ALONG THE EASTERLY BOUNDARY LINE BETWEEN FOUND REBAR & 1-1/4" ORANGE PLASTIC CAPS SGM PLS38182L AS SHOWN HEREON.
2. DATE OF FIELD SURVEY: APRIL 24, 2025.
3. LINEAR UNITS USED TO PERFORM THIS FINAL PLAT WERE U.S. SURVEY FEET.
4. THIS FINAL PLAT IS BASED ON SPECIAL WARRANTY DEED RECORDED AS RECEPTION NO. 963575, AN IMPROVEMENT SURVEY PREPARED BY SGM DATED MAY 21, 2021 AND RECORDED AS SURVEY MAP #1232 IN THE GARFIELD COUNTY SURVEYOR'S OFFICE AND MONUMENTS FOUND IN PLACE AS SHOWN HEREON.
5. THIS FINAL PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY TRUE NORTH COLORADO, LLC FOR ALL INFORMATION REGARDING EASEMENT, RIGHTS-OF-WAY AND/OR TITLE OF RECORD, TRUE NORTH COLORADO, LLC, RELIED UPON TITLE COMMITMENT NO. ABS63021376-7 ISSUED BY LAND TITLE GUARANTEE COMPANY, EFFECTIVE DATE: NOVEMBER 27, 2024.



FINAL PLAT ARCHWOOD TOWNHOMES CASTLE VALLEY RANCH FILING 14, PA12 TOWN OF NEW CASTLE, COUNTY OF GARFIELD, STATE OF COLORADO		
TRUE NORTH COLORADO LLC. A LAND SURVEYING AND MAPPING COMPANY P.O. BOX 614 - 386 MAIN STREET UNIT 3 NEW CASTLE, COLORADO 81647 (970) 984-0474 www.truenorthcolorado.com		
PROJECT NO: 2025-195	DRAWN RPK	SHEET 1 OF 2
DATE: February 2026	SURVEYED RPK	



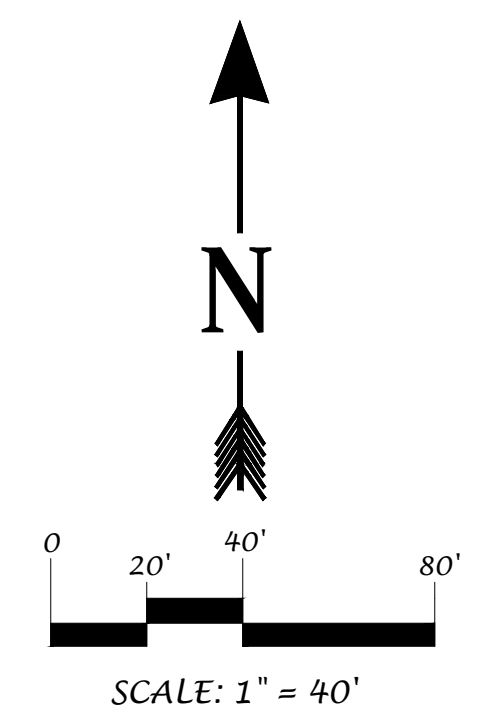
LEGEND

- MAG NAIL & 1-1/2" ALUMINUM TAG
TNC PLS 38215 IN PAVED PATH
- FOUND REBAR & 1-1/4" ORANGE
PLASTIC CAP SGM PLS38182
(UNLESS OTHERWISE NOTED)

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

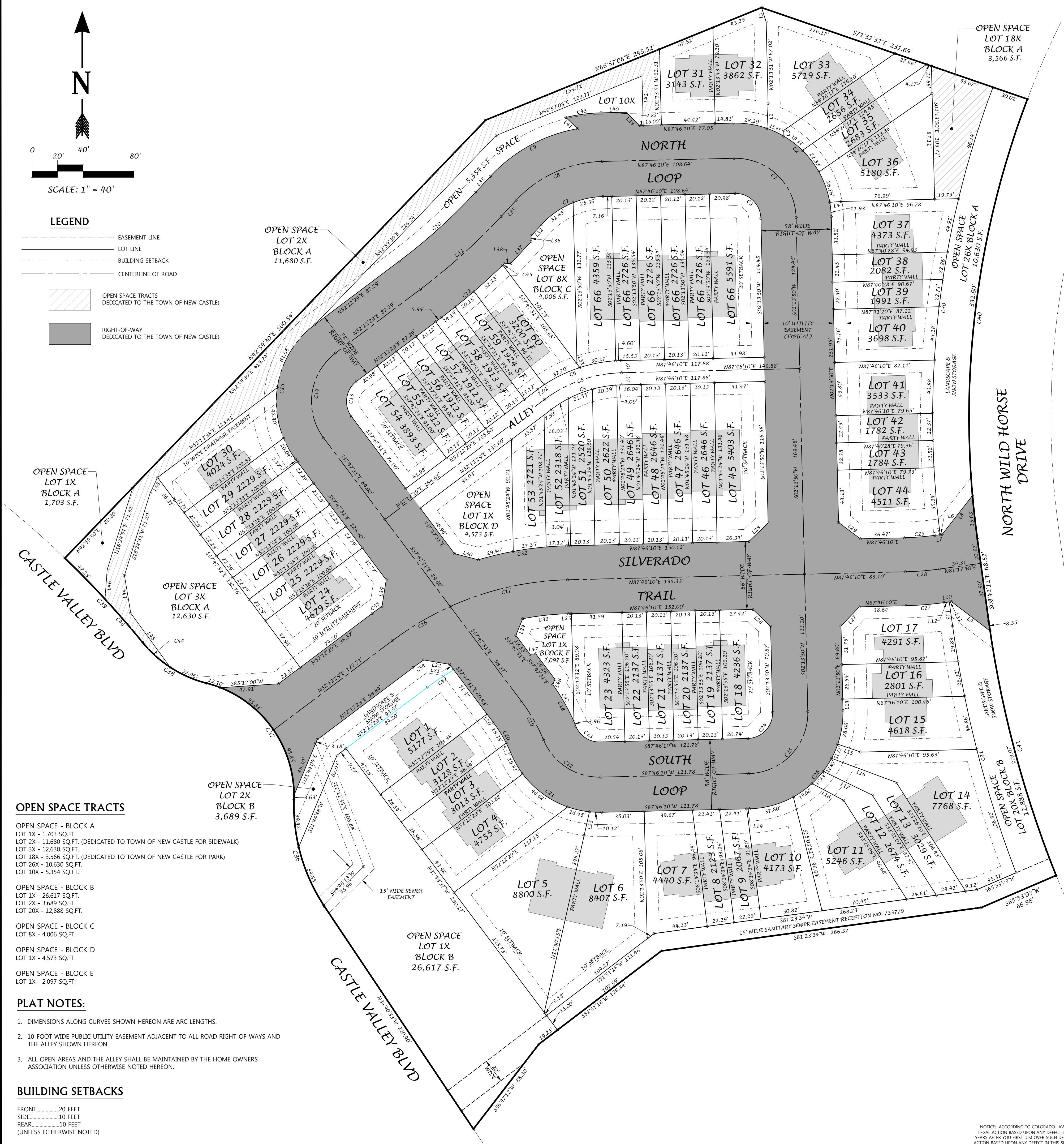
FINAL PLAT ARCHWOOD TOWNHOMES

CASTLE VALLEY RANCH FILING 14, PA12
A SUBDIVISION IN THE SE1/4 SECTION 30,
TOWNSHIP 5 SOUTH, RANGE 90 WEST OF THE 6TH PM
TOWN OF NEW CASTLE,
COUNTY OF GARFIELD, STATE OF COLORADO



LEGEND

- EASEMENT LINE
- LOT LINE
- BUILDING SETBACK
- CENTERLINE OF ROAD
- OPEN SPACE TRACTS DEDICATED TO THE TOWN OF NEW CASTLE
- RIGHT-OF-WAY DEDICATED TO THE TOWN OF NEW CASTLE



LINE	BEARING	DISTANCE
L1	S 18°26'43" E	12.45'
L2	S 01°48'19" W	20.68'
L3	N 01°13'25" W	4.80'
L4	N 84°58'58" E	9.34'
L5	S 81°17'48" W	4.35'
L6	S 81°17'48" W	1.69'
L7	S 81°17'48" W	6.03'
L8	N 37°11'49" W	40.58'
L9	N 53°39'38" W	39.92'
L10	S 81°17'48" W	6.14'
L11	S 81°17'48" W	1.83'
L12	S 81°17'48" W	4.31'
L13	S 08°42'12" E	19.90'
L14	S 02°13'51" E	9.51'
L15	S 71°52'40" E	20.00'
L16	S 70°27'45" E	56.78'
L17	S 65°02'23" E	44.87'
L18	S 62°54'57" E	29.46'
L19	S 87°46'10" W	2.25'
L20	N 37°47'32" W	9.26'
L21	N 37°47'32" W	5.83'
L22	N 81°27'41" W	21.51'
L23	N 11°50'15" E	20.11'
L24	S 21°33'17" W	14.72'

LINE	BEARING	DISTANCE
L25	S 87°46'10" W	2.50'
L26	S 47°13'46" W	20.26'
L27	N 42°52'48" W	21.82'
L28	S 45°11'44" W	22.02'
L29	N 53°48'45" W	22.50'
L30	N 76°30'20" W	20.43'
L31	N 37°47'31" W	3.94'
L32	N 41°55'33" E	13.13'
L33	N 41°55'33" E	18.20'
L34	S 07°57'00" W	22.02'
L35	N 41°55'33" E	18.20'
L36	S 01°00'53" E	4.75'
L37	S 41°55'33" W	24.60'
L38	S 87°15'12" W	5.51'
L39	N 47°13'51" W	15.56'
L40	S 87°46'10" W	20.59'
L41	S 47°13'51" E	13.32'
L42	N 02°13'51" W	40.57'
L43	S 24°46'52" W	14.07'
L44	S 10°16'25" E	31.44'
L45	S 36°57'41" E	55.16'
L46	N 03°12'54" E	24.00'
L47	S 84°12'48" W	4.72'
L48	N 20°18'33" E	4.77'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	50.00'	78.54'	90.71'	N 47°13'51" W	90°00'00"
C2	79.00'	124.09'	111.72'	N 47°13'51" W	90°00'00"
C3	21.00'	32.99'	29.70'	N 47°13'51" W	90°00'00"
C4	100.00'	62.07'	61.08'	S 69°59'19" W	35°33'41"
C5	110.00'	68.27'	67.18'	S 69°59'19" W	35°33'41"
C6	120.00'	74.48'	73.29'	S 69°59'19" W	35°33'41"
C7	71.00'	56.81'	55.31'	S 64°50'51" W	45°50'37"
C8	100.00'	80.01'	77.90'	S 64°50'51" W	45°50'37"
C9	129.00'	83.43'	81.99'	S 60°27'16" W	37°03'26"
C10	471.00'	84.53'	84.41'	N 47°04'00" E	10°16'56"
C11	500.00'	89.73'	89.61'	N 47°04'00" E	10°16'56"
C12	529.00'	68.05'	68.00'	N 48°31'23" E	10°16'56"
C13	21.00'	32.99'	29.70'	S 07°12'29" W	90°00'00"
C14	50.00'	78.54'	70.71'	S 07°12'29" W	90°00'00"
C15	79.00'	124.09'	111.72'	S 07°12'29" W	90°00'00"
C16	250.00'	55.25'	55.34'	N 58°32'21" E	12°39'44"
C17	250.00'	99.52'	99.25'	N 76°19'11" E	22°53'57"
C18	171.00'	39.23'	39.15'	N 29°54'03" W	13°08'43"
C19	142.00'	35.85'	35.75'	N 30°33'37" W	14°27'50"
C20	113.00'	28.53'	28.45'	N 30°33'37" W	14°27'50"
C21	79.00'	95.00'	89.38'	S 57°46'46" E	68°54'09"
C22	50.00'	60.13'	65.57'	S 57°46'46" E	68°54'09"
C23	21.00'	25.25'	23.76'	S 57°46'46" E	68°54'09"
C24	21.00'	32.99'	29.70'	N 42°46'10" E	90°00'00"
C25	50.00'	78.54'	70.71'	N 42°46'10" E	90°00'00"
C26	79.00'	124.09'	111.72'	N 42°46'10" E	90°00'00"
C27	278.00'	31.41'	31.39'	N 84°31'59" E	06°28'22"
C28	250.00'	28.24'	28.23'	N 84°31'59" E	06°28'22"
C29	222.00'	25.08'	25.07'	N 84°31'59" E	06°28'22"
C30	766.00'	371.90'	368.26'	S 05°58'54" W	27°49'03"
C31	916.25'	210.49'	210.03'	S 15°17'04" E	13°09'45"
C32	278.00'	31.41'	31.37'	S 80°09'10" W	16°14'19"
C33	222.00'	38.00'	37.95'	S 82°51'58" W	10°19'48"
C34	222.00'	10.96'	10.95' W	S 53°31'19" W	03°39'39"
C35	278.00'	10.04'	10.03'	S 53°31'19" W	02°38'58"
C36	150.00'	93.27'	93.77'	S 16°51'46" E	35°37'29"
C37	95.83'	129.60'	119.95'	N 37°47'30" W	77°29'20"
C38	100.00'	63.59'	62.52'	S 58°19'04" E	36°25'55"
C39	784.64'	94.58'	94.52'	N 43°33'19" W	06°54'22"
C40	736.00'	368.23'	264.40'	S 05°37'46" W	28°39'56"
C41	886.25'	217.43'	216.88'	S 15°43'53" E	14°03'23"
C42	202.00'	25.87'	25.85'	S 55°52'38" W	07°20'18"
C43	138.67'	29.34'	29.34'	S 81°42'26" W	12°07'28"
C44	100.00'	30.62'	30.50'	S 48°52'28" E	17°32'42"
C45	529.00'	1.58'	1.58'	N 44°55'25" E	00°10'18"
C46	784.64'	47.29'	47.28'	N 41°49'44" W	03°27'11"
C47	171.00'	35.27'	35.21'	N 30°33'51" W	11°49'07"

OPEN SPACE TRACTS

- OPEN SPACE - BLOCK A**
LOT 1X - 1,703 SQ.FT.
LOT 2X - 11,680 SQ.FT. (DEDICATED TO TOWN OF NEW CASTLE FOR SIDEWALKS)
LOT 3X - 12,630 SQ.FT.
LOT 18X - 3,566 SQ.FT. (DEDICATED TO TOWN OF NEW CASTLE FOR PARK)
LOT 20X - 10,630 SQ.FT.
LOT 10X - 5,354 SQ.FT.
- OPEN SPACE - BLOCK B**
LOT 1X - 26,617 SQ.FT.
LOT 2X - 3,689 SQ.FT.
LOT 20X - 12,888 SQ.FT.
- OPEN SPACE - BLOCK C**
LOT 8X - 4,006 SQ.FT.
- OPEN SPACE - BLOCK D**
LOT 1X - 4,573 SQ.FT.
- OPEN SPACE - BLOCK E**
LOT 1X - 2,097 SQ.FT.

PLAT NOTES:

1. DIMENSIONS ALONG CURVES SHOWN HEREON ARE ARC LENGTHS.
2. 10-FOOT WIDE PUBLIC UTILITY EASEMENT ADJACENT TO ALL ROAD RIGHT-OF-WAYS AND THE ALLEY SHOWN HEREON.
3. ALL OPEN AREAS AND THE ALLEY SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION UNLESS OTHERWISE NOTED HEREON.

BUILDING SETBACKS

- FRONT: 20 FEET
- SIDE: 10 FEET
- REAR: 10 FEET
- (UNLESS OTHERWISE NOTED)

TRUE NORTH
 COLORADO
 A LAND SURVEYING AND MAPPING COMPANY

FINAL PLAT
ARCHWOOD TOWNHOMES
 CASTLE VALLEY RANCH FILING 14, PA12
 TOWN OF NEW CASTLE, COUNTY OF GARFIELD, STATE OF COLORADO

TRUE NORTH COLORADO LLC.
 A LAND SURVEYING AND MAPPING COMPANY
 P.O. BOX 614 - 386 MAIN STREET UNIT 3
 NEW CASTLE, COLORADO 81647
 (970) 984-0474
www.truenorthcolorado.com

PROJECT NO: 2025-195	DRAWN RPK	SHEET 2 OF 2
DATE: February 2026	SURVEYED RPK	

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENT ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BE BROUGHT UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST DESIGN STANDARDS OF TOWN OF NEW CASTLE AND THE RESPECTIVE UTILITY COMPANY UNLESS OTHERWISE NOTED.
- THE EXISTING CONTOUR INTERVAL IS TWO (2) FEET (DASHED). EXISTING CONDITIONS ARE BASED ON AN IMPROVEMENT SURVEY PERFORMED BY SOPRIS ENGINEERING, LLC.
- ALL EXISTING UTILITIES EITHER UNDERGROUND OR OVERHEAD, SHALL BE MAINTAINED IN CONTINUOUS SERVICE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY DAMAGE TO, OR INTERRUPTION OF SERVICES CAUSED BY THE CONSTRUCTION.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING CONDITIONS OUTSIDE THE DESIGNATED IMPROVEMENT AREA FROM DAMAGE. ANY DAMAGE TO EXISTING AREAS OUTSIDE THE DESIGNATED IMPROVEMENT AREA DURING CONSTRUCTION SHALL, AT A MINIMUM, BE RESTORED TO A STATE EQUAL TO ITS PRE CONSTRUCTION STATE.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE WORK, AND SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. IDENTIFYING THE NEED FOR A PERMIT, PREPARING THE APPLICATION, AND PAYING THE SUBMITTAL AND REVIEW FEES NECESSARY TO SECURE PERMITS WILL BE THE TOTAL RESPONSIBILITY OF THE GENERAL CONTRACTOR. A COPY OF ALL PERMITS MUST BE POSTED AND WEATHER PROOFED ON SITE AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL PERFORM THE WORK ACCORDING TO ALL LOCAL GOVERNMENT, COUNTY, STATE, AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE "TRENCHING" AND "OPEN EXCAVATION" OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THEIR OWN DISPOSAL SITE FOR ALL DISPOSED MATERIALS.
- COORDINATION WITH OTHER AGENCIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTIONS PERFORMED BY OTHER GOVERNMENTAL AGENCIES, AND THE ENGINEER OF RECORD, AS PRESCRIBED IN THEIR PERMITS AND APPROVALS.
- MAINTAIN TRAFFIC CONTROL DEVICES: THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING TO THE PUBLIC AND TRAVELING MOTORISTS AT ALL TIMES.
- NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL FROM THE TOWN OF NEW CASTLE.
- NOTIFY UTILITY OWNERS: CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY OWNERS FORTY-EIGHT HOURS (OR AS REQUIRED BY UTILITY COMPANIES) PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY. IT IS THE CONTRACTORS RESPONSIBILITY TO SCHEDULE INSTALLATION INSPECTIONS AND SCHEDULE OBTAIN AS-BUILT SURVEY DATA DURING CONSTRUCTION OF ALL IMPROVEMENTS TO INCLUDE, BUT NOT LIMITED TO, STORM PIPE INVERTS AT ALL BENDS, INLETS, OUTFALLS, AND UTILITY INFRASTRUCTURE.
- COORDINATION WITH OTHER CONTRACTORS: WHERE TWO OR MORE CONTRACTORS ARE WORKING IN THE SAME AREA, EACH SHALL CONDUCT THEIR OPERATIONS IN SUCH A MANNER AS NOT TO CAUSE ANY UNNECESSARY DELAY OR HINDRANCE TO THE OTHER. WHERE CONFLICTS CANNOT BE AVOIDED, THE LOCAL GOVERNMENT WILL DETERMINE WHICH CONTRACTOR(S) HAVE CONSTRUCTION PRIORITY OVER THE OTHER CONTRACTORS AND THE TERMS OF SUCH CONSTRUCTION PRIORITY.
- THE CONTRACTOR AND SUB-CONTRACTOR MUST MAKE EVERY ATTEMPT TO PREVENT DAMAGE TO EXISTING TREES AND ASSOCIATED ROOTS IN AND AROUND THE WORK AREA.

CONCRETE FLATWORK SPECIFICATIONS

- CONCRETE MATERIAL AND PLACEMENT SHALL BE PER TOWN'S PUBLIC WORKS MANUAL.
- WEATHER PROTECTION SHALL BE PROVIDED IN COMPLIANCE WITH CDOT STANDARD SPECIFICATIONS (LATEST STANDARDS) SECTION 412 & 601.
- PERMITTEE SHALL SCHEDULE A FORM INSPECTION AND OBTAIN APPROVAL PRIOR TO POURING WITHIN TOWN OF NEW CASTLE RIGHT-OF-WAY.
- DAMAGED CONCRETE PAVEMENT SHALL BE REMOVED AND REPLACED AS A FULL PANEL SECTION WITH DOWELS SET INTO ADJACENT PANELS IN COMPLIANCE WITH CDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION AND M&S STANDARDS (LATEST EDITION).
- DAMAGED FLATWORK AND CURB AND GUTTER SHALL BE REPLACED IN FULL SECTIONS FROM EXISTING CONTRACTION JOINTS. PARTIAL SECTION REPLACEMENT SHALL NOT BE PERMITTED.
- CONCRETE REMOVED ADJACENT TO ASPHALT PAVEMENTS SHALL BE SAWCUT A MINIMUM OF 2" STRIP ALONG THE ABUTTING EDGE PRIOR TO REMOVAL IN ORDER TO REMOVE WITHOUT DAMAGE TO THE ASPHALT PAVEMENT. THE SAWCUT EDGE SHALL NOT BE USED AS A FORM FOR THE NEW CONCRETE. TEMPORARY FORMWORK SHALL BE PLACED ALONG THE SAWCUT EDGE IN THE DESIRED ALIGNMENT. THE TOP EDGE OF THE REPLACED CONCRETE SECTION (CONC. LIP) SHALL BE STRAIGHT AND TRUE WITHOUT WARPING OR IRREGULARITY. AFTER THE FORMWORK IS REMOVED, THE GAP SHALL BE RE-PAVED WITH ASPHALT. DAMAGE CAUSED TO THE EDGE OF THE ASPHALT PAVEMENT SHALL RESULT IN THE ASSESSMENT OF A RESTORATION FOR ASPHALT SURFACING.
- SUBGRADE ELEVATION SHALL BE BROUGHT UP TO +/- 0.05 FOOT OF FINAL GRADE PER PLANS, WITH APPROVED WATER TIGHT PLACING FORMS.
- NO WATER SHALL BE PLACED ON CONCRETE SURFACE TO ASSIST FINISHING.
- VARIATIONS OF CONCRETE SURFACE SHALL NOT EXCEED 18 INCH IN TEN FEET (10') IN ALL DIRECTIONS.
- LIQUID MEMBRANE CURING COMPOUND SHALL BE PLACED IN COMPLIANCE WITH CDOT STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 601.13.36 AT A RATE TO COMPLETELY COAT ALL EXPOSED SURFACES.
- PERMITTEE SHALL BE RESPONSIBLE FOR REPAIRING SIDEWALK, CURB, OR GUTTER DAMAGED FROM WORK ACTIVITIES OF PERMITTEE.
- PERMITTEE SHALL BE RESPONSIBLE FOR INSTALLATION OF NEW SIDEWALK, CURB AND GUTTER PER TOWN OF NEW CASTLE CODE, AND FOR REPAIR OF SIDEWALK, CURB AND GUTTER PER TOWN OF NEW CASTLE CODE.
- ALL CONTRACTION JOINTS SHALL BE SAWN JOINTS AND MUST BE CUT WITHIN 12 HOURS OF PLACEMENT. SAWN JOINTS SHALL BE STRAIGHT AND TRUE AND 1/8 IN WIDTH AND 1/3 OF CONCRETE THICKNESS AND CUT AT INTERVALS EQUAL TO THE WIDTH OF SIDEWALK.
- BASE FOR FLATWORK SHALL BE AT LEAST 6" OF CDOT CLASS 6 ABC COMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITHIN 2% OF OPTIMUM MOISTURE.
- COARSE BROOM FINISH SHALL BE PROVIDED PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL ON SIDEWALK AND RAMPS AND PERPENDICULAR TO THE DIRECTION OF WATER FLOW ON CURB AND GUTTER

IRRIGATION RAW WATER INSTALLATION SPECIFICATIONS:

- BURY DEPTH SHALL BE MINIMIZED WHERE POSSIBLE. MINIMUM BURY DEPTH IS 2 FEET.
- IRRIGATION MAIN LINES SHALL HAVE GRAVITY DRAINS FOR WINTERIZATION, LOCATED AT ELEVATION LOW POINTS.
- IRRIGATION MAIN LINES SHALL BE 4" GASKETED BELL C900 DR 18, PURPLE IN COLOR. 14 GAUGE TRACER WIRE REQUIRED ON ALL IRRIGATION MAINS.
- RAW WATER MAIN LINES SHALL BE CONSTRUCTED WITH MECHANICAL JOINTS AND A THRUST BLOCK, OR MECHANICAL JOINTS WITH MEGA LUG CONNECTIONS.
- RAW WATER SERVICE TAPS SHALL INCLUDE A WEEPING CURB STOP AND GRAVEL DRAINAGE PIT.

EROSION CONTROL NOTES:

- CONTRACTOR MUST UTILIZE "BEST MANAGEMENT PRACTICES" (BMP), TO CONTROL EROSION AND SEDIMENTATION DURING CONSTRUCTION, TO INCLUDE THE INSTALLATION OF INLET PROTECTION AROUND THE NEAREST DOWNSTREAM RECEIVING INLET LOCATED WITHIN THE TOWN OF NEW CASTLE'S ROW.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL TEMPORARY EROSION CONTROL MEASURES.
- DUST CAUSED BY EXCAVATION, TOPSOIL REMOVAL OPERATIONS, OR ROAD BASE PLACEMENT SHALL BE CONTROLLED BY THE CONTRACTOR AT HIS EXPENSE. THE ENGINEER OR TOWN OF NEW CASTLE MAY REQUIRE THE CONTRACTOR AT ANY TIME TO DISCONTINUE CONSTRUCTION ACTIVITIES UNTIL DUST CONDITIONS ARE REDUCED TO THE TOWN OF NEW CASTLE'S SATISFACTION.
- THE CONTRACTOR WILL BE REQUIRED TO FURNISH AND APPLY A DUST PALLIATIVE ON THE SITE AS DIRECTED BY THE TOWN OF NEW CASTLE. DUST PALLIATIVE MAY CONSIST OF WATER OR A NON-POLLUTING SOLUTION. SPREADING OF WATER OR WATER MIXTURE SHALL BE DONE WITH ACCEPTABLE SPRINKLING EQUIPMENT. ALL DUST CONTROL SHALL EXTEND BEYOND THE CONSTRUCTION AREA PROPER TO THE SIDE STREETS ENTERING AND EXISTING THE PROJECT, WHERE MUD AND DIRT FROM CONSTRUCTION EQUIPMENT, AS WELL AS LOCAL TRAFFIC, MAY GET ONTO THE SIDE STREETS. CLEANUP OF THESE AREAS WILL BE REQUIRED AS NECESSARY OR AS DIRECTED BY THE TOWN OF NEW CASTLE/OWNER/ENGINEER.
- MAINTENANCE OF PROPER DRAINAGE AND CLEANING TEMPORARY SEDIMENT CONTAINMENT DURING THE PROGRESS OF THE CONTRACT IS ESSENTIAL. ANY DAMAGE DUE TO IMPROPER MAINTENANCE OF SAID DRAINAGE PRIOR TO FINAL ACCEPTANCE OF THE PROJECT WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- BMP'S SHALL BE INSTALLED BEFORE ANY EARTH DISTURBING ACTIVITIES COMMENCE.
- STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES SHALL NOT CAUSE, HAVE THE REASONABLE POTENTIAL TO CAUSE, OR MEASURABLY CONTRIBUTE TO AN EXCEEDANCE OF ANY WATER QUALITY STANDARD.
- CONSTRUCTION SHALL BE PHASED IN A MANNER TO LIMIT EARTH DISTURBING ACTIVITIES (I.E. THE ENTIRE PROJECT SITE SHOULD NOT BE DISTURBED IF CONSTRUCTION WILL ONLY BE OCCURRING IN ONE PARTICULAR SECTION).
- SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE IT LEAVES THE CONSTRUCTION SITE.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND ANY OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT PROTECTION TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- THE EROSION CONTROL PLAN SHALL BE CONTINUOUSLY UPDATED TO REFLECT NEW OR REVISED BEST MANAGEMENT PRACTICES (BMP'S) DUE TO CHANGES IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE CONSTRUCTION SITE. UPDATES MUST BE MADE WITHIN 72 HOURS FOLLOWING THE CHANGE IN BMP'S.
- THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION SITE (INCLUDING ALL BMP'S, STORAGE CONTAINERS, AND CONSTRUCTION EQUIPMENT) A MINIMUM OF EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OR SNOW MELT THAT MAY CAUSE SURFACE EROSION.
- THE CONTRACTOR SHALL KEEP A RECORD OF ALL INSPECTIONS ON SITE AND AVAILABLE FOR REVIEW BY TOWN OF NEW CASTLE STAFF. INSPECTION REPORTS MUST IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT.
- STRAW BALES SHALL NOT BE USED FOR PRIMARY EROSION OR SEDIMENT CONTROL (I.E. STRAW BALES MAY BE USED FOR REINFORCEMENT BEHIND ANOTHER BMP SUCH AS SILT FENCE).
- BMP'S INTENDED FOR SHEET FLOW SEDIMENT RUNOFF SHALL BE PLACED PARALLEL TO THE SLOPE.
- ALL BMP'S SHALL BE CLEANED WHEN SEDIMENT LEVELS ACCUMULATE TO HALF THE DESIGN OF THE BMP UNLESS OTHERWISE SPECIFIED.
- A VEHICLE TRACKING PAD (VTP) SHALL BE PLACED AT ALL EXITS FROM THE SITE TO PREVENT TRACK-OUT ONTO TOWN OF NEW CASTLE STREETS. IF TRACK-OUT DOES OCCUR, THE CONTRACTOR SHALL IMMEDIATELY SWEEP THE STREET OF DEBRIS.
- ALL PORTA-POTTY STRUCTURES MUST BE FIRMLY SECURED WITH #4 REBAR ANCHORS OR EQUAL. MUST BE PLACED AWAY FROM FLOW LINES OF STREET, SWALES, RAIN GARDENS & AWAY FROM INLETS.
- A CONCRETE WASHOUT AREA (CWA) MUST BE PROVIDED AND ROUTINELY MAINTAINED. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS OR STREAMS IS ALLOWED.
- EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT AREAS (CWA).
- ON-SITE TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS AND MUST BE CLEANED OUT OR REPLACED BEFORE THE WASHOUT IS 75% FULL.
- STOCKPILES OF SOIL OR OTHER ERODABLE MATERIALS MUST BE MANAGED SO THAT STORMWATER DOES NOT COME IN CONTACT WITH THE PILE AND POTENTIALLY WASH POLLUTANTS OFFSITE. AT A MINIMUM STOCKPILES SHALL BE ROUTINELY WETTED AND/OR BLANKETED AS WELL AS INCLUDE AN EROSION SOCK PERIMETER BARRIER TO PREVENT WIND EROSION AND SEDIMENT TRANSPORT OFFSITE. STOCKPILES THAT ARE INACTIVE FOR MORE THAN 7 DAYS WILL REQUIRE SOIL BINDER OR HAVE MULCH/MULCH TACKIFIER APPLIED.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES EXCEEDING 3:1.

POTABLE WATER INSTALLATION SPECIFICATIONS

- ALL WATER MAIN CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE TOWN OF NEW CASTLE PUBLIC WORKS MANUAL DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MATERIAL SUBMITTAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- POTABLE WATER MAIN AND WATER SERVICES LARGER THAN 4" SHALL BE GASKETED C900 PVC DR14 OR APPROVED EQUAL.
- WATER SERVICES SMALLER THAN 4" SHALL BE AWWA PURE CORE OR APPROVED EQUAL. THE WATER SERVICE TAPS ON THE WATER MAIN MUST BE A MINIMUM OF 4 FEET FROM EACH OTHER, AND MUST BE MORE THAN 4" FROM A FITTING OR A JOINT.
- THE PIPE BEDDING MATERIAL SHALL BE 34" INCH CRUSHED SCREENED ROCK HAULED IN FOR BEDDING AND NOT NATIVE EXCAVATED MATERIAL.
- THE BACKFILL MATERIAL FROM 12 INCHES ABOVE THE TOP OF THE PIPE TO THE TOP OF THE TRENCH SHALL BE CLASS 6 AGGREGATE BASE COURSE MATERIAL.
- MINIMUM COVER OF WATER MAINS AND SERVICE LINES SHALL BE 5.5 FEET DEEP FROM TOP OF PIPE TO FINISHED GRADE.
- MINIMUM COVER OF 5.5 FEET SHALL BE MAINTAINED AT STORM SEWER CROSSINGS. BLUE BOARD INSULATION SHALL BE INSTALLED 1" THICK FOR EVERY FOOT LESS THAN THE MINIMUM COVER. CONTRACTOR SHALL PROVIDE INSULATION SUBMITTAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. REFER TO INSULATION TRENCH DETAIL FOR MORE INFORMATION.
- ALL FITTINGS MUST HAVE MEGA LUG FITTINGS IN ADDITION TO CONCRETE THRUST BLOCKS.
- FIRE HYDRANTS SHALL BE KENNEDY, INSTALLED PER LATEST DETAIL AND SPECIFICATIONS IN THE TOWN PUBLIC WORKS MANUAL.
- VALVES: GATE VALVES SHALL BE INSTALLED FOR ALL VALVES 12" AND SMALLER AND SHALL BE A MUELLER OR PRE APPROVED EQUIVALENT RESILIENT SEAT, EPOXY COATED MECHANICAL JOINT, NON-RISING VALVE STEM AND SHALL OPEN BY TURNING TO THE LEFT, COUNTER-CLOCKWISE. VALVES SHALL CONFORM TO AWWA SPECIFICATIONS C-509, OR THE LATEST REVISION THEREOF. IN ZONES WHICH HAVE STATIC PRESSURES GREATER THAN 80 PSI THE VALVE APPLICATION WILL BE A CLASS 250 BUTTERFLY VALVE OF THE ABOVE MENTIONED MANUFACTURERS WITH EPOXY INTERIOR AND EXTERIOR COATINGS. AT INTERSECTIONS, GATE VALVES SHALL BE INSTALLED WITHIN 3' OF A TEE, CROSS, OR BEND. ALL CONNECTIONS SHALL HAVE MEGA-LUGS ON THE FITTINGS EXCEPT WHERE THE TEE BRANCH AND BRANCH VALVE ARE FLANGED. ALL MECHANICAL JOINT FITTINGS WILL HAVE MEGA-LUG FITTINGS, AND CONCRETE THRUST BLOCKS. TIE RODS MAY BE USED ONLY WERE APPROVED.
- PRESSURE REDUCING VALVE SHALL BE CLA-VAL OR APPROVED EQUAL.
- ALL WATER MAIN CONSTRUCTION SHALL BE OBSERVED AND COORDINATED WITH THE TOWN OF NEW CASTLE, OR AUTHORIZED REPRESENTATIVE.
- A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO COMMENCING ANY WORK.

PAVING SPECIFICATIONS:

PAVEMENT REMOVAL:

- ALL ASPHALT PAVEMENT CUTS SHALL BE IN STRAIGHT NEAT LINES. IRREGULAR SHAPED CUTS WITH MORE THAN FOUR (4) SIDES OR CUTS WITHIN EXISTING PATCHES SHALL NOT BE ALLOWED. ALL CUTS SHALL BE RECTANGULAR IN SHAPE, AND EDGES SHALL BE PARALLEL OR PERPENDICULAR TO THE FLOW OF TRAFFIC.
- IN ORDER TO PROVIDE STRAIGHT EDGES, ALL ASPHALT PAVEMENT CUTS SHALL BE CUT BY A MECHANICAL SAW CUTTING EQUIPMENT, ROTOMILLING, OR OTHER APPROVED METHOD WHICH ASSURES A NEAT STRAIGHT EDGE FOR THE REQUIRED DEPTH OF THE CUT.
- ASPHALT PAVEMENT CUTS SHALL BE SUCH THAT NO LONGITUDINAL JOINT LIES WITHIN THE WHEEL TRACK; ANY PATCH WHICH PENETRATES A WHEEL PATH MUST BE EXTENDED TO FULL LANE WIDTH.
- CONCRETE PAVEMENT SHALL BE REMOVED AND REPLACED FROM EXISTING PANEL JOINTS ONLY.
- STRESS CRACKING OF EXISTING PAVEMENT MAY OCCUR DURING EXCAVATION FOR A VARIETY OF REASONS. IF THIS OCCURS, THE CONTRACTOR MUST SAWCUT AT LEAST 12" BEYOND THE LIMIT OF VISIBLE CRACKS AND REMOVE ALL STRESSED PAVEMENT.

ASPHALT PAVEMENTS:

- THE MINIMUM PATCH DIMENSIONS SHALL BE TWELVE INCHES (12" MIN.) BEYOND EACH SIDE OF THE TRENCH OR EXCAVATION; REFER TO DETAILS AND TOWN OF NEW CASTLE'S LATEST DESIGN STANDARDS.
- THE LONGITUDINAL EDGES OF THE PATCH SHALL NOT FALL WITHIN THE EXISTING WHEEL TRACKS WHENEVER POSSIBLE.
- PRIOR TO PLACING THE PERMANENT PATCH, THE EXISTING PAVEMENT SHALL BE SAWCUT TO A NEAT STRAIGHT-LINE, SQUARE TO THE TRAVEL LANE.
- ASPHALT MIX SHALL BE CDOT, S-MIX (58"). PATCH BACK AREAS GREATER THAN ONE HUNDRED TWENTY SQUARE FEET (120 S.F.) SHALL REQUIRE THE SUBMITTAL AND APPROVAL OF A MIX DESIGN TO THE ENGINEER PRIOR TO PLACEMENT.
- COMPACTION SHALL BE AT LEAST 95% OF MAX. DENSITY WITHIN 2% OPTIMUM MOISTURE AS DEFINED BY ASTM 1557 METHOD "C".
- COMPACTION EQUIPMENT SHALL BE CAPABLE OF COMPACTING CORNERS AND EDGES OF PATCH.
- HOT BITUMINOUS PATCHES SHALL BE PLACED A MIN. OF 5-INCHES OR MATCH EXISTING DEPTH, WHICHEVER IS GREATER. PLACEMENT SHALL BE PERFORMED IN A MIN. OF 2 LIFTS. THE BOTTOM COURSE SHALL BE 3-INCHES AND THE TOP SHALL BE 2-INCHES.
- PATCHES SHALL ALSO HAVE A CROSS SLOPE SECTION CONSISTENT WITH THE DESIGN OF THE EXISTING ROADWAY.
- TEMPORARY OR PERMANENT ASPHALT PATCHES SHALL BE PLACED WITHIN TWENTY FOUR (24) HOURS OF TRENCH BACKFILLING. WHENEVER PERMANENT PATCHES ARE NOT CONSTRUCTED WITHIN TWENTY FOUR (24) HOURS FOLLOWING TRENCH BACKFILLING OPERATIONS, TEMPORARY PAVEMENT PATCHES CONSISTING OF A MINIMUM OF THREE INCHES (3") OF HOT OR COLD PLANT MIX OR STEEL PLATES MUST BE PLACED TO PROVIDE THE REQUIRED NUMBER OF PAVED TRAVEL LANES. TEMPORARY PAVEMENT PATCHES MAY BE LEFT IN PLACE FOR A MAX. OF FIVE (5) WORKING DAYS FOLLOWING COMPLETION OF BACKFILLING OPERATIONS UNLESS OTHERWISE APPROVED BY THE ENGINEER OF RECORD OR THE TOWN OF NEW CASTLE PAVING INSPECTOR.
- THE PERMITTEE SHALL MONITOR TEMPORARY PATCHES ON A DAILY BASIS AND TEMPORARY PATCHES EXHIBITING RUTS, HUMPS, OR DEPRESSIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- A PERMANENT HOT PATCH SHALL BE MADE WITHIN FIVE (5) DAYS AFTER THE AREA IS OPEN TO TRAFFIC, WEATHER PERMITTING.
- IF FINAL PATCHING IS NOT COMPLETED WITHIN THE SPECIFIED TIME, NO NON-EMERGENCY PERMITS SHALL BE GRANTED TO THE PERMITTEE UNTIL ALL OUTSTANDING WORK IS COMPLETED.
- UPON COMPLETION OF THE PERMANENT PATCH, THE SURFACE SHALL BE THOROUGHLY COMPACTED, SMOOTH AND FREE FROM RUTS, HUMPS, DEPRESSIONS, OR IRREGULARITIES. WHEN A STRAIGHTEDGE TEN FEET (10') LONG IS LAID ACROSS THE PERMANENT PATCH PARALLEL TO THE CENTERLINE, THE SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE LOWER EDGE OF THE STRAIGHT EDGE. PATCHES EXHIBITING DEVIATIONS GREATER THAN 1/4" SHALL BE REPLACED PRIOR TO ACCEPTANCE OF PATCH. IF THE EXISTING STREET EXCEEDS THE ABOVE TOLERANCES, THEN THE PATCH SHALL BE EQUAL OR BETTER THAN THE CONDITION OF THE SURROUNDING PAVEMENT. IN MOST CASES, AND PARTICULARLY IN THE CASES OF EXTENSIVE EXCAVATION AND REPAIRS, IT IS DESIRABLE TO SURVEY THE EXISTING PAVEMENT CONDITIONS WITH A REPRESENTATIVE OF THE TOWN OF NEW CASTLE PRIOR TO THE WORK. AFTER COMPLETION OF THE WORK, SURVEY THE PAVEMENT CONDITION AGAIN TO VERIFY THAT THE PAVEMENT CONDITION HAS BEEN MAINTAINED OR IMPROVED. IN THE CASE OF MINOR REPAIRS, THESE PAVEMENT SURVEYS CAN BE MADE BY VISUAL OBSERVATION.

PUBLIC IMPROVEMENTS NOTE:

- PUBLIC IMPROVEMENTS SHALL BE IN COMPLIANCE WITH THE TOWN OF NEW CASTLE ENGINEERING STANDARDS AND TOWN OF NEW CASTLE ROW STANDARDS. PUBLIC IMPROVEMENTS IN THE ROW MUST MEET THE TOWN OF NEW CASTLE'S CONSTRUCTION AND EXCAVATION STANDARDS.

UTILITY LOCATE NOTE:

- PER STATE SB 18-167, ALL SUBSURFACE UTILITIES WILL NEED TO BE ELECTRONICALLY LOCATABLE USING TRACER WIRE, MAGNETIC TAPE, ETC. THIS INCLUDES MAIN AND SERVICE LINES. CONTRACTOR SHALL PROVIDE LOCATE MATERIAL SUBMITTAL FOR REVIEW AND APPROVAL BY THE ENGINEER OF RECORD AND THE UTILITY COMPANY PRIOR TO CONSTRUCTION.

GRAVITY SANITARY SEWER SERVICE LINE INSTALLATION SPECIFICATIONS:

- ALL SANITARY SEWER MAIN CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE TOWN OF NEW CASTLE PUBLIC WORKS MANUAL DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MATERIAL SUBMITTAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- ALL SEWER SERVICES SHALL BE PVC CLASS-SDR 35 UNLESS OTHERWISE NOTED.
- FITTINGS: PVC PUSH JOINT-ASTM D1784.
- CLEAN ALL PIPE, FITTINGS AND RELATED MATERIALS THOROUGHLY OF ALL FOREIGN MATERIAL AND INSPECT FOR CRACKS, EXCESSIVE DEFLECTION FLAWS OR OTHER DEFECTS PRIOR TO AND AFTER INSTALLATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY CONSTRUCTION DEBRIS FROM ENTERING THE SEWER LINES DURING CONSTRUCTION. IF THIS DEBRIS SHOULD ENTER THE PIPE LINE SYSTEM, THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO CLEAN THE SYSTEM. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR FLUSH THE DEBRIS INTO AN EXISTING SANITARY SEWER SYSTEM.
- ALL PIPES MUST BE INSTALLED WITH A LASER. IF BENDING OF THE BEAM DUE TO AIR TEMPERATURE VARIATIONS BECOMES APPARENT WITH "IN PIPE" UNITS, A FAN SHALL BE PROVIDED TO CIRCULATE AIR IN THE PIPE. AIR VELOCITY SHALL NOT BE SO EXCESSIVE AS TO CAUSE PULSATING OR VIBRATING OF THE BEAM. IF, IN THE OPINION OF THE ENGINEER, THE BEAM CANNOT BE ACCURATELY CONTROLLED, THIS METHOD OF SETTING LINE AND GRADE SHALL BE ABANDONED.
- PIPE SHALL BE LAID TRUE TO LINE AND GRADE, IN AN UPHILL DIRECTION, WITH BELL ENDS FACING IN THE DIRECTION OF LAYING. WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN END OF PIPE SHALL BE CLOSED BY A WATERTIGHT PLUG.
- MANHOLES & CLEANOUTS SHALL BE FURNISHED AND INSTALLED TO DEPTHS AND DIMENSIONS SHOWN ON THE CONSTRUCTION DRAWINGS AND/OR STAKED IN THE FIELD. MANHOLES SHALL BE CONSTRUCTED OF CAST-IN-PLACE OR PRECAST CONCRETE IN ACCORDANCE WITH DETAILS SHOWN ON THE CONSTRUCTION DRAWINGS.
- CONNECTIONS TO EXISTING SEWER FACILITIES WHERE LIVE FLOWS EXIST SHALL BE MADE ONLY AFTER PRIOR CONSULTATION WITH AND RECEIPT OF WRITTEN PERMISSION FROM THE ENGINEER. NO BYPASS OF SEWAGE TO THE SURFACE WILL BE ALLOWED IN THE COMPLETION OF THIS CONNECTION. CONNECTIONS SHALL BE MADE AS SHOWN ON THE DRAWINGS. ALL CONNECTIONS BETWEEN PIPES OF DIFFERENT MATERIALS SHALL BE MADE WITH APPROVED MANUFACTURED CONNECTORS.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AS-BUILTS AND CCTV THE INSTALLED SEWER SERVICE MAIN LINES AFTER CONSTRUCTION.



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FOR PRELIMINARY REVIEW ONLY

GENERAL NOTES					
ARCHWOOD TOWNHOMES					
CASTLE VALLEY BLVD					
67 RESIDENTIAL LOTS & 7 OPEN AREAS					
TOWN OF NEW CASTLE					
GARFIELD COUNTY, COLORADO 81647					
T: 469.331.8566 F: 469.213.7145 E: info@triangle-engr.com W: triangle-engr.com O: 1782 W. McDermott Drive, Allen, TX 75013					
Planning Civil Engineering Construction Management					
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	SS	08/25/25	SCALE BAR	38-25	C-1.1



Scale: 1" = 50' Feet

NORTH PARK
CRV SUBDIVISION
EXEMPTION
RECEPTION NO.
720385
PARCEL NO.
2123-304-D8-003

GARFIELD SCHOOL
DISTRICT RE-2
RECEPTION NO.
493428
PARCEL NO.
2123-304-00-001

TC MIDWEST LLC
RECEPTION NO.
733785
PARCEL NO.
2123-293-00-197

CRV SUBDIVISION
EXEMPTION
RECEPTION NO.
1002839
PARCEL NO.
2123-322-00-195

LOT 17
CASTLE VALLEY
RANCH
FILING 10' BLOCK
PA13
RECEPTION NO.
812500
PARCEL NO.
2123-293-25-017

OPEN SPACE 2
CASTLE VALLEY
RANCH
FILING 9 BLOCK
PA12
RECEPTION NO.
733785
PARCEL NO.
2123-304-54-101

15' WIDE SANITARY
SEWER EASEMENT
RECEPTION NO. 733779
EASEMENT AGREEMENT
RECEPTION NO. 721299
BOOK 1915 PAGE 915

SITE LEGEND	
CONCRETE CURB	—
PARKING SPACES	☐
FIRE HYDRANT	●
SANITARY SEWER MANHOLE	○
SANITARY SEWER CLEANOUT	○
SANITARY SEWER DOUBLE CLEANOUT	○
SANITARY SEWER SAMPLE PORT	○
DOMESTIC WATER METER	○
IRRIGATION METER	○
TRANSFORMER	⊞
LIGHT POLE	⊞
POWER POLE	⊞
WATER METER / MECH CLOSET	⊞

SITE NOTES:

1. THE IMPROVEMENT AND TOPOGRAPHIC SURVEY WAS PERFORMED BY TRUE NORTH COLORADO, LLC.
2. THE EASEMENTS SHOWN HERE ON FOR SITE PLAN REFERENCE. REFER TO THE FINAL PLAT FOR FINAL RIGHT-OF-WAY AND EASEMENT DEDICATIONS.
3. REFER TO THE ARCHITECT'S PLANS FOR BUILDING INFORMATION.
4. REFER TO THE LANDSCAPE ARCHITECT'S PLANS REGARDING THE SITE LANDSCAPE IMPROVEMENTS.
5. ALL GEOTECHNICAL ENGINEERING RECOMMENDATIONS SHALL BE ADHERED TO REPORT DONE BY K+A ASSOCIATES, INC. DATED JUNE 2025.
6. ALL THE CALCULATION AND DESIGN IS DONE BASED ON DRAINAGE REPORT DONE BY " TRIANGLE ENGINEERING" FOR ARCHWOOD TOWNHOMES DATED AUGUST 2025.
7. REFER TO TRAFFIC IMPACT ANALYSIS DONE BY TURNKEY CONSULTING, LLC DATED JULY 2025.
8. ALL PROPOSED UTILITY LINE CAPACITY AND IMPACT RELATED CALCULATION, REFER TO WATER AND WASTEWATER REPORT DONE BY WRIGHT WATER ENGINEERS, INC DATED AUGUST 2025.

SEE SHEET C-1.1 FOR TOWN OF NEW CASTLE GENERAL NOTES.

SITE PLAN
ARCHWOOD TOWNHOMES
 CASTLE VALLEY BLVD
 67 RESIDENTIAL LOTS & 7 OPEN AREAS
 TOWN OF NEW CASTLE
 GARFIELD COUNTY, COLORADO 81647

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Scale: 1" = 50' Feet

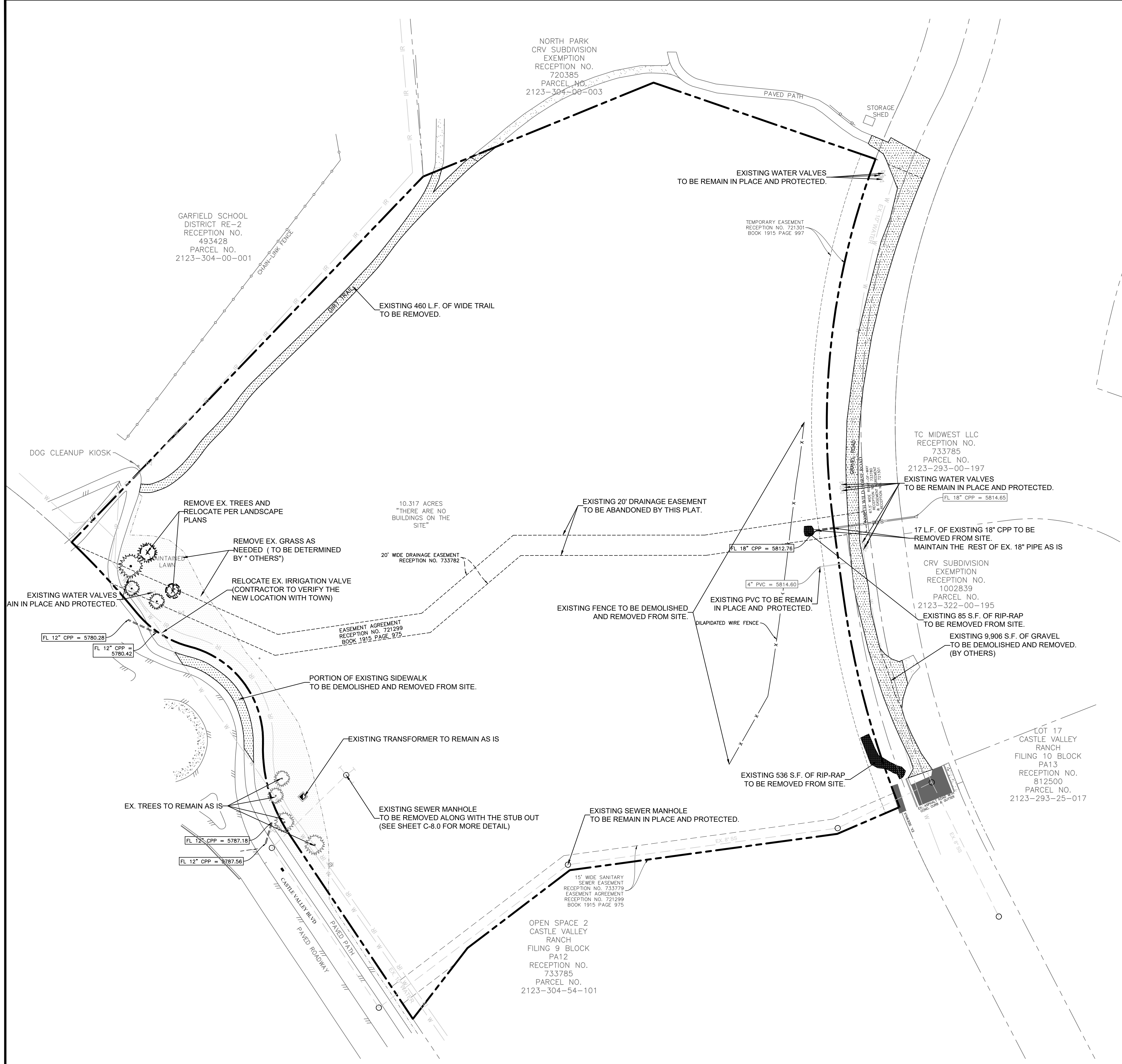
DEMOLITION LEGEND

- PAVEMENT TO BE REMOVED
- TREES TO BE REMOVED

DEMOLITION GENERAL NOTES

- ANY DEMOLITION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE CITY, COUNTY AND STATE, AND/OR GOVERNING BODY'S STANDARDS.
- EROSION AND SEDIMENT CONTROL MEASUREMENTS SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION.
- THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY GET FAMILIARIZED WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
- THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY, ENGINEER AND/OR OWNER PRIOR TO REMOVING ITEMS NOT SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
- UPON DISCOVERY OF ANY UNDERGROUND TANKS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS SHALL OCCUR UNTIL AUTHORIZED BY OWNER.
- BUILDING AND APPURTENANCES DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE HAS BEEN FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION, UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE, AND FEDERAL LAWS AND ORDINANCES.
- AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, THE FINAL GRADE OF BACKFILL IN DEMOLITION AREAS SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT. CONTRACTOR TO PREVENT WATER FROM DRAINING ONTO ADJACENT PROPERTIES.
- EXISTING TREES TO REMAIN SHOULD BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.

NOTE TO GENERAL CONTRACTOR:
EXISTING PRIVATE AND PUBLIC STORM SEWER AND UTILITY INFRASTRUCTURE ARE SHOWN PER RECORD DRAWING PLANS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.



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DEMOLITION PLAN
ARCHWOOD TOWNHOMES
 CASTLE VALLEY BLVD
 67 RESIDENTIAL LOTS & 7 OPEN AREAS
 TOWN OF NEW CASTLE
 GARFIELD COUNTY, COLORADO 81647

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P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	SS	08/25/25	SCALE BAR	38-25	C-2.0



Scale: 1" = 50' Feet

NORTH PARK
CRV SUBDIVISION
EXEMPTION
RECEPTION NO.
720385
PARCEL NO.
2123-304-00-003

GARFIELD SCHOOL
DISTRICT RE-2
RECEPTION NO.
493428
PARCEL NO.
2123-304-00-001

 PHASE-1



TC MIDWEST LLC
RECEPTION NO.
733785
PARCEL NO.
2123-293-00-197

CRV SUBDIVISION
EXEMPTION
RECEPTION NO.
1002839
PARCEL NO.
2123-322-00-195

LOT 17
CASTLE VALLEY
RANCH
FILING 10 BLOCK
PA13
RECEPTION NO.
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2123-293-25-017

OPEN SPACE 2
CASTLE VALLEY
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2123-304-54-101

15' WIDE SANITARY
SEWER EASEMENT
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BOOK 1815 PAGE 976



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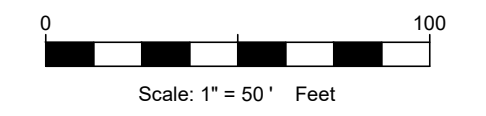
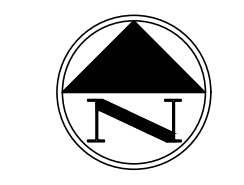
PHASING PLAN
ARCHWOOD TOWNHOMES
 CASTLE VALLEY BLVD
 67 RESIDENTIAL LOTS & 7 OPEN AREAS
 TOWN OF NEW CASTLE
 GARFIELD COUNTY, COLORADO 81647



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NOTE:
 PROPOSED STEPS AND BOULDER WALLS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL FINALIZE ALL DETAILED GRADING, ENSURING SLOPES DO NOT EXCEED 4:1.

GARFIELD SCHOOL DISTRICT RE-2
 RECEPTION NO. 493428
 PARCEL NO. 2123-304-00-001

MINIMUM EARTH GRADES= 1%
 MAXIMUM EARTH GRADES ON LOT = 25%
 MAXIMUM DITCH GRADE = 25%
 ALL SITE DISTURBED AREAS SHALL BE STABILIZED PER EROSION CONTROL PLAN, THE TOWN STANDARD.

HOME BUILDER SHALL PROVIDE EXPOSED GRADE BEAM WHERE NEEDED TO ENSURE SIDE SLOPED DO NOT EXCEED 25%.

PROPOSED CONTOURS ARE SHOWN FOR REFERENCE ONLY. THE SITE SHALL BE GRADED PER SPOT SHOTS PROVIDED.

PROVIDE DROP GARAGES WHERE DRIVEWAY SLOPES EXCEEDS 8%.

WALL NOTE:
 RETAINING WALLS ≤ 2'-0" IN HEIGHT MAY BE CONSTRUCTED USING BOULDERS OR MODULAR LANDSCAPE WALL SYSTEMS.

GRADING LEGEND	
EXISTING MINOR CONTOURS	--- 464 ---
EXISTING MAJOR CONTOURS	--- 465 ---
MINOR CONTOURS	--- 464 ---
MAJOR CONTOURS	--- 465 ---
SWALE	--- HP --- HP --- HP --- HP ---
HIGH POINT	HP
STORM PIPE	STM->
RETAINING WALL	---
RIP RAP	---
FINISH FLOOR ELEVATION	467.00 FF
TOP OF CURB ELEVATION	466.00 TC
GUTTER ELEVATION	465.50 G
SIDEWALK ELEVATION	465.00 SW
TOP OF PAVEMENT	464.00 TP
GROUND ELEVATION	463.00 GR
DRAINAGE FLOW DIRECTION	---
CURB INLET	---
STORM MANHOLE	---
STORM CLEANOUT	---
SANITARY SEWER MANHOLE	---
SANITARY SEWER CLEANOUT	---
SANITARY SEWER DOUBLE CLEANOUT	---
SANITARY SEWER SAMPLE PORT	---
GREASE TRAP	---
DOMESTIC WATER METER	---
IRRIGATION METER	---
GAS METER	---
TRANSFORMER	---
LIGHT POLE	---
POWER POLE	---

GRADING NOTES

1. FINISH FLOOR IS 04" ABOVE THE FINISH PAD.
2. GRADE SLOPES AWAY FROM THE BUILDING PADS WITH A MINIMUM FALL OF 6 INCHES OVER 10 FEET. REFER TO GEOTECHNICAL PLANS AND APPLY THE MORE STRINGENT RECOMMENDATION.
3. RETAINING WALLS/ DROP BRICK LEDGE/ EXPOSED BEAMS ARE REQUIRED WHERE SLOPE EXCEEDS 4:1. BUILDER HAS DISCRETION TO USE ONE, SOME OR ALL TO ACHIEVE GRADES.
4. DRAINAGE ON SIDE LOT LINES GRADE AT MINIMUM 1.00% ADJACENT TO PADS.
5. THE RETAINING WALLS SHOWN ARE FOR HORIZONTAL AND VERTICAL LOCATIONS ONLY. A GEOTECHNICAL OR STRUCTURAL ENGINEER'S DESIGN PLANS ARE NECESSARY FOR PROPER DESIGN OF WALL AND BACK FILL REQUIREMENTS.
6. NO SLOPES TO EXCEED 4H:1V WITHOUT SLOPE STABILIZATION.

ALL GEOTECHNICAL ENGINEERING RECOMMENDATIONS SHALL BE ADHERED TO REPORT DONE BY K+A ASSOCIATES, INC. DATED JUNE 2025.

!! WARNING !!
 EXISTING UTILITIES IN THE AREA. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE PROVIDER PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.

OVERALL GRADING PLAN
ARCHWOOD TOWNHOMES
 CASTLE VALLEY BLVD
 67 RESIDENTIAL LOTS & 7 OPEN AREAS
 TOWN OF NEW CASTLE
 GARFIELD COUNTY, COLORADO 81647

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

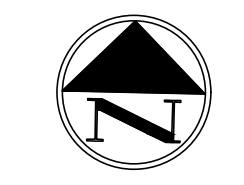
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KP	SS	08/25/25	SCALE BAR	38-25	C-4.0

NO.	DATE	DESCRIPTION	BY
1	08/25/25	1ST PRELIMINARY PUD SUBMITTAL	KP
2	02/12/26	2ND PRELIMINARY PUD SUBMITTAL	KP
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FOR PRELIMINARY REVIEW ONLY



720385
PARCEL NO.
2123-304-00-003



Scale: 1" = 30' Feet

NOTE:
PROPOSED STEPS AND BOULDER WALLS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL FINALIZE ALL DETAILED GRADING, ENSURING SLOPES DO NOT EXCEED 4:1.

SCHOOL
RE-2
SECTION NO.
493428
PARCEL NO.
2123-304-00-001

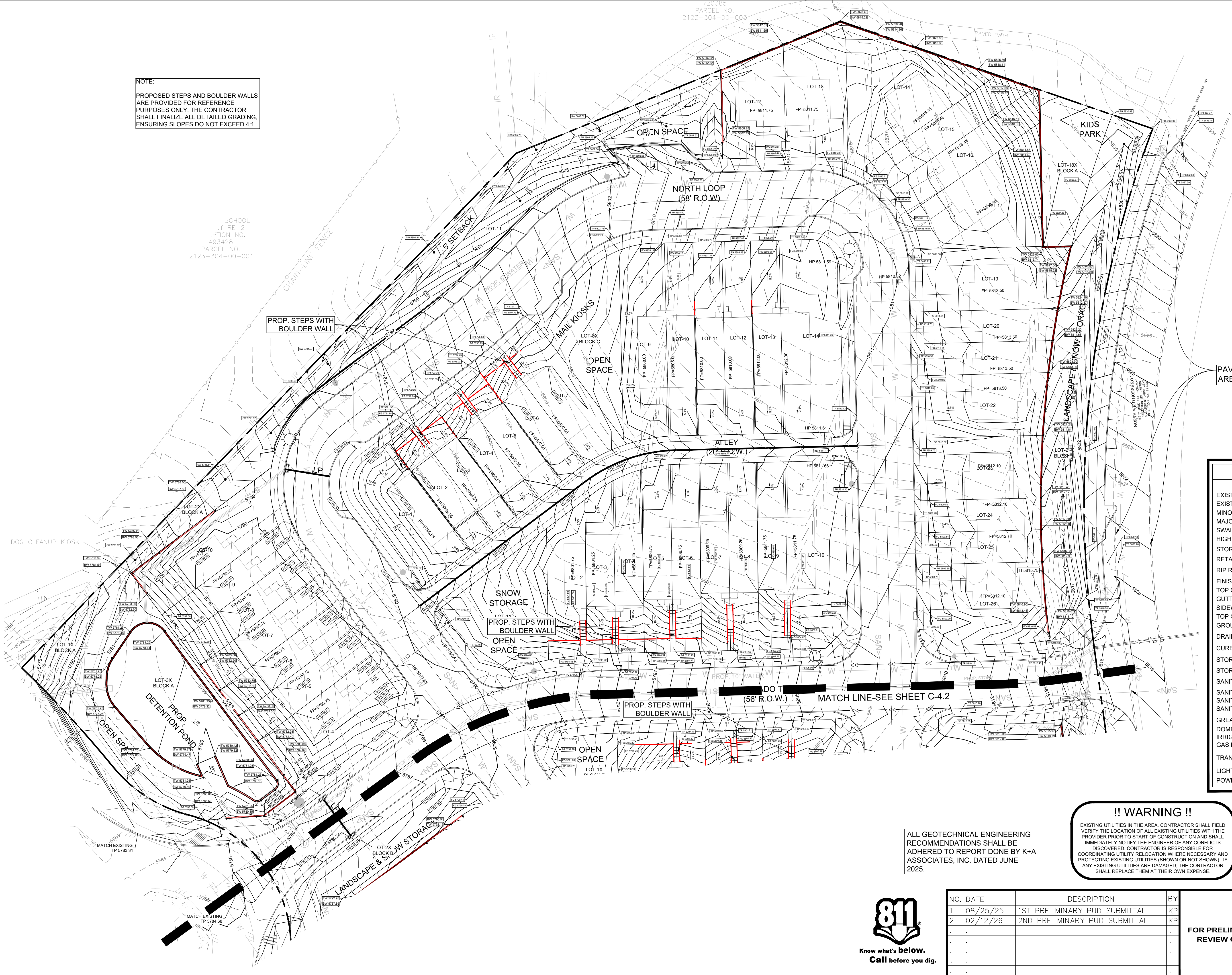
MINIMUM EARTH GRADES= 1%
MAXIMUM DITCH GRADE = 25%
ALL SITE DISTURBED AREAS SHALL BE STABILIZED PER EROSION CONTROL PLAN, THE TOWN STANDARD.

HOME BUILDER SHALL PROVIDE EXPOSED GRADE BEAM WHERE NEEDED TO ENSURE SIDE SLOPED DO NOT EXCEED 25%.

PROPOSED CONTOURS ARE SHOWN FOR REFERENCE ONLY. THE SITE SHALL BE GRADED PER SPOT SHOTS PROVIDED.

PROVIDE DROP GARAGES WHERE DRIVEWAY SLOPES EXCEEDS 8%.

WALL NOTE:
RETAINING WALLS ≤ 2'-0" IN HEIGHT MAY BE CONSTRUCTED USING BOULDERS OR MODULAR LANDSCAPE WALL SYSTEMS.



PAVEMENT IN THIS AREA (BY OTHERS)

GRADING LEGEND	
EXISTING MINOR CONTOURS	--- 454 ---
EXISTING MAJOR CONTOURS	--- 465 ---
MINOR CONTOURS	--- 464 ---
MAJOR CONTOURS	--- 465 ---
SWALE	---
HIGH POINT	HP HP HP HP
STORM PIPE	STM->
RETAINING WALL	---
RIP RAP	---
FINISH FLOOR ELEVATION	467.00 FF
TOP OF CURB ELEVATION	466.00 TC
GUTTER ELEVATION	465.50 G
SIDEWALK ELEVATION	465.00 SW
TOP OF PAVEMENT	464.00 TP
GROUND ELEVATION	463.00 GR
DRAINAGE FLOW DIRECTION	---
CURB INLET	---
STORM MANHOLE	---
STORM CLEANOUT	---
SANITARY SEWER MANHOLE	---
SANITARY SEWER CLEANOUT	---
SANITARY SEWER DOUBLE CLEANOUT	---
SANITARY SEWER SAMPLE PORT	---
GREASE TRAP	---
DOMESTIC WATER METER	---
IRRIGATION METER	---
GAS METER	---
TRANSFORMER	---
LIGHT POLE	---
POWER POLE	---

GRADING PLAN
ARCHWOOD TOWNHOMES
CASTLE VALLEY BLVD
67 RESIDENTIAL LOTS & 7 OPEN AREAS
TOWN OF NEW CASTLE
GARFIELD COUNTY, COLORADO 81647

TRIANGLE ENGINEERING LLC
T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	SS	08/25/25	SCALE BAR	38-25	C-4.1

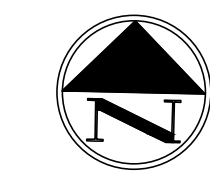
!! WARNING !!
EXISTING UTILITIES IN THE AREA. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE PROVIDER PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.

ALL GEOTECHNICAL ENGINEERING RECOMMENDATIONS SHALL BE ADHERED TO REPORT DONE BY K+A ASSOCIATES, INC. DATED JUNE 2025.



NO.	DATE	DESCRIPTION	BY
1	08/25/25	1ST PRELIMINARY PUD SUBMITTAL	KP
2	02/12/26	2ND PRELIMINARY PUD SUBMITTAL	KP
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FOR PRELIMINARY REVIEW ONLY



Scale: 1" = 30' Feet

NOTE:
PROPOSED STEPS AND BOULDER WALLS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL FINALIZE ALL DETAILED GRADING, ENSURING SLOPES DO NOT EXCEED 4:1.

MINIMUM EARTH GRADES= 1%
MAXIMUM EARTH GRADE ON LOT = 25%
MAXIMUM DITCH GRADE = 25%
ALL SITE DISTURBED AREAS SHALL BE STABILIZED PER EROSION CONTROL PLAN, THE TOWN STANDARD.

HOME BUILDER SHALL PROVIDE EXPOSED GRADE BEAM WHERE NEEDED TO ENSURE SIDE SLOPED DO NOT EXCEED 25%.

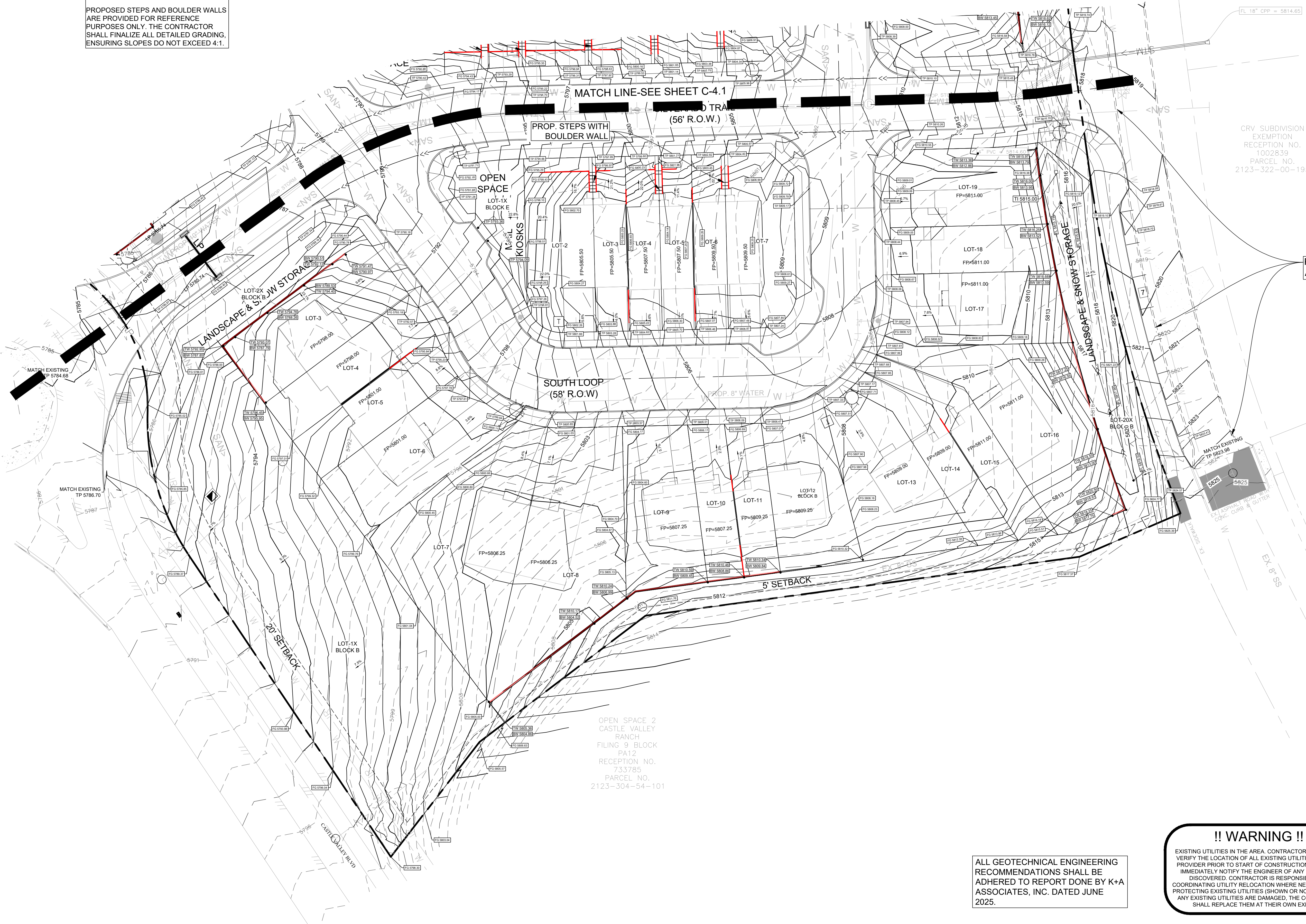
PROPOSED CONTOURS ARE SHOWN FOR REFERENCE ONLY. THE SITE SHALL BE GRADED PER SPOT SHOTS PROVIDED.

PROVIDE DROP GARAGES WHERE DRIVEWAY SLOPES EXCEEDS 8%.

WALL NOTE:
RETAINING WALLS ≤ 2'-0" IN HEIGHT MAY BE CONSTRUCTED USING BOULDERS OR MODULAR LANDSCAPE WALL SYSTEMS.

CRV SUBDIVISION EXEMPTION
RECEPTION NO. 1002839
PARCEL NO. 2123-322-00-195

PAVEMENT IN THIS AREA (BY OTHERS)



GRADING LEGEND	
EXISTING MINOR CONTOURS	--- 464 ---
EXISTING MAJOR CONTOURS	--- 465 ---
MINOR CONTOURS	--- 464 ---
MAJOR CONTOURS	--- 465 ---
SWALE	--- HP --- HP --- HP --- HP ---
HIGH POINT	HP
STORM PIPE	STM->
RETAINING WALL	---
RIP RAP	▭
FINISH FLOOR ELEVATION	467.00 FF
TOP OF CURB ELEVATION	466.00 TC
GUTTER ELEVATION	465.50 G
SIDEWALK ELEVATION	465.00 SW
TOP OF PAVEMENT	464.00 TP
GROUND ELEVATION	463.00 GR
DRAINAGE FLOW DIRECTION	→
CURB INLET	⊞
STORM MANHOLE	⊙
STORM CLEANOUT	○
SANITARY SEWER MANHOLE	⊙
SANITARY SEWER CLEANOUT	○
SANITARY SEWER DOUBLE CLEANOUT	⊙
SANITARY SEWER SAMPLE PORT	○
GREASE TRAP	⊞
DOMESTIC WATER METER	⊞
IRRIGATION METER	⊞
GAS METER	⊞
TRANSFORMER	⊞
LIGHT POLE	⊞
POWER POLE	⊞

OPEN SPACE 2
CASTLE VALLEY RANCH
FILING 9 BLOCK
PA12
RECEPTION NO. 733785
PARCEL NO. 2123-304-54-101

ALL GEOTECHNICAL ENGINEERING RECOMMENDATIONS SHALL BE ADHERED TO REPORT DONE BY K+A ASSOCIATES, INC. DATED JUNE 2025.

!! WARNING !!
EXISTING UTILITIES IN THE AREA. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE PROVIDER PRIOR TO START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.

GRADING PLAN
ARCHWOOD TOWNHOMES
CASTLE VALLEY BLVD
67 RESIDENTIAL LOTS & 7 OPEN AREAS
TOWN OF NEW CASTLE
GARFIELD COUNTY, COLORADO 81647

TRIANGLE ENGINEERING LLC
T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

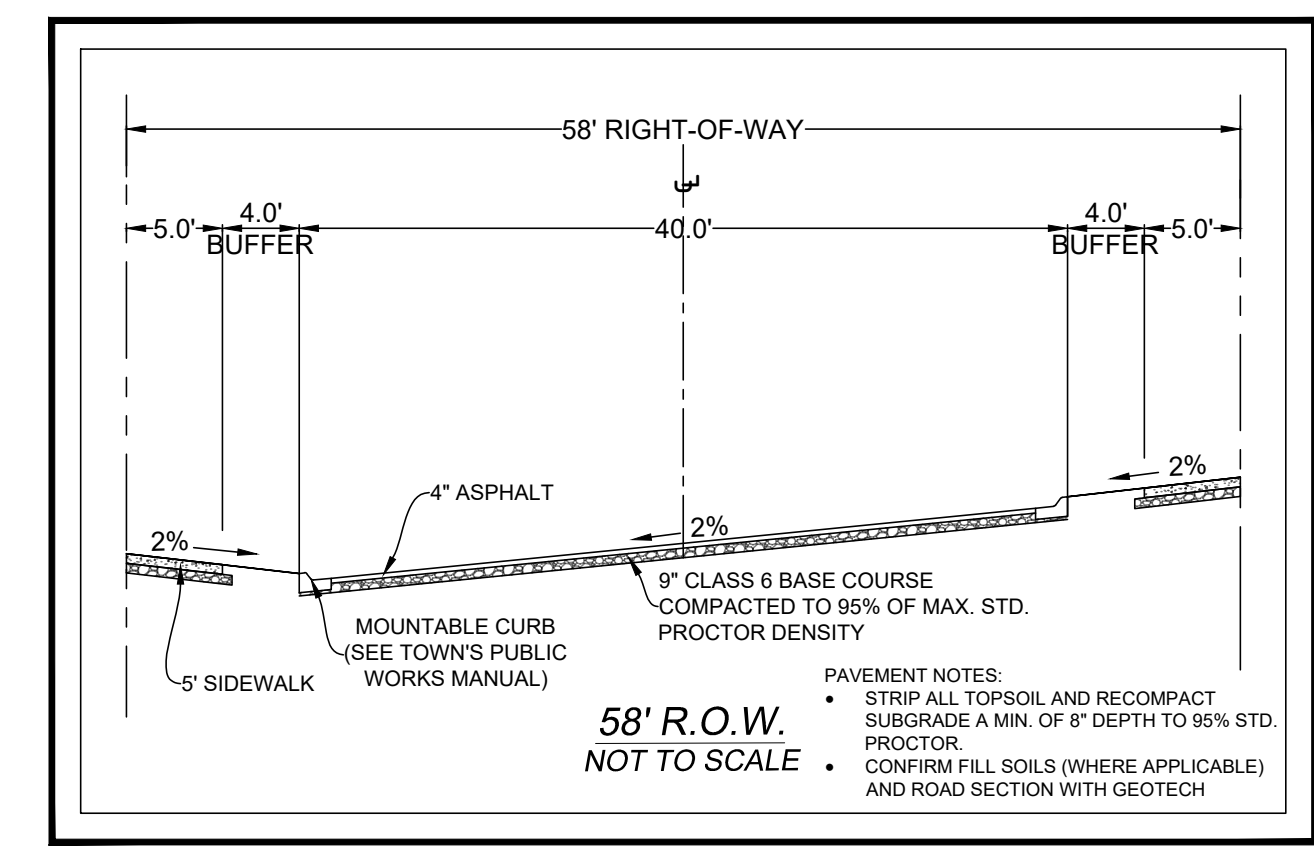
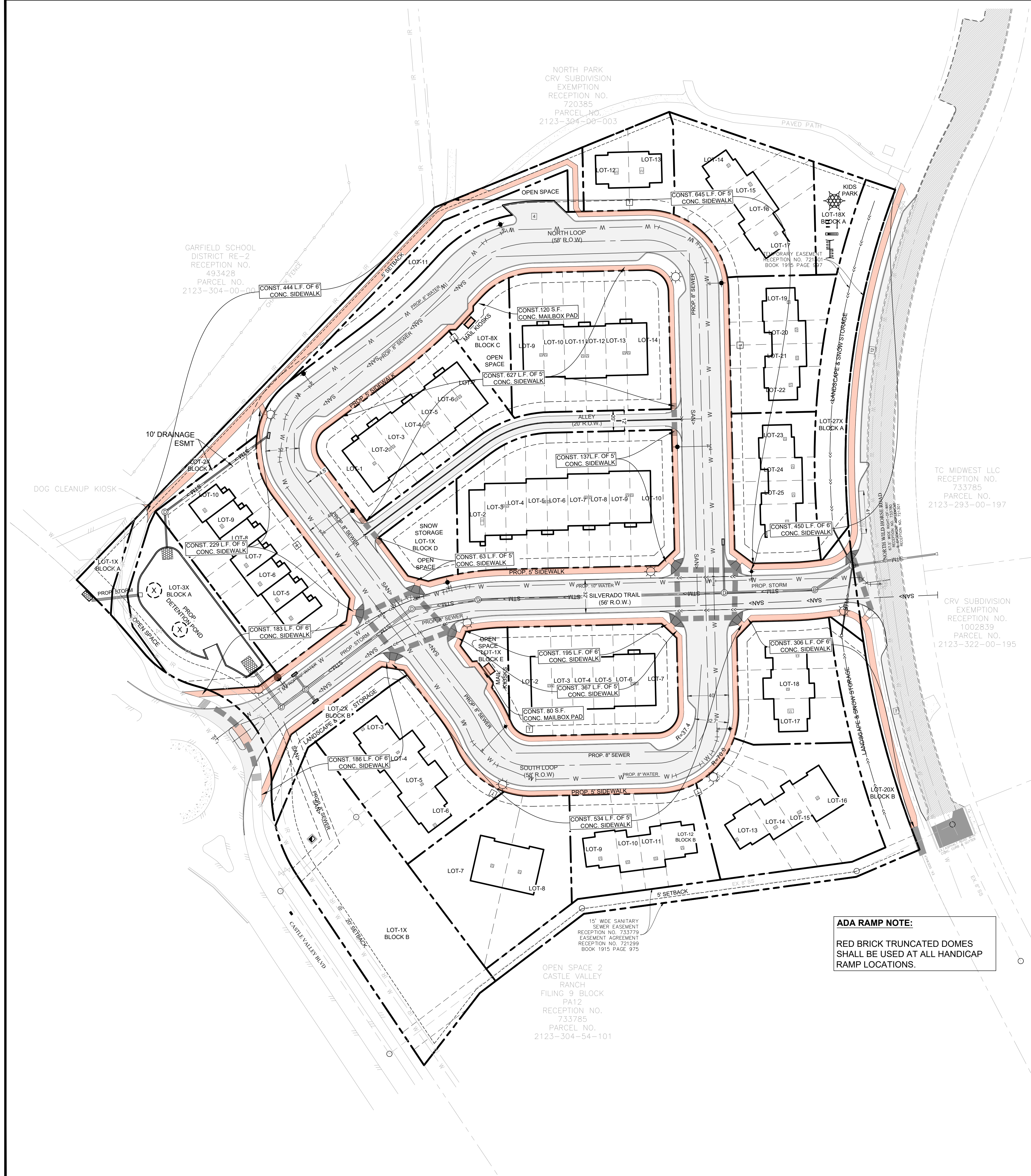
Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	SS	08/25/25	SCALE BAR	38-25	C-4.2

NO.	DATE	DESCRIPTION	BY
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2	02/12/26	2ND PRELIMINARY PUD SUBMITTAL	KP
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FOR PRELIMINARY REVIEW ONLY

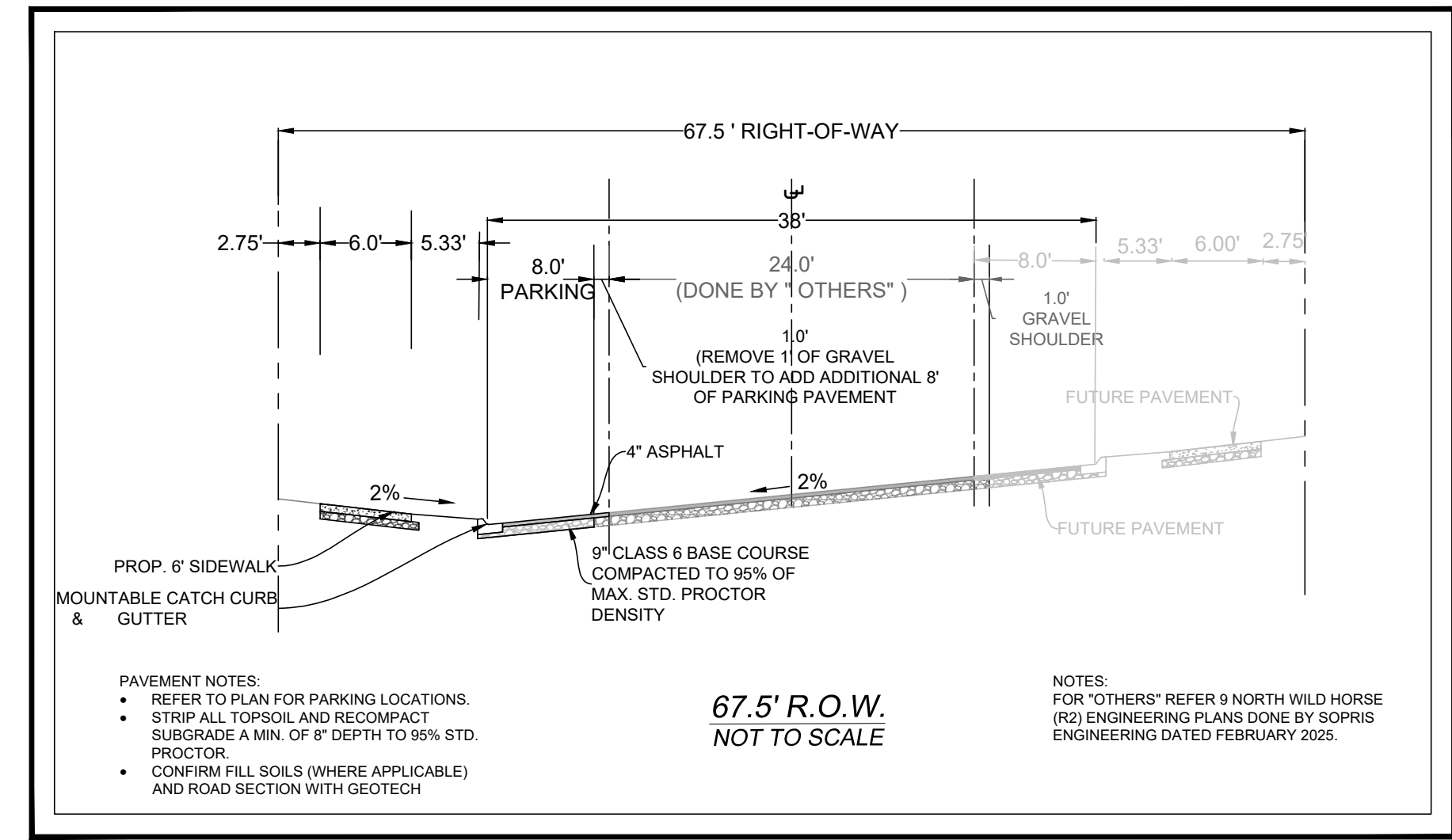
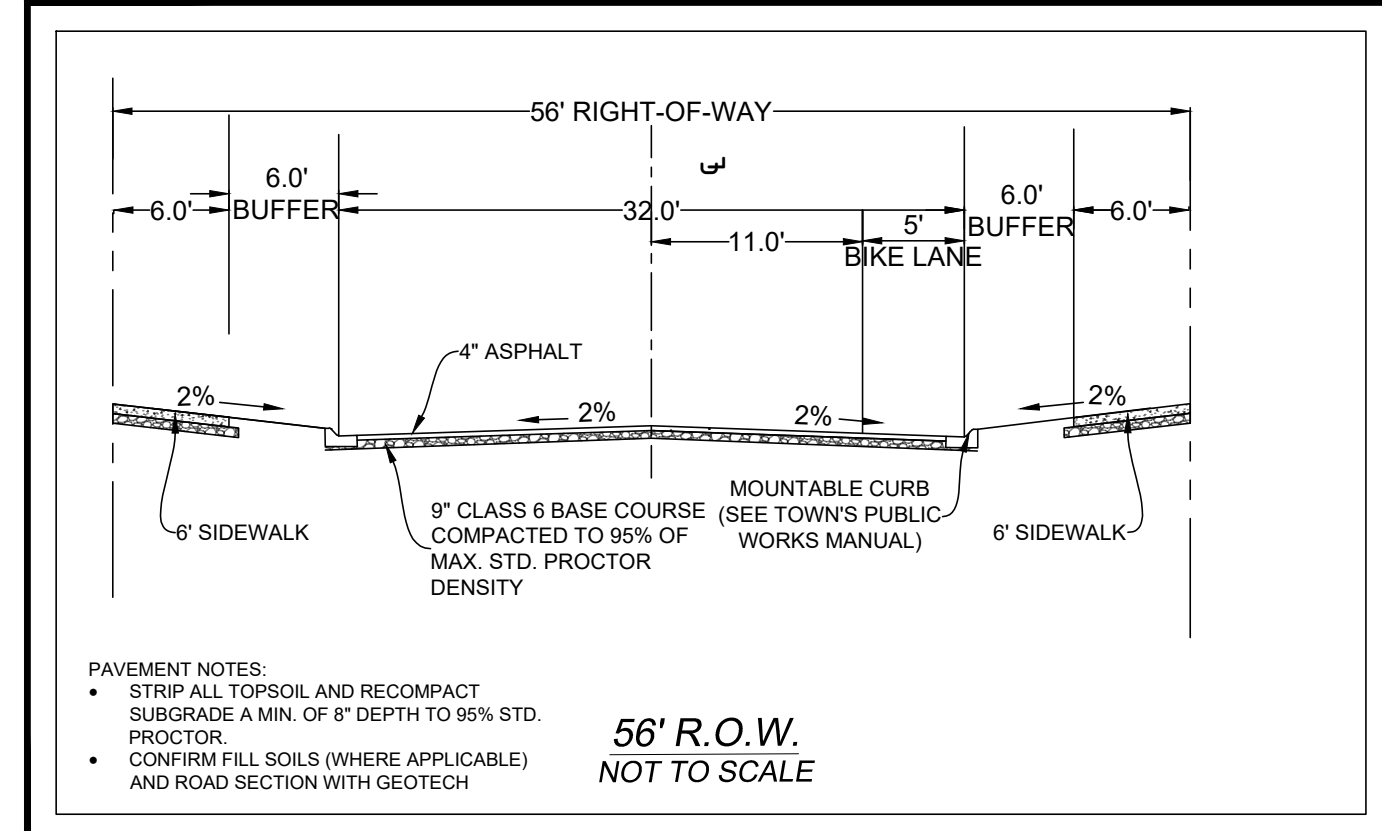
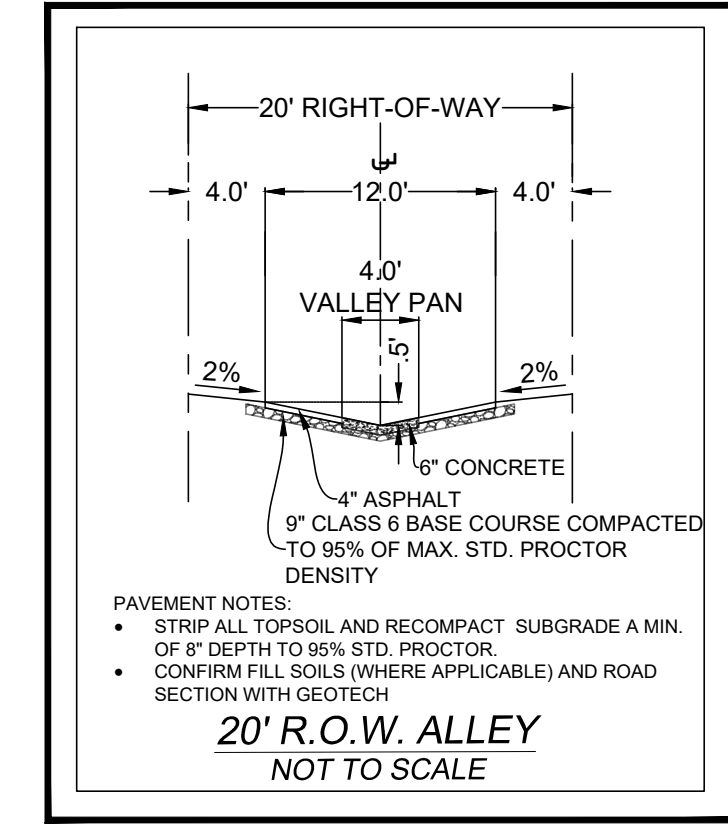




Scale: 1" = 50' Feet

LEGEND

R.O.W.	RIGHT-OF-WAY	FG	FINISHED GROUND
TP	TOP OF PAVEMENT	EG	EXISTING GROUND
EXP	EXISTING TOP OF PAVEMENT		
LP	LOW POINT		DIRECTION OF DRAINAGE FLOW
HP	HIGH POINT		CENTERLINE
20'R	RADIUS		PROP. ROAD (BY OTHERS)
PC	POINT OF CURVATURE		PROPOSED ROAD
PT	POINT OF TANGENCY		
PI	POINT OF INTERSECTION		
PVI	POINT OF VERTICAL INTERSECTION		
CONST.	CONSTRUCT		
CL	CENTERLINE		
RT	RIGHT		
LT	LEFT		
GND	GROUND		



REFER TO TRAFFIC IMPACT ANALYSIS DONE BY TURNKEY CONSULTING, LLC DATED JULY 2025.

ALL GEOTECHNICAL ENGINEERING RECOMMENDATIONS SHALL BE ADHERED TO REPORT DONE BY K+A ASSOCIATES, INC. DATED JUNE 2025.

OVERALL PAVING PLAN
ARCHWOOD TOWNHOMES
CASTLE VALLEY BLVD
67 RESIDENTIAL LOTS & 7 OPEN AREAS
TOWN OF NEW CASTLE
GARFIELD COUNTY, COLORADO 81647

TRIANGLE ENGINEERING LLC
T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	SS	08/25/25	SCALE BAR	38-25	C-9.0

NO.	DATE	DESCRIPTION	BY
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FOR PRELIMINARY REVIEW ONLY





Scale: 1" = 50' Feet

NORTH PARK
CRV SUBDIVISION
EXEMPTION
RECEPTION NO.
720385
PARCEL NO.
2123-304-00-003

GARFIELD SCHOOL
DISTRICT RE-2
RECEPTION NO.
493428
PARCEL NO.
2123-304-00-001

LEGEND

 SNOW STORAGE AREA

SNOW STORAGE CALCULATIONS				
ROAD	PAVED AREA (S.F.)	15% OF AREA (S.F.)	PLANNED SNOW STORAGE (S.F.)	NOTES
SILVERADO TRAIL	23000	3450	4183.84	5.5' WIDE, BOTH SIDES WITH IN GREEN SPACE
NORTH LOOP	40478	6072	4286	4' WIDE PER PLAN + 20' WIDTH N PARKING
SOUTH LOOP	19537	2931	825	4' WIDE PER PLAN
OPEN AREA/ LANDSCAPE AREA	103673	15551	23616	SNOW STORAGE/OPEN SPACE LOT
TOTAL	186688	28003	32911	17.6% SNOW STORAGE CALCULATED



TC MIDWEST LLC
RECEPTION NO.
733785
PARCEL NO.
2123-293-00-197

CRV SUBDIVISION
EXEMPTION
RECEPTION NO.
1002839
PARCEL NO.
2123-322-00-195

LOT 17
CASTLE VALLEY
RANCH
FILING 10 BLOCK
PA13
RECEPTION NO.
812500
PARCEL NO.
2123-293-25-017

OPEN SPACE 2
CASTLE VALLEY
RANCH
FILING 9 BLOCK
PA12
RECEPTION NO.
733785
PARCEL NO.
2123-304-54-101

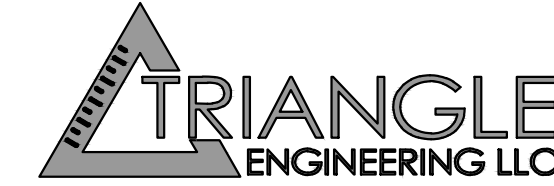
15' WIDE SANITARY
SEWER EASEMENT
RECEPTION NO. 733779
EASEMENT AGREEMENT
RECEPTION NO. 721299
BOOK 1915 PAGE 975



NO.	DATE	DESCRIPTION	BY
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FOR PRELIMINARY REVIEW ONLY

SNOW STORAGE PLAN
ARCHWOOD TOWNHOMES
 CASTLE VALLEY BLVD
 67 RESIDENTIAL LOTS & 7 OPEN AREAS
 TOWN OF NEW CASTLE
 GARFIELD COUNTY, COLORADO 81647



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Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	SS	08/25/25	SEE SCALE BAR	38-25	C-12.0



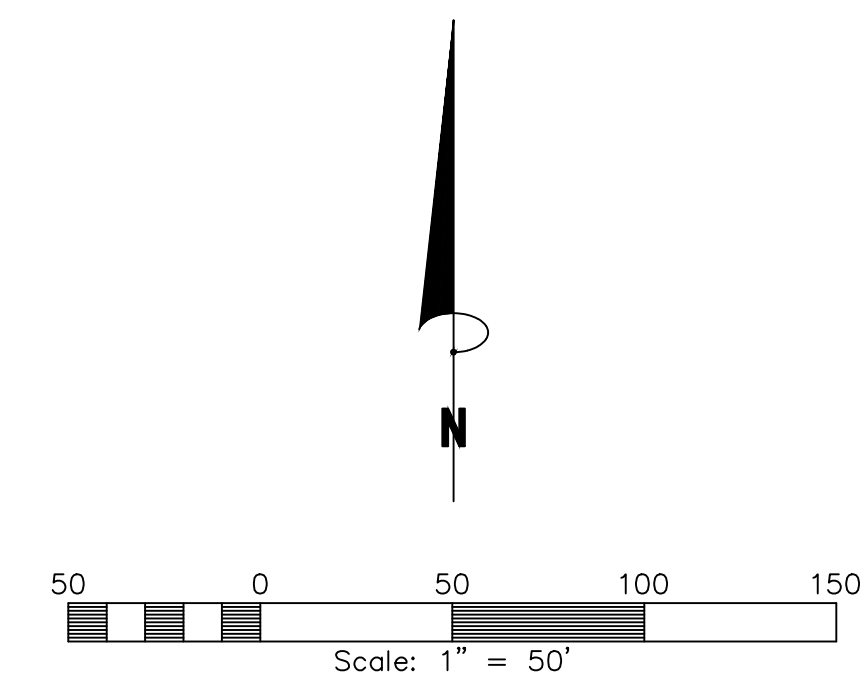
PLANT SCHEDULE

Qty.	Symbol	Scientific Name	Common Name	Code Name	Planting Size
Deciduous Trees					
29	⊗	Malus spp. 'Spring Snow'	Spring Snow Crabapple	SSC	25'-Gal.
34	⊗	Øleditsia triacanthos Inermis 'Shademaster'	Shademaster Honeylocust	SH	25'-Gal.
49	⊗	Acer rubrum	Red Sunset Maple	RM	25'-Gal.
9	⊗	Acer ginnala 'Flame'	Ginnala Flame Maple	AM	25'-Gal.
15	⊗	Acer tataricum 'Hot Wings'	Hot Wings Maple	HWM	25'-Gal.
10	⊗	Acer x Freemanii	Autumn Blaze Maple	ABM	25'-Gal.
Evergreen Trees					
12	⊗	Picea pungens 'Hoopsii'	Hoopsii Blue Spruce	DSH	8'
Shrubs					
33	⊗	Rosa spp. 'Nearly Wild'	Nearly Wild Rose	NWR	5-Gal.
75	⊗	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla	GDP	5-Gal.
48	⊗	Potentilla fruticosa 'McKay's'	McKay's White Potentilla	MWP	5-Gal.
21	⊗	Cotoneaster apiculata	Cranberry Cotoneaster	CC	5-Gal.
27	⊗	Euonymus alatus 'Compacta'	Dwarf Winged Euonymous	DWE	5-Gal.
22	⊗	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	MKL	5-Gal.
Ornamental Grasses					
8	⊗	Calamagrostis acutiflora Karl Foerster'	Karl Foerster Reed Grass	KF	5-Gal.

NATIVE GRASS SEED MIX SHALL BE LOW GROW MIX CONSISTING OF THE FOLLOWING GRASSES:
 30% EPHRAIM CRESTED WHEATGRASS
 25% SHEEPS FESCUE
 20% VIBRANT PERENNIAL RYEGRASS
 15% CHEWINGS FESCUE
 10% CANADA BLUEGRASS
 APPLY SEED AT A RATE OF 1/2 LB./1000 SF.

- LEGEND**
- ⊗ 3/8" TAN GRAVEL W/WEED BARRIER
 - ⊗ NEW DROUGHT RESISTANT LAWN (SOD) AREA
 - ⊗ NATIVE GRASS AREA
 - ⊗ ASPHALT
 - ⊗ 10" EXISTING PINE TREE

PRELIMINARY - FOR REVIEW ONLY

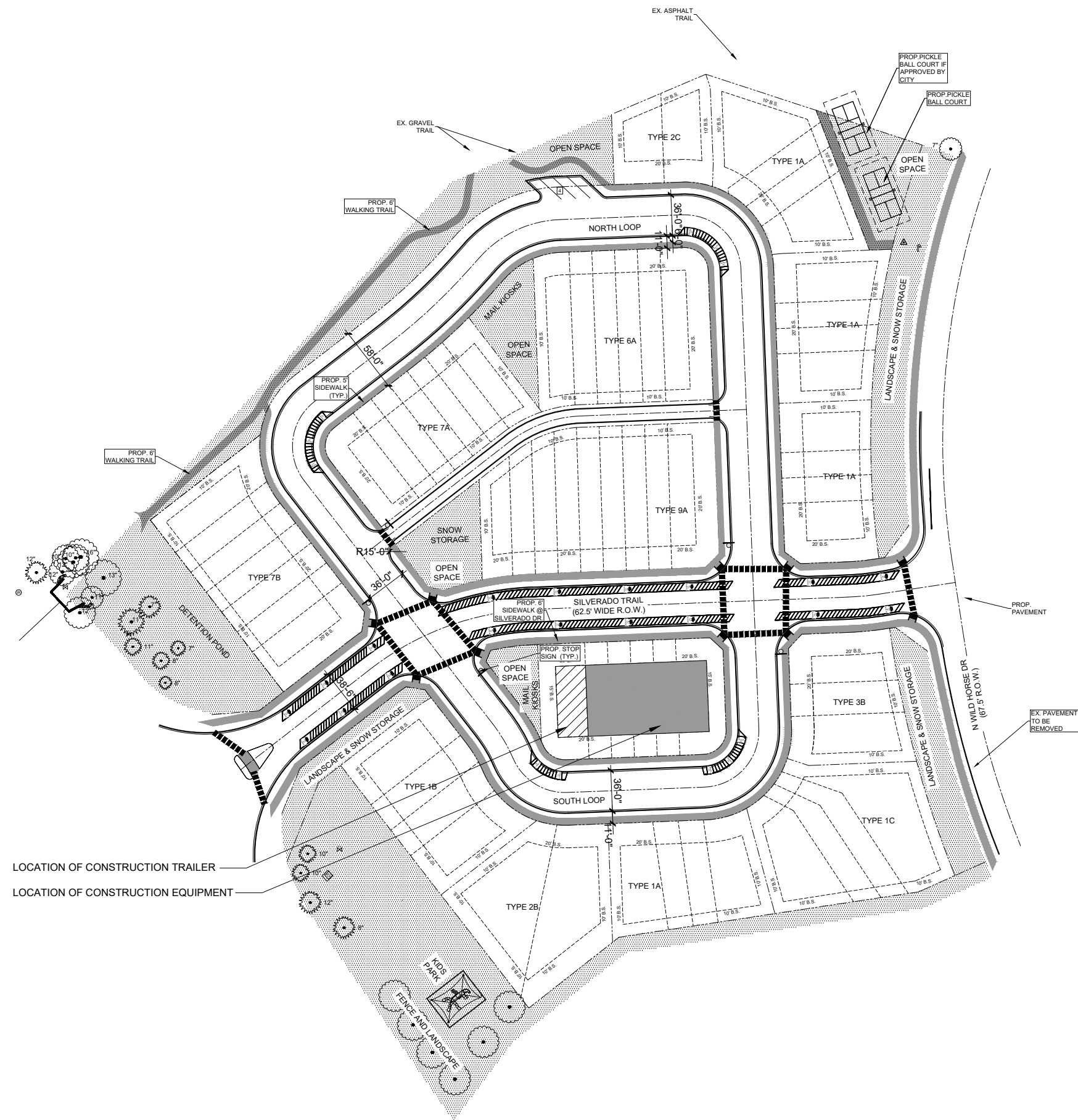


LANDSCAPE PLAN

ARCHWOOD TOWNHOMES, CASTLE VALLEY RANCH, CO

LANDSCAPE PLAN
 SCALE: 1"=50'-0" ■ JOB#: 24042 ■ ISSUE DATE: 02/12/2026
 APPROVED BY: _____ DATE: _____

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CONSTRUCTION MANAGEMENT PLAN
ARCHWOOD TOWNHOMES, CASTLE VALLEY RANCH, CO

SITE PLAN 15

SCALE: 1"=50'-0" ■ JOB#: 24042 ■ ISSUE DATE: 09/22/2025
 APPROVED BY: _____ DATE: _____



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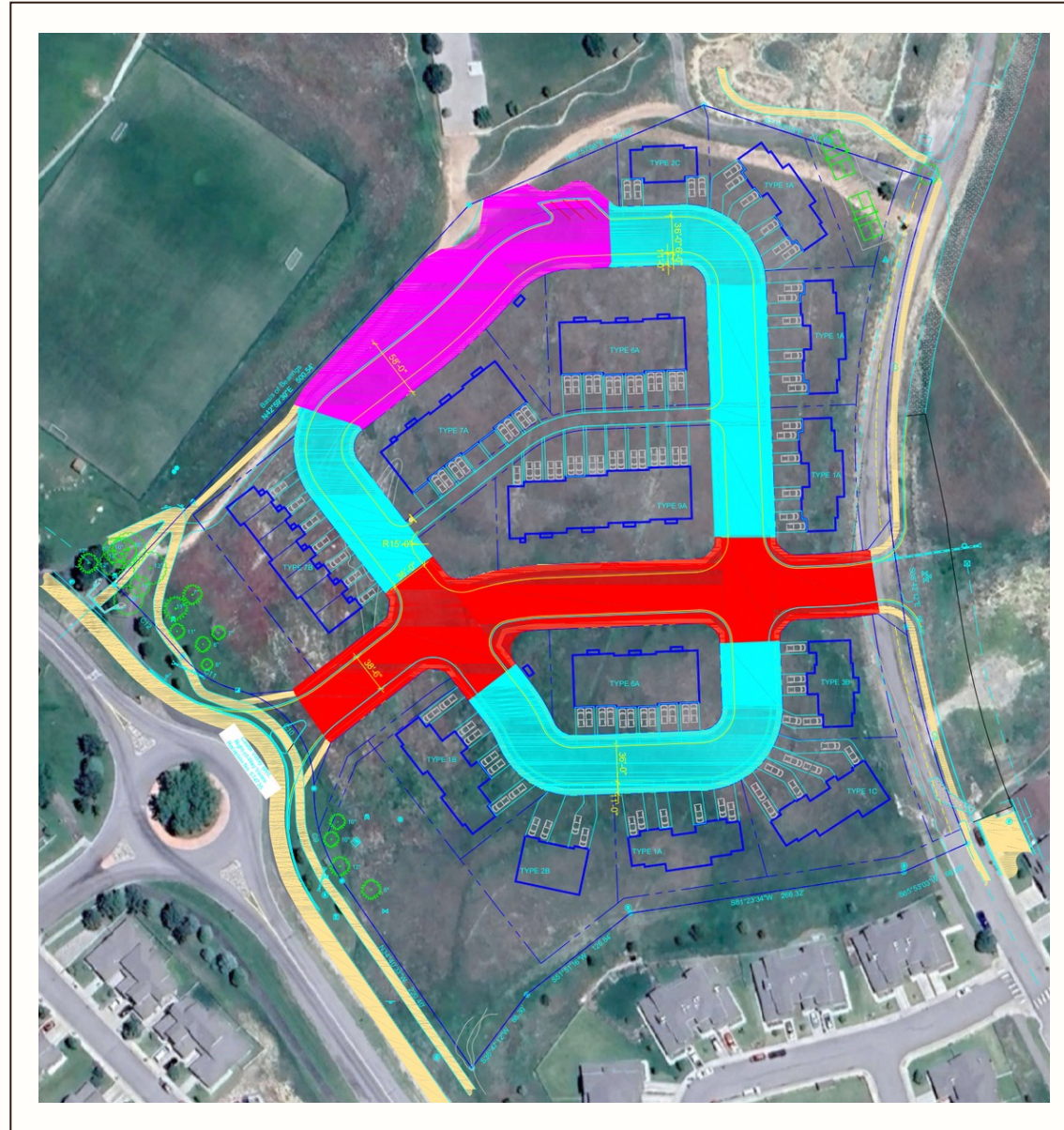
STREET SECTION SITE PLAN
 ARCHWOOD TOWNHOMES, CASTLE VALLEY RANCH, CO

SITE PLAN 15

SCALE: 1"=50'-0" ■ JOB#: 24042 ■ ISSUE DATE: 02/13/2026
 APPROVED BY: _____ DATE: _____

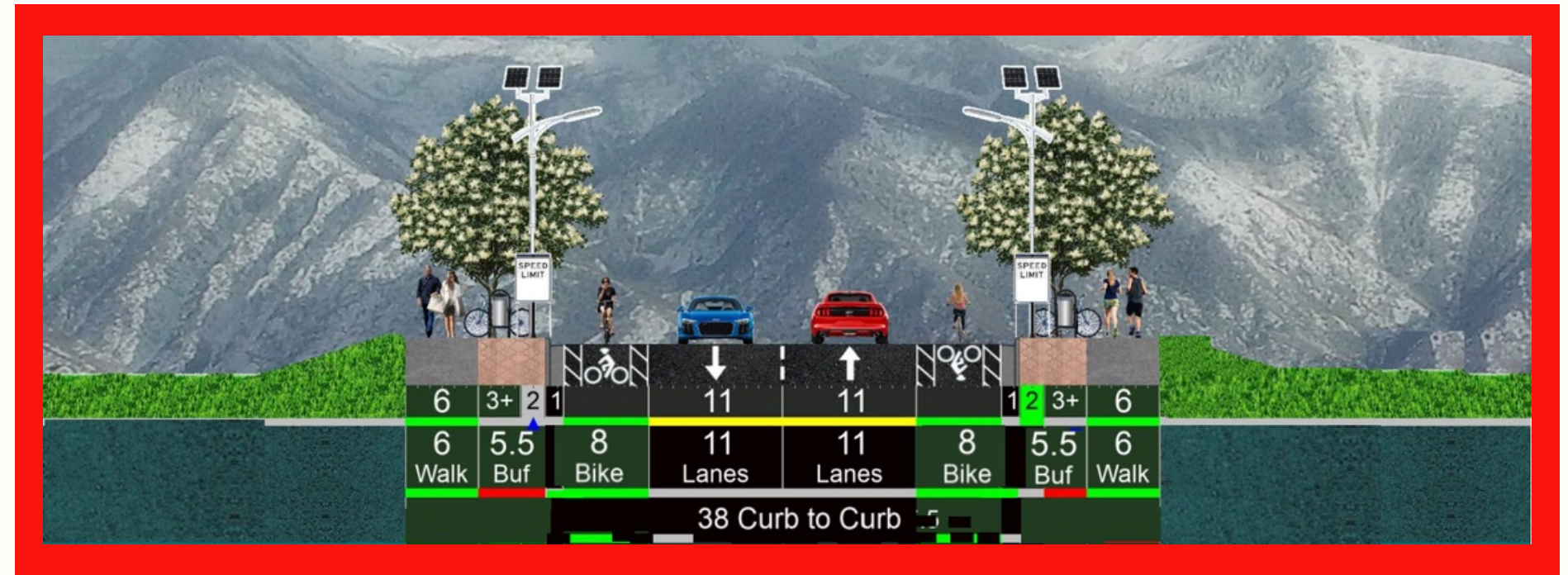
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Option One

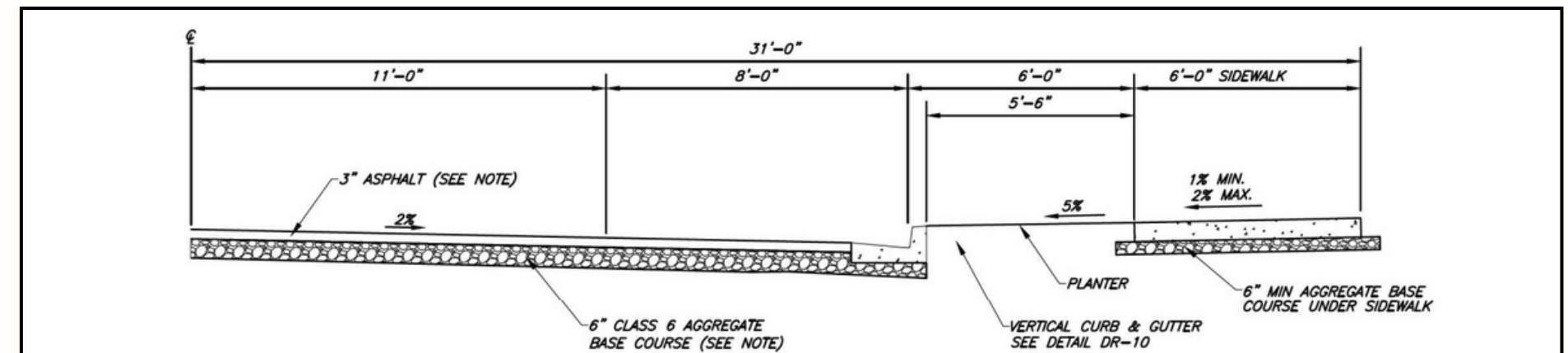


Right of Way
62 Feet
Silverado Trail

R.O.W 62 FEET



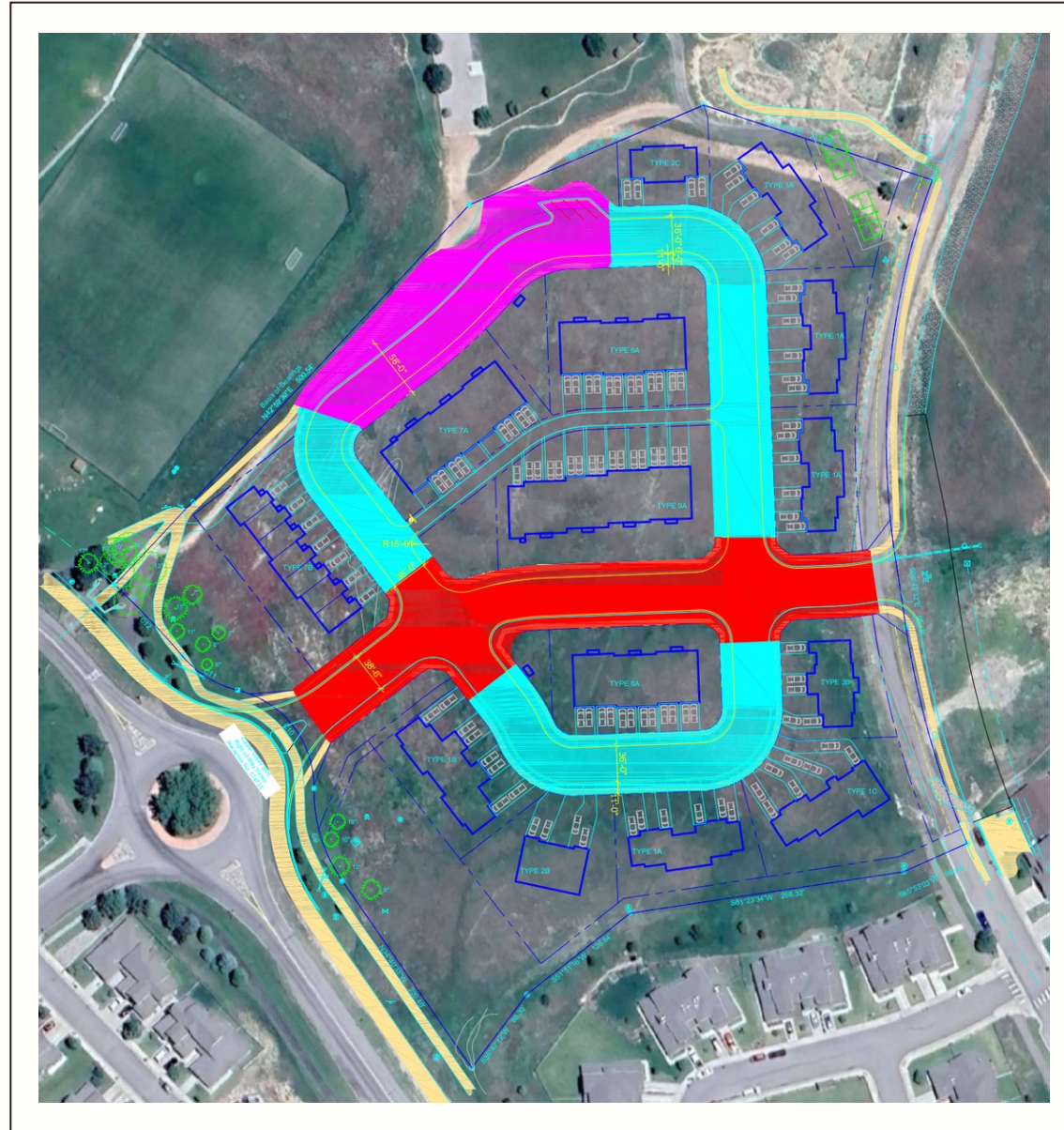
DEVELOPMENT PROPOSED



CITY STANDARD

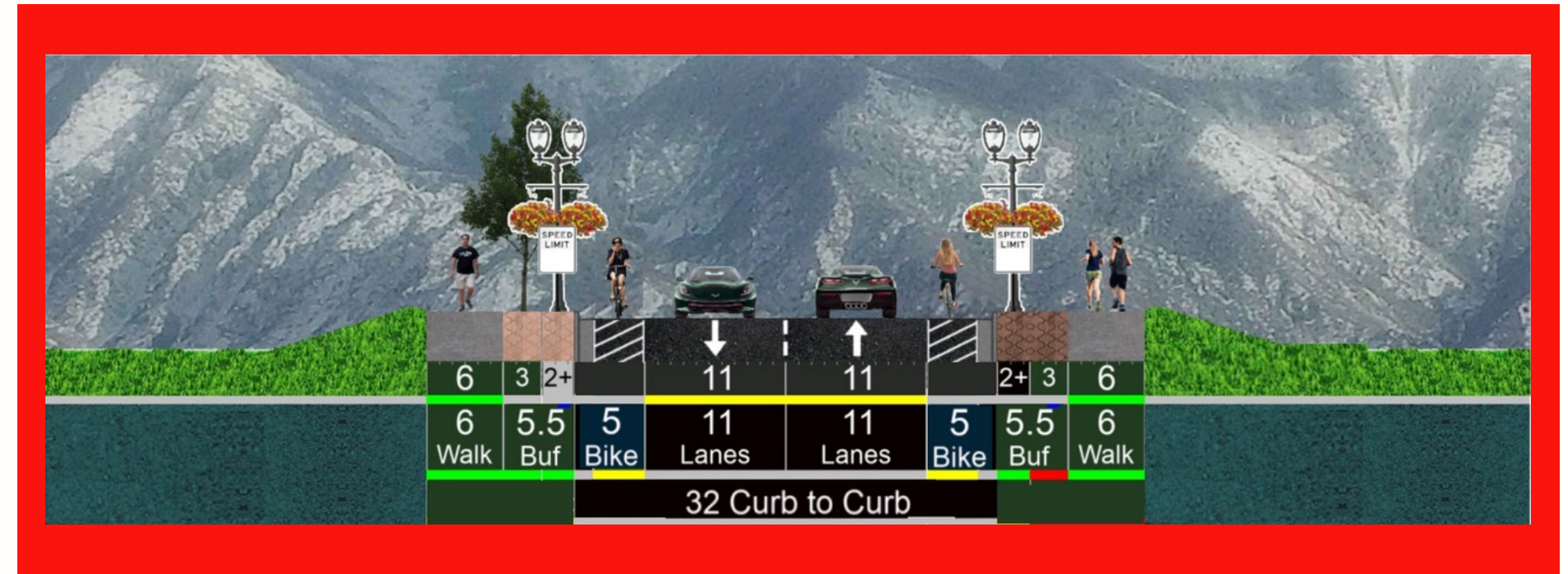
Designed as a vital collector and main thoroughfare within our development, the road features an 11-foot travel lane with no on-street parking to ensure smooth traffic flow and safety. A dedicated, marked bike lane promotes cycling as a safe transportation option. For pedestrian comfort and safety, 6-foot sidewalks are provided on both sides, separated from the road by a 5.5-foot landscaped buffer. This thoughtful layout enhances both aesthetics and safety for pedestrians and cyclists.

Option Two

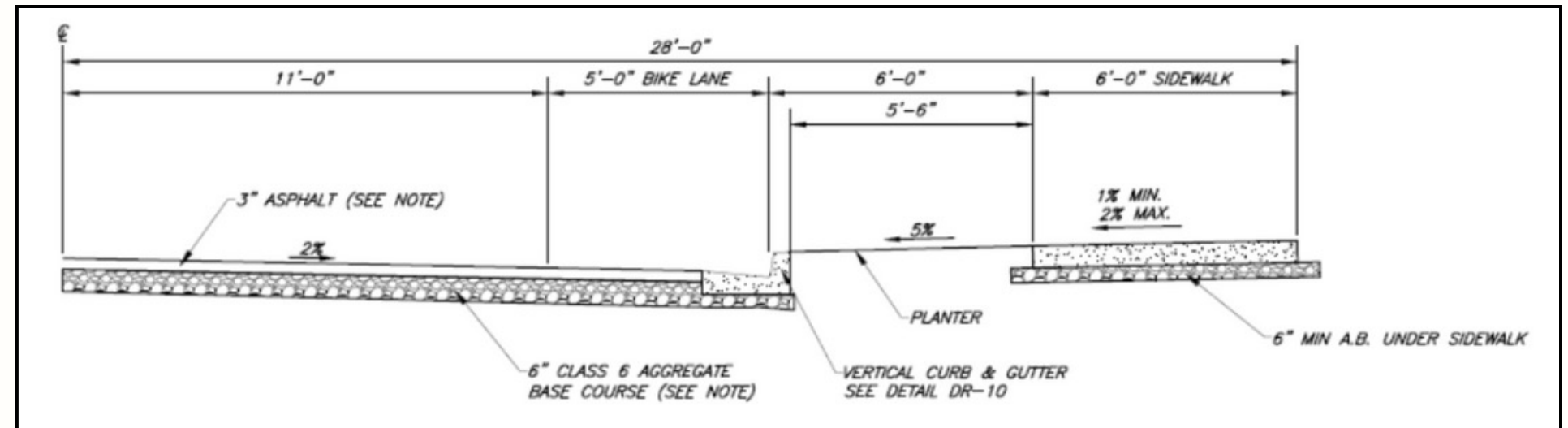


Right of Way
56 Feet
Silverado Trail

R.O.W 56 FEET

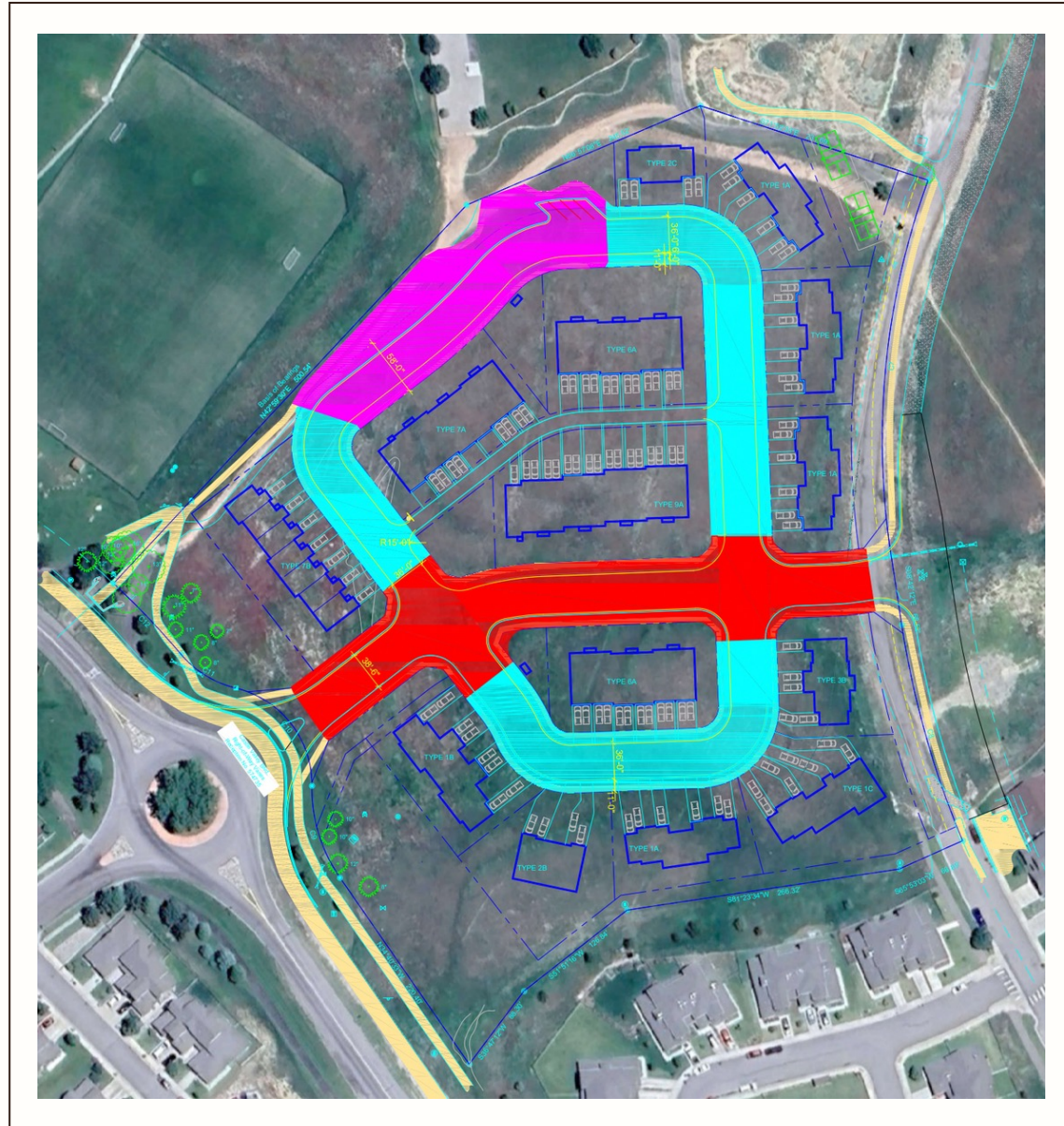


DEVELOPMENT PROPOSED



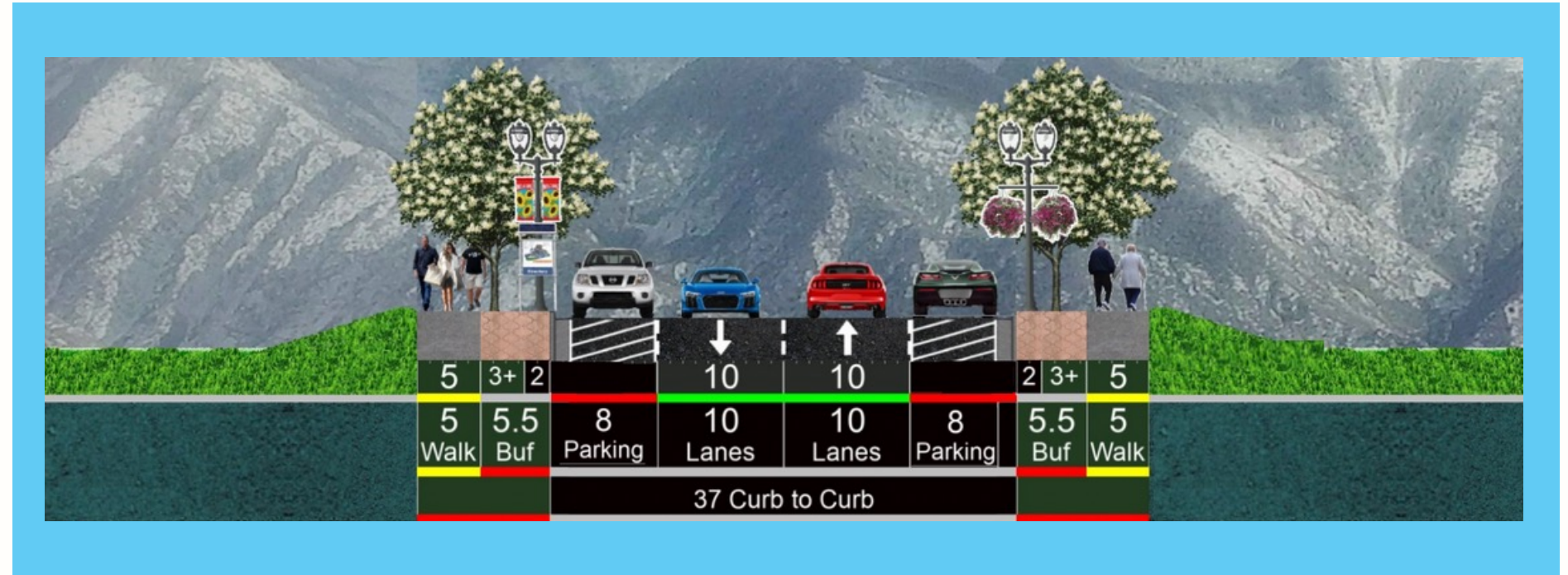
CITY STANDARD

Designed to enhance safety and traffic control, the road includes an 11-foot travel lane with no parking on either side to ensure smooth vehicle flow. A dedicated, marked bike lane supports safe cycling, while 6-foot sidewalks on both sides are separated by a 5.5-foot landscaped buffer. This layout improves pedestrian safety and adds to the area's overall aesthetic, creating a more pleasant environment for residents.

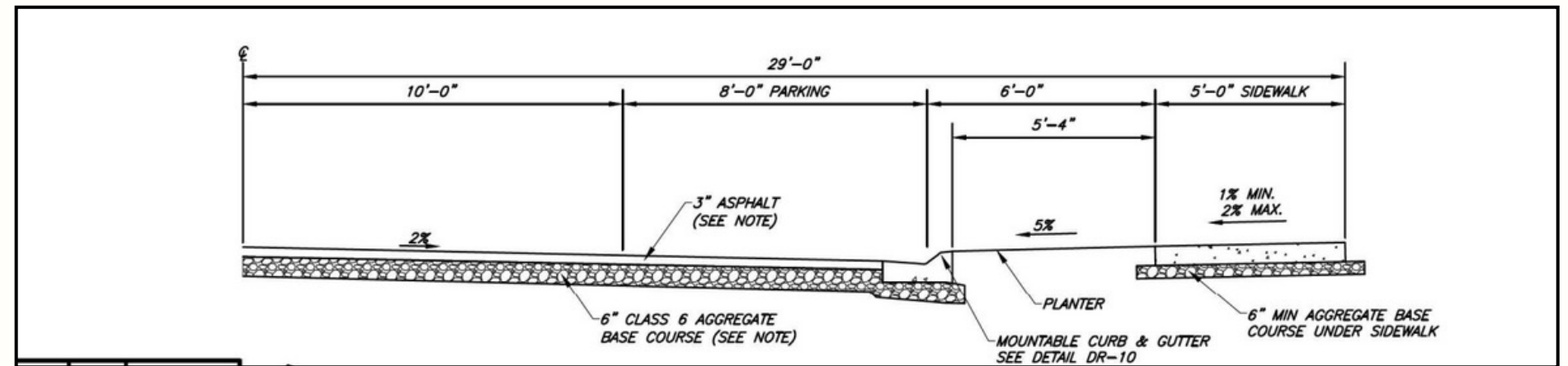


Right of Way 58 Feet North/South Loop

R.O.W 58 FEET



DEVELOPMENT PROPOSED



CITY STANDARD

Designed to enhance safety and traffic control, the road includes an 11-foot travel lane with no parking on either side to ensure smooth vehicle flow. A dedicated, marked bike lane supports safe cycling, while 6-foot sidewalks on both sides are separated by a 5.5-foot landscaped buffer. This layout improves pedestrian safety and adds to the area's overall aesthetic, creating a more pleasant environment for residents.

BUILDING TYPE	NUM. OF UNITS	NUM. OF BLDG. TYPES	BEDROOMS PER BUILD.	FULL BATHS PER BUILD.	HALF BATHS PER BUILD.	CAR GARAGE PER BUILD.	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE
TYPE 1A	4	4	12 (48)	8 (32)	4 (16)	4 (16)	5,286 SF	21,144 SF
TYPE 1B	4	1	10	8	4	6	6,622 SF	6,622 SF
TYPE 1C	4	1	12	8	4	4	5,513 SF	5,513 SF
TYPE 2B	2	1	6	4	2	2	3,174 SF	3,174 SF
TYPE 2C	2	1	4	4	2	2	2,720 SF	2,720 SF
TYPE 3B	3	1	7	6	3	4	4,594 SF	4,594 SF
TYPE 6A	6	2	18 (36)	12 (24)	6 (12)	12 (24)	9,492 SF	18,984 SF
TYPE 7A	7	1	21	14	7	14	11,074 SF	11,074 SF
TYPE 7B	7	1	21	14	7	7	8,981 SF	8,981 SF
TYPE 9A	9	1	26	18	9	17	13,820 SF	13,820 SF
TOTALS	66	14	191	132	66	96	---	96,626 SF



Aerial Site View

OUR VISION

EQR ACCOUNTING FROM	
TOTAL UNITS	66
TOTAL OPEN SPACE	86,865

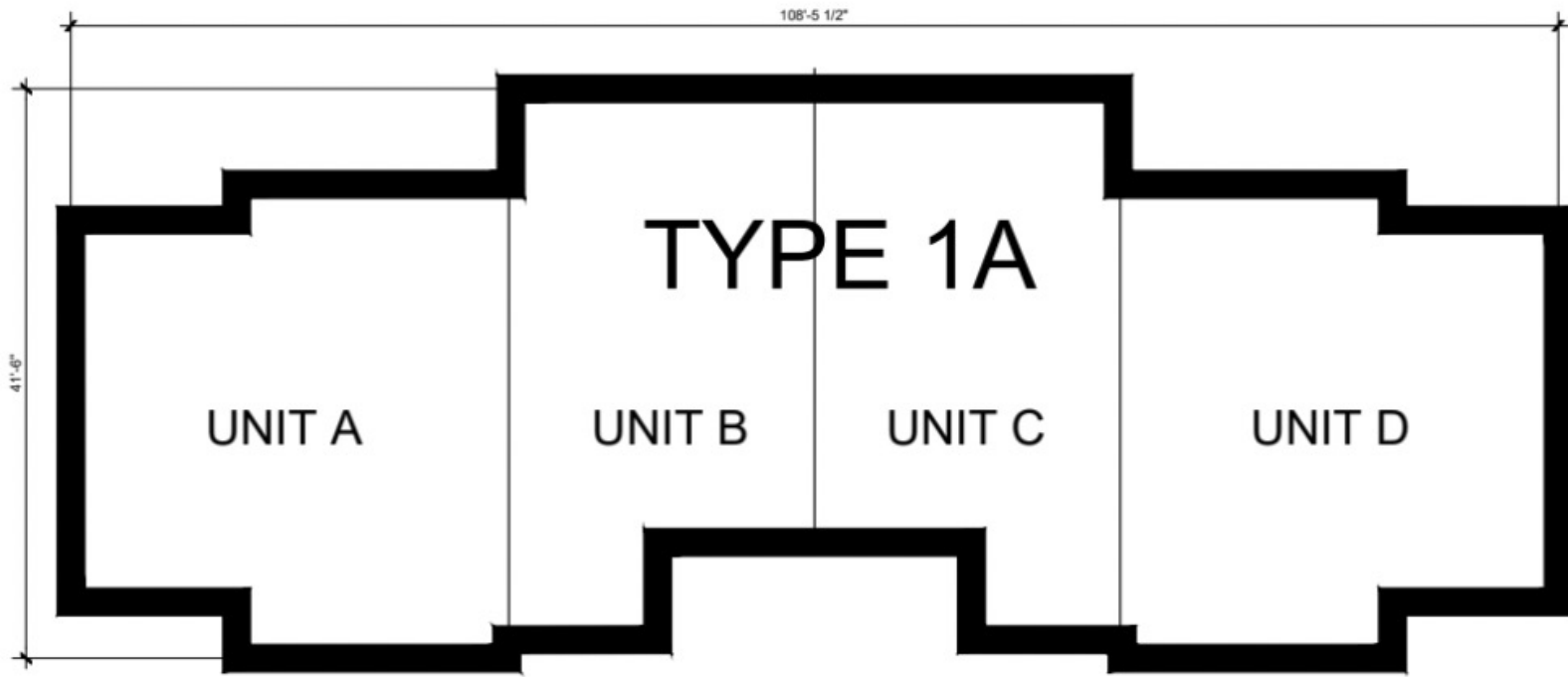
NO.	DEVELOPMENT		UNIT
1	NUMBER OF EQR DEVELOPED		EQRs
2	NUMBER OF EQR PROPOSED IN FILLING (#)	16.5	EQRs
3	NUMBER OF EQRs FOR RAW WATER IRRIGATION DEVELOPED (*)	5.79	EQRs
4	NUMBER OF EQRs PROPOSED FOR RAW WATER IRRIGATION IN FILLING		EQRs
5	TOTAL NUMBER OF EQRs	22.29	EQRs

(#) Dedication of 0.4 EQR/6,000 SQFT for 86,865 SQFT

(*) Dedication of 0.25 EQR for each unit served by raw water irrigation

NO.		EQRs	ACRES/EQR		UNIT
1	EQRs x 0.10 ACRES/EQR	22.29	0.1	2.23	ACRES
2	TOTAL DEDICATED ACRES			2.23	

EQR Calculations



UNIT A	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	1

UNIT B	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	1

UNIT C	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	1

UNIT D	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	1

UNIT A	SQUARE FOOTAGE
FLOOR PLAN - 1ST	680 SF
FLOOR PLAN - 2ND	680 SF
GARAGE	336 SF
COVERED PATIO	0 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,360 SF
TOTAL	1,696 SF

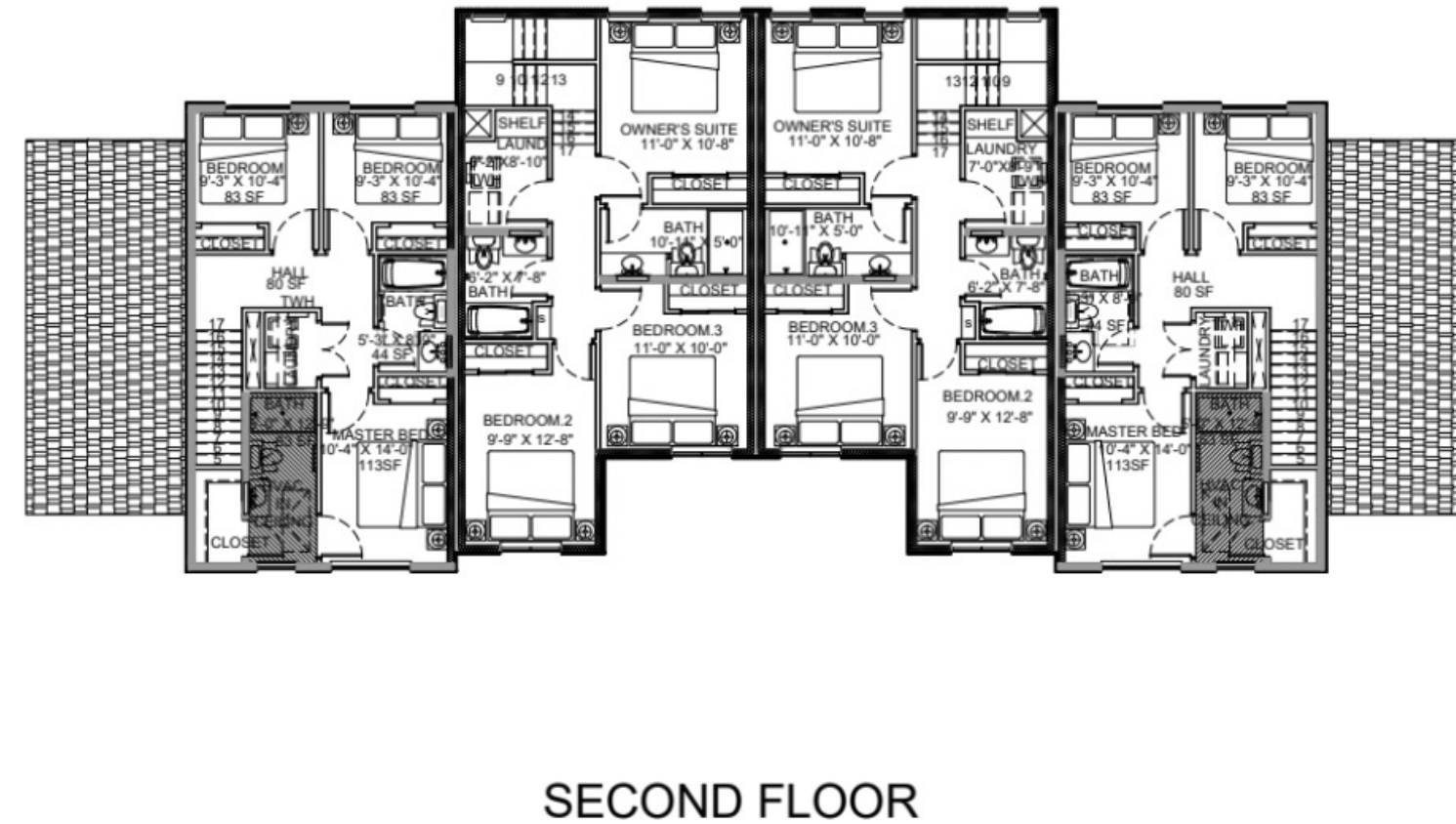
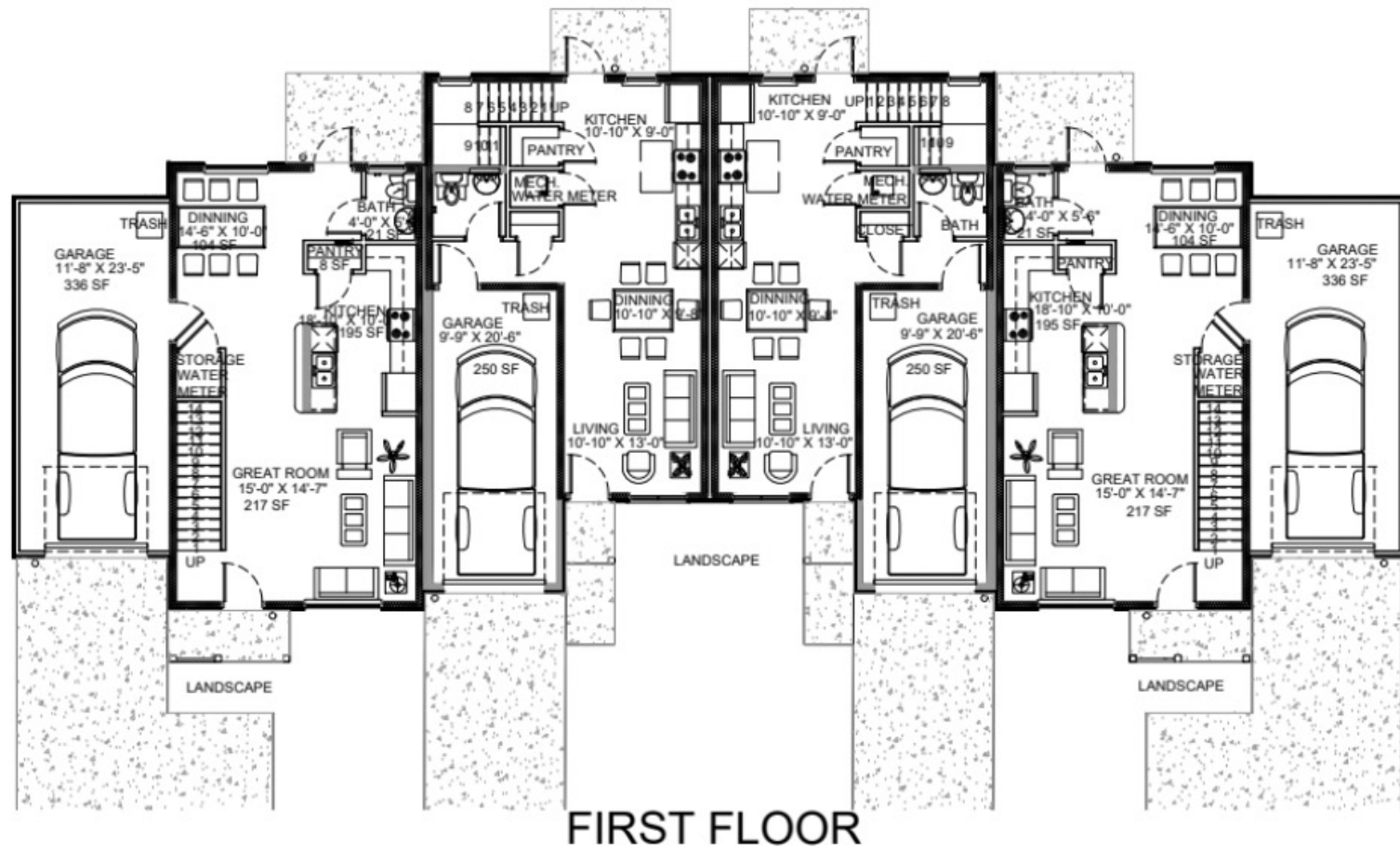
UNIT B	SQUARE FOOTAGE
FLOOR PLAN - 1ST	553 SF
FLOOR PLAN - 2ND	730 SF
GARAGE	250 SF
COVERED PATIO	20 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,283 SF
TOTAL	1,553 SF

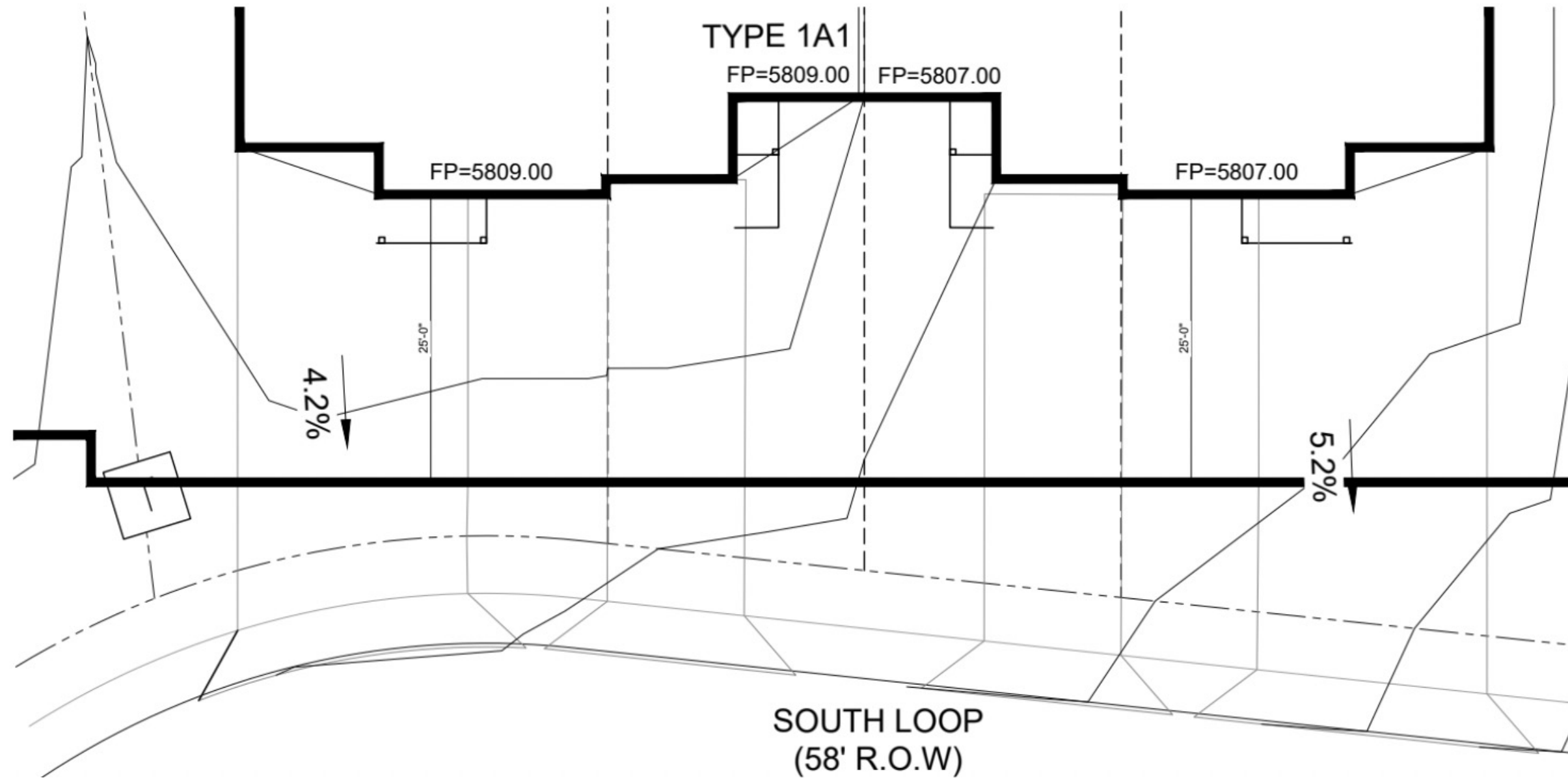
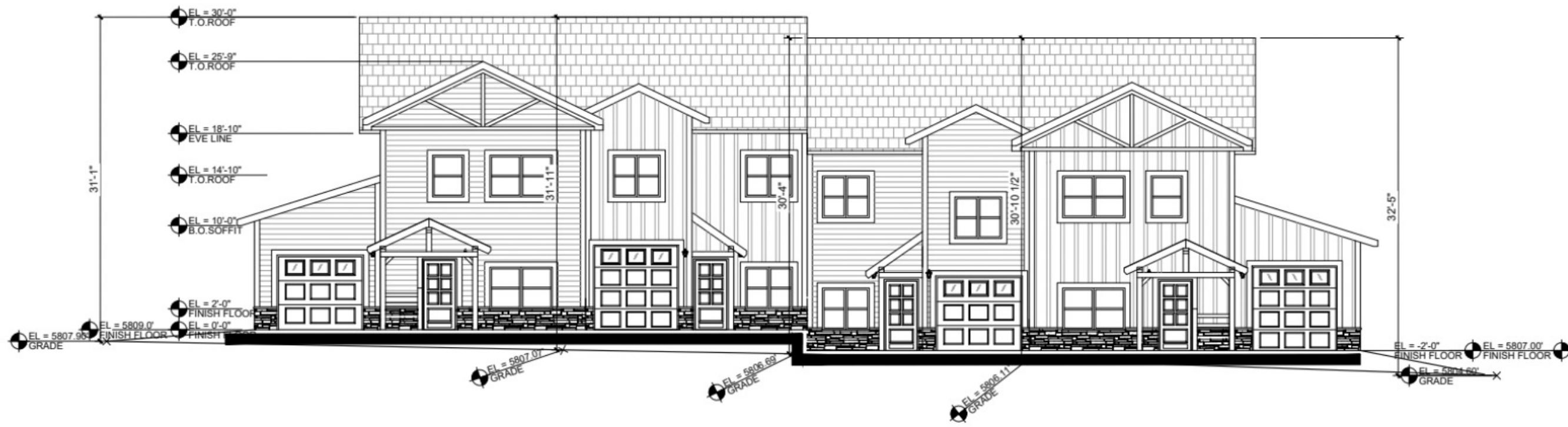
UNIT C	SQUARE FOOTAGE
FLOOR PLAN - 1ST	553 SF
FLOOR PLAN - 2ND	730 SF
GARAGE	250 SF
COVERED PATIO	20 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,283 SF
TOTAL	1,553 SF

UNIT D	SQUARE FOOTAGE
FLOOR PLAN - 1ST	680 SF
FLOOR PLAN - 2ND	680 SF
GARAGE	336 SF
COVERED PATIO	0 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,360 SF
TOTAL	1,696 SF

BUILDING TYPE	NUM. OF BLDG	NUM. OF UNITS IN BLDG	NUM. OF TYPES	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE
TYPE 1A	4	4	4	5,286 SF	21,144 SF

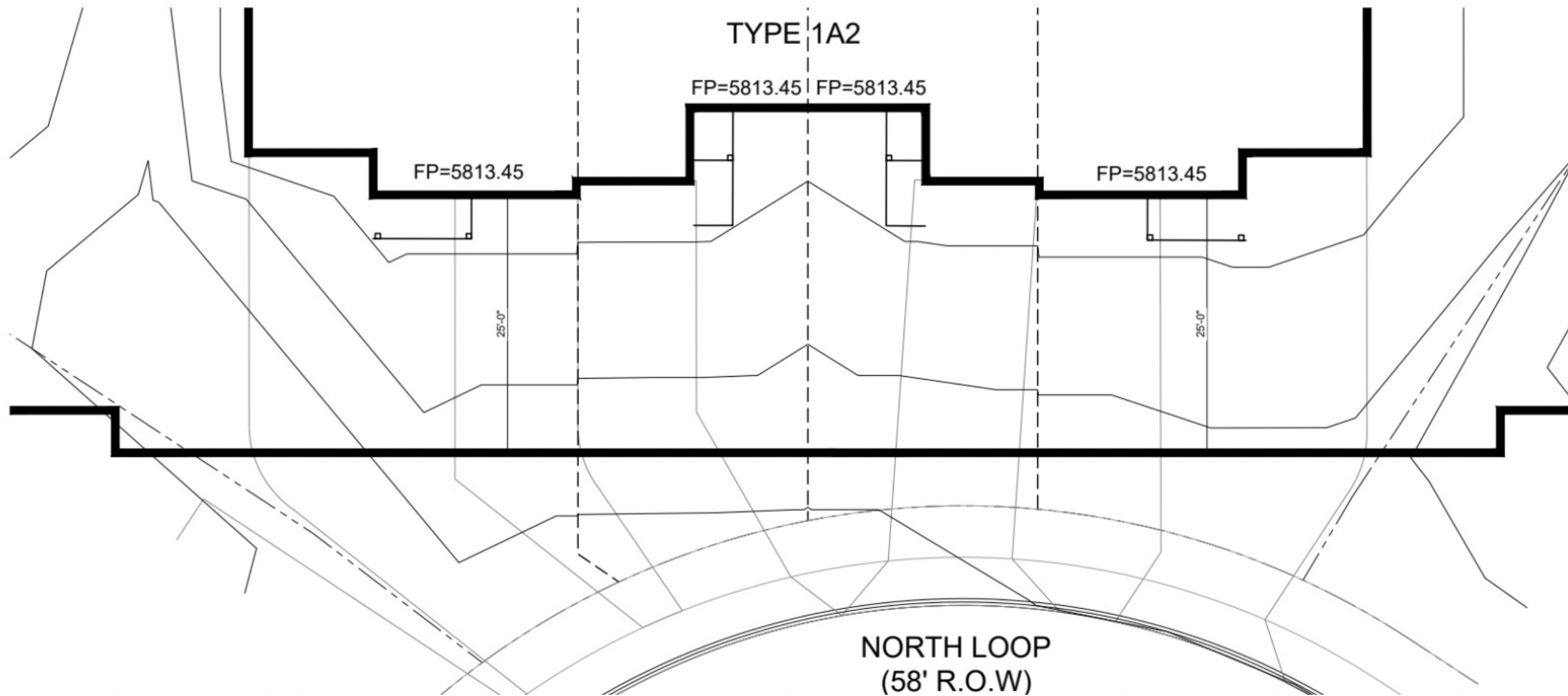
TYPE 1A	SQUARE FOOTAGE
FLOOR PLAN - 1ST	2,466 SF
FLOOR PLAN - 2ND	2,820 SF
GARAGE	1,172 SF
COVERED PATIO	40 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	5,286 SF
TOTAL	6,498 SF





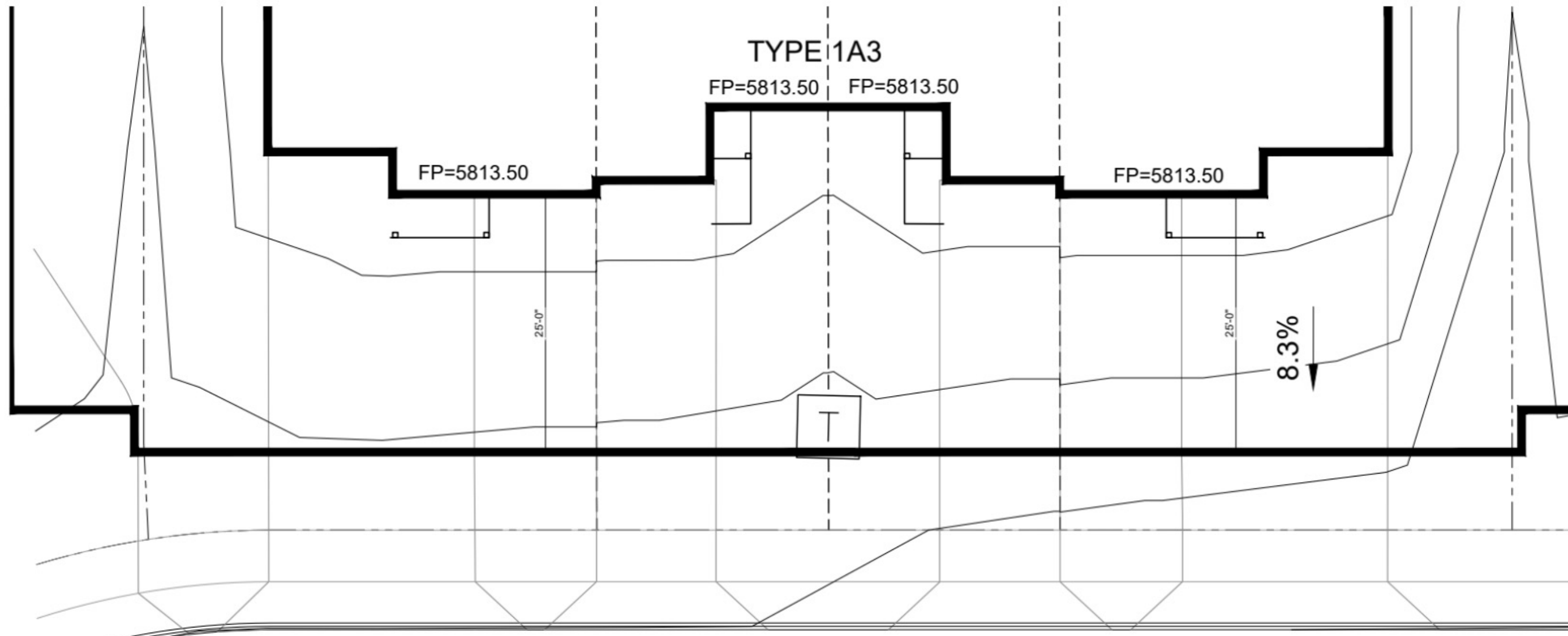


TYPE 1A1



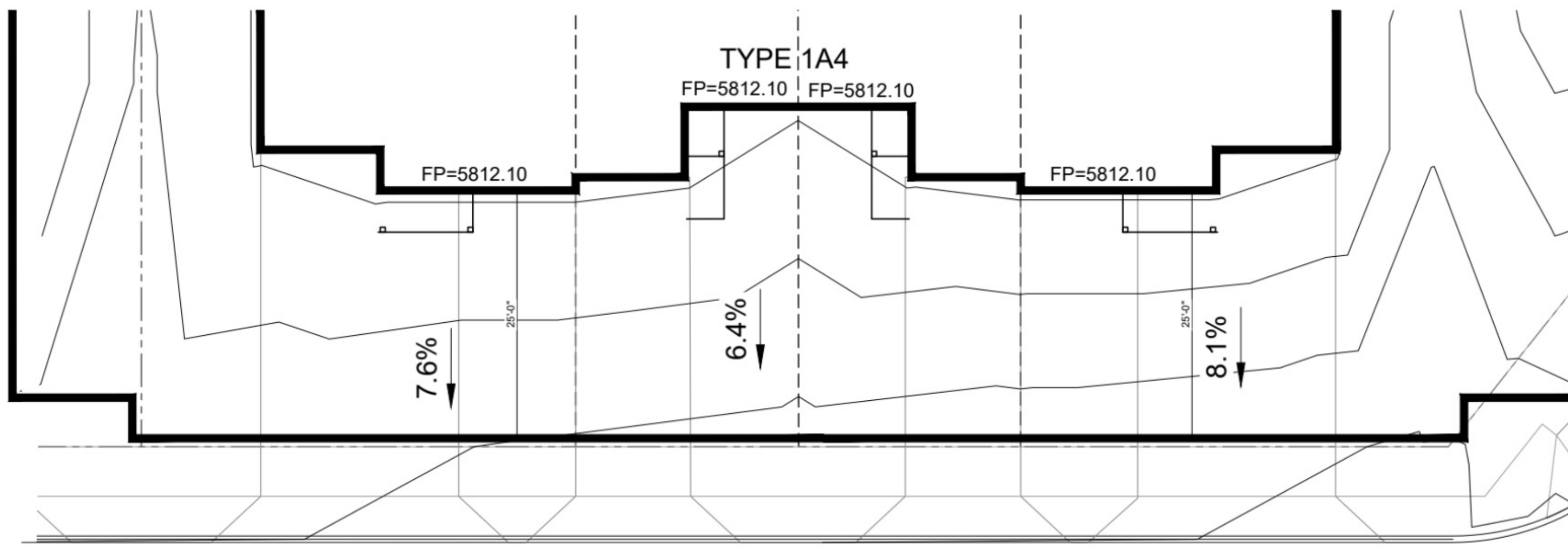


TYPE 1A2





TYPE 1A3

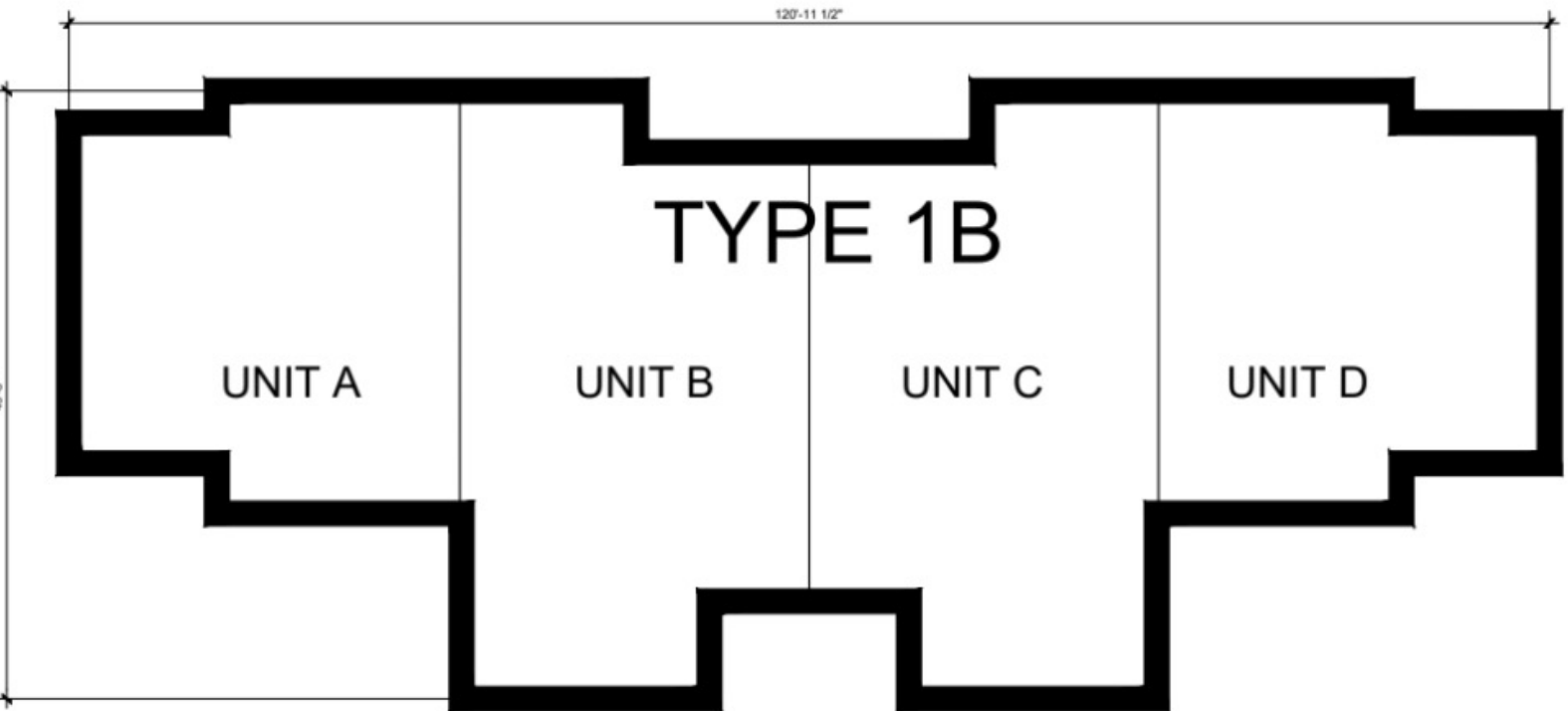


NORTH LOOP
(58' R.O.W)





TYPE 1A4

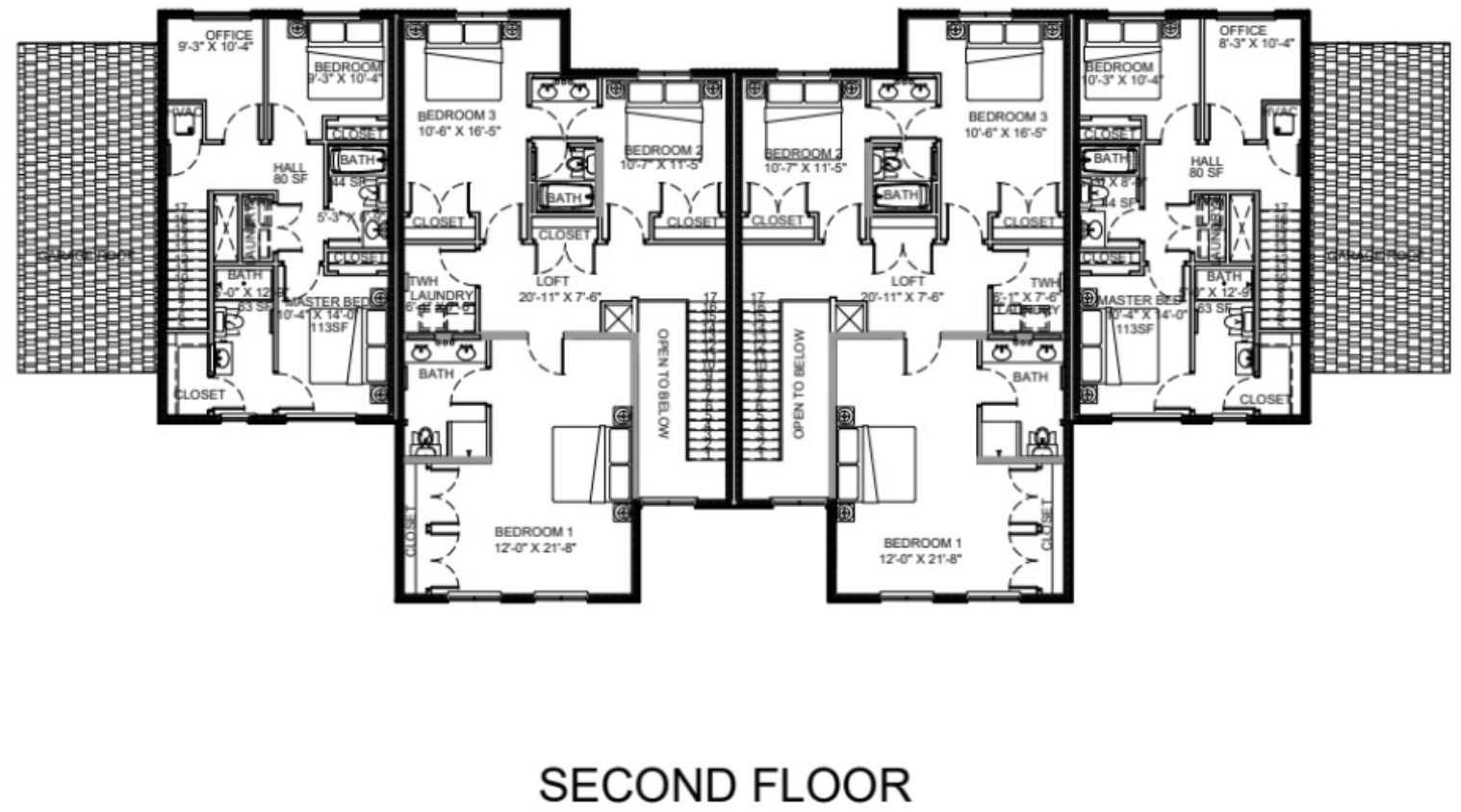
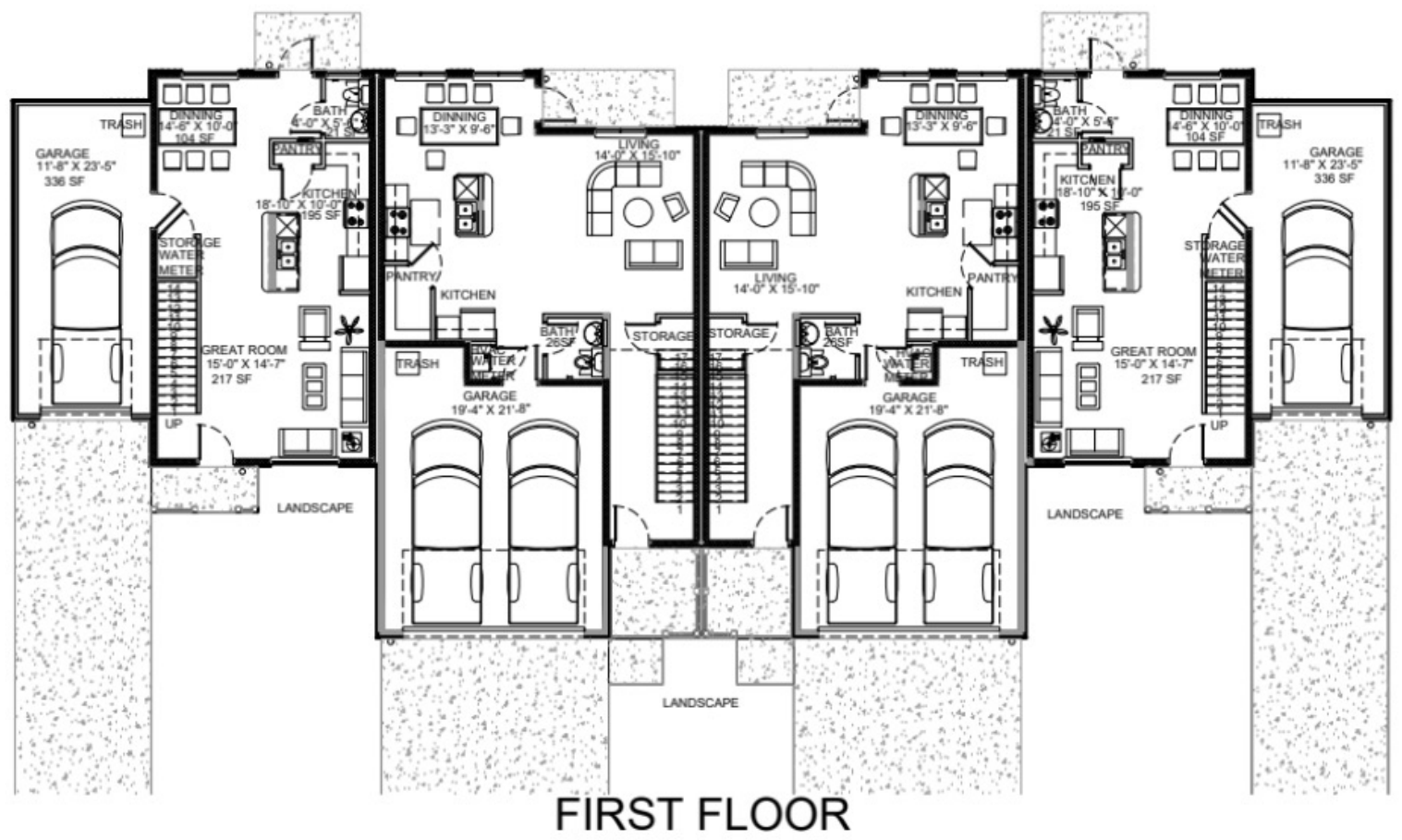


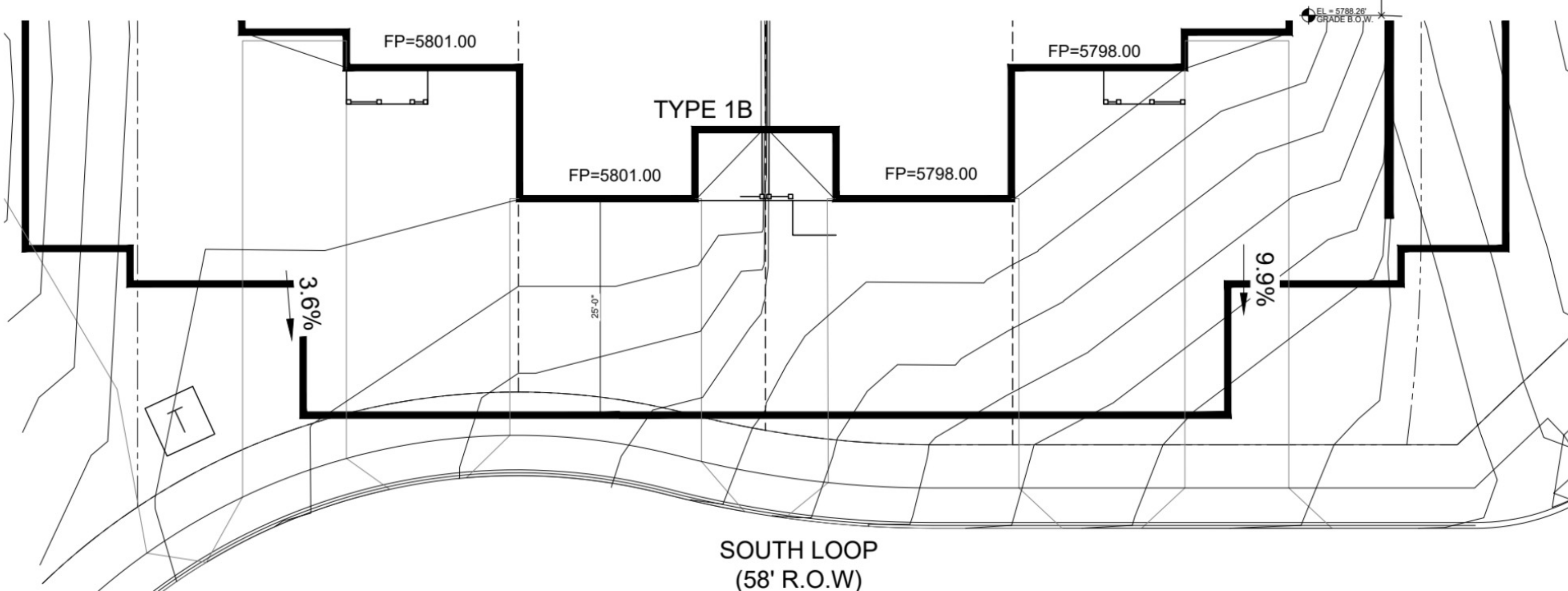
UNIT A	NUMBER	UNIT B	NUMBER	UNIT C	NUMBER	UNIT D	NUMBER
BEDROOMS	2	BEDROOMS	3	BEDROOMS	3	BEDROOMS	2
HOME OFFICE	1	HOME OFFICE	0	HOME OFFICE	0	HOME OFFICE	1
FULL BATHS	2	FULL BATHS	2	FULL BATHS	2	FULL BATHS	2
HALF BATHS	1	HALF BATHS	1	HALF BATHS	1	HALF BATHS	1
CAR GARAGE	1	CAR GARAGE	2	CAR GARAGE	2	CAR GARAGE	1

UNIT A	SQUARE FOOTAGE	UNIT B	SQUARE FOOTAGE	UNIT C	SQUARE FOOTAGE	UNIT D	SQUARE FOOTAGE
FLOOR PLAN - 1ST	680 SF	FLOOR PLAN - 1ST	820 SF	FLOOR PLAN - 1ST	820 SF	FLOOR PLAN - 1ST	680 SF
FLOOR PLAN - 2ND	680 SF	FLOOR PLAN - 2ND	1,131 SF	FLOOR PLAN - 2ND	1,131 SF	FLOOR PLAN - 2ND	680 SF
GARAGE	336 SF	GARAGE	449 SF	GARAGE	449 SF	GARAGE	336 SF
COVERED PATIO	0 SF	COVERED PATIO	64 SF	COVERED PATIO	64 SF	COVERED PATIO	0 SF
COVERED BALCONY	0 SF	COVERED BALCONY	0 SF	COVERED BALCONY	0 SF	COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,360 SF	TOTAL CONDITIONED	1,951 SF	TOTAL CONDITIONED	1,951 SF	TOTAL CONDITIONED	1,360 SF
TOTAL	1,696 SF	TOTAL	2,464 SF	TOTAL	2,464 SF	TOTAL	1,696 SF

		TYPE 1B		TOTAL	
NUM. OF BLDG. TYPE	NUM. OF UNITS IN BLDG. TYPES	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE	NUM. OF BLDG. TYPE	NUM. OF UNITS IN BLDG. TYPES
TYPE 1B	4	1	6,622 SF	TYPE 1B	4

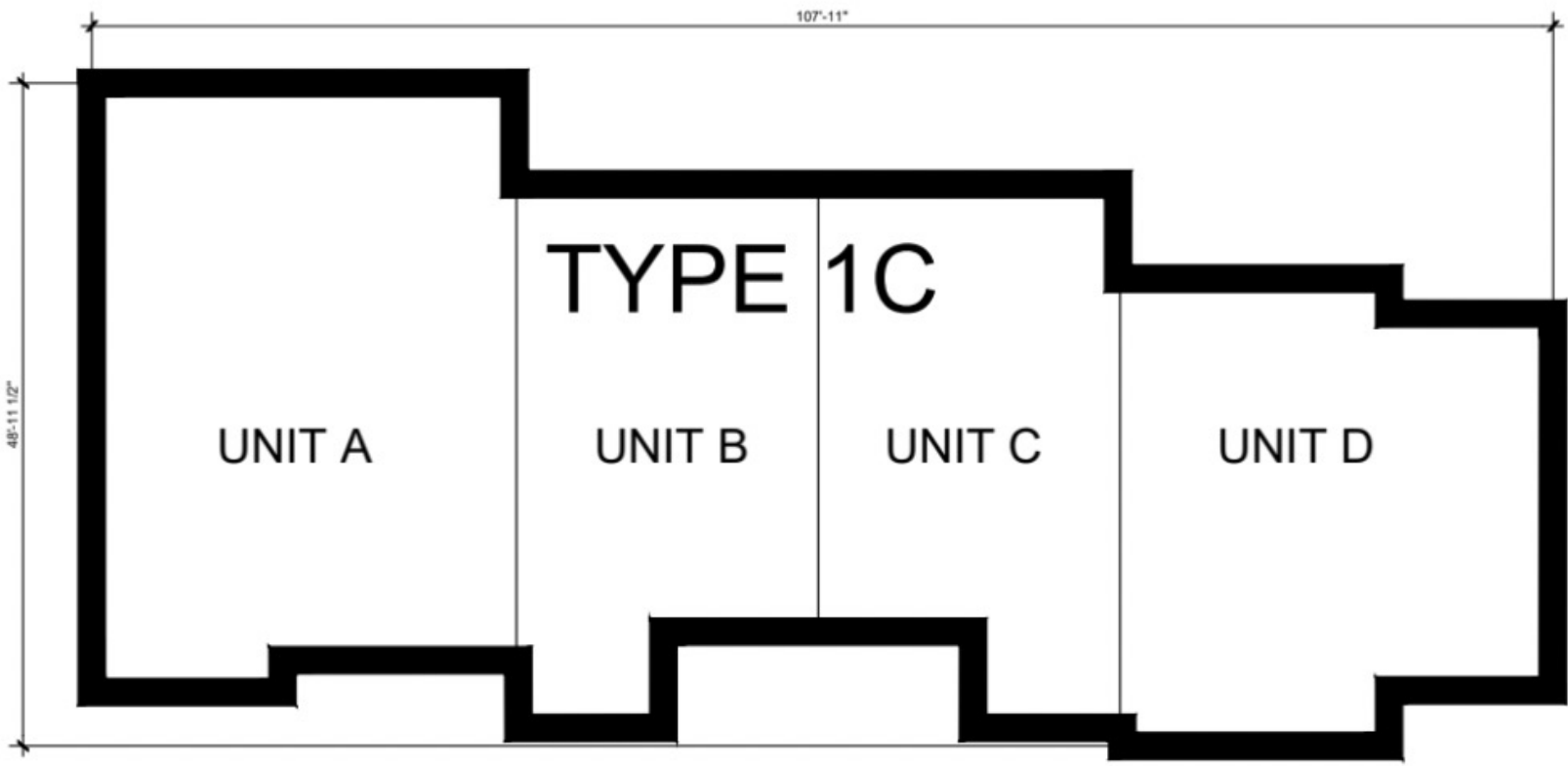
		TYPE 1B		TOTAL	
		SQUARE FOOTAGE	TOTAL	SQUARE FOOTAGE	TOTAL
FLOOR PLAN - 1ST		3,000 SF		3,000 SF	
FLOOR PLAN - 2ND		3,622 SF		3,622 SF	
GARAGE		1,570 SF		1,570 SF	
COVERED PATIO		128 SF		128 SF	
COVERED BALCONY		0 SF		0 SF	
TOTAL CONDITIONED		6,622 SF		6,622 SF	
TOTAL		8,320 SF		8,320 SF	







TYPE 1B

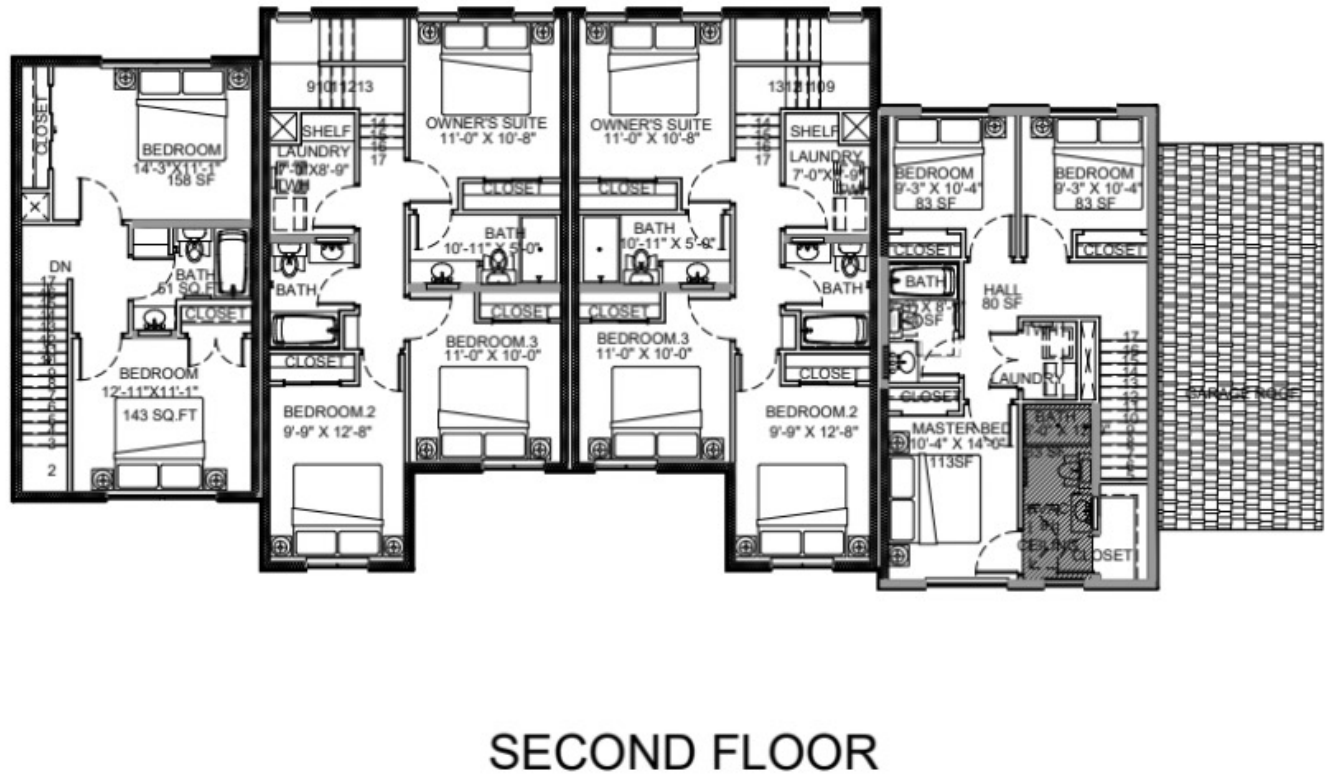
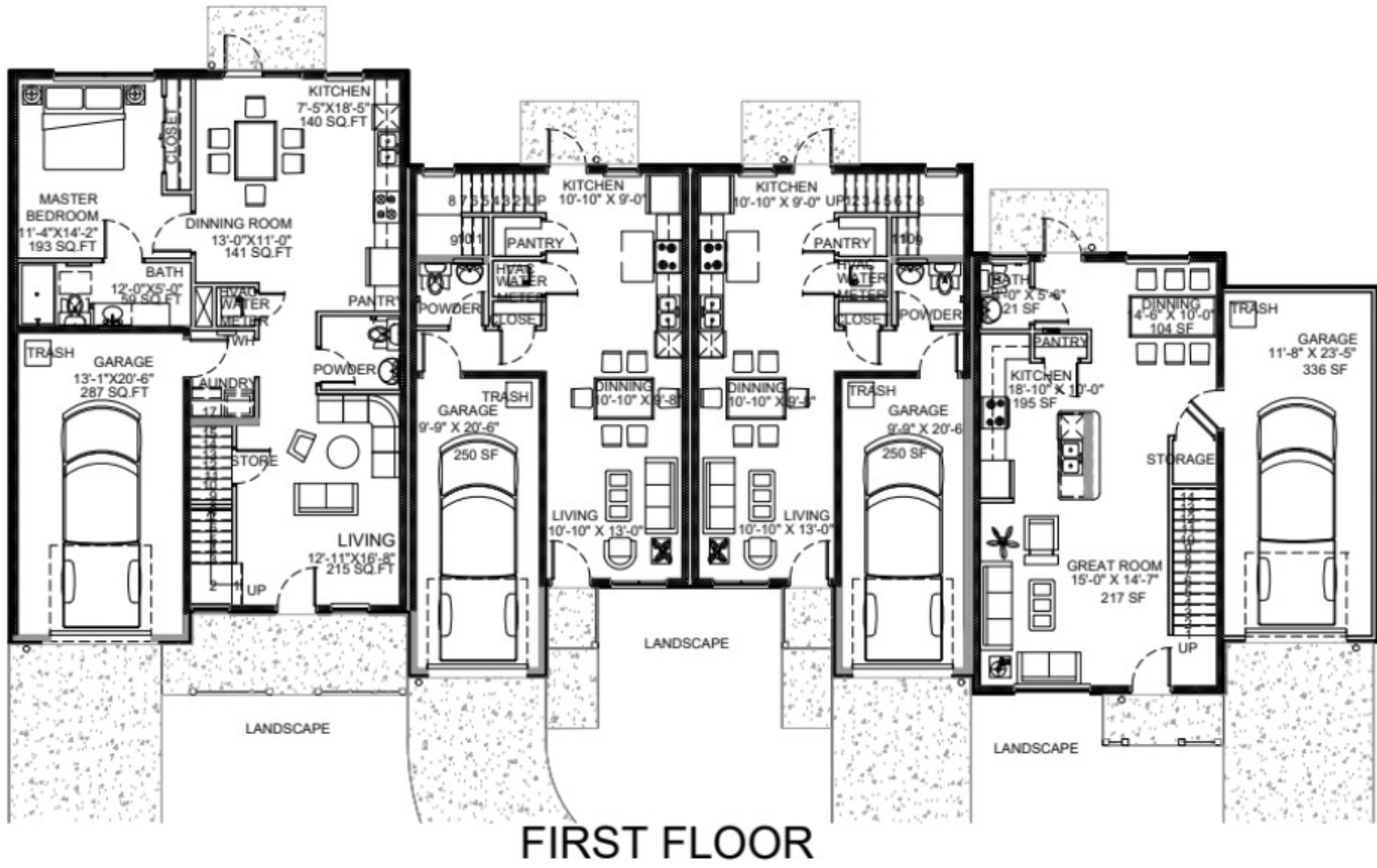


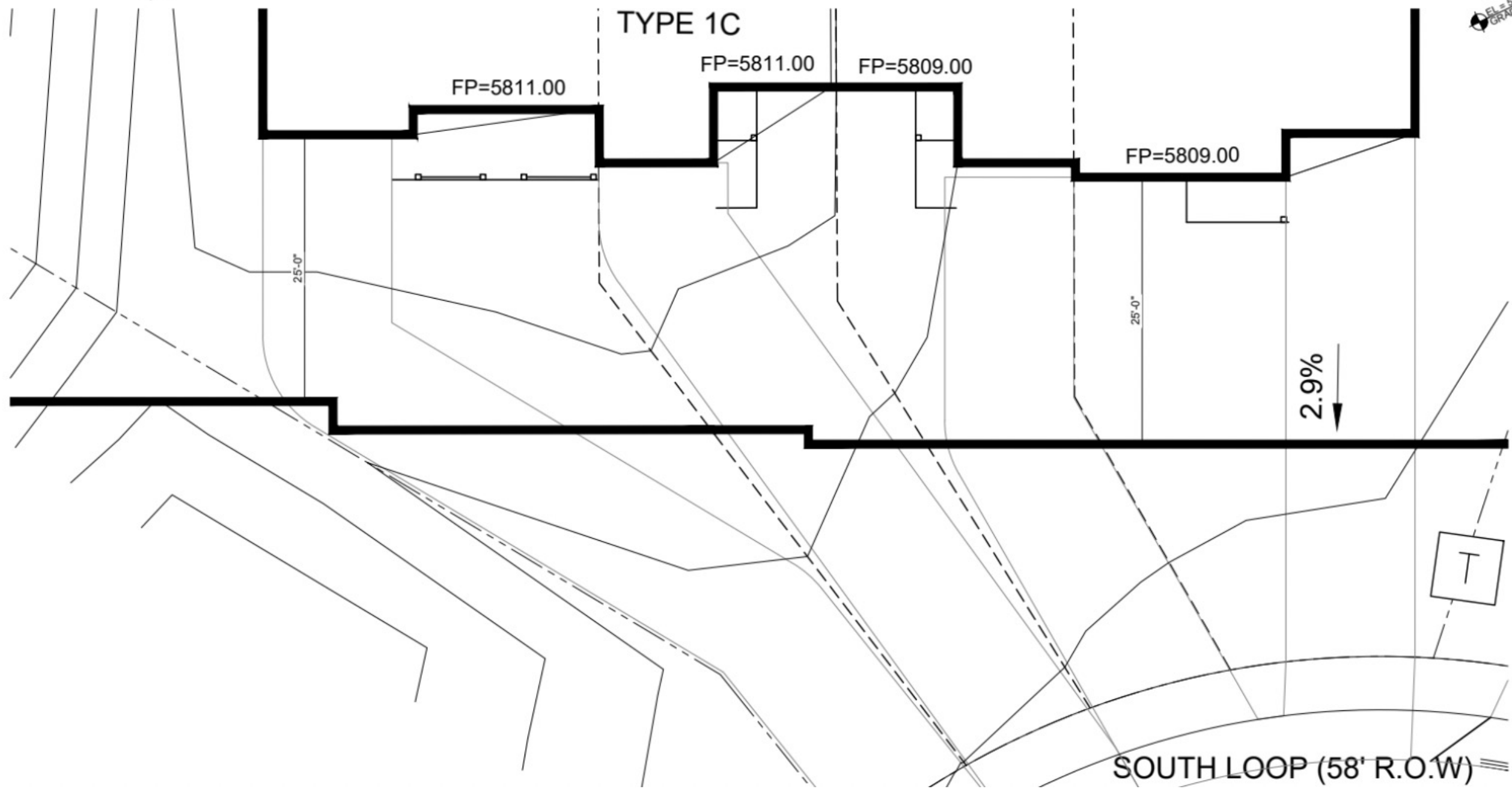
UNIT A	NUMBER	UNIT B	NUMBER	UNIT C	NUMBER	UNIT D	NUMBER
BEDROOMS	3	BEDROOMS	3	BEDROOMS	3	BEDROOMS	3
HOME OFFICE	0	HOME OFFICE	0	HOME OFFICE	0	HOME OFFICE	0
FULL BATHS	2	FULL BATHS	2	FULL BATHS	2	FULL BATHS	2
HALF BATHS	1	HALF BATHS	1	HALF BATHS	1	HALF BATHS	1
CAR GARAGE	1	CAR GARAGE	1	CAR GARAGE	1	CAR GARAGE	1

UNIT A	SQUARE FOOTAGE	UNIT B	SQUARE FOOTAGE	UNIT C	SQUARE FOOTAGE	UNIT D	SQUARE FOOTAGE
FLOOR PLAN - 1ST	1,030 SF	FLOOR PLAN - 1ST	553 SF	FLOOR PLAN - 1ST	553 SF	FLOOR PLAN - 1ST	680 SF
FLOOR PLAN - 2ND	557 SF	FLOOR PLAN - 2ND	730 SF	FLOOR PLAN - 2ND	730 SF	FLOOR PLAN - 2ND	680 SF
GARAGE	329 SF	GARAGE	250 SF	GARAGE	250 SF	GARAGE	336 SF
COVERED PATIO	0 SF	COVERED PATIO	20 SF	COVERED PATIO	20 SF	COVERED PATIO	0 SF
COVERED BALCONY	0 SF	COVERED BALCONY	0 SF	COVERED BALCONY	0 SF	COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,587 SF	TOTAL CONDITIONED	1,283 SF	TOTAL CONDITIONED	1,283 SF	TOTAL CONDITIONED	1,360 SF
TOTAL	1,916 SF	TOTAL	1,553 SF	TOTAL	1,553 SF	TOTAL	1,696 SF

BUILDING TYPE	NUM. OF UNITS IN BLDG.	NUM. OF TYPES	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE	SQUARE FOOTAGE
TYPE 1C	4	1	5,513 SF	5,513 SF	

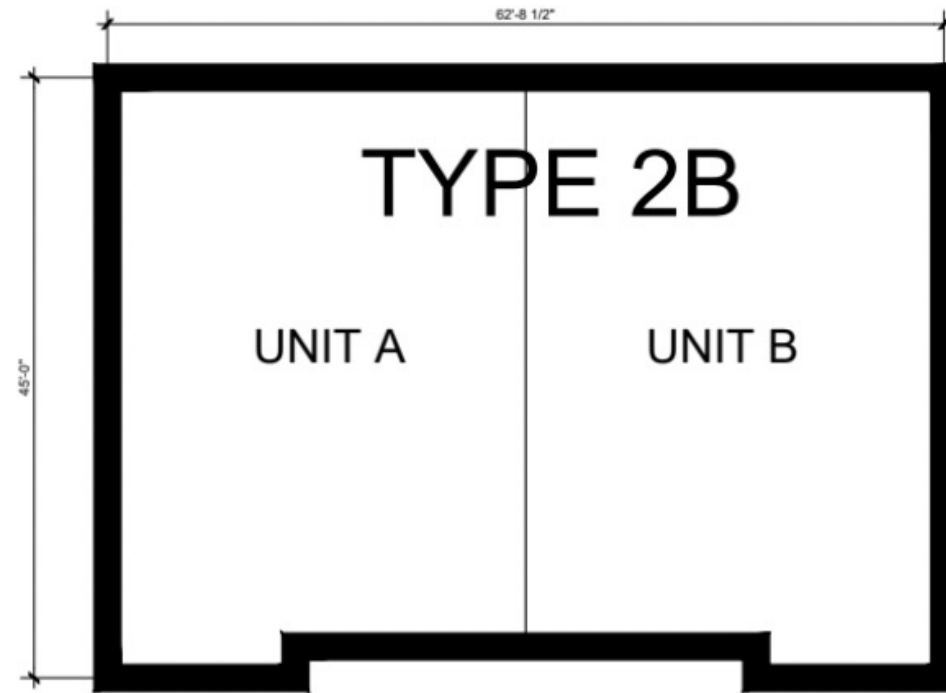
TYPE 1C	SQUARE FOOTAGE
FLOOR PLAN - 1ST	2,816 SF
FLOOR PLAN - 2ND	2,697 SF
GARAGE	1,165 SF
COVERED PATIO	40 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	5,513 SF
TOTAL	6,718 SF







TYPE 1C

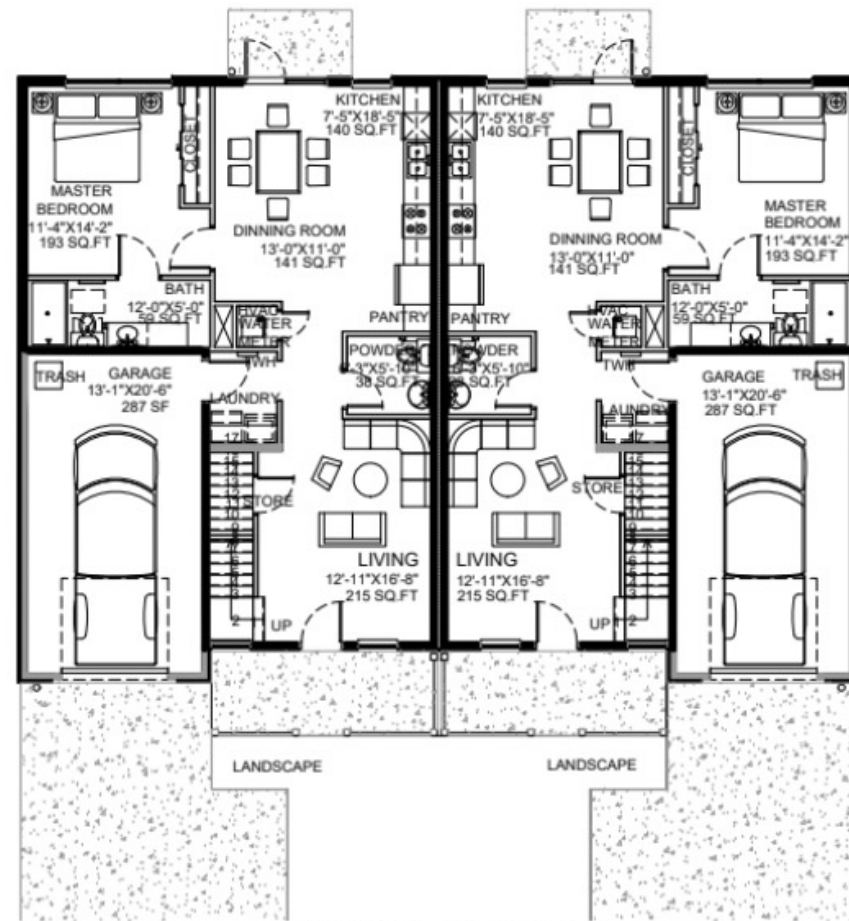


UNIT A	NUMBER	UNIT B	NUMBER
BEDROOMS	3	BEDROOMS	3
HOME OFFICE	0	HOME OFFICE	0
FULL BATHS	2	FULL BATHS	2
HALF BATHS	1	HALF BATHS	1
CAR GARAGE	1	CAR GARAGE	1

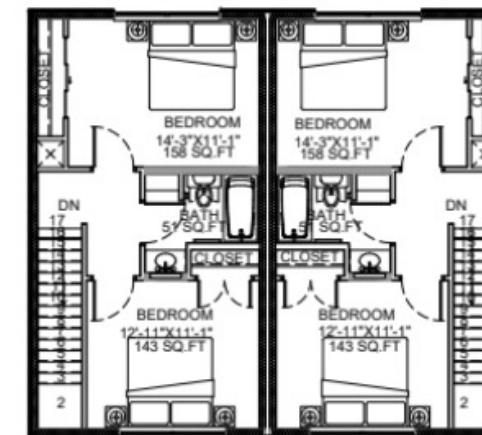
UNIT A	SQUARE FOOTAGE	UNIT B	SQUARE FOOTAGE
FLOOR PLAN - 1ST	1,030 SF	FLOOR PLAN - 1ST	1,030 SF
FLOOR PLAN - 2ND	557 SF	FLOOR PLAN - 2ND	557 SF
GARAGE	329 SF	GARAGE	329 SF
COVERED PATIO	0 SF	COVERED PATIO	0 SF
COVERED BALCONY	0 SF	COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,587 SF	TOTAL CONDITIONED	1,587 SF
TOTAL	1,916 SF	TOTAL	1,916 SF

TYPE 2B	SQUARE FOOTAGE
FLOOR PLAN - 1ST	2,060 SF
FLOOR PLAN - 2ND	1,114 SF
GARAGE	658 SF
COVERED PATIO	0 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	3,174 SF
TOTAL	3,832 SF

BUILDING TYPE	NUM. OF BLDG.	NUM. OF TYPES	PARKING PROVIDED MINUS GARAGE	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE
TYPE 2B	2	1	4	3,174 SF	3,174 SF

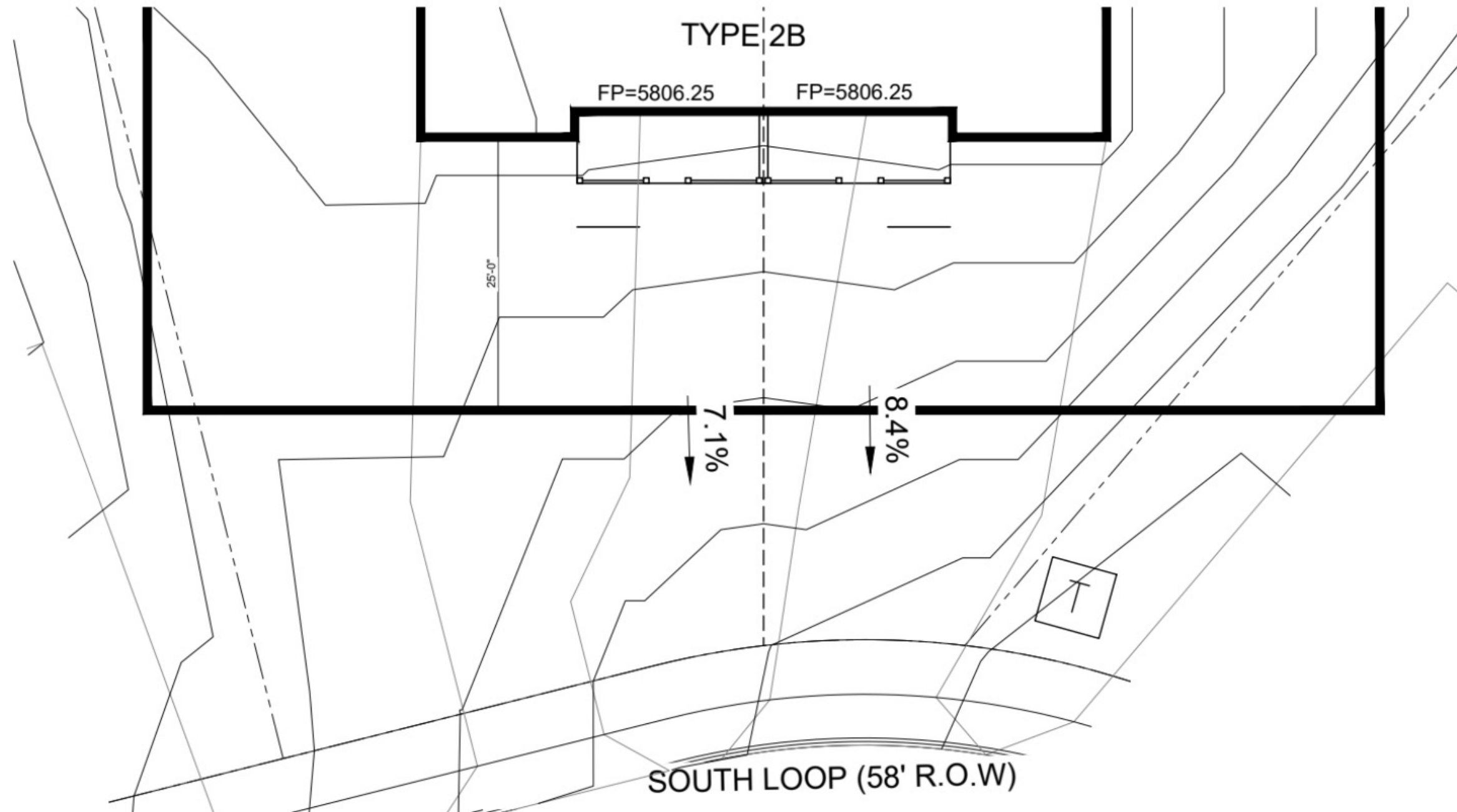


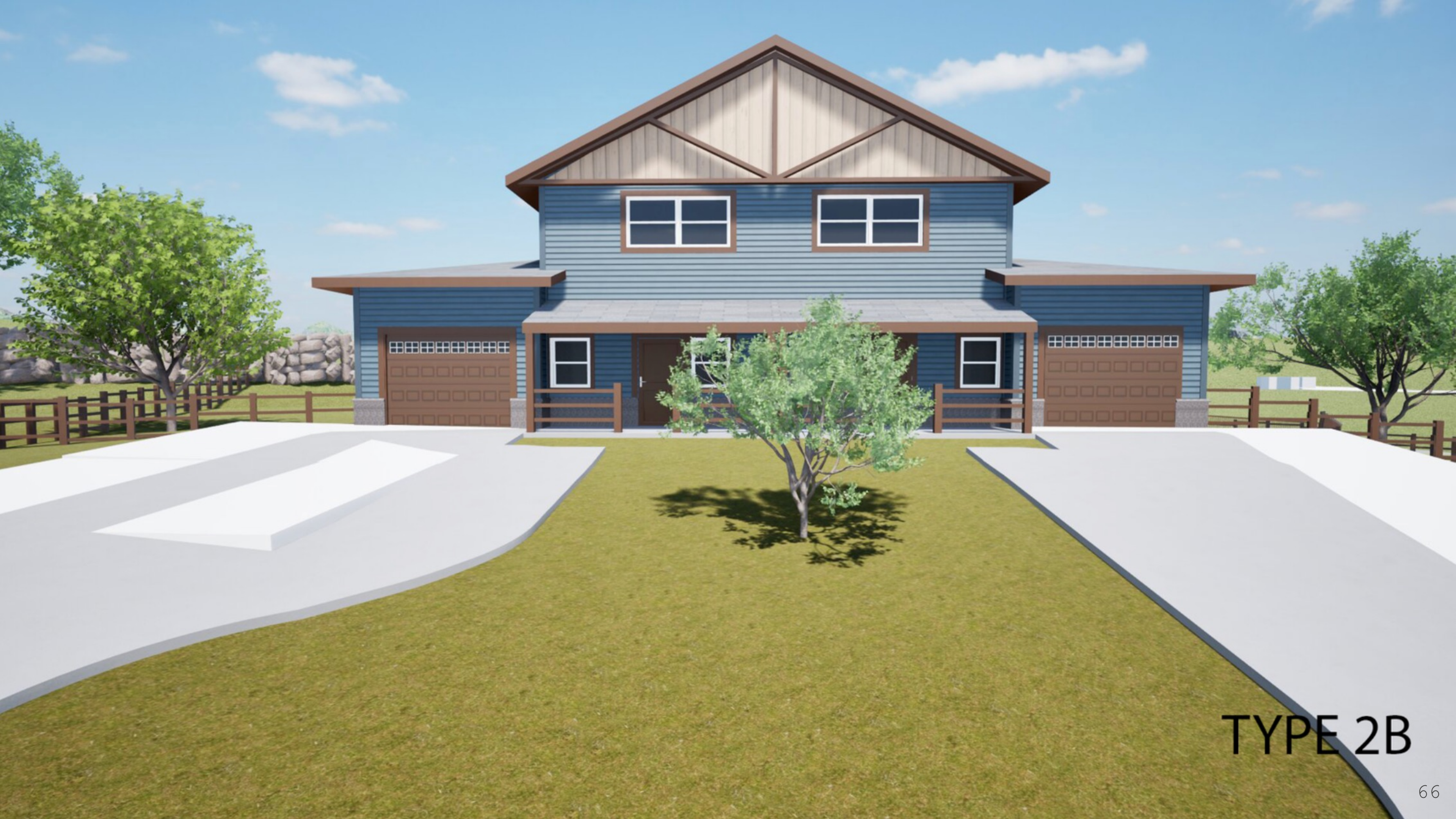
FIRST FLOOR



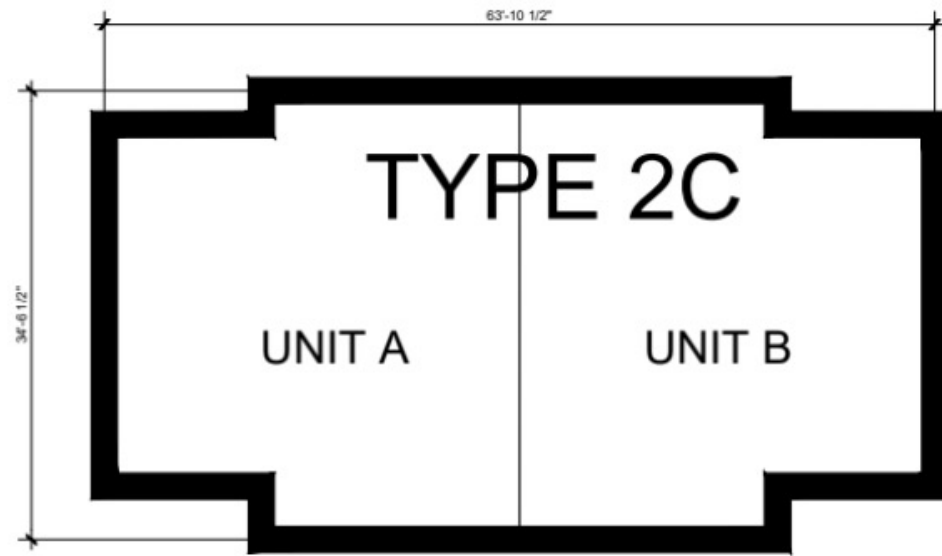
SECOND FLOOR







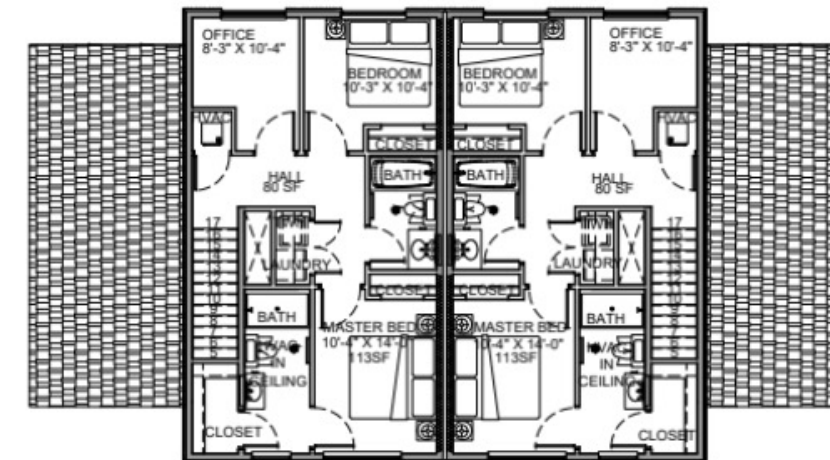
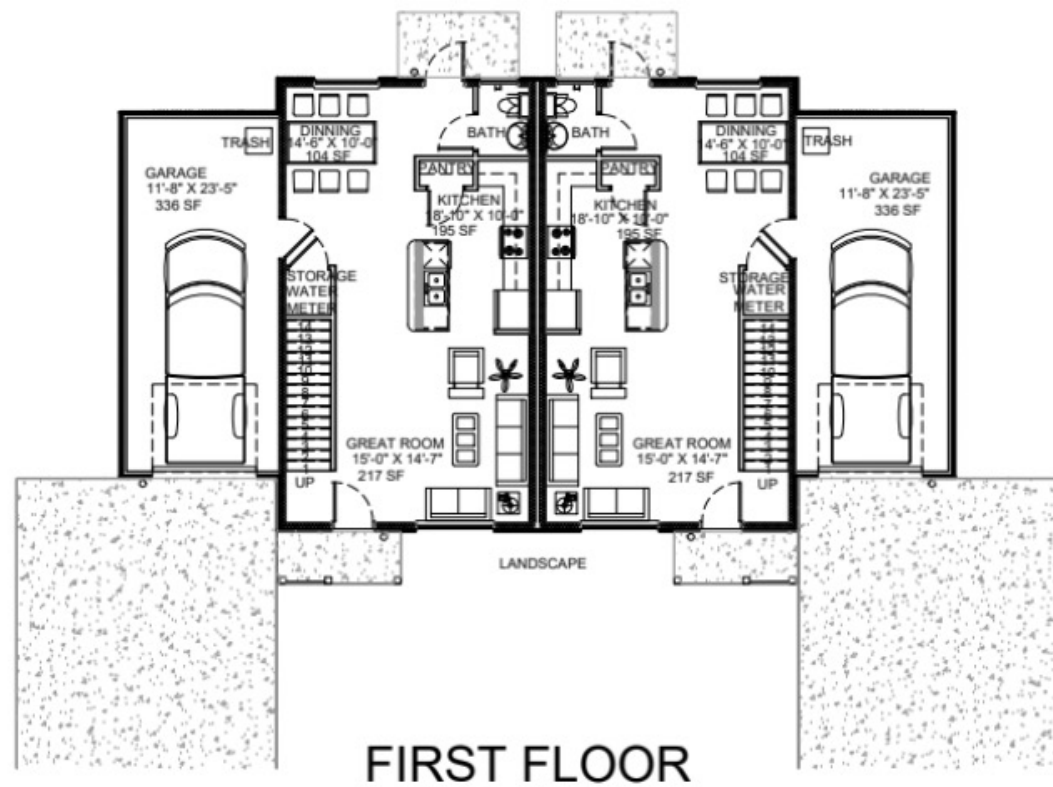
TYPE 2B

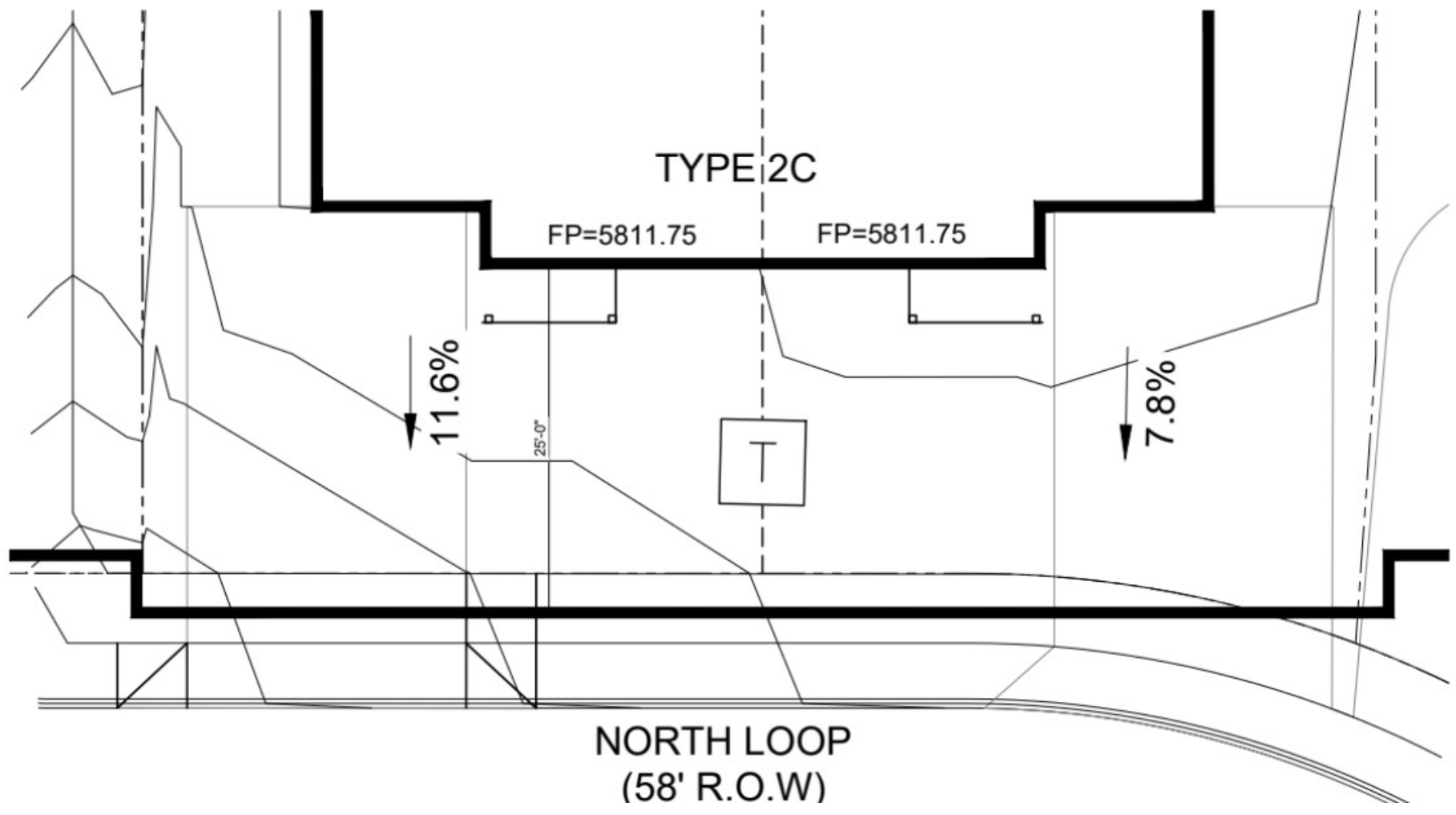


UNIT A	NUMBER	UNIT B	NUMBER
BEDROOMS	2	BEDROOMS	2
HOME OFFICE	1	HOME OFFICE	1
FULL BATHS	2	FULL BATHS	2
HALF BATHS	1	HALF BATHS	1
CAR GARAGE	1	CAR GARAGE	1

UNIT A	SQUARE FOOTAGE	UNIT B	SQUARE FOOTAGE
FLOOR PLAN - 1ST	680 SF	FLOOR PLAN - 1ST	680 SF
FLOOR PLAN - 2ND	680 SF	FLOOR PLAN - 2ND	680 SF
GARAGE	336 SF	GARAGE	336 SF
COVERED PATIO	0 SF	COVERED PATIO	0 SF
COVERED BALCONY	0 SF	COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,360 SF	TOTAL CONDITIONED	1,360 SF
TOTAL	1,696 SF	TOTAL	1,696 SF

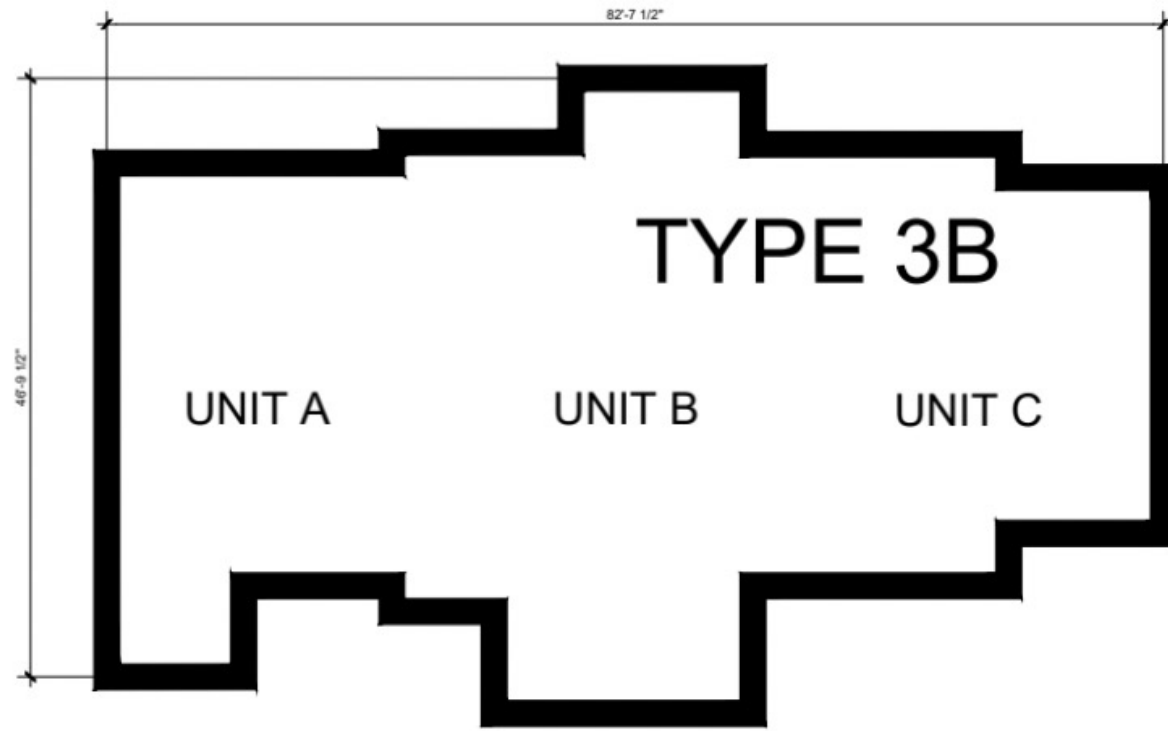
BUILDING TYPE	NUM. OF BLDG	NUM. OF TYPES	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE	TYPE 2C SQUARE FOOTAGE	
					FLOOR PLAN - 1ST	FLOOR PLAN - 2ND
TYPE 2C	2	1	2,720 SF	2,720 SF	1,360 SF	1,360 SF
					672 SF	0 SF
					0 SF	0 SF
					2,720 SF	0 SF
					3,392 SF	0 SF







TYPE 2C

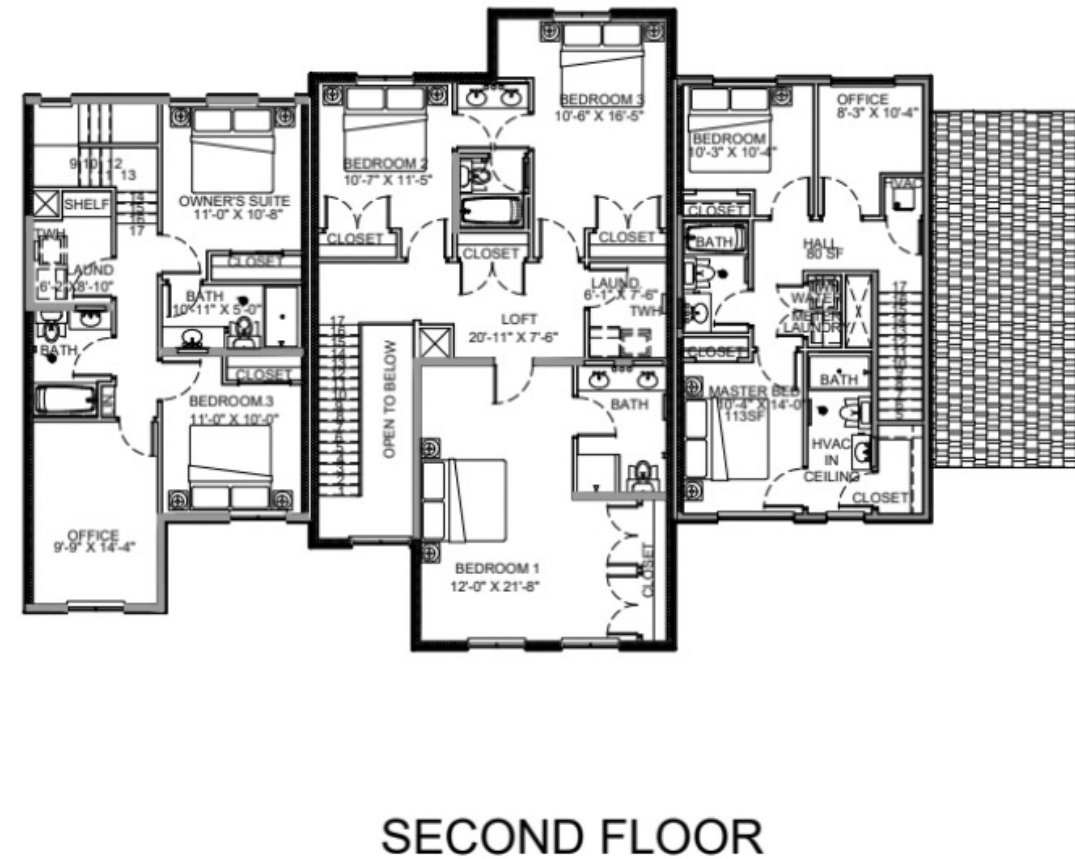
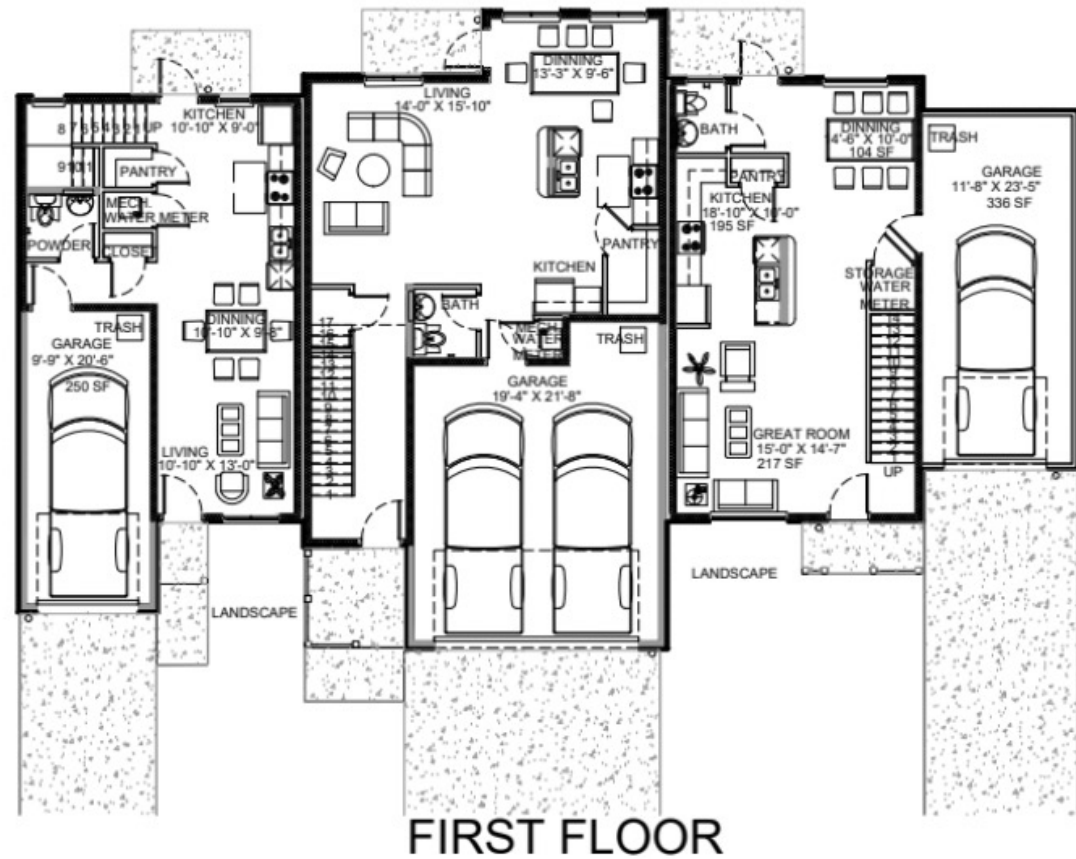


UNIT A	NUMBER	UNIT B	NUMBER	UNIT C	NUMBER
BEDROOMS	2	BEDROOMS	3	BEDROOMS	2
HOME OFFICE	1	HOME OFFICE	0	HOME OFFICE	1
FULL BATHS	2	FULL BATHS	2	FULL BATHS	2
HALF BATHS	1	HALF BATHS	1	HALF BATHS	1
CAR GARAGE	1	CAR GARAGE	2	CAR GARAGE	1

UNIT A	SQUARE FOOTAGE	UNIT B	SQUARE FOOTAGE	UNIT C	SQUARE FOOTAGE
FLOOR PLAN - 1ST	553 SF	FLOOR PLAN - 1ST	820 SF	FLOOR PLAN - 1ST	680 SF
FLOOR PLAN - 2ND	730 SF	FLOOR PLAN - 2ND	1,131 SF	FLOOR PLAN - 2ND	680 SF
GARAGE	250 SF	GARAGE	449 SF	GARAGE	336 SF
COVERED PATIO	20 SF	COVERED PATIO	64 SF	COVERED PATIO	0 SF
COVERED BALCONY	0 SF	COVERED BALCONY	0 SF	COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,283 SF	TOTAL CONDITIONED	1,951 SF	TOTAL CONDITIONED	1,360 SF
TOTAL	1,553 SF	TOTAL	2,464 SF	TOTAL	1,696 SF

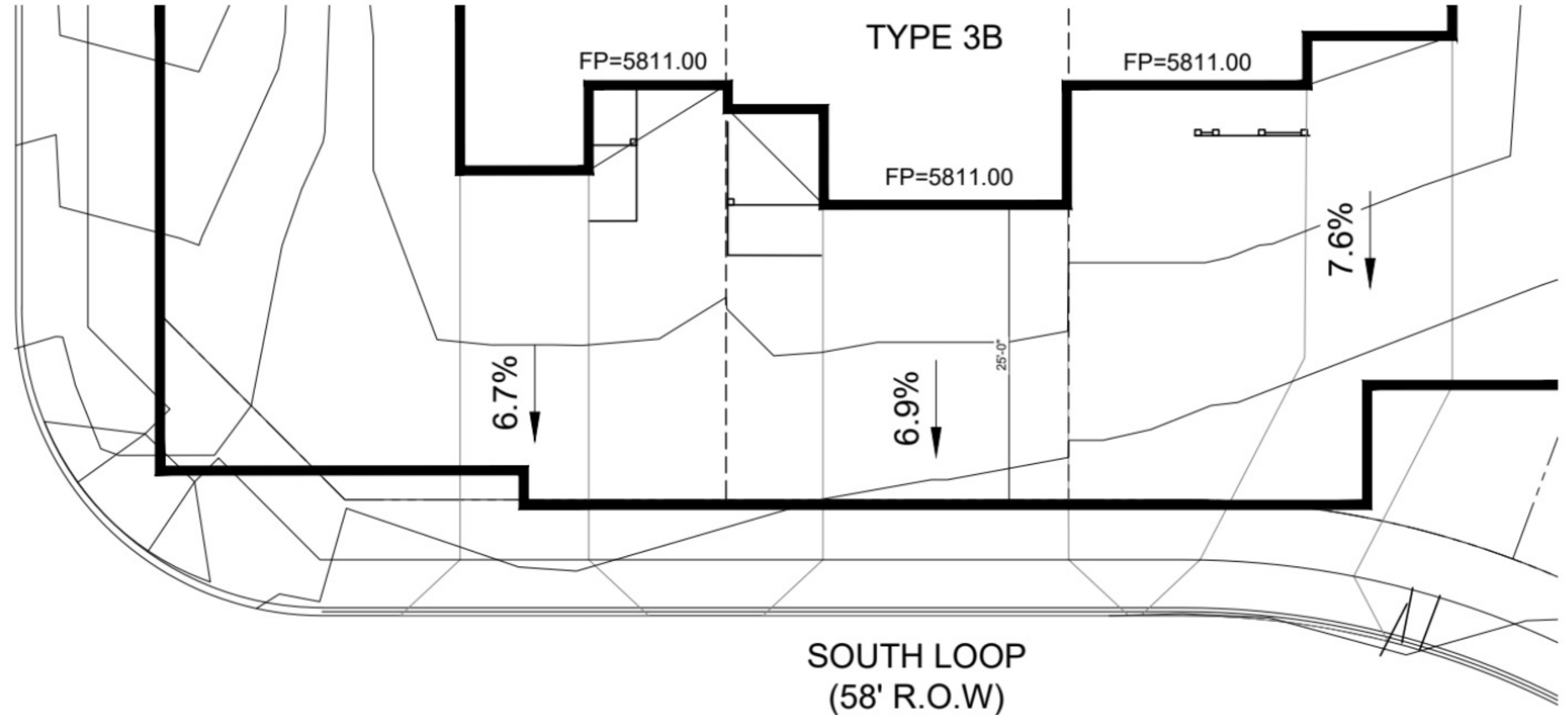
BUILDING TYPE	NUM. OF BLDG.	NUM. OF TYPES	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE
TYPE 3B	3	1	4,594 SF	4,594 SF

TYPE 3B	SQUARE FOOTAGE
FLOOR PLAN - 1ST	2,053 SF
FLOOR PLAN - 2ND	2,541 SF
GARAGE	1,035 SF
COVERED PATIO	84 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	4,594 SF
TOTAL	5,713 SF



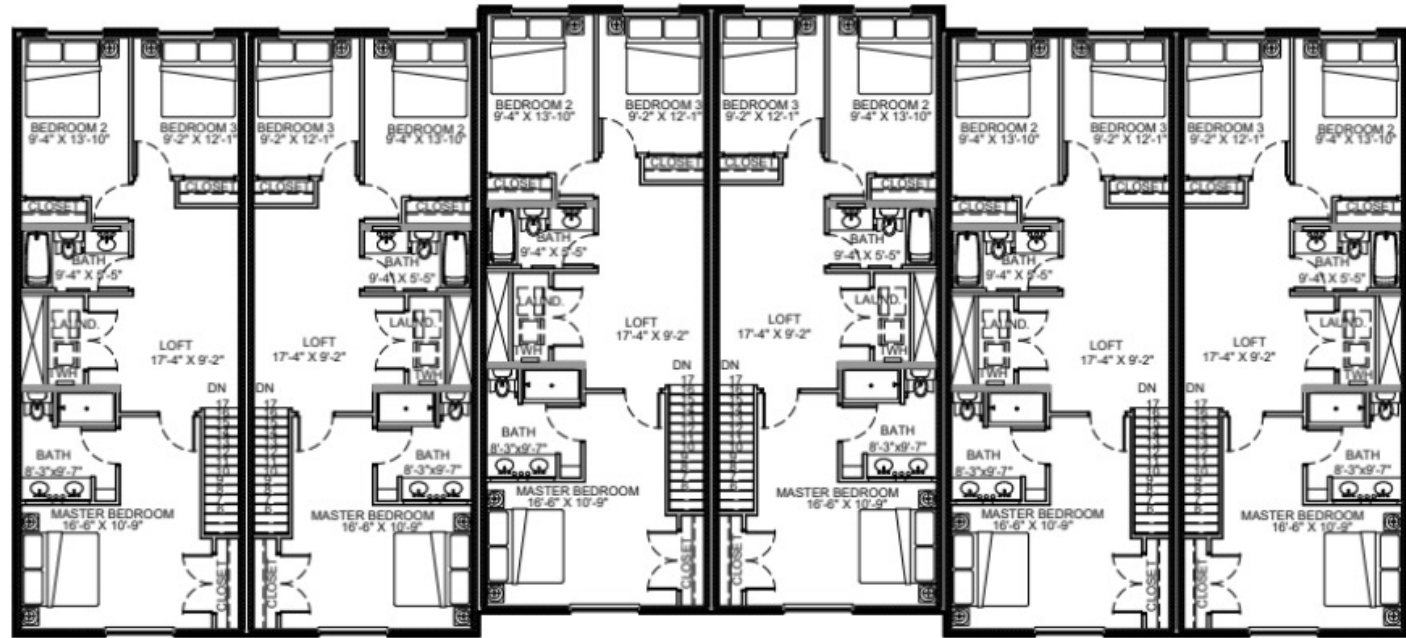


SILVERADO TRAIL
(62' R.O.W.)





TYPE 3B



SECOND FLOOR

UNIT A	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT B	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT C	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT D	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT A	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT B	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT C	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT D	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT E	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

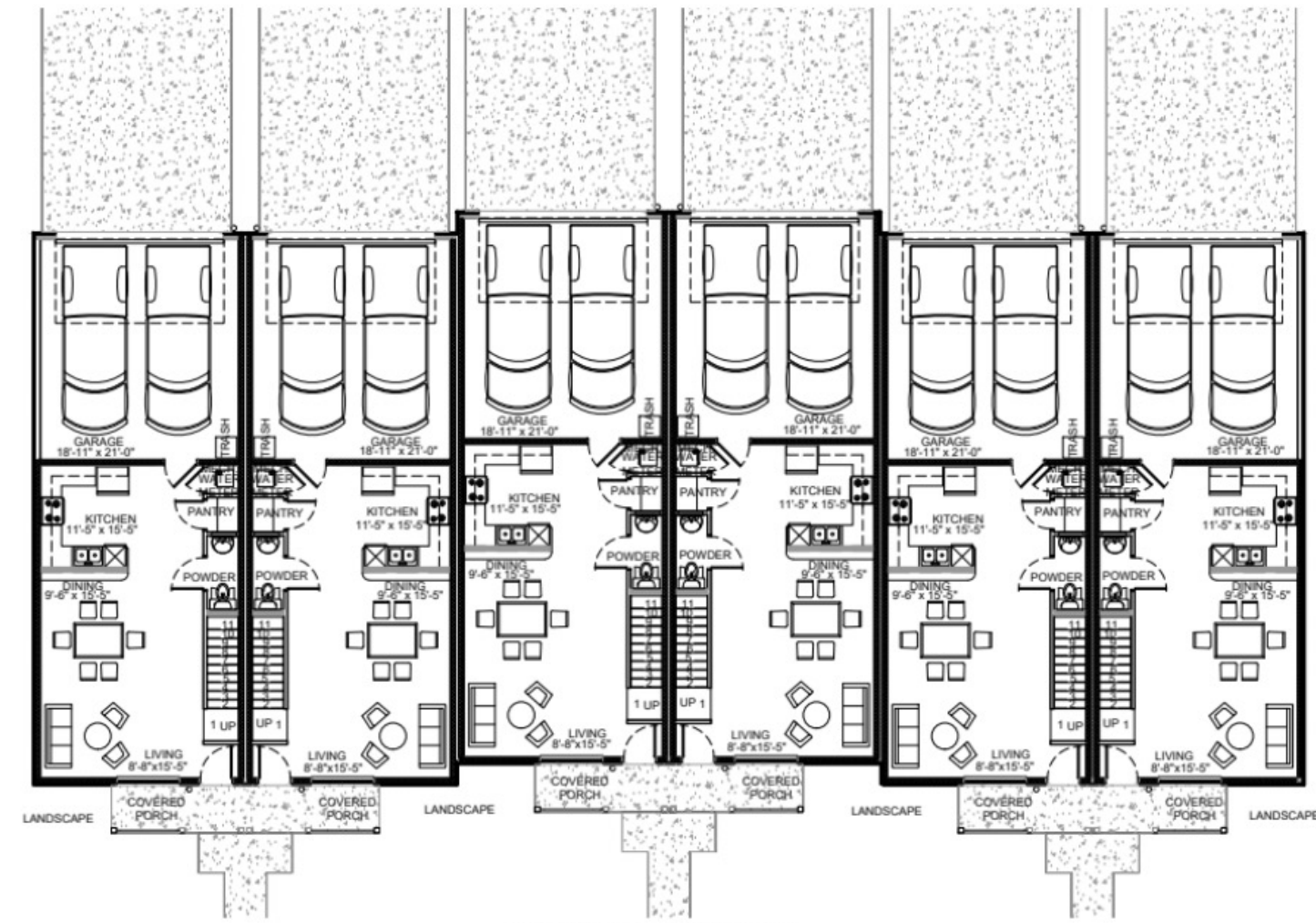
UNIT F	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT E	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

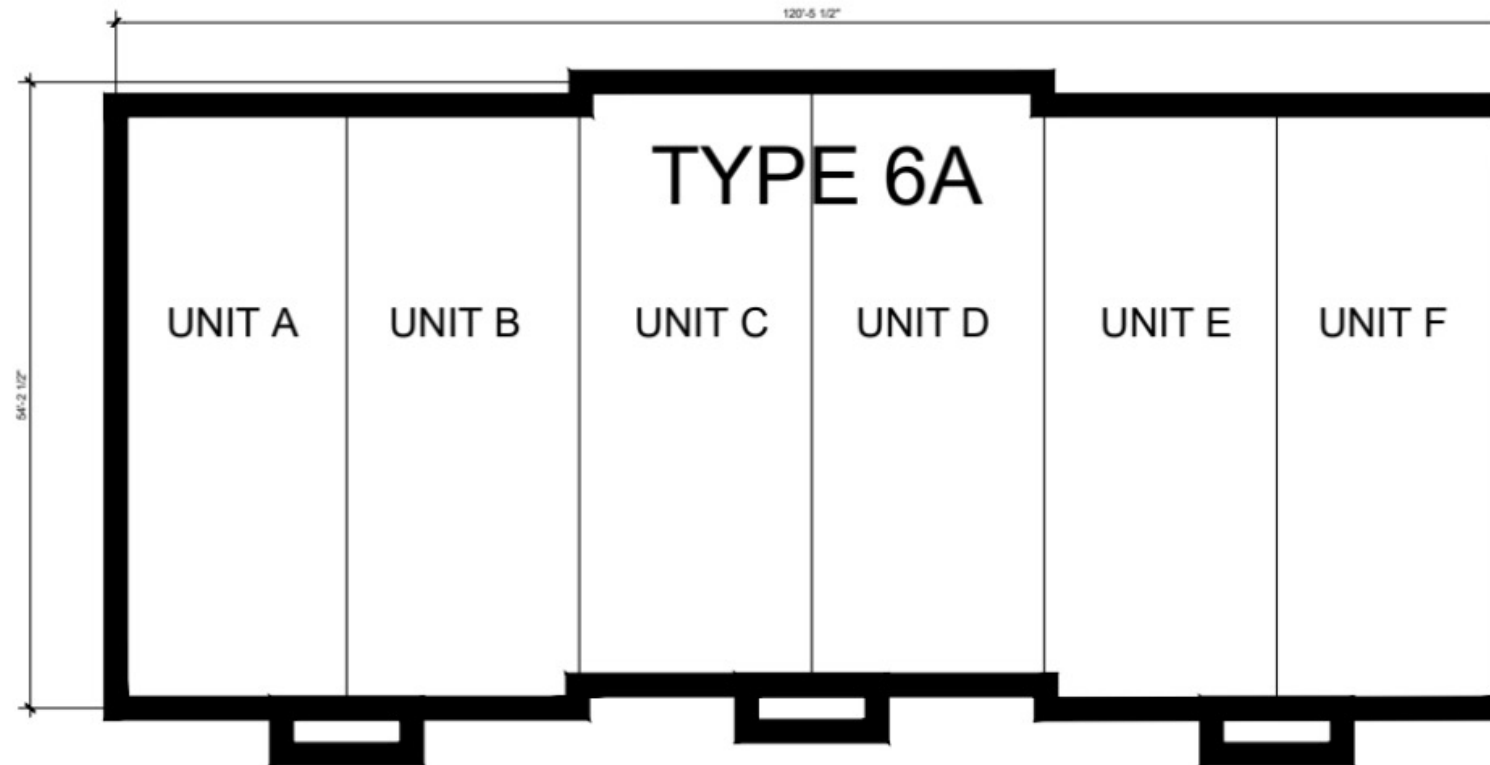
UNIT F	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

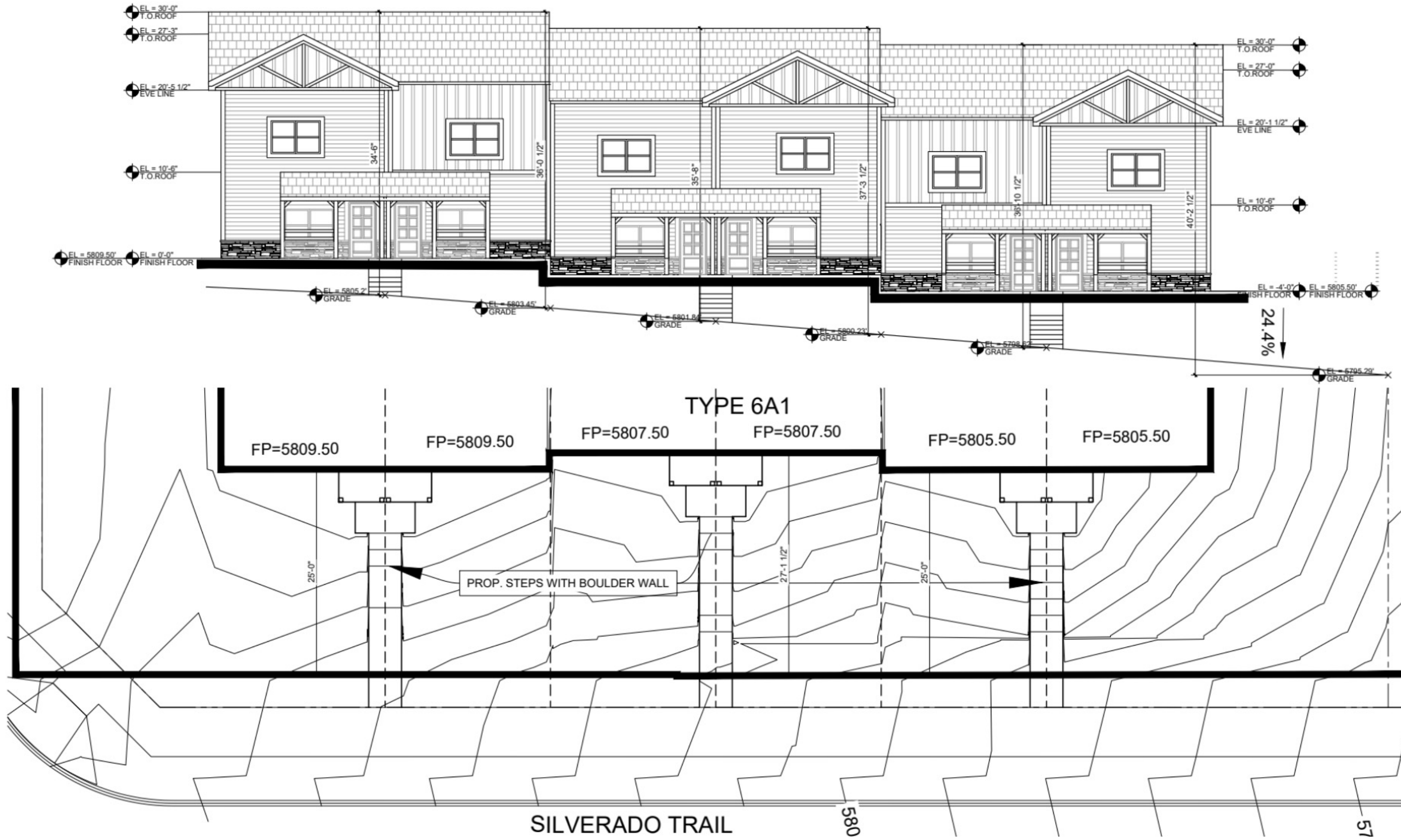
TYPE 6A	SQUARE FOOTAGE
FLOOR PLAN - 1ST	3,630 SF
FLOOR PLAN - 2ND	5,862 SF
GARAGE	2,580 SF
COVERED PATIO	114 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	9,492 SF
TOTAL	12,072 SF

BUILDING TYPE	NUM. OF BLDG.	NUM. OF UNITS IN BLDG.	COND. SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE
TYPE 6A	6	2	9,492 SF	18,984 SF



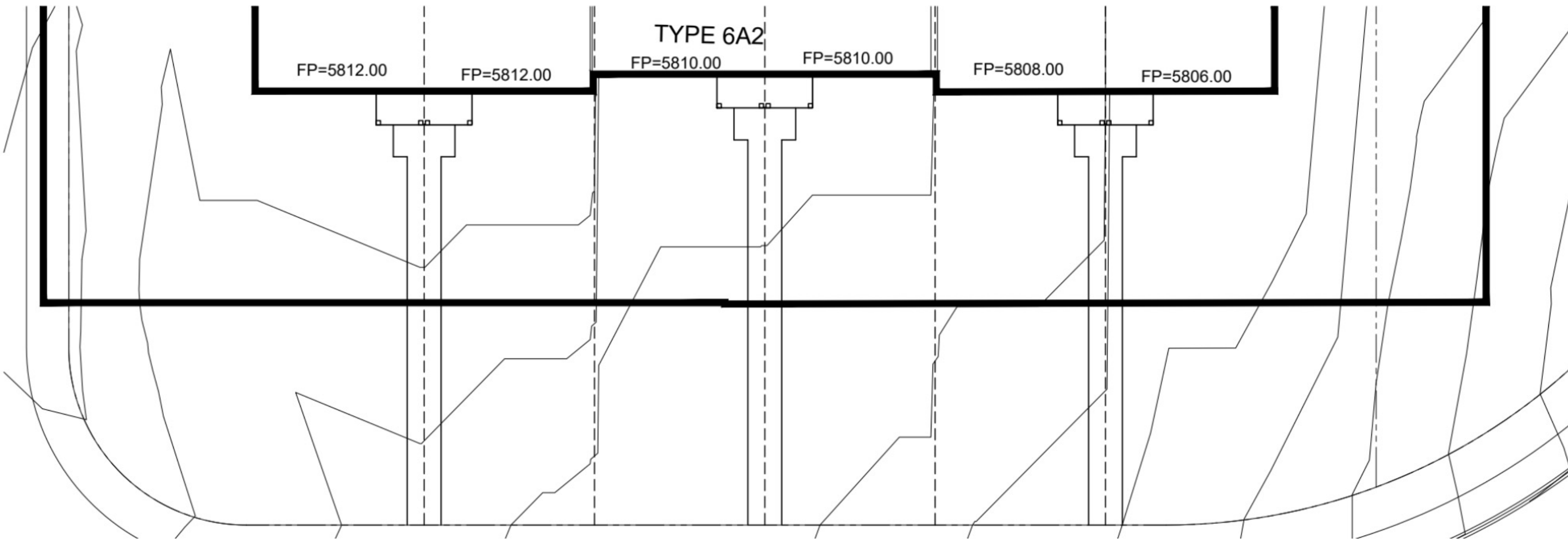
FIRST FLOOR





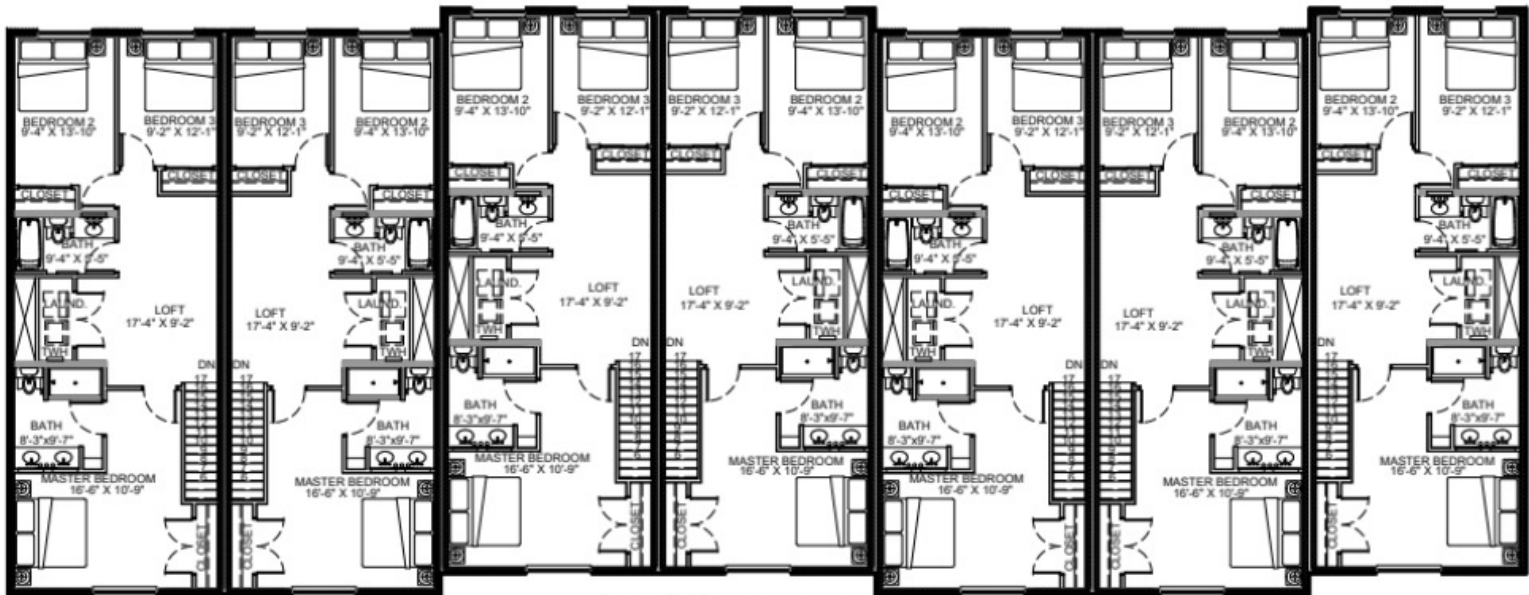


TYPE 6A1





TYPE 6A2



SECOND FLOOR

UNIT A	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT B	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT C	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT D	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT A	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT B	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT C	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT D	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT E	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

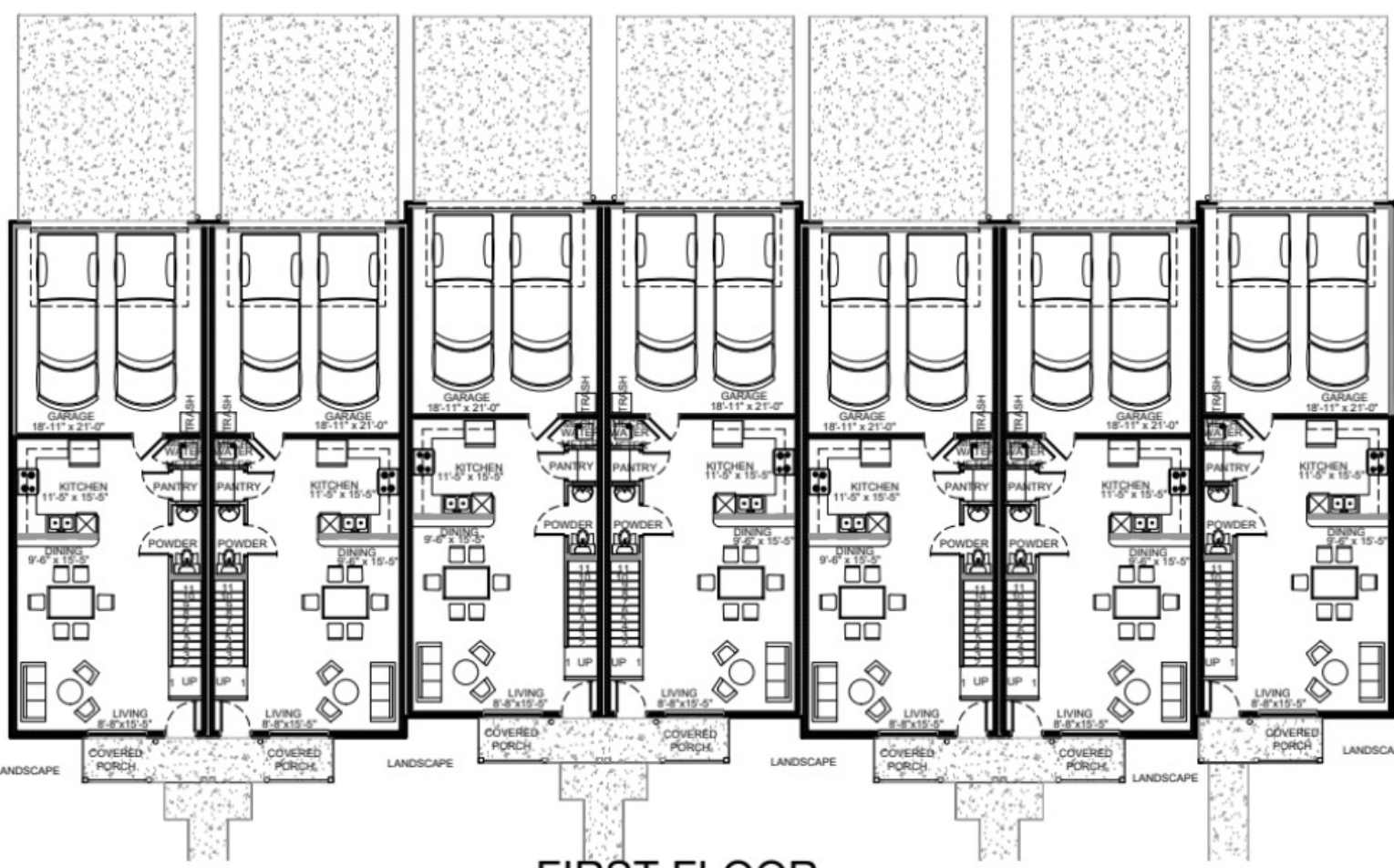
UNIT F	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT G	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT E	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT F	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

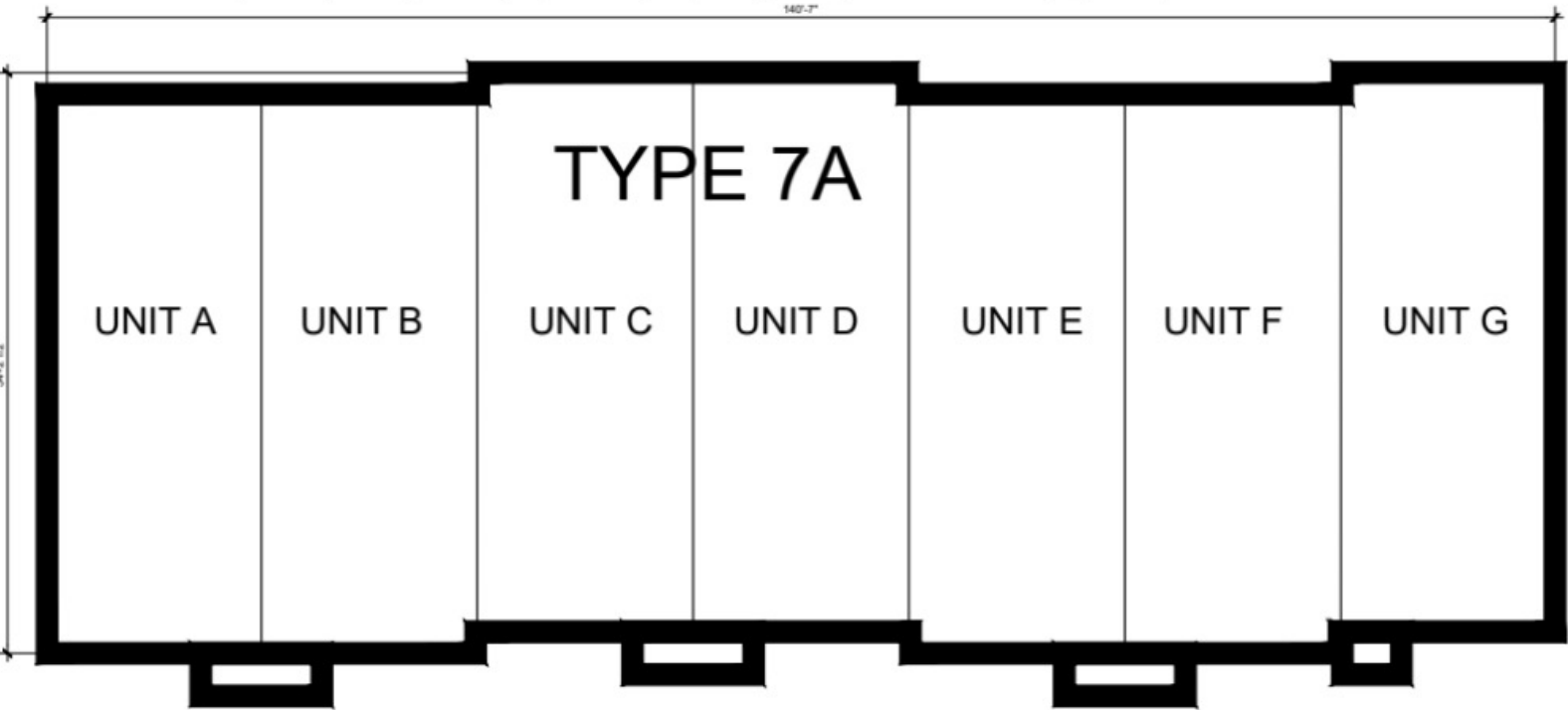
UNIT G	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

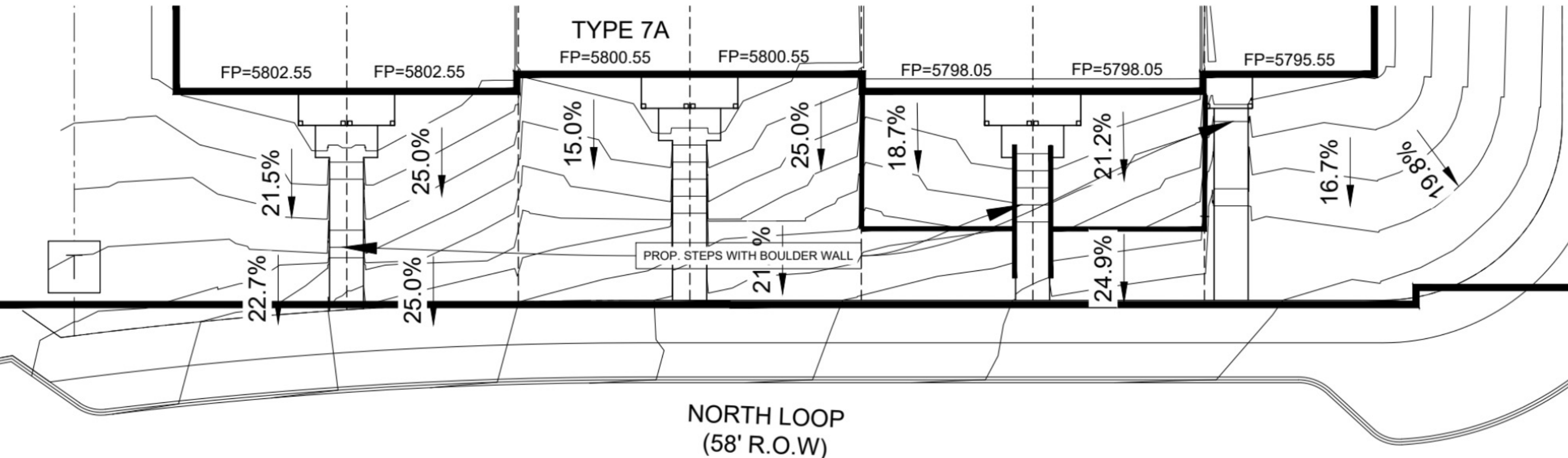


FIRST FLOOR

BUILDING TYPE	NUM. OF UNITS IN BLDG.	NUM. OF TYPES	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE
TYPE 7A	7	1	11,074 SF	11,074 SF

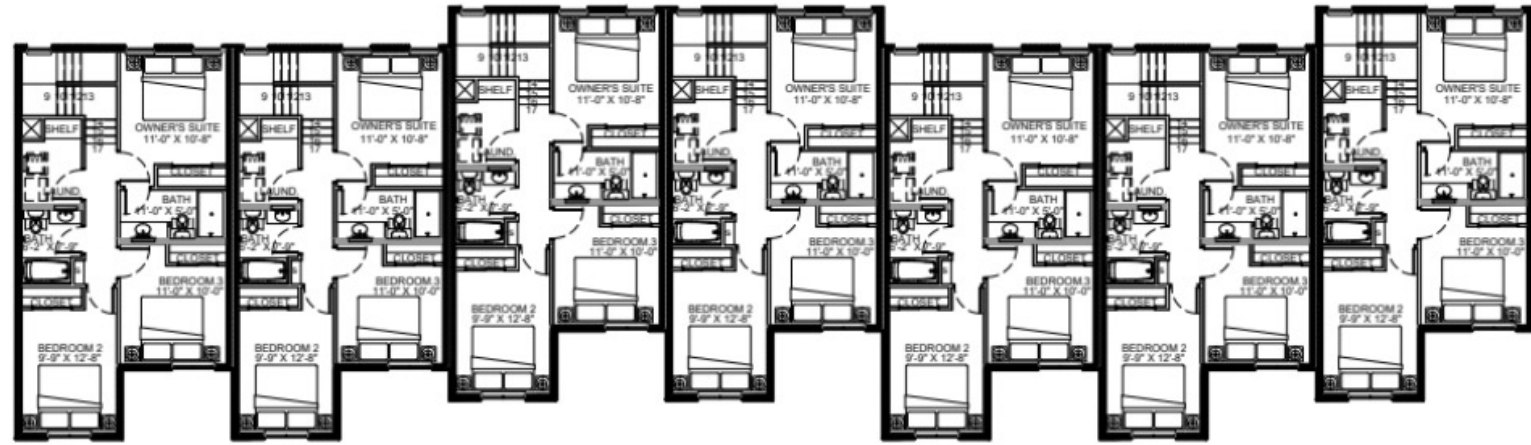
TYPE 7A	SQUARE FOOTAGE
FLOOR PLAN - 1ST	4,235 SF
FLOOR PLAN - 2ND	6,839 SF
GARAGE	3,010 SF
COVERED PATIO	133 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	11,074 SF
TOTAL	14,084 SF







TYPE 7A



SECOND FLOOR

UNIT A	NUMBER	UNIT B	NUMBER	UNIT C	NUMBER	UNIT D	NUMBER
BEDROOMS	3	BEDROOMS	3	BEDROOMS	3	BEDROOMS	3
HOME OFFICE	0	HOME OFFICE	0	HOME OFFICE	0	HOME OFFICE	0
FULL BATHS	2	FULL BATHS	2	FULL BATHS	2	FULL BATHS	2
HALF BATHS	1	HALF BATHS	1	HALF BATHS	1	HALF BATHS	1
CAR GARAGE	1	CAR GARAGE	1	CAR GARAGE	1	CAR GARAGE	1

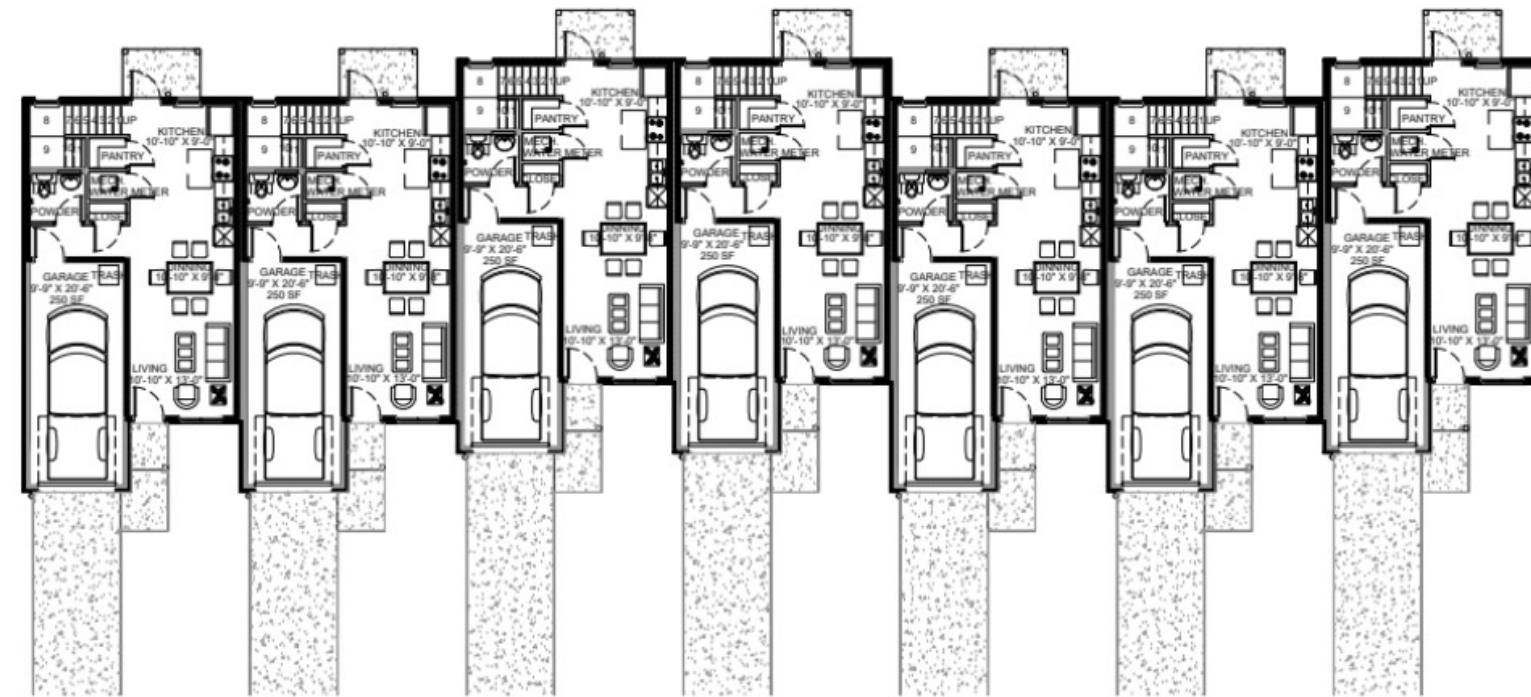
UNIT A	SQUARE FOOTAGE	UNIT B	SQUARE FOOTAGE	UNIT C	SQUARE FOOTAGE	UNIT D	SQUARE FOOTAGE
FLOOR PLAN - 1ST	553 SF	FLOOR PLAN - 1ST	553 SF	FLOOR PLAN - 1ST	553 SF	FLOOR PLAN - 1ST	553 SF
FLOOR PLAN - 2ND	730 SF	FLOOR PLAN - 2ND	730 SF	FLOOR PLAN - 2ND	730 SF	FLOOR PLAN - 2ND	730 SF
GARAGE	250 SF	GARAGE	250 SF	GARAGE	250 SF	GARAGE	250 SF
COVERED PATIO	20 SF	COVERED PATIO	20 SF	COVERED PATIO	20 SF	COVERED PATIO	20 SF
COVERED BALCONY	0 SF	COVERED BALCONY	0 SF	COVERED BALCONY	0 SF	COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,283 SF	TOTAL CONDITIONED	1,283 SF	TOTAL CONDITIONED	1,283 SF	TOTAL CONDITIONED	1,283 SF
TOTAL	1,553 SF	TOTAL	1,553 SF	TOTAL	1,553 SF	TOTAL	1,553 SF

UNIT E	NUMBER	UNIT F	NUMBER	UNIT G	NUMBER
BEDROOMS	3	BEDROOMS	3	BEDROOMS	3
HOME OFFICE	0	HOME OFFICE	0	HOME OFFICE	0
FULL BATHS	2	FULL BATHS	2	FULL BATHS	2
HALF BATHS	1	HALF BATHS	1	HALF BATHS	1
CAR GARAGE	1	CAR GARAGE	1	CAR GARAGE	1

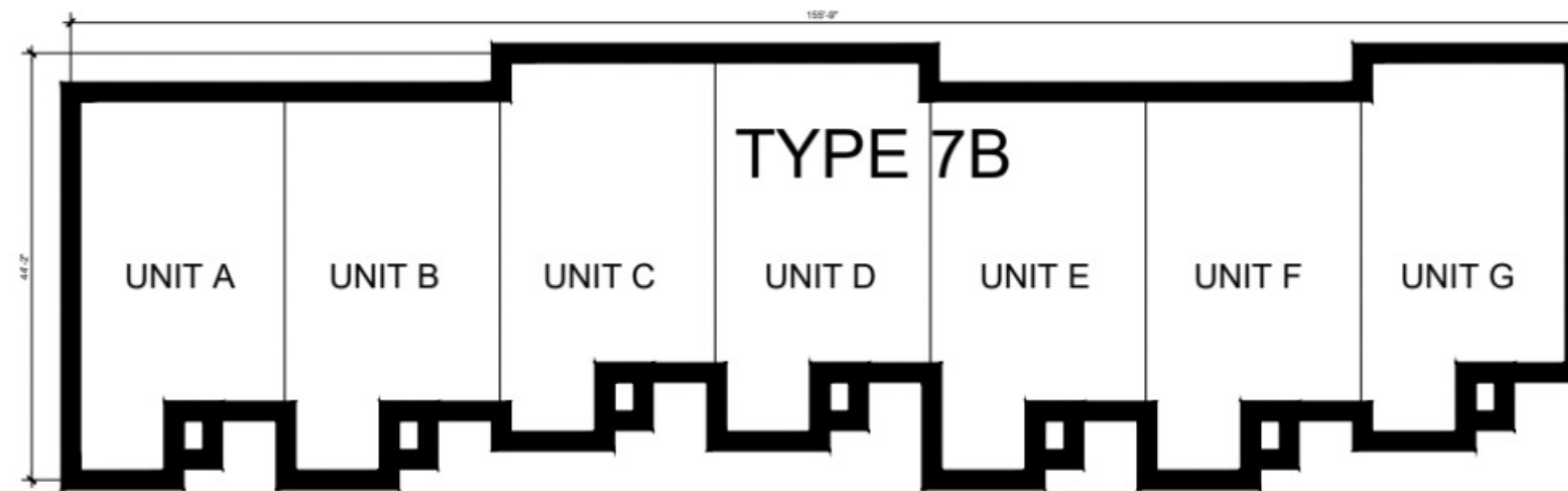
UNIT E	SQUARE FOOTAGE	UNIT F	SQUARE FOOTAGE	UNIT G	SQUARE FOOTAGE
FLOOR PLAN - 1ST	553 SF	FLOOR PLAN - 1ST	553 SF	FLOOR PLAN - 1ST	553 SF
FLOOR PLAN - 2ND	730 SF	FLOOR PLAN - 2ND	730 SF	FLOOR PLAN - 2ND	730 SF
GARAGE	250 SF	GARAGE	250 SF	GARAGE	250 SF
COVERED PATIO	20 SF	COVERED PATIO	20 SF	COVERED PATIO	20 SF
COVERED BALCONY	0 SF	COVERED BALCONY	0 SF	COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,283 SF	TOTAL CONDITIONED	1,283 SF	TOTAL CONDITIONED	1,283 SF
TOTAL	1,553 SF	TOTAL	1,553 SF	TOTAL	1,553 SF

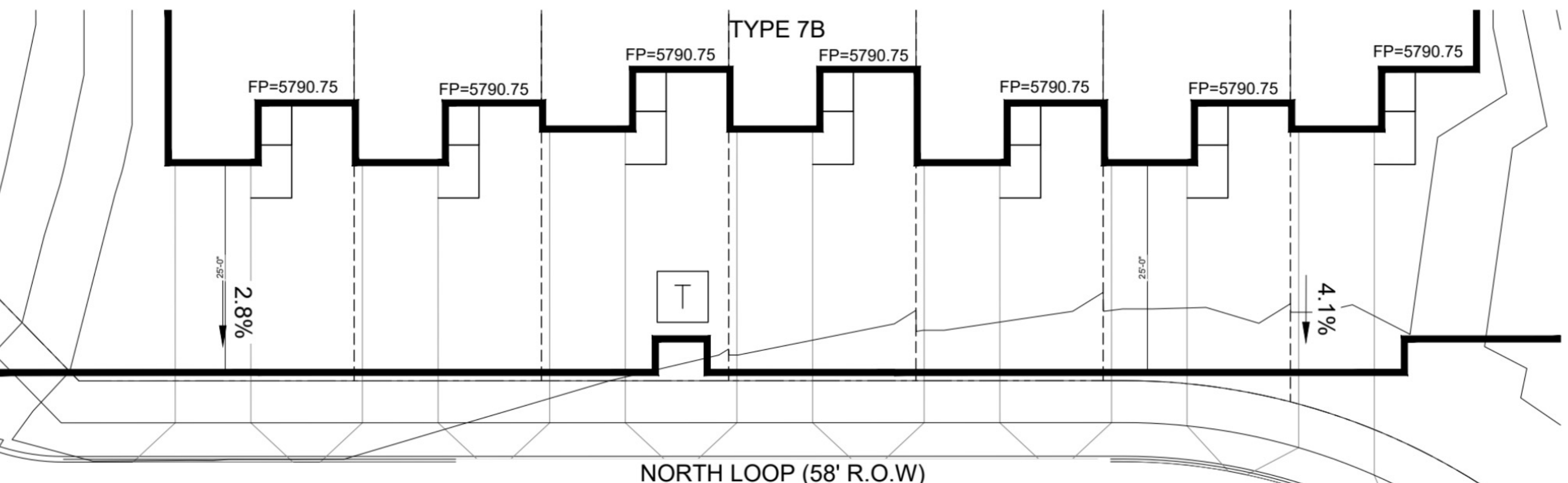
BUILDING TYPE	NUM. OF UNITS IN BLDG.	NUM. OF TYPES	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE	SQUARE FOOTAGE
TYPE 7B	7	1	8,981 SF	8,981 SF	

TYPE 7B	SQUARE FOOTAGE
FLOOR PLAN - 1ST	3,871 SF
FLOOR PLAN - 2ND	5,110 SF
GARAGE	1,750 SF
COVERED PATIO	120 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	8,981 SF
TOTAL	10,871 SF



FIRST FLOOR



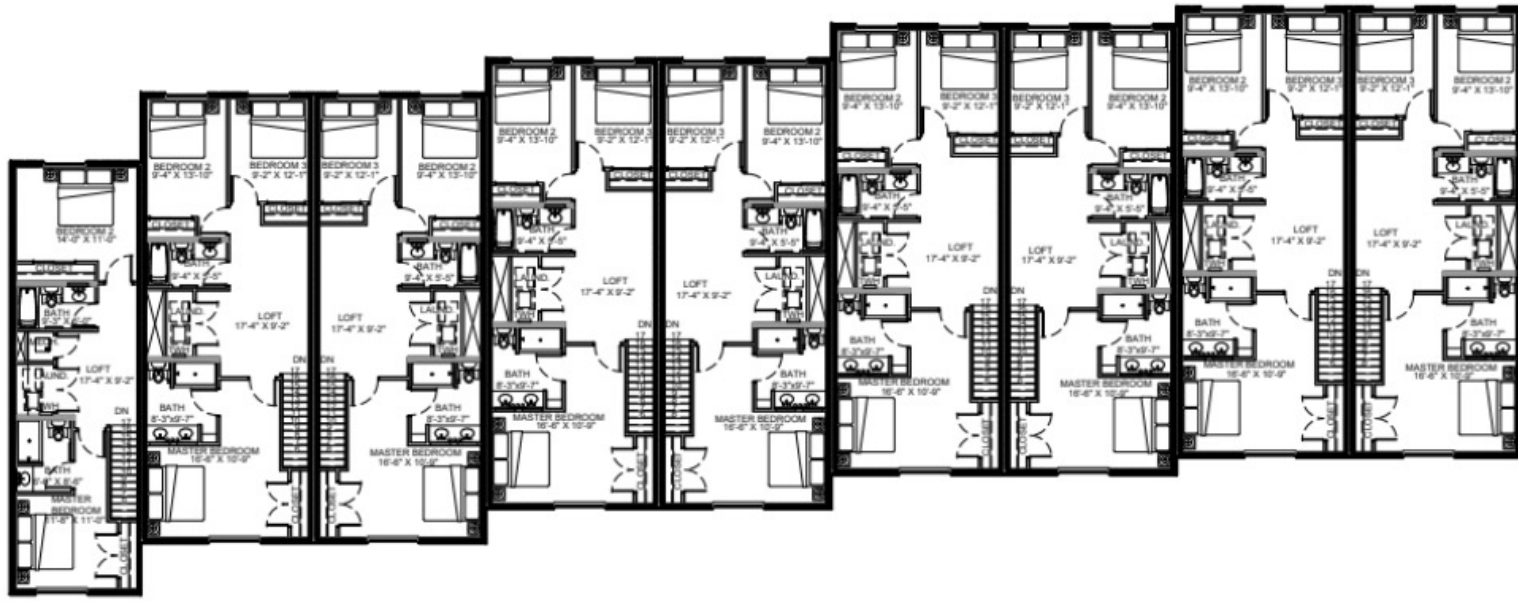




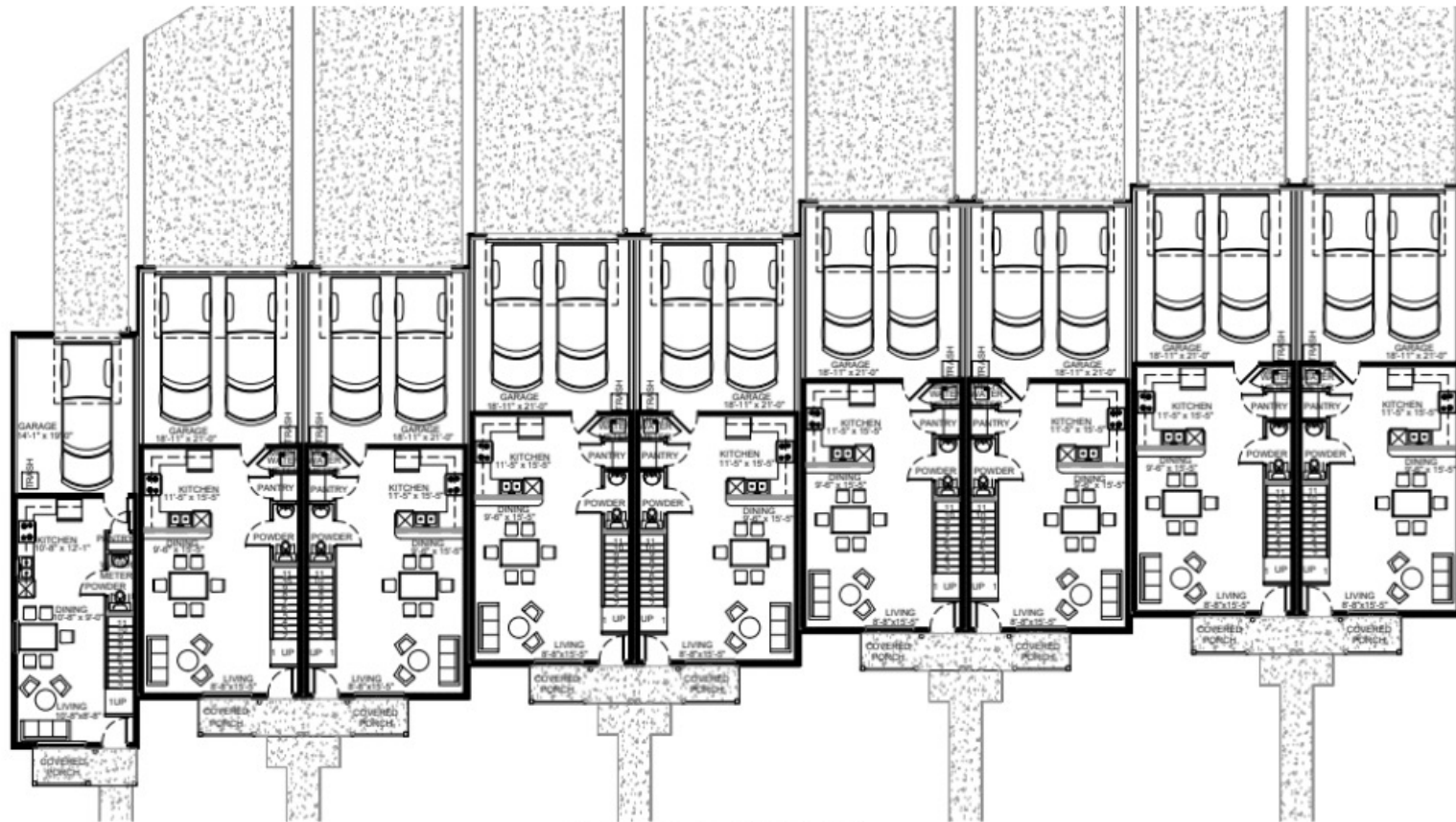
TYPE 7B



TYPE 7B,



SECOND FLOOR



FIRST FLOOR

UNIT A	NUMBER
BEDROOMS	2
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	1

UNIT B	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT C	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT D	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT A	SQUARE FOOTAGE
FLOOR PLAN - 1ST	457 SF
FLOOR PLAN - 2ND	707 SF
GARAGE	295 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,164 SF
TOTAL	1,459 SF

UNIT B	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT C	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT D	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT E	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT F	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT G	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT H	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT E	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT F	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

UNIT G	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

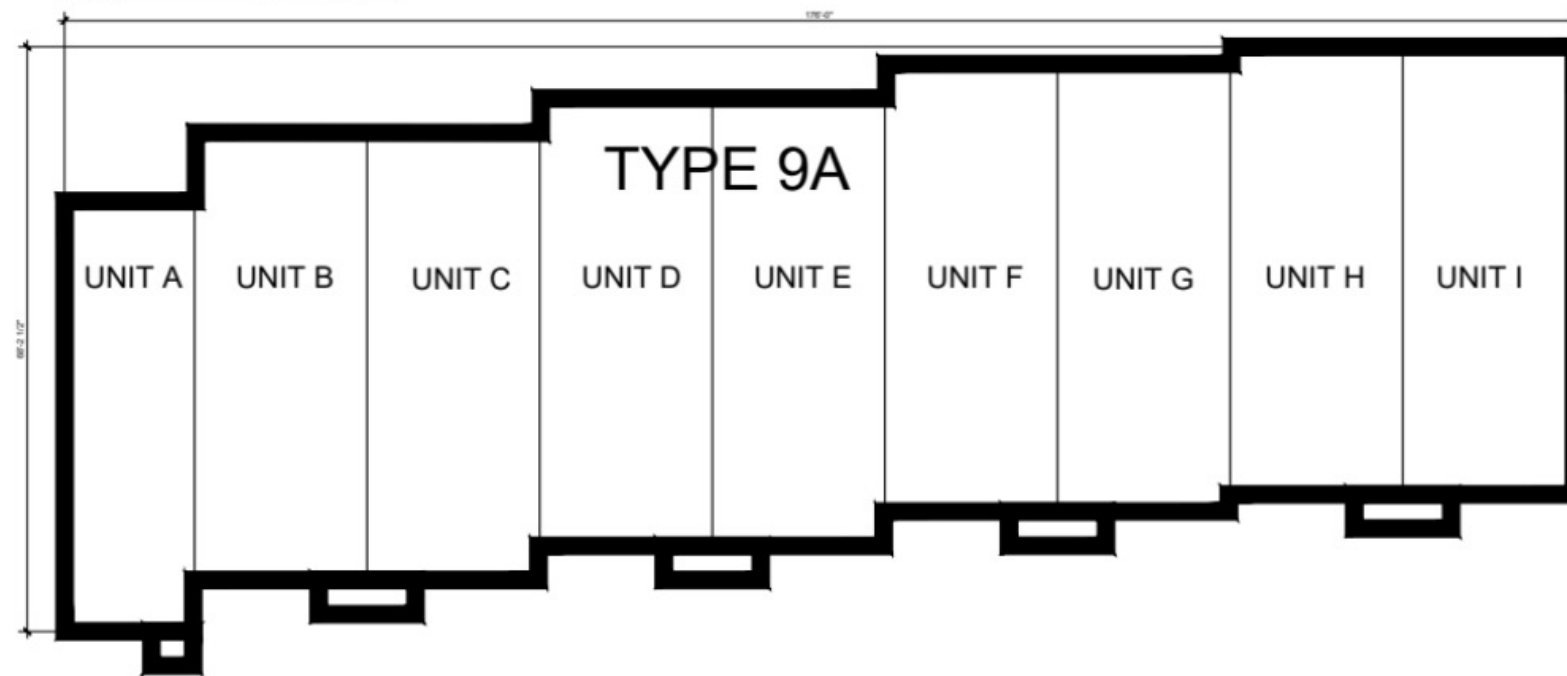
UNIT H	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

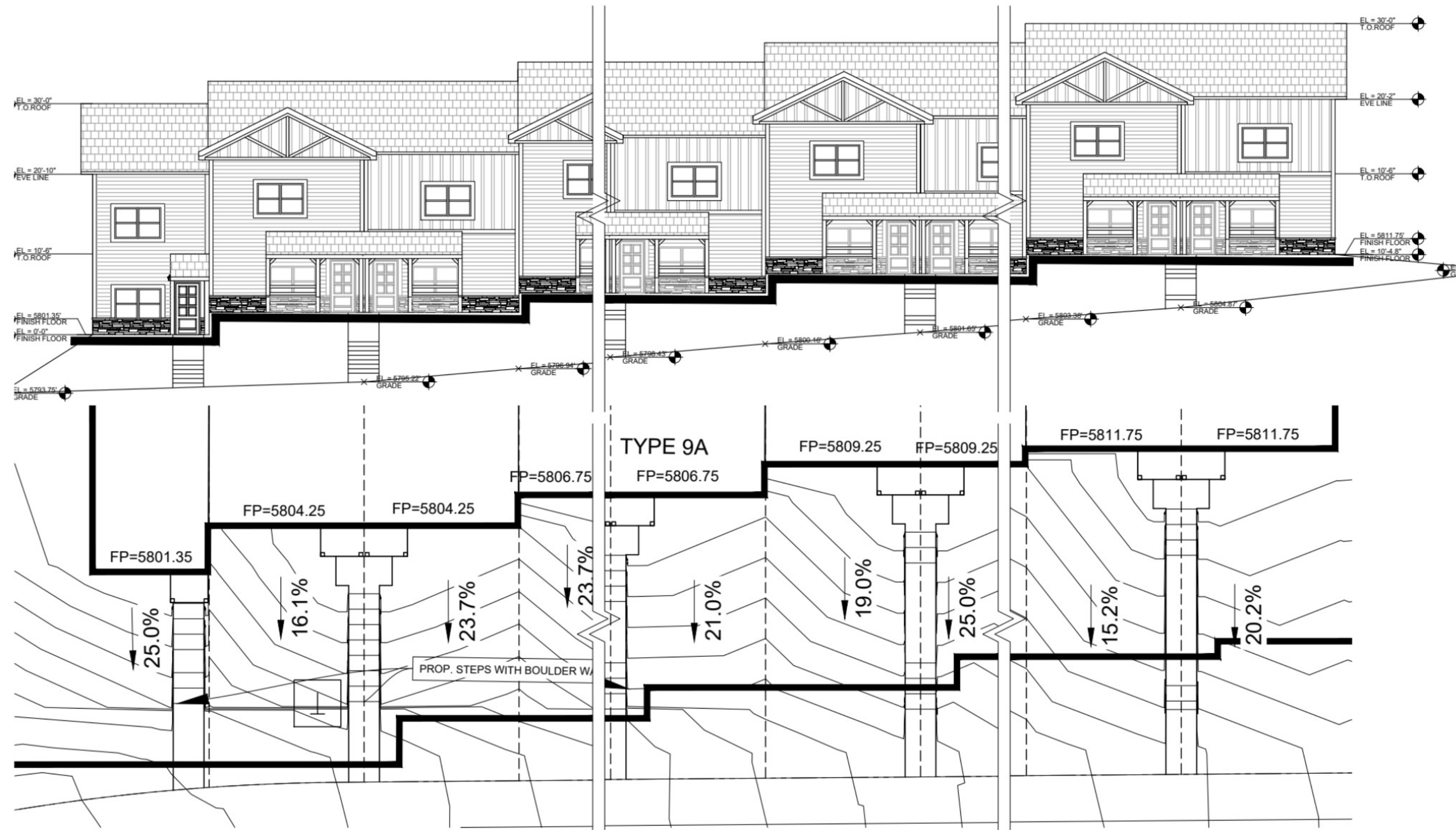
UNIT I	NUMBER
BEDROOMS	3
HOME OFFICE	0
FULL BATHS	2
HALF BATHS	1
CAR GARAGE	2

UNIT I	SQUARE FOOTAGE
FLOOR PLAN - 1ST	605 SF
FLOOR PLAN - 2ND	977 SF
GARAGE	430 SF
COVERED PATIO	19 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	1,582 SF
TOTAL	2,012 SF

BUILDING TYPE	NUM. OF BLDG	NUM. OF TYPES	CONDITIONED SQUARE FOOTAGE	TOTAL CONDITIONED SQUARE FOOTAGE
TYPE 9A	9	1	13,820 SF	13,820 SF

TYPE 9A	SQUARE FOOTAGE
FLOOR PLAN - 1ST	5,297 SF
FLOOR PLAN - 2ND	8,523 SF
GARAGE	3,735 SF
COVERED PATIO	62 SF
COVERED BALCONY	0 SF
TOTAL CONDITIONED	13,820 SF
TOTAL	17,555 SF







TYPE 9A

Elevations

COLORIZED



06 ELEVATION TYPE 3B
SCALE: 3/16" = 1'-0"



05 ELEVATION TYPE 2C
SCALE: 3/16" = 1'-0"



04 ELEVATION TYPE 2B
SCALE: 3/16" = 1'-0"



03 ELEVATION TYPE 1C
SCALE: 3/16" = 1'-0"



02 ELEVATION TYPE 1B
SCALE: 3/16" = 1'-0"



01 ELEVATION TYPE 1A
SCALE: 3/16" = 1'-0"

CASTLE VALLEY RANCH, CO

ELEVATIONS 09A

SCALE: 1/16"=1'-0" • JOB#: 24042 • ISSUE DATE: 09/22/2025
APPROVED BY: _____ DATE: _____



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10 ELEVATION TYPE 9A
SCALE: 3/16" = 1'-0"



09 ELEVATION TYPE 7B
SCALE: 3/16" = 1'-0"



08 ELEVATION TYPE 7A
SCALE: 3/16" = 1'-0"



07 ELEVATION TYPE 6A
SCALE: 3/16" = 1'-0"

CASTLE VALLEY RANCH, CO

ELEVATIONS 09B
SCALE: 1/16"=1'-0" • JOB#: 24042 • ISSUE DATE: 09/22/2025
APPROVED BY: _____ DATE: _____



EXTERIOR SIDING



LAP SIDING, COLOR AS SELECTED



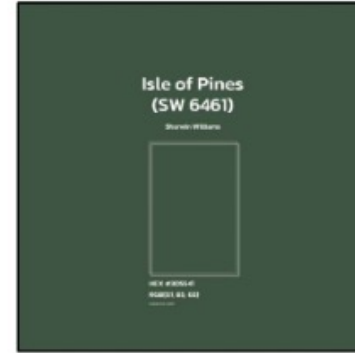
BOARD AND BATTEN, COLOR AS SELECTED

STONE



LINEAR LEDGE STONE

PAINT COLORS SLECTED



SW 6461, ISLE OF PINES

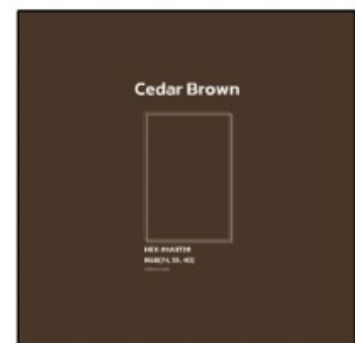


SW 9108, DOUBLE LATTE



SW 9141, WATERLOO

TRIM, & DOORS



SW 2923, CEDAR BROWN

ROOFING



ASPHALT SHINGLES

WOOD



CEDAR

SITE DETAILS

View Shed Analysis

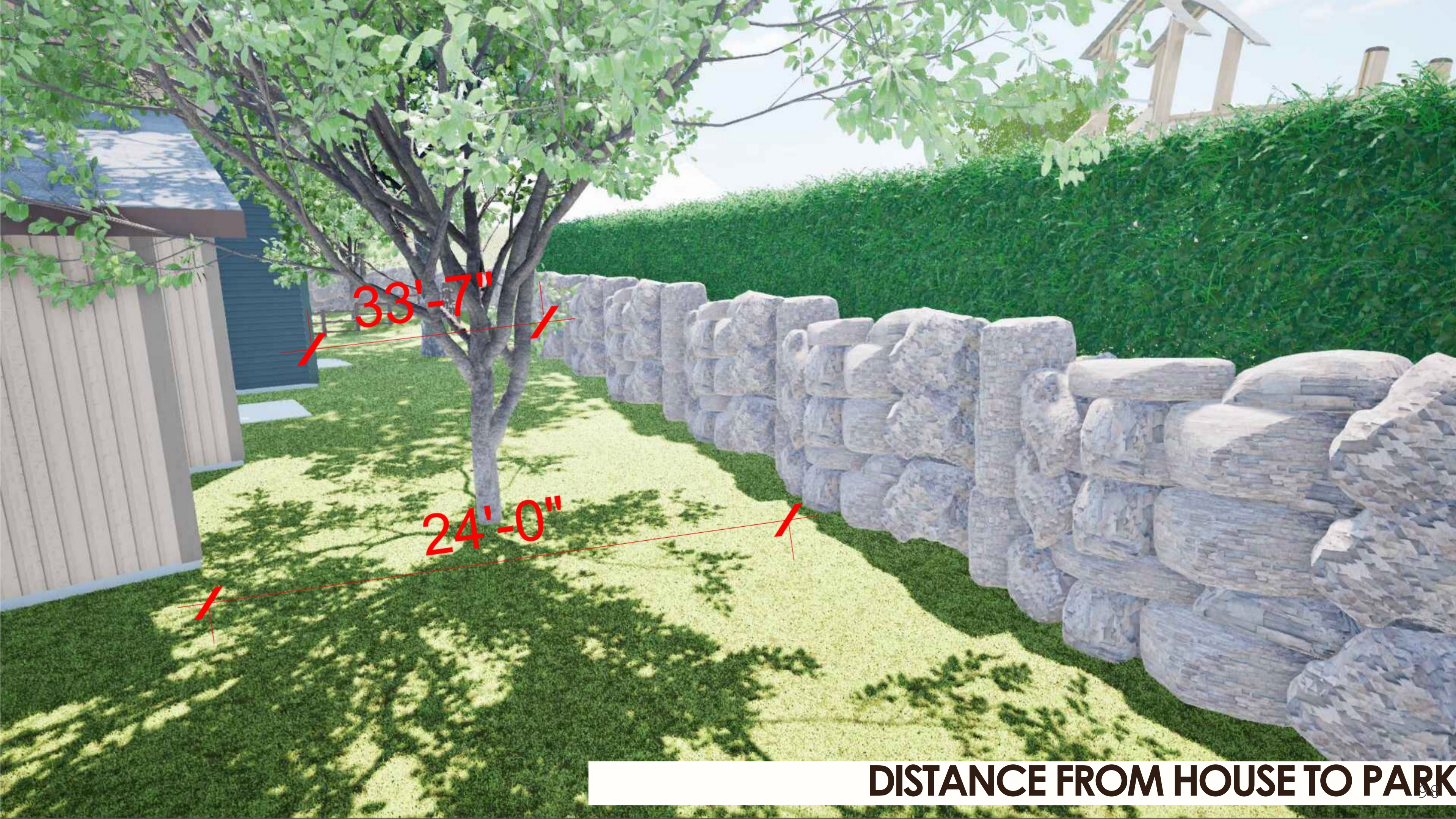


ARCHWOOD





PLAYGROUND



33'-7"

24'-0"

DISTANCE FROM HOUSE TO PARK



DETENTION POND



RETAINING WALL 100



OPEN SPACE







Let's build the future
together. _____