RIVER VALLEY MOTEL CONVERSION: 29-MICRO-APARTMENTS AND 1 MANAGER'S OFFICE UNIT MULTI-FAMILY RESIDENTIAL COMPLEX

1707 NEEDLES HWY, NEEDLES, CA 92363

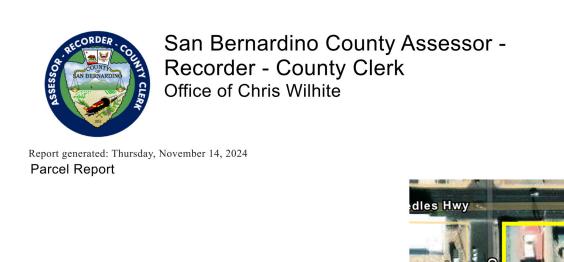
LEGAL DES	CRIPTION
APN:	0185048090000
ADDRESS:	1707 NEEDLES HWY, NEEDLES, CA 92363
USE CODE:	MOTEL
TAX STATUS:	ASSESSED BY COUNTY
LAND TYPE:	COMMERCIAL
CONSTRUCTION TYPE:	V-B
ZONING:	C-2
FIRE ZONE:	YES
FIRE SPRINKLER:	NO
NUMBER OF STORIES:	1
EXISTING BUILDING HEIGHT:	13'-8"

	OWNER / CONSULTANTS
PROJECT OWNER:	1707 NEEDLES HWY LLC 1707 NEEDLES HWY, NEEDLES, CA 92363 (818) 381-2200 GHADIMIANA@GMAIL.COM
DESIGNER:	ADRIK ISSAEI (818) 268-6000 ADRIK.ISSAEI@GAMIL.COM
MECHANICAL ENGINEER:	ARMEN YARIAN (818) 370-7424 YARIANARMEN@GMAIL.COM

	PROJECT STATISTICS
LOT SIZE GROSS ACRE:	0.987
NUMBER OF UNITS:	29 MICRO-APARTMENTS AND 1 MANAGEMENT OFFICE UNIT
NUMBER OF PARKING SPOT:	28 STANDARD PARKING SPOTS + 2 ACCESSIBLE PARKING SPOTS = TOTAL 30

SCOPE OF WORK
A CONDITIONAL USE PERMIT (CUP) TO CONVERT THE RIVER VALLEY MOTEL INTO A MULTI-FAMILY RESODENTIAL COMPLEX INCLUDING 29- MICRO-APARTMENTS AND 1 MANAGER'S OFFICE UNIT . THE SCOPE OF WORK INCLUDES EXTERIOR IMPROVEMENTS, INSTALLING ELECTRIC COOKTOPS AND KITCHEN CEILING VENTILATION IN EACH UNIT, AND REPLACING EXISTING AIR CONDITIONING UNITS WITH NEW SPLIT-UNIT SYSTEMS.

	CODE REFERENCES
a. b. c. d. e. 2.	2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA GREEN BUILDING STANDARD CODE 2023 TITLE 24 ENERGY STANDARDS

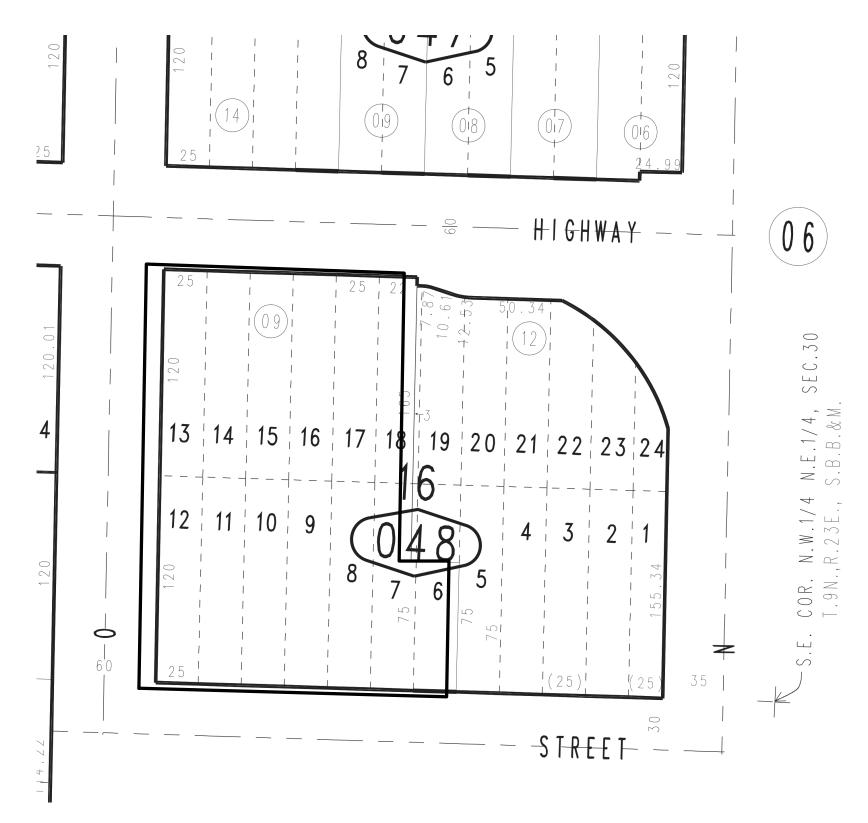


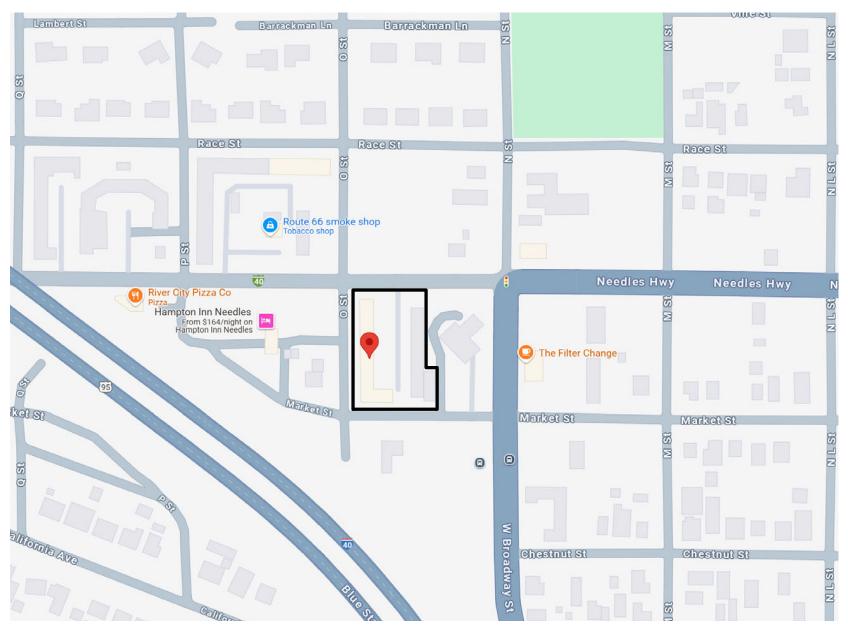
Parcel
Parcel: 0185048090000
Parcel Status: A | ACTIVE
Parcel Type: 0 | REAL PROPERTY
Property ID:
Tax Status: 1 | ASSESSED BY COUNTY
Use Code: MOTEL
Land Access: PUB/PV PUBLIC PAVED
Size: 04 | 20,000 SQ. FEET TO 1.500 ACRES
Land Type: 03 | COMMERCIAL
District: JOSHUA TREE
Resp Group: D | REAL PROPERTY
RespnUnit: COM | COMMERCIAL ZONE OR USE

Owner 1: 1707 NEEDLES HWY LLC
Owner 2:
Joint Owner:
Effective Date: 03/14/2024
Current Owners
Name R/L %

urrent Owners							
Name	R/I	% Int	Туре	Acquisition Date	Document Date	Inactive Date	Document Nbrs
1707 NEEDLES HWY LLC	SO = SOLE OWNER	100.0000	B = BILLED OWNER	02/28/2024	02/28/2024	NONE	20240046538; 20240046537

	SHEET INDEX
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A 0.0	COVER SHEET
A 0.1	GENERAL NOTES
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A 1.1	LANDSCAPE PLAN
A 2.0	EXISTING FLOOR PLANS
A 2.1	PROPOSED FLOOR PLANS
A 2.2	EXISTING ROOF PLANS
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A 3.1	EXISTING ELEVATIONS
M 0.0	MECHANICAL CALCULATION AND SCHEDULE
M 0.01	MECHANICAL DETAILS
M 1.00	MECHANICAL FLOOR PLAN
M 2.00	MECHANICAL FLOOR PLAN
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M 3.10	MECHANICAL T-24
M 3.20	MECHANICAL T-24





VICINITY MAP



THESE PLANS COMPLY WITH THE MOST
COST EFFECTIVE MINIMUM REQUIREMENTS
NECESSARY TO OBTAIN A BUILDING PERMIT
PLANS DO NOT PROVIDE ANY
SPECIFICATIONS OTHER THAN THOSE
NECESSARY TO OBTAIN
BUILDING PERMIT FROM THE LOCAL
AUTHORITIES IN WHICH JURISDICTION IT
WILL BE BUILT. OWNER/CONTRACTOR
SHALL HIRE THEIR OWN CONSULTANTS FOR
ANY ADDITIONAL SPECIFICATIONS, WHICH
MAY BE ADDED OR ATTACHED TO PLANS, AT
THEIR REQUEST, AND ARE NOT THE
RESPONSIBILITY OF ARCHITECTURAL

CONSULTANTS

ATELIER ISSAEI

669 Ivy Street Glendale, CA 91204 adrik.issaei@gmail.com 818.268.6000

1707 NEEDLES HWY

River Valley Motel Conversion: 29 Micro-Apartments and 1 Management Office Unit

1707 Needles Hwy, Needles, CA 92363

FEB 2025 PROJECT STATUS

COVER SHEET

A 0.0

FIRE CONDITIONS AND STANDARDS

F01 JURISDICTION
THE ABOVE REFERENCED PROJECT IS UNDER THE JURISDICTION OF THE SAN BERNARDINO COUNTY FIRE DEPARTMENT HEREIN "FIRE DEPARTMENT". PRIOR TO ANY CONSTRUCTION OCCURRING ON ANY PARCEL, THE APPLICANT SHALL CONTACT THE FIRE DEPARTMENT FOR VERIFICATION OF CURRENT FIRE PROTECTION REQUIREMENTS. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CURRENT CALIFORNIA FIRE CODE REQUIREMENTS AND ALL APPLICABLE STATUTES, CODES, ORDINANCES, AND STANDARDS OF THE FIRE DEPARTMENT.

F02 FIRE FEE
THE REQUIRED FIRE FEES SHALL BE PAID TO THE SAN BERNARDINO COUNTY FIRE DEPARTMENT/COMMUNITY SAFETY DIVISION.

FIRE CONDITION LETTERS SHALL EXPIRE ON THE DATE DETERMINED BY THE PLANNING DIVISION OR BUILDING AND SAFETY.

PERMISSION TO OCCUPY OR USE THE BUILDING (CERTIFICATION OF OCCUPANCY OR SHELL RELEASE) WILL NOT BE GRANTED UNTIL THE FIRE DEPARTMENT INSPECTS, APPROVES AND SIGNS OFF ON THE BUILDING AND SAFETY JOB CARD FOR "FIRE FINAL".

BUILDING PLANS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. THE REQUIRED FEES SHALL BE PAID AT THE TIME OF PLAN SUBMITTAL.

F11 COMBUSTIBLE VEGETATION

COMBUSTIBLE VEGETATION SHALL BE REMOVED AS FOLLOWS: A. WHERE THE AVERAGE SLOPE OF THE SITE IS LESS THAN 15% -COMBUSTIBLE VEGETATION SHALL BE REMOVED A MINIMUM DISTANCE OF THIRTY (30) FEET FROM ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS LESS. B. WHERE THE AVERAGE SLOPE OF THE SITE IS 15% OR GREATER - COMBUSTIBLE VEGETATION SHALL BE REMOVED A MINIMUM ONE HUNDRED (100) FEET FROM ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS LESS. COUNTY ORDINANCE #3586

THE DEVELOPMENT SHALL HAVE A MINIMUM OF TWO POINTS OF VEHICULAR ACCESS. THESE ARE FOR FIRE/EMERGENCY EQUIPMENT ACCESS AND FOR EVACUATION ROUTES. A. SINGLE STORY ROAD ACCESS WIDTH. ALL BUILDINGS SHALL HAVE ACCESS PROVIDED BY APPROVED ROADS, ALLEYS AND PRIVATE DRIVES WITH A MINIMUM TWENTY-SIX (26) FOOT UNOBSTRUCTED WIDTH AND VERTICALLY TO FOURTEEN (14) FEET SIX (6) INCHES IN HEIGHT. DUE TO THE EXISTING WIDTH OF THE ONSITE DRIVE AISLE YOU SHALL CONVERT THE DRIVE AISLÈ TO ONE WAY TRAFFIC ONLY BY ENTERING ON NEEDLES HWY AND EXITING ON MARKET ST.. DRIVE AISLE SHALL HAVE DIRECTIONAL ARROWS PAINTED ON DRIVING SURFACE AND "DO NOT ENTER" PAINTED ON DRIVING SURFACE AT MARKET ST.

F19 SURFACE
FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. ROAD SURFACE SHALL MEET THE APPROVAL OF THE FIRE CHIEF PRIOR TO INSTALLATION. ALL ROADS SHALL BE DESIGNED TO 85% COMPACTION AND/OR PAVING AND HOLD THE WEIGHT OF FIRE APPARATUS AT A MINIMUM OF 80K POUNDS.

F24 FIRE LANES
THE APPLICANT SHALL SUBMIT A FIRE LANE PLAN WITH THE BUILDING CONSTRUCTION PLANS TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. FIRE LANE CURBS SHALL BE PAINTED RED. "NO PARKING, FIRE LANE" SIGNS SHALL BE INSTALLED ON PUBLIC/PRIVATE ROADS IN ACCORDANCE WITH THE APPROVED PLAN.

F25 STREET SIGN
THIS PROJECT IS REQUIRED TO HAVE AN APPROVED STREET SIGN (TEMPORARY OR PERMANENT). THE STREET SIGN SHALL BE INSTALLED ON THE NEAREST STREET CORNER TO THE PROJECT. INSTALLATION OF THE TEMPORARY SIGN SHALL BE PRIOR ANY COMBUSTIBLE MATERIAL BEING PLACED ON THE CONSTRUCTION SITE. PRIOR TO FINAL INSPECTION AND OCCUPANCY OF THE FIRST STRUCTURE, THE PERMANENT STREET SIGN SHALL BE INSTALLED.

HAND PORTABLE FIRE EXTINGUISHERS ARE REQUIRED. THE LOCATION, TYPE, AND CABINET DESIGN SHALL BE APPROVED BY THE FIRE DEPARTMENT.

COMMERCIAL AND INDUSTRIAL DEVELOPMENTS OF 100,000 SQ. FT OR LESS SHALL HAVE THE STREET ADDRESS INSTALLED ON THE BUILDING WITH NUMBERS THAT ARE A MINIMUM EIGHT (8) INCHES IN HEIGHT AND WITH A ONE (1) INCH STROKE. THE STREET ADDRESS SHALL BE VISIBLE FROM THE STREET. DURING THE HOURS OF DARKNESS, THE NUMBERS SHALL BE ELECTRICALLY ILLUMINATED (INTERNAL OR EXTERNAL). WHERE THE BUILDING IS TWO HUNDRED (200) FEET OR MORE FROM THE ROADWAY, ADDITIONAL NON-ILLUMINATED ADDRESS IDENTIFICATION SHALL BE DISPLAYED ON A MONUMENT, SIGN OR OTHER APPROVED MEANS WITH NUMBERS THAT ARE A MINIMUM OF SIX (6) INCHES IN HEIGHT AND THREE-QUARTER (34) INCH STROKE.

SOLAR/PV PLANS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. THE REQUIRED FEES SHALL BE PAID AT THE TIME OF PLAN SUBMITTAL.

F70 ADDITIONAL REQUIREMENTS
IN ADDITION TO THE FIRE REQUIREMENTS STATED HEREIN, OTHER ONSITE AND OFF-SITE IMPROVEMENTS MAY BE REQUIRED WHICH CANNOT BE DETERMINED AT THIS TIME AND WOULD HAVE TO BE REVIEWED AFTER MORE COMPLETE IMPROVEMENT PLANS AND PROFILES HAVE BEEN SUBMITTED TO THIS OFFICE.

F71 PROPOSAL CHANGES
ANY CHANGES TO THIS PROPOSAL SHALL REQUIRE NEW FIRE DEPARTMENT CONDITION LETTER.

CONSULTANTS

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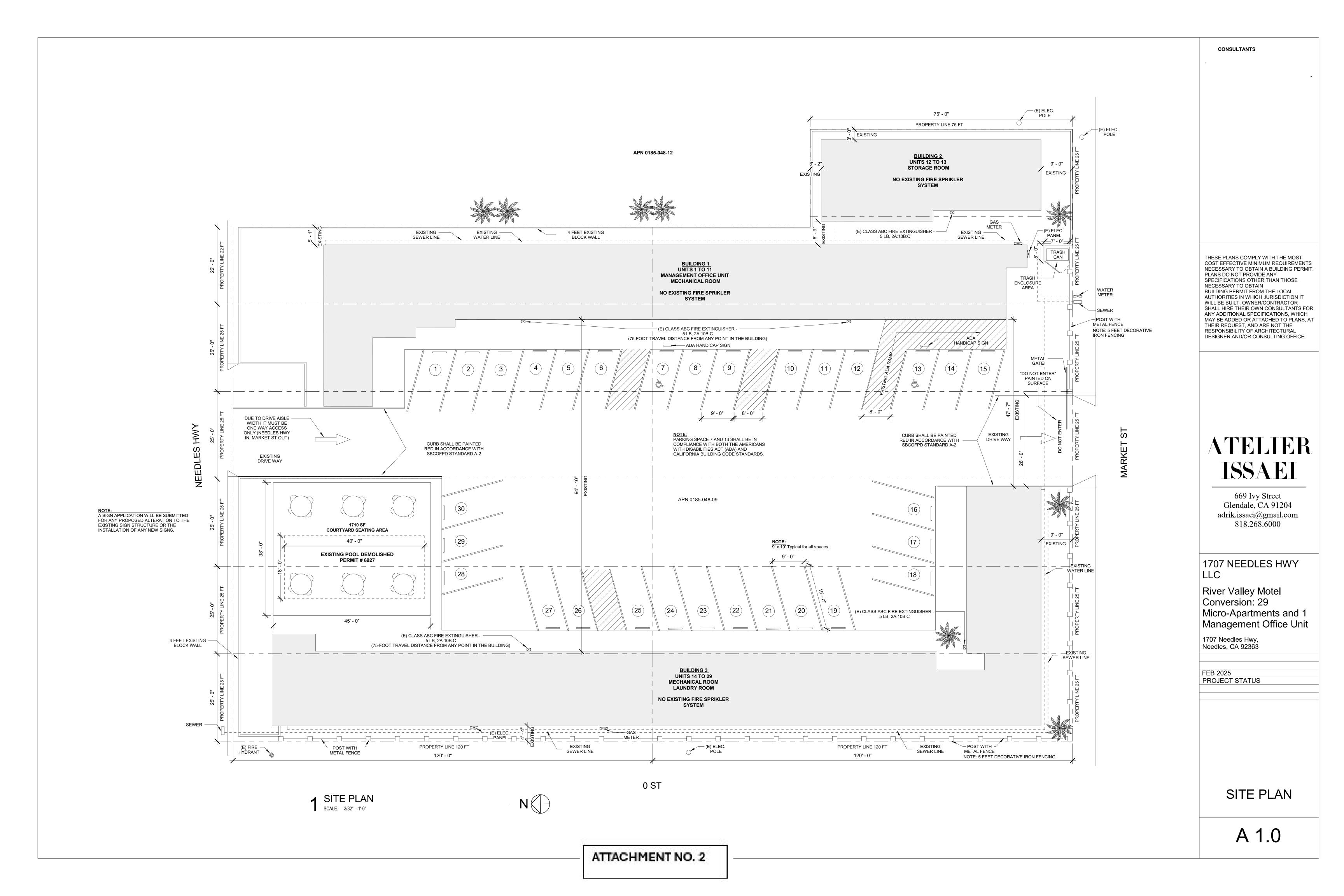
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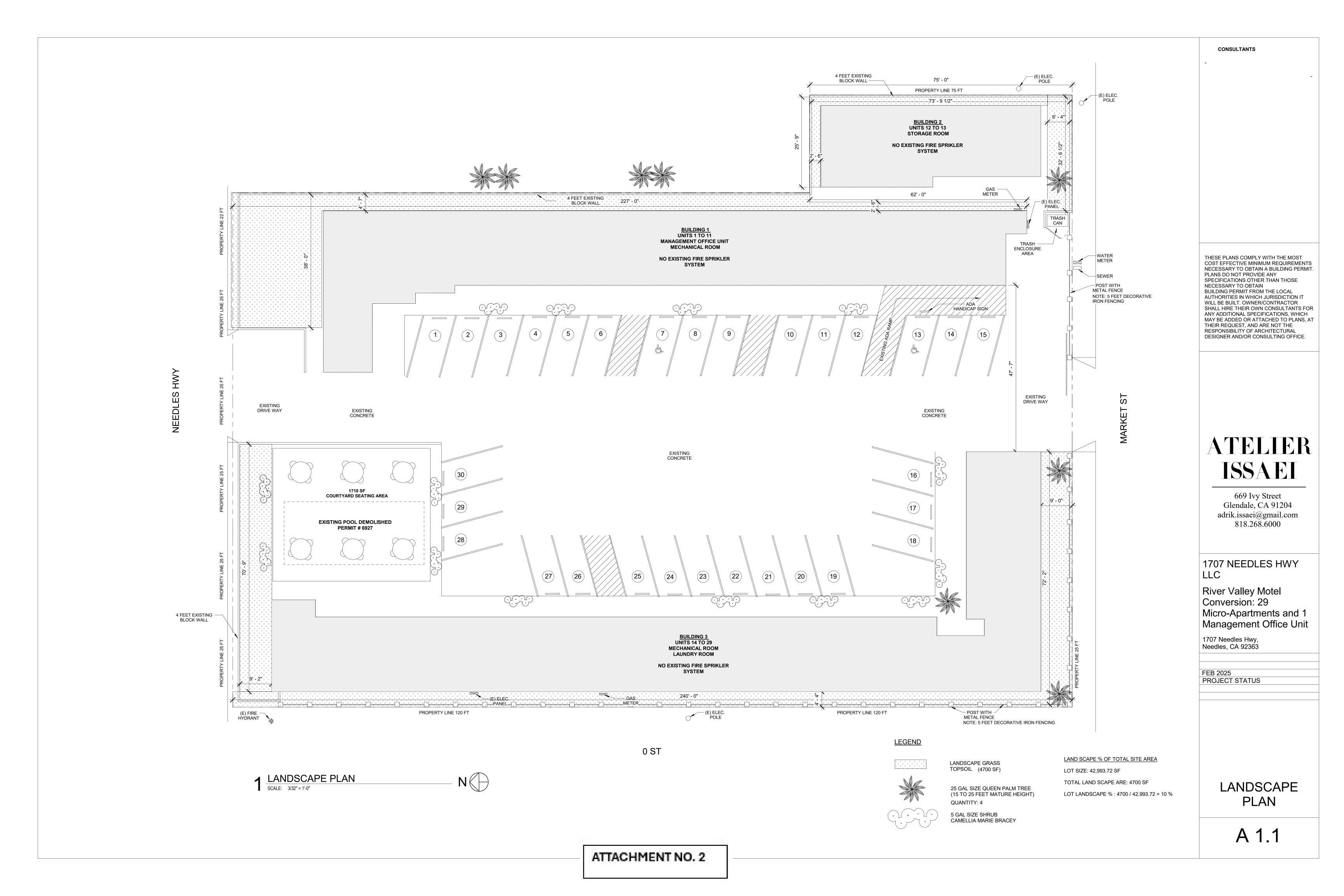
FEB 2025 PROJECT STATUS

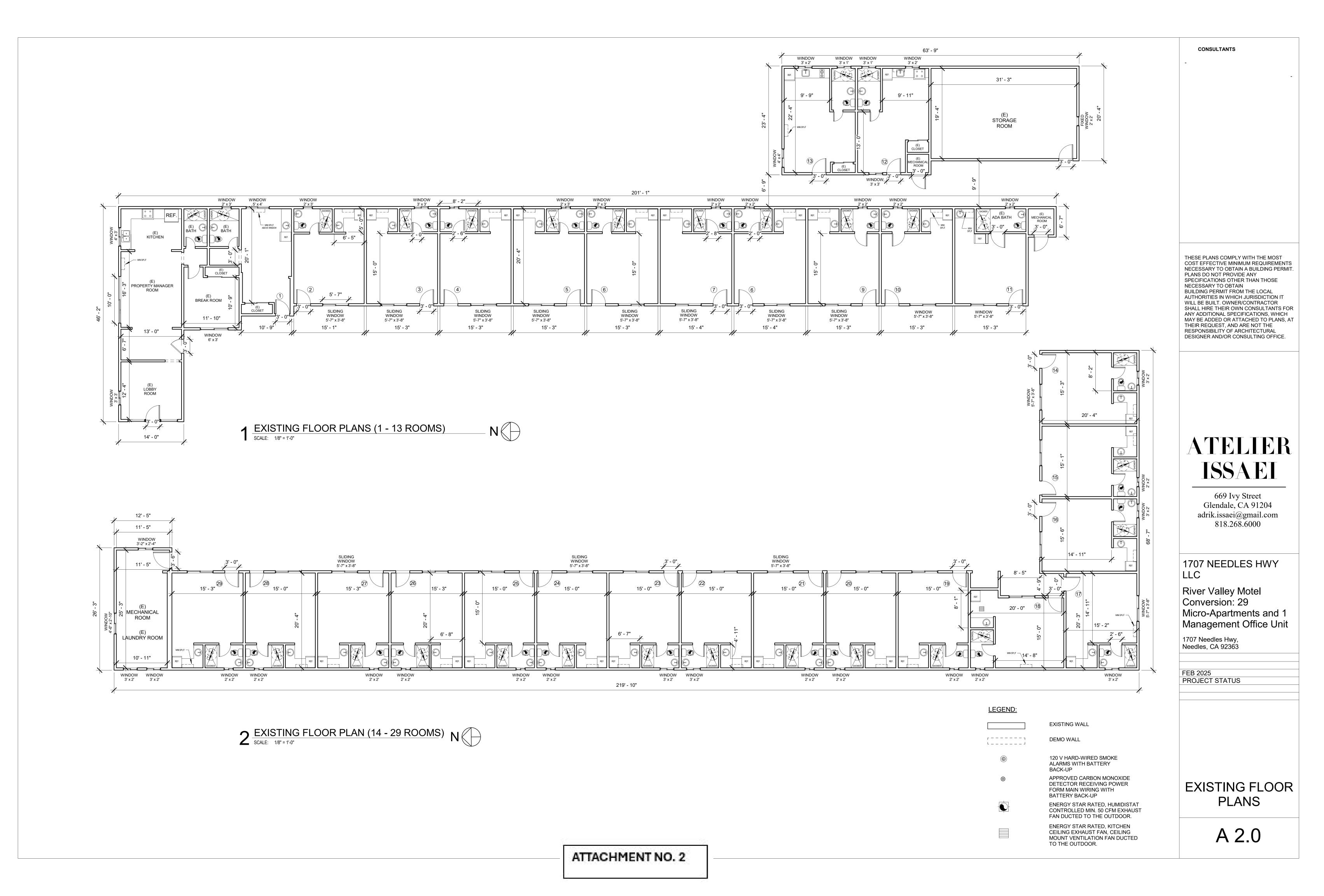
GENERAL NOTES

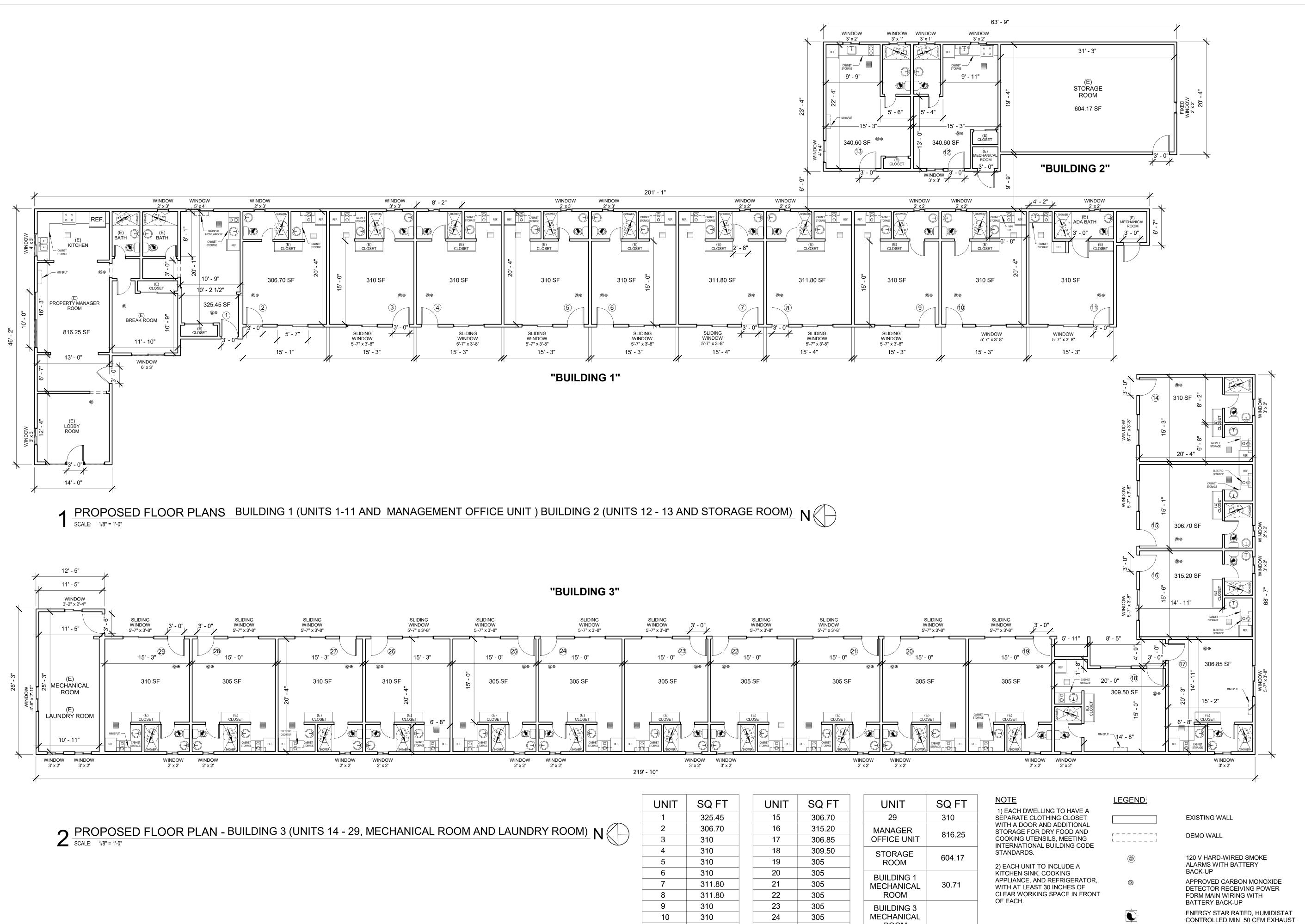
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ATTACHMENT NO. 2









ROOM

LAUNDRY

ROOM

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26

27

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305

310

310

305

310

310

340.60

340.60

11 12

13

14

CONSULTANTS

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FEB 2025 PROJECT STATUS

FAN DUCTED TO THE OUTDOOR.

ENERGY STAR RATED, KITCHEN

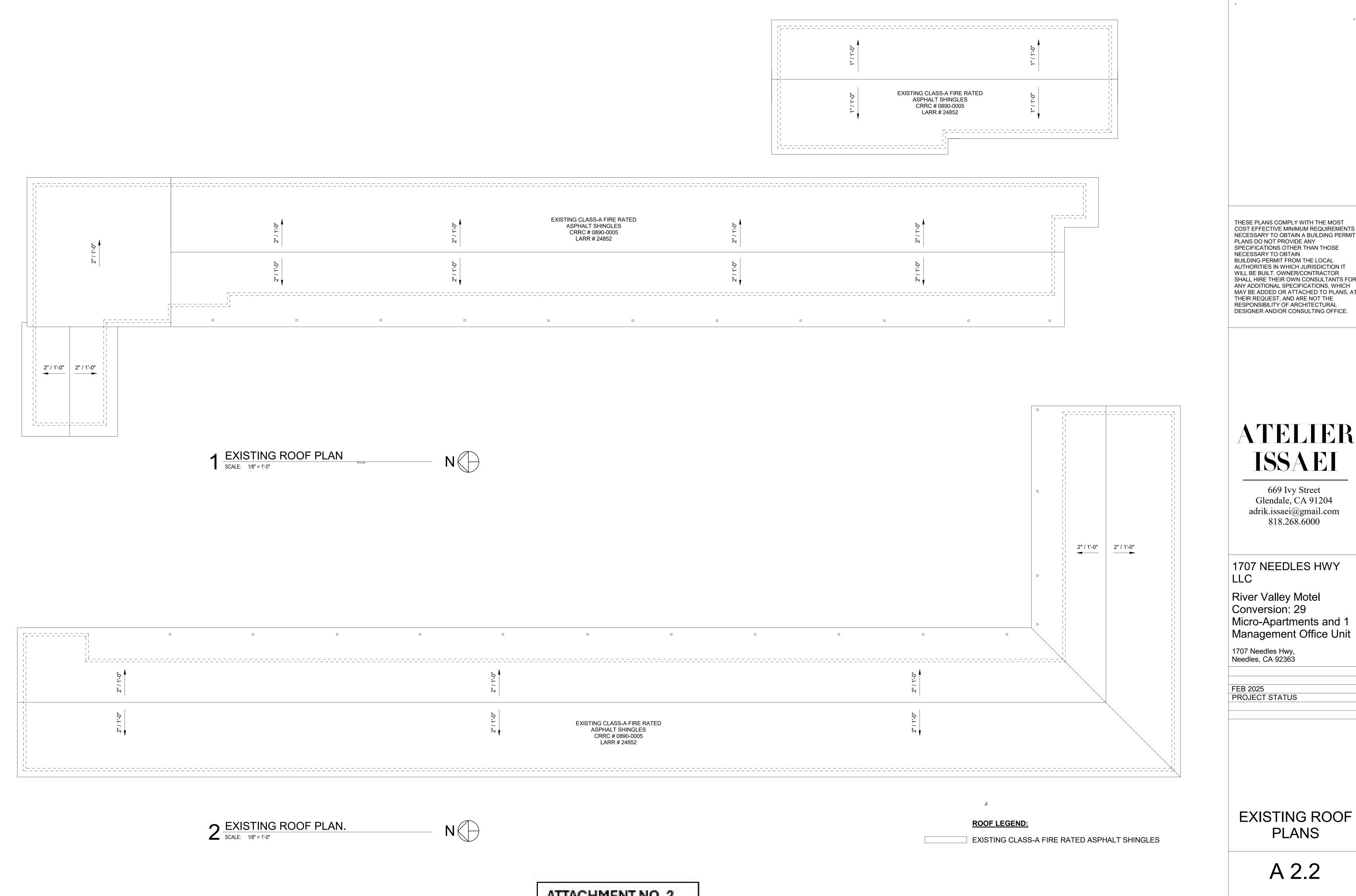
CEILING EXHAUST FAN, CEILING

TO THE OUTDOOR.

MOUNT VENTILATION FAN DUCTED

PROPOSED FLOOR PLANS

A 2.1



CONSULTANTS

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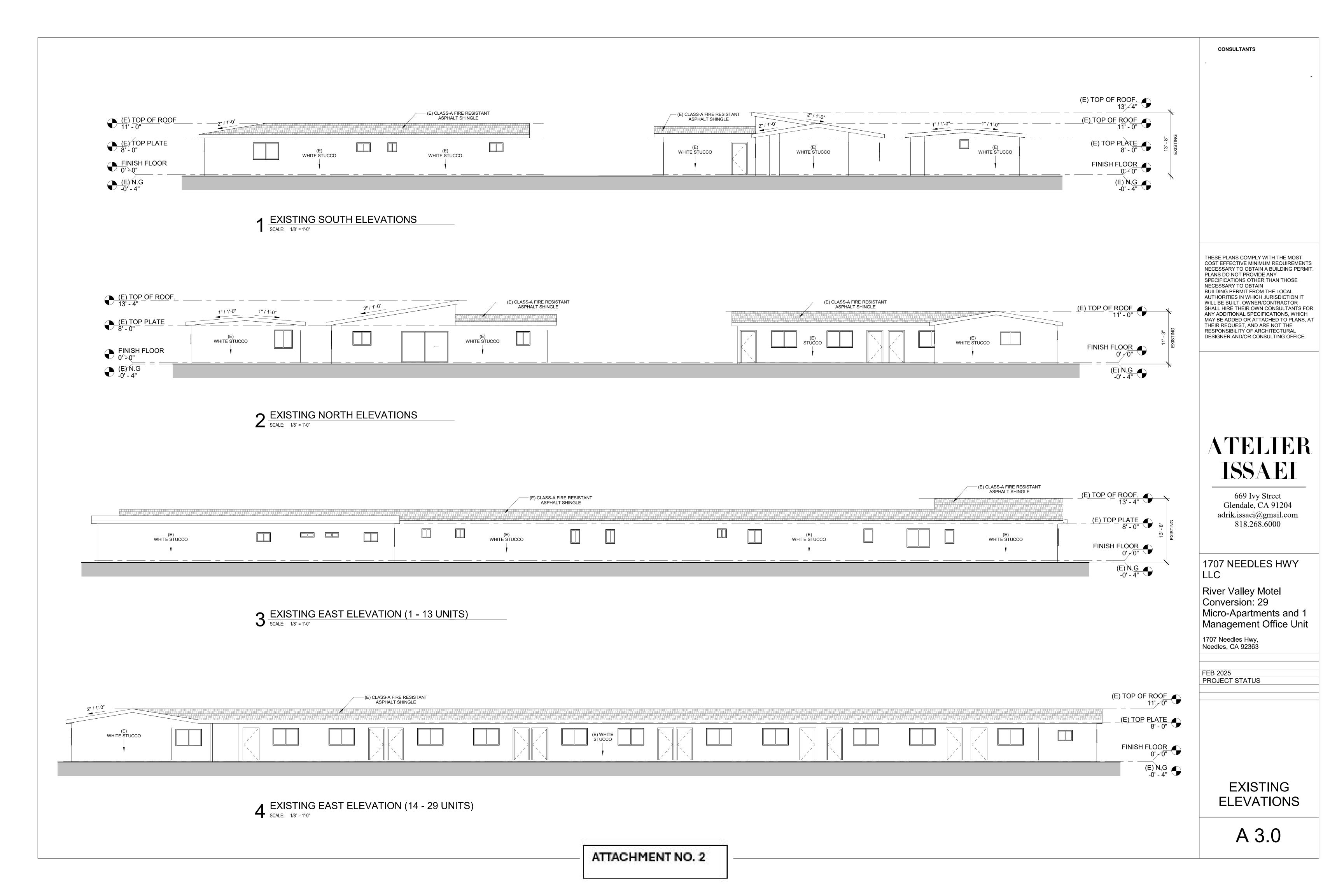
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1707 NEEDLES HWY

EXISTING ROOF

ATTACHMENT NO. 2



									CONSULTANTS
			A CLASS A FIDE DESISTANT					(E) TOD OF DOOF -	THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREME NECESSARY TO OBTAIN A BUILDING PE PLANS DO NOT PROVIDE ANY SPECIFICATIONS OTHER THAN THOSE NECESSARY TO OBTAIN BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION I WILL BE BUILT. OWNER/CONTRACTOR
	WHITE STUCCO		CLASS-A FIRE RESISTANT ASPHALT SHINGLE	WHITE STUCCO		WHITE STUCCO	2"/1'-0"	(E) TOP OF ROOF 11' - 0" (E) TOP PLATE 8' - 0"	BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION I WILL BE BUILT. OWNER/CONTRACTOR SHALL HIRE THEIR OWN CONSULTANTS ANY ADDITIONAL SPECIFICATIONS, WHICE MAY BE ADDED OR ATTACHED TO PLAN THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECTURAL DESIGNER AND/OR CONSULTING OFFICE
	(E) WHITE STUCCO			WHITE STUCCO		(E) WHITE STUCCO		FINISH FLOOR 0'-0"	RESPONSIBILITY OF ARCHITECTURAL DESIGNER AND/OR CONSULTING OFFICI
								(E) N.G -0' - 4"	
	1 EXISTING WE	ST ELEVATION (14 - 29 UNITS)							
	SCALE: 1/8" = 1'-0"								ATELIEI ISSAEI
									669 Ivy Street Glendale, CA 91204
									adrik.issaei@gmail.com 818.268.6000
(E) TOP C	OF ROOF.			(E) CLASS-A FIRE RESISTANT ———————————————————————————————————					1707 NEEDLES HWY LLC
EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTENCE EX	PLATE	(E) WHITE STUCCO			WHITE TUCCO				River Valley Motel Conversion: 29
FINISH FL 0' - 0" (E) N.G -0' - 4"	LOOR								Micro-Apartments and Management Office Un 1707 Needles Hwy, Needles, CA 92363
									FEB 2025 PROJECT STATUS
	2 EXISTING WE SCALE: 1/8" = 1'-0"	ST ELEVATION (1 - 13 UNITS)							

ATTACHMENT NO. 2

EXISTING ELEVATIONS

A 3.1

CONTROLS NOTES

- CONTROLS SCOPE OF WORK IS DESIGN-BUILD AND HVAC OR GENERAL CONTRACTOR SHALL ENGAGE A QUALIFIED CONTROLS SUBCONTRACTOR TO PROVIDE A COMPLETE AND FUNCTIONAL DESIGN-BUILD CONTROLS SYSTEM.
- 2. PROPOSED CONTROLS SYSTEM SHALL BE PREPARED BASED ON BUILDING OWNER OR OPERATORS STANDARDS.
- 3. THE INFORMATION SHOWN ON THIS SET OF PLANS IS TO CONVEY CODE REQUIREMENTS AND MINIMUM CONTROLS SPECIFICATIONS INCLUDING LOW VOLTAGE WORK NECESSARY FOR FIRE ALARM REQUIREMENTS RELATED TO SMOKE DETECTORS. THE DESIGN-BUILD CONTROLS CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF CONTROLS SYSTEM TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- 4. PROVIDE ONE TEMPERATURE CONTROLLER PER EACH AC SYSTEM. FOR EACH T-STAT WITH A SENSOR, COORDINATE EXACT LOCATION OF T-STAT WITH OWNER.

| FUTURE ACCESS NOTES

CONTRACTOR SHALL PROVIDE THE FOLLOWING:

- . MEANS FOR ACCESS ALL SERVICE AREAS OF ALL HVAC EQUIPMENT/DEVICES. THIS INCLUDES BUT NOT LIMITED TO EACH FANCOIL OR AIR HANDLER, WATER SOURCE HEAT PUMPS, FANS, MANUAL OR MOTORIZED DAMPERS, FIRE OR COMBINATION/SMOKE FIRE DAMPERS, SMOKE DETECTORS, SENSORS AND SIMILAR COMPONENTS REQUIRING FUTURE ACCESS AND SERVICE.
- ACCESS MIGHT BE THROUGH T-BAR PANELS, CEILING OR WALL ACCESS PANELS, DUCT ACCESS DOORS.
- 3. WHERE SAFE ACCESS THROUGH LADDERS IS NOT POSSIBLE, CONTRACTOR SHALL PROVIDE SERVICE PLATFORMS IN FRONT OF SERVICE/ACCESS AREAS.
- EACH DUCTED SPLIT SYSTEM FAN COILS CONCEALED ABOVE A
 CEILING SHALL HAVE A DRAIN PAN TO ALLOW THE
 INSTALLATION OF THE SECONDARY CONDENSATE DRAIN LINE.
 FD3
- PROVIDE SHOP DRAWINGS OF THE ACCESS DOORS AND FLOOR PLAN LAYOUT TO ARCHITECT FO RAPPROVAL.

SUBMITTED BIDS SHALL INCLUDE ALL SUCH MEANS OF ACCESS FOR EVERY SINGLE
PIECE OF EQUIPMENT OR DEVICE.

EXISTING BUILDING NOTES

CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BID TO SEE THE EXISTING CONDITIONS & TO VERIFY THE FEASIBILITY OF WHAT SHOWN ON PLANS AND EXTENT OF DEMOLITION WORK REQUIRED. SUBMITTED BID SHALL INCLUDE ALL MATERIAL AND LABOR NECESSARY FOR A COMPLETE INSTALLATION AND START UP INCLUDING ONE YEAR LABOR AND MATERIAL WARRANTY. VERIFY EXACT LOCATION, SIZE AND ROUTING OF EXISTING EQUIPMENT AND OTHER COMPONENTS SHOWN ON THIS SET OF DRAWINGS BEFORE COMMENCEMENT OF ANY WORK & REPORT ANY DISCREPANCY TO ARCHITECT OR ENGINEER FOR DIRECTION.

UPON AWARD OF CONTRACT, EXAMINE AND REPORT ANY NEEDS FOR REPAIRS RELATED TO EXISTING HVAC EQUIPMENT SHOWN ON THIS SET OF PLANS TO BE REUSED TO AVOID IMPACT ON PROJECT SCHEDULE

CAL GREEN & OTHER TEST NOTES

MECHANICAL & PLUMBING SYSTEM DESCRIPTION:
MECHANICAL SYSTEMS
SYSTEM DESCRIPTION:

HEATING, VENTILATING AND AIR CONDITIONING SYSTEM DESIGN CRITERIA:

- 1. GENERAL: THE DESIGN OF THE HVAC SYSTEM WILL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE CALIFORNIA GREEN CODE, AND 2022 CALIFORNIA MECHANICAL CODE, COUNTY OF LOS ANGELES FIRE CODE, AND THE CALIFORNIA TITLE 24 ENERGY CONSERVATION CODE FOR NONRESIDENTIAL BUILDINGS.
- 2. DESIGN CONDITIONS:
 - a. SUMMER:
 OUTSIDE DRY BULB (0.5%) AND COINCIDENT WET BULB:
 90°F/70°F
 - INSIDE DRY BULB: 75°F
 INSIDE RELATIVE HUMIDITY: 40%-60%
 b. WINTER: OUTSIDE DRY BULB (0.2%): 38°F
 - INSIDE DRY BULB: 70°F
 c. MINIMUM VENTILATION: PER THE REQUIREMENTS OF
 - 2022 CA ENERGY CODE

 d. MINIMUM AIR SUPPLY: MINIMUM AIR SUPPLY RATE IN CONDITIONED AREA UNDER FULL LOAD CONDITIONS.
- 3. INTERIOR LOADS:
 - a. LIGHTS: PER CALIFORNIA ENERGY COMMISSION DEFAULT LOADS OR ACTUAL PROVIDED.
 - b. MISCELLANEOUS EQUIPMENT: PER ENERGY CODE DEFAULT POWER DENSITY, OR PER ACTUAL DATA PROVIDED
 - C. PEOPLE: PER CALIFORNIA BUILDING CODE
- PART 2: MATERIALS AND EQUIPMENT MECHANICAL AIR SYSTEM:
- A NEW AIR CONDITIONING UNIT LOCATED WITHIN THE FOOTPRINT OF THE BUILDING.
 - a. UNITS SHALL BE SPLIT PACKAGED UNIT WITH GAS
 - HEATING AND MERV-13 FILTERS
 - c. SEISMIC ROOF CURB.
 - d. UNIT SHALL BE WEATHER PROOF CONSTRUCTION.g. UNIT WILL BE FACTORY FABRICATED AND EQUAL TO
- SPECIFIED UNITS.
 AIR DISTRIBUTION SYSTEM:
- 1. CONSTANT VOLUME SUPPLY AND RETURN DUCTWORK FROM THE
- 2. AIR CONDITIONING UNIT WILL HAVE ONE THERMOSTAT
- CONTROLLING THE ZONE'S TEMPERATURE.
 BUILDING HEATING SYSTEM:
- EACH AC UNIT WILL BE EQUIPPED WITH HEATING CYCLE.

 THE SAME CONSTANT VOLUME DUCTWORK WILL BE USED.
- 2. THE SAME CONSTANT VOLUME DUCTWORK WILL BE USED TO DELIVER THE HEATING CAPACITY.
- AUTOMATIC CONTROLS:

 1. AUTOMATIC CONTROLS WILL BE THROUGH INDIVIDUAL 7-DAY PROGRAMMABLE THERMOSTATS FOR EACH FCU.
- TOILET VENTILATION/GENERAL EXHAUST SYSTEM:
 TOILET VENTILATION SYSTEM WILL BE SIZED TO PROVIDE THE
 EXHAUST RATES REQUIRED BY ASHRAE 62.1 STANDARD AS ADOPTED
 BY 2019 CMC IN THE TOILETS:
- 1. TOILET EXHAUST WILL BE DUCTED TO THE ROOF OR EXTERIOR WALLS
- 2. DOMESTIC HOT WATER HEATER:
- 3. (PLUMBING SUBCONTRACTOR SHALL PERFORM A SYSTEM STARTUP FOR DOMESTIC HOT WATER SYSTEM FOLLOWING THE START-UP PLAN DEVELOPPED BY THE GENERAL CONTRACTOR.
- 4. PLUMBING SUBCONTRACTOR SHALL PERFORM FUNCTIONAL TESTING FOR THE WATER HEATER. THE FUNCTIONAL TEST SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING:
- WATER TEMPERATURE
- T&P VALVE

ADDITIONAL CAL GREEN & TEST NOTES

AT THE MINIMUM, THE FOLLOWING TESTS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNTIL PASSING ALL TESTS, THE RESULTS SHOULD BE REPORTED TO INSPECTORS:

- 1- OUTDOOR AIR2- DUCT LEAKAGE TEST AND AIR DISTRIBUTION DUCT LEAKAGE.
- 3- TEST REQUIRED BY COMMISSIONING AGENT.
 4- HVAC SYSTEMS AND CONTROLS SHALL COMPLY WITH ONE OF
- THE FOLLOWING STANDARDS:
 TABB'S CONSTRUCTION SPECIFICATIONS INSTITUTE MASTER
 FORMAT (SECTIONS 23 05 93 AND 15990)
- OR
 NEBB'S STANDARDS FOR TESTING, ADJUSTMENT, AND BALANCING
- OF ENVIRONMENTAL SYSTEMS (7TH ADDITION)
 OR
 AABC 'S NATIONAL STANDARDS FOR TOTAL SYSTEMS BALANCE
 (6TH EDITION)
- OR

ASHRAE STANDARD 111-2022

SEISMIC RESTRAINT INSTALLATION.

1- PRESSURE TESTS FOR ALL PIPING PER 2022 CPC:
DOMESTIC WATER SYSTEM: PER SECTION 609.4 OF 2022 CPC.
SANITARY WASTE & VENT SYSTEM: PER SECTION 712.0 OF 2022 CPC.
GAS PIPING SYSTEM: PER SECTION 1214.3 ODF 2022 CPC.
2- START, FULL LOAD CONSUMPTION AND TEMPERATURE CONTROL TEST FOR THE WATER HEATERS, AND PUMPS.

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE REQUIREMENTS OF THESE CODES AND APPLICABLE LOCAL ORDINANCE WHERE CONTRACT DOCUMENTS EXCEED WITHOUT VOILATING CODE AND REGULATION REQUIREMENTS, CONTRACT DOCTUMENTS TAKE PRECEDENCE. WHERE CODE CONFLICT, THE MORE STRINGENT SHALL APPLY. IT SHALL BE THE CONTRACTOR'S AND HIS EMPLOYEE'S RESPONSIBILITY TO BE FAMILIAR WITH ALL CODES AND ORDINANCES, CITY OR STATE, AS REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. WHERE ANY CONFLICTS OCCUR BETWEEN FEDERAL, STATE AND LOCAL LAWS, CODES, ORDINANCES, AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO STRUCTURE, MECHANICAL, PLUMBING, ELECTRICAL, EQUIPMENT, AND ALL OTHER EXISTING SYSTEMS; AND MAKE NECESSARY PROVISIONS TO MAINTAIN THE INTEGRITY OF SAID SYSTEMS PRIOR TO THE COMMENCEMENT OF DEMOLITION, IF ANY. SEE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND EQUIPMENT DRAWINGS FOR ANY SYSTEMS OR PORTIONS THEREOF TO BE REMOVED, RELOCATED, REVISED OR ABANDONED. ALL POSSIBLE CARE SHALL BE EXERCISED BY THE CONTRACTOR TO INSURE THAT ANY SAID UTILITY WILL NOT BE THE CAUSE OF ENDANGERMENT TO THE LIFE OR HEALTH OF ANY PERSON.
- ALL DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS PRIOR TO ANY CONSTRUCTION, INCLUDING ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL. ANY APPARENT DISCREPANCY SHALL BE BROUGHT TO THE CONTRACTING OFFICER PRIOR TO START OF CONSTRUCTION. SO A CLARIFICATION MAY BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENT SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- 4. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR A COMPLETE LIST OF GENERAL CONDITIONS, SPECIAL CONDITIONS, MATERIALS, INSTALLATION METHODOLOGY AND NOTES.
- 5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, SERVICES, AND POINTS OF CONNECTION PRIOR TO START OF WORK.
- 6. DUCTWORK, PIPING AND CONDUIT, AS SHOWN ON DRAWINGS, IS SCHEMATIC AND SHALL BE FABRICATED AND INSTALLED BASED ON ACTUAL FIELD MEASUREMENT. COORDINATE WITH OTHER TRADES AS REQUIRED.
- 7. THE SUPPORT AND SEISMIC BRACING IF REQUIRED FOR ALL PIPES, DUCTS AND CONDUITS SHALL BE CONSTRUCTED AND INSTALLED IN STRICT ACCORDANCE WITH PRE-APPROVED ANCHORAGE SYSTEMS. A COPY OF THESE MANUFACTURER'S PRE-APPROVED GUIDELINES FOR SEISMIC RESTRAINT SHALL BE MADE AVAILABLE AT THE JOB SITE AT ALL TIMES FOR USE BY THE SITE INSPECTOR WITH INFORMATION ON THE SYSTEM WHICH WILL BE USED PRIOR TO INSTALLATION. THE PRE-APPROVED SYSTEMS ARE: THE MASON INDUSTRIES 'SEISMIC RESTRAINT GUIDELINES FOR MECHANICAL AND PLUMBING SYSTEMS'. THE SUPERSTRUIT 'SEISMIC RESTRAINT SYSTEM', UNISTRUT 'SEISMIC BRACING SYSTEM'. REFER TO DETAILS ON SHEET M2.2 AND M2.4 FOR SPECIFIC PRE-APPROVED SEISMIC BRACING SYSTEM FROM MASON
- 8. PROVIDE VOLUME DAMPERS IN ALL BRANCH DUCTS FOR SYSTEM BALANCING.
- 9. ALL SIZES INDICATED ON THE PLANS ARE THE MINIMUM ALLOWABLE AND ARE BASED ON THE PERFORMANCE REQUIRED. NONE OF THE DUCT OR PIPE VELOCITIES SHALL EXCEED THE VELOCITIES ESTABLISHED BY THIS CRITERIA.
- 10. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF DIFFUSERS, REGISTERS, GRILLES AND ACCESS PANELS.
- 11. ALL DUCT DIMENSIONS, AS SHOWN ON MECHANICAL DRAWINGS, ARE CLEAR INSIDE DIMENSIONS.
- 12. FIRE DAMPER ASSEMBLIES, INCLUDING SLEEVES AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF FIRE RATED WALLS AND SMOKE SEPARATIONS.
- 13. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE LATEST REQUIREMENTS OF THE CALIFORNIA TITLE 24.
- 14. ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION 111-113, 115, 120-129 OF THE ENERGY EFFICIENCY STANDARDS.
- 15. ALL HVAC SYSTEMS SHALL MEET THE LATEST CONTROL REQUIREMENTS OF SECTIONS 112 AND 122 ENERGY EFFICIENCY STANDARDS.
- 16. ALL EQUIPMENT AND APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION CMC 304.1.
- 17. MECHANICAL MATERIAL STANDARD SHALL BE LISTED AND LABELING TO COMPLY WITH TABLE 1701.1.1. CMC 307.1
- 18. SPECIFY THAT AN APPROVED INDEPENDENT ELECTRICAL DISCONNECT WILL BE PROVIDED FOR EACH PIECE OF EQUIPMENT WITHIN SIGHT OF THE EQUIPMENT A 120 VOLT RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET OF THE EQUIPMENT FOR SERVICE AND MAINTENANCE PURPOSES CMC 303.8.5.
- 19. FACTORY MADE AIR DUCTS SHALL COMPLY WITH REFERENCE STANDARD CHAPTER 17. SUPPORT OF DUCTS, INSTALLER SHALL PROVIDE THE MANUFACTURES FIELD FABRICATION AND INSTALLATION INSTRUCTIONS. CMC 602.3.
- 20. ALL MOVING SYSTEMS SUPPLYING AIR IN EXCESS OF 2000 CFM SHALL BE EQUIPPED WITH AN AUTOMATIC SHUTOFF ACTIVATED BY A SMOKE DETECTOR LOCATED IN THE MAIN SUPPLY AIR DUCT. A SYSTEM MAY INCLUDE MORE THAN ONE PIECE OF AC UNIT WHICH SERVES A COMMON SPACE WITH AGGREGATE SUPPLY AIR OF MORE THAN 2000 CFM. PLEASE SHOW SMOKE DETECTORS ON THE PLANS CMC 608.1.
- 21. AIR CONDITIONING REFRIGERANT CIRCUIT ACCESS PORTS LOCATED OUTDOORS SHALL BE PROTECTED FROM UNAUTHORIZED ACCESS CMC 1105.11.
- 22. ALL APPLIANCE AND PLUMBING VENTS AND THE DISCHARGE OUTLET OF EXHAUST FANS SHALL BE AT LEAST TEN FEET IN A HORIZONTAL DIRECTION, OR THREE FEET ABOVE THE OUTSIDE AIR INTAKES FOR HVAC UNITS.
- 23. OUTDOOR AIR INTAKE OPENINGS SHALL BE COVERED WITH A SCREEN HAVING NOT LESS THAN 1/4 INCH OPENINGS AND NOT MORE THAN 1/2 INCH OPENINGS.
- 24. HEATING, VENTILATING AND AIR CONDITIONING SYSTEMS SHALL BE BALANCED IN ACCORDANCE WITH AN APPROVED METHOD PER SECTION 314.1 OF THE CALIFORNIA

MECHANICAL CODE.

25. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM CAL GREEN 5.504.3.

MECHANICAL LEGEND

MECHANICAL LEGE			
SYMBOL	DESCRIPTION	ABBREV.	DESCRIPTION
├	SINGLE LINE DUCTWORK, NEW SINGLE LINE DUCTWORK, EXISTING DUCTWORK TO BE REMOVED	A/D AFF AMB AP	ACCESS DOOR ABOVE FINISHED FLOOR AMBIENT ACCESS PANEL
\\ \	DUCT TRANSITION	ARCH BHP BTU BTUH	ARCHITECTURAL BRAKE HORSEPOWER BRITISH THERMAL UNIT BTU PER HOUR
	VANED ELBOW (SEE DETAIL)	CD CFM CLG CONN CONT	CEILING DIFFUSER CUBIC FEET PER MINUTE CEILING CONNECTION CONTINUATION
	RADIUS ELBOW	dB DB DIAM DN DWG	DECIBEL DRY BULB DIAMETER DOWN DRAWING
	TEE-WYE FITTING	EA EAT	EXHAUST AIR ENTERING AIR TEMPERATURE
	SEE DUCT DETAILS FOR TYPE OF BRANCH CONNECTION	EDB EF	ENTERING DRY BULB TEMPERATURE EXHAUST FAN
/ /////	FLEXIBLE DUCT	ELEC ENT	ELECTRICAL ENTERING
	DUCT FLEXIBLE CONNECTION	ESP EXH	EXTERNAL STATIC PRESSURE EXHAUST
₹ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	ROUND VERTICAL DUCT DROP	(E) °F FLA	EXISTNG DEGREES FAHRENHEIT FULL LOAD AMPERES
	ROUND VERTICAL DUCT RISE	FLR FPM FT	FLOOR FEET PER MINUTE FEET
(T)	THERMOSTAT	FV GPM	FACE VELOCITY GALLONS PER MINUTE
→	NEW PIPE WITH DIRECTION OF FLOW EXISTING PIPING	HP HZ	HORSEPOWER HERTZ
	REMOVE EXISTING PIPING	INCH	INCH OR INCHES
→ → → · · · · · · · · · · · · · · · · ·	PIPE DROP	KW	KILOWATT
→	PIPE RISE	LAT LBS	LEAVING AIR TEMPERATURE POUNDS
├	GATE VALVE	LDB	LEAVING DRY BULB TEMPERATURE
EF 1	EQUIPMENT TAG, DESCRIPTION EF, MARK NUMBER 1	MAX MBH	MAXIMUM THOUSAND BTU PER HOUR
A 100 8X8	CEILING DIFFUSER/REGISTER TYPE "A", 100 CFM AND 8" x 8" NECK SIZE	MIN NO. OA	MINIMUM NUMBER OUTSIDE AIR
	DETAIL OR SECTION NUMBER	PD	PRESSURE DROP
M3.1	REFERENCE NUMBER OF SHEET ON WHERE DETAIL OR SECTION IS DRAWN.	POC RA	POINT OF CONNECTION RETURN AIR
ϕ	DIAMETER	SP SPEC	STATIC PRESSURE SPECIFICATION
ф	SQUARE FEET	SQ.FT.	SQUARE FOOT
	LOUVER IN DOOR, MIN. 1.0 SQUARE FOOT FREE AREA	TEMP	TEMPERATURE
1.0 Ф FA		TYP	TYPICAL
	POINT OF CONNECTION POINT OF DISCONNECTION	UON V	UNLESS OTHERWISE NOTED VOLTS
	- Ontrol Diodomicorion	W/	WITH

APPLICABLE CODES

ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH:

2022 CALIFORNIA BUILDING CODE - PART 2, TITLE 24 CCR

2022 NATIONAL ELECTRICAL CODE, NEC

2022 CALIFORNIA ELECTRICAL CODE - PART 3, TITLE 24, CCR

2022 CALIFORNIA FIRE CODE - PART 9, TITLE 24, CCR

2022 STATE REFERENCED STANDARDS CODE - PART 12, TITLE 24, CCR

TITLE 19, CCR: PUBLIC SAFETY, DIV. 1,

STATE FIRE MARSHAL REGULATIONS.

SCOPE OF WORK

NFPA 99, 2022 EDITION.

NEW EXHAUST FAN FOR THE KITCHEN STOVE.
REPLACING EXISTING PTAC UNIT WITH A WALL MOUNT UNIT

MECHANICAL DRAWING LIST

- M0.01 MECHANICAL NOTES AND LEGENDS
- M0.02 MECHANICAL DETAILS
- M1.00 MECHANICAL FLOOR PLAN
- M2.00 MECHANICAL FLOOR PLAN
- M3.00 MECHANICAL TITLE-24 COMPLIANCE FORMS

MECHANICAL TITLE-24 COMPLIANCE FORMS

M3.20 MECHANICAL TITLE-24 COMPLIANCE FORMS

CONSULTANTS:

ARCHITECT:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT 1707 NEEDLES HWY NEEDLES CA 92363

SUBMISSION RECORD:

1. 11/20/24 PLAN CHECK SUBMITTAL

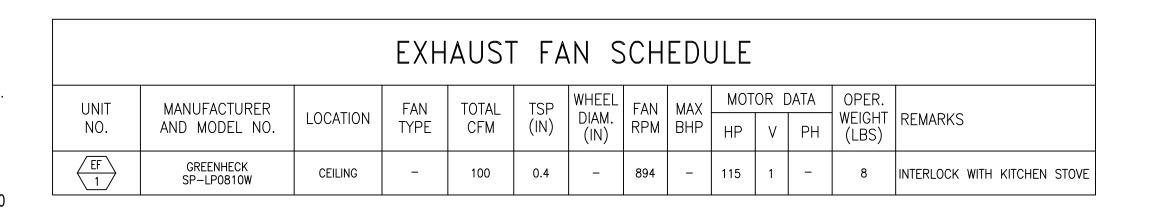
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DRAWING TITLE

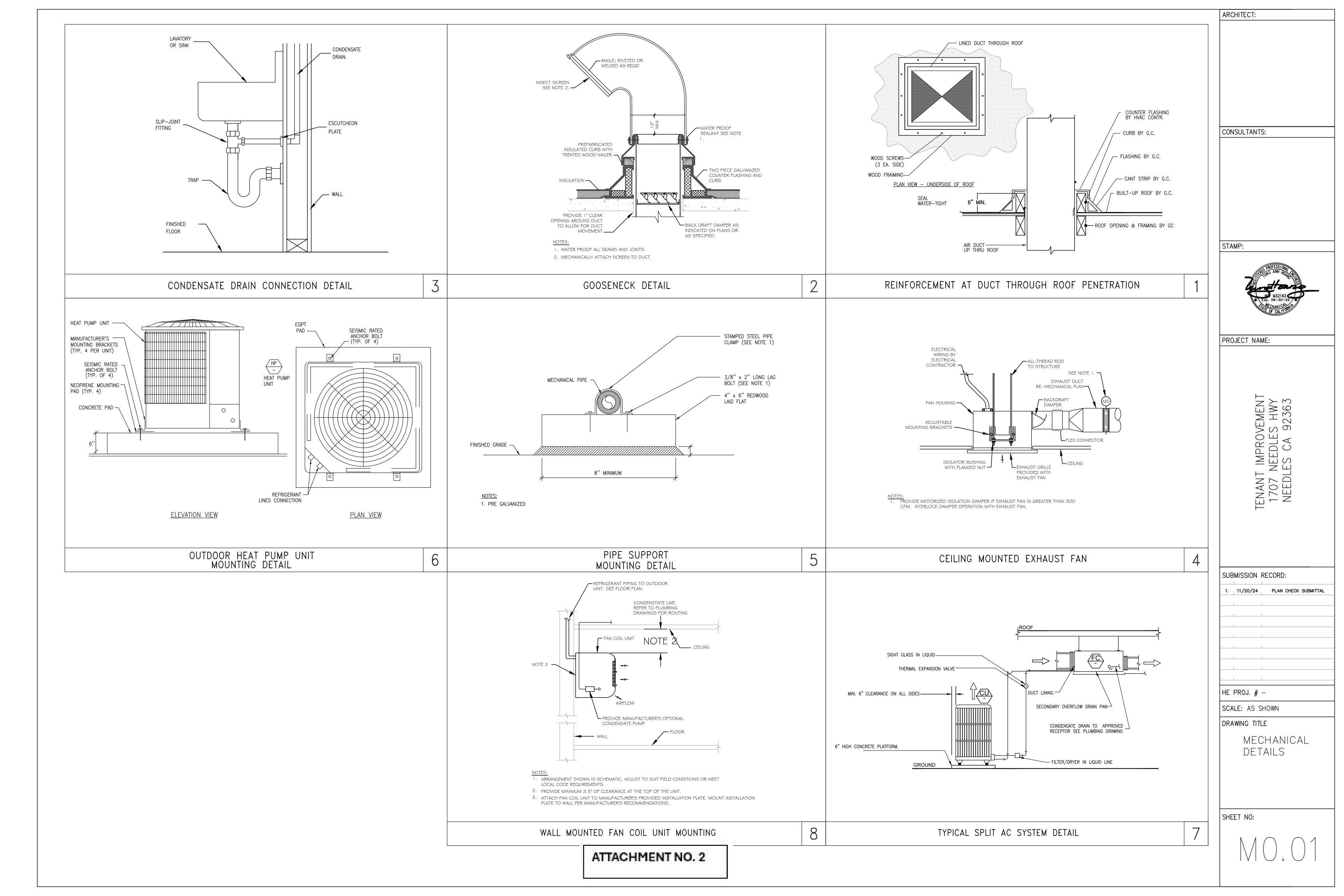
MECHANICAL CALCULATION AND SCHEDULE

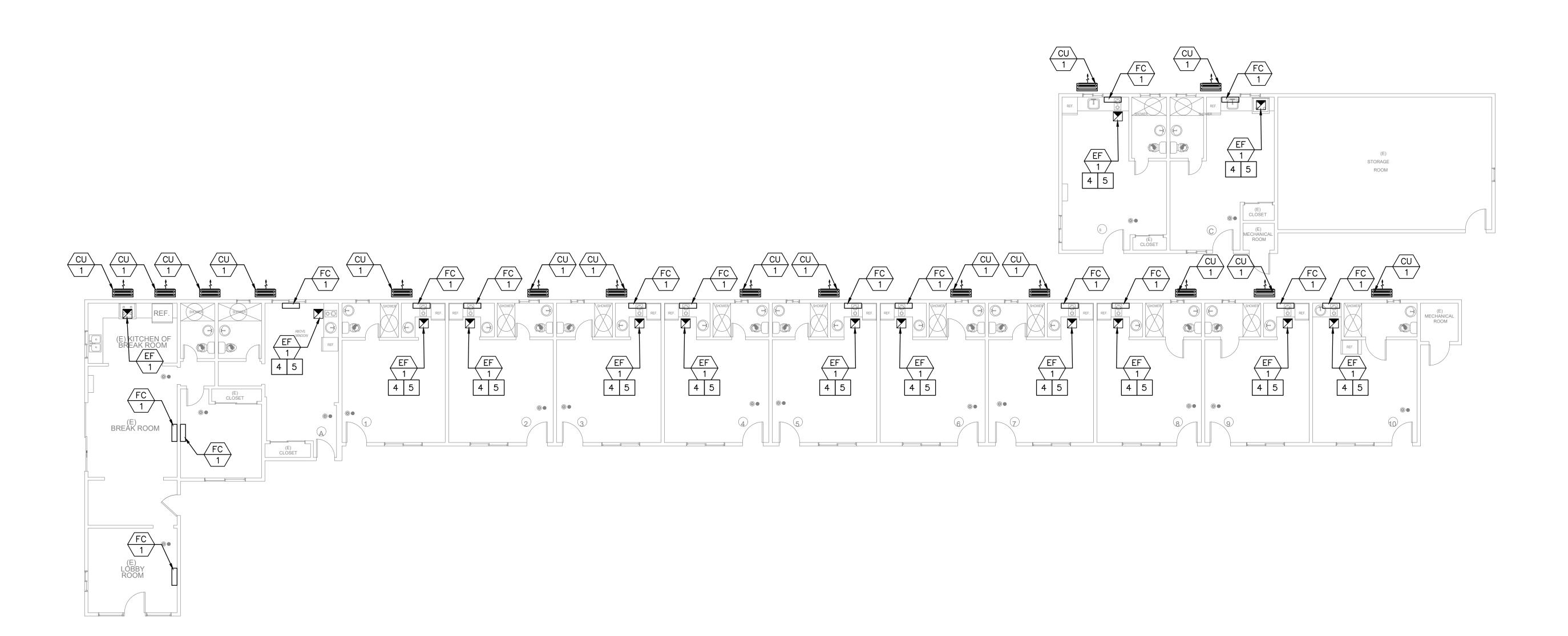
SHEET NO:



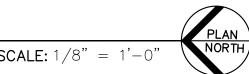
					С	UT	DO(DR	UN	IT			
UNIT NO.	MANUFACTURER AND MODEL NO.	EER	HSPF	SEER-2	V	E PH	LECTRICA HZ	AL MCA	MOCP	WEIGHT (LBS)	CAPACITY COOLING	(Btu/H) HEATING	REMARKS
CU 1	TCL TAC-12CHSA	12.1	20	17	115	1	60	16	25	85	11,000	11,500	INSTALL PER MANUFACTURE RECOMMENDATION

				IN	DOOR	UNI	T			
UNIT NO.	MANUFACTURER AND MODEL NO. INDOOR COIL	CFM	ESP	MOTOR HP	OPER. WT.COIL (LBS)	V	ELECTRIC PH	AL HZ	MCA MOCP	REMARKS
FC 1	TCL TCA-12CHSA	400	0.4	_	30	115	1	60	- 15	INSTALL PER MANUFACTURE RECOMMENDATION





MECHANICAL FLOOR PLAN



HVAC KEYNOTES

1 INSTALL PRIMARY 3/4" CONDENSATE DRAIN DOWN TO LAVATORY TAILPIECE.

OR CONTRACTOR SHALL INSTAL 3/4"
CONDENSATE DRAIN. TERMINATE AT VISIBLE
LOCATION, PROVIDE ESCUTCHEON PLATE. AS
ALTERNATIVE PROVIDE ELECTRONIC OVERFLOW
PROTECTION, DRAIN PAN LEVEL FLOAT
SENSOR/CONTROL.

PROVIDE MINIMUM MAINTENANCE CLEARANCE REQUIRED PER MANUFACTURE RECOMMENDATION.

4 8"ø UTR.

5 ENVIRONMENTAL EXHAUST OUTLETS SHALL TERMINATE NO LESS THAN 3 FEET FROM PROPERTY LINE, 3 FEET FROM OPENINGS INTO BUILDING, AND 10 FEET FROM MECHANICAL AIR INTAKE.

CONSULTANTS:

ARCHITECT:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT 1707 NEEDLES HWY NEEDLES CA 92363

SUBMISSION RECORD:

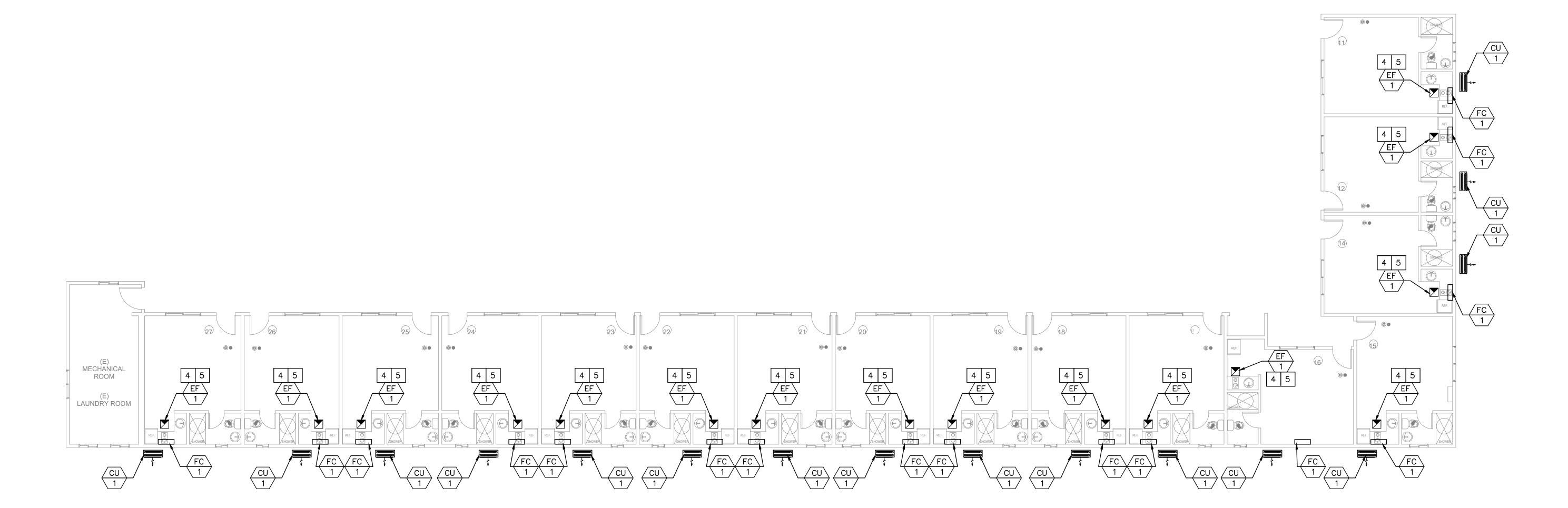
1. 11/20/24 PLAN CHECK SUBMITTAL

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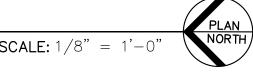
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MECHANICAL FLOOR PLAN

SHEET NO:



MECHANICAL FLOOR PLAN



HVAC KEYNOTES

1 INSTALL PRIMARY 3/4" CONDENSATE DRAIN DOWN TO LAVATORY TAILPIECE.

OR CONTRACTOR SHALL INSTAL 3/4"
CONDENSATE DRAIN. TERMINATE AT VISIBLE
LOCATION, PROVIDE ESCUTCHEON PLATE. AS
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CONSULTANTS:

ARCHITECT:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT 1707 NEEDLES HWY NEEDLES CA 92363

SUBMISSION RECORD:

1. 11/20/24 PLAN CHECK SUBMITTAL

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SCALE: AS SHOW

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MECHANICAL FLOOR PLAN

SHEET NO:

M2.00

CERTIFICATE OF CO	OMPLIANCE - NO	NRESIDENTIAL PERFORMANCE CO	OMPLIANCE METH	HOD				NRCC-PR
Nonresidential Pe								(Page 1 of
Project Name:	Troffilance compl	iance Method			1707 NEEDLES HWY	Date Pre	nared:	2024-11
					2707 1122220 1100 1) die me	pa. ca.	
. General Informati	ion	<u></u>						
1 Project Name		1707 NEEDLES HWY						
2 Run Title		Title 24 Analysis						
3 Project Locati	ion	1707 NEEDLES HWY		i	1		F	
4 City		NEEDLES		5	Standards Version		Compliance 20	22
6 Zip code		92363		7	Compliance Softwar		EnergyPro 9.1	
8 Climate Zone		15		9	Building Orientation	(deg)	0	
.0 Building Type((s)	Nonresidential		11			NEEDLES_STYP	20.epw
Project Scope		Existing alteration		13	Number of Dwelling	Units	0	
Scope (ft ²)	ned Floor Area in	8596		15	Total # of hotel/mote	el rooms	0	
Total Uncondit Area (ft²)	tioned Floor	0		17	Fuel Type		Natural gas	
Nonresidentia Floor Area	l Condi t ioned	8596		19	Total # of Stories (Ha Above Grade)	bitable	1	
Residential Co	onditioned Floor	0		1				
J. 1.00								
1	r Efficiency Standa	rds - 2022 Nonresidential Complia			on: 2022.0.000 sion: rev 20220601			t Generated: 2024-11-20 11:14 te ID: EnergyPro-20166-1124-0:
CA Building Energy		rds - 2022 Nonresidential Complia	Schema	a Vers				
CA Building Energy	OMPLIANCE - NO	NRESIDENTIAL PERFORMANCE CO	Schema	a Vers				te ID: EnergyPro-20166-112 4 -0
CA Building Energy CERTIFICATE OF CO	OMPLIANCE - NO	NRESIDENTIAL PERFORMANCE CO	Schema	HOD	sion: rev 20220601			e ID: EnergyPro-20166-1124-0:
CA Building Energy CERTIFICATE OF CO	OMPLIANCE - NO	NRESIDENTIAL PERFORMANCE CO	Schema DMPLIANCE METH	HOD y Use,	sion: rev 20220601			e ID: EnergyPro-20166-1124-0:
CA Building Energy CERTIFICATE OF CO	OMPLIANCE - NO	NRESIDENTIAL PERFORMANCE CO	Schema	HOD y Use,	sion: rev 20220601			e ID: EnergyPro-20166-1124-0:
CA Building Energy CERTIFICATE OF CO	OMPLIANCE - NO	NRESIDENTIAL PERFORMANCE CO iance Method FOR PERFORMANCE COMPONENTS	Schema DMPLIANCE METH	HOD Y Use,	sion: rev 20220601 , kBtu/ft² - yr)	oposed De	Complianc	e ID: EnergyPro-20166-1124-0:
CERTIFICATE OF CO	OMPLIANCE - NO rformance Compl MPLIANCE RESULTS	NRESIDENTIAL PERFORMANCE CO iance Method FOR PERFORMANCE COMPONENTS	OMPLIANCE METH (Annual TDV Energy	HOD Y Use, PLIES	sion: rev 20220601 , kBtu/ft² - yr)	oposed De:	Compliand	NRCC-PR
CERTIFICATE OF CO	OMPLIANCE - NO rformance Compl MPLIANCE RESULTS	NRESIDENTIAL PERFORMANCE CO iance Method FOR PERFORMANCE COMPONENTS	COMI	HOD Y Use, PLIES	sion: rev 20220601 , kBtu/ft² - yr)		Compliance sign (TDV)	NRCC-PR (Page 4 of Compliance Margin (TDV)
CERTIFICATE OF CO	OMPLIANCE - NO rformance Compl MPLIANCE RESULTS	NRESIDENTIAL PERFORMANCE CO iance Method FOR PERFORMANCE COMPONENTS	COMI Standard D 1.	HOD PLIES esign	sion: rev 20220601 , kBtu/ft² - yr)	3.07	Sign (TDV)	NRCC-PR (Page 4 of Compliance Margin (TDV)
CERTIFICATE OF CO	OMPLIANCE - NO rformance Compl MPLIANCE RESULTS	NRESIDENTIAL PERFORMANCE CO iance Method FOR PERFORMANCE COMPONENTS	COMI Standard D 1.0	HOD Vy Use, PLIES esign 86 0.65	sion: rev 20220601 , kBtu/ft² - yr)	3.07 150.8	Sign (TDV)	NRCC-PR (Page 4 of Compliance Margin (TDV) -1.21 39.79
CA Building Energy CERTIFICATE OF CO	OMPLIANCE - NO rformance Compl MPLIANCE RESULTS	NRESIDENTIAL PERFORMANCE CO iance Method FOR PERFORMANCE COMPONENTS	COMI Standard D 1. 196	HOD Versesign 86 0.65	sion: rev 20220601 , kBtu/ft² - yr)	3.07 150.8 66.5	Sign (TDV)	NRCC-PR (Page 4 of Compliance Margin (TDV) -1.21 39.79 132.11
CA Building Energy CERTIFICATE OF CO Nonresidential Per C2. TDV ENERGY COI Space Heating Space Cooling Indoor Fans Heat Rejection Pumps & Misc.	OMPLIANCE - NO	NRESIDENTIAL PERFORMANCE CO iance Method FOR PERFORMANCE COMPONENTS	COMPLIANCE METH (Annual TDV Energy COMI Standard D 1 190 198	HOD Verse PLIES esign 86 0.65	sion: rev 20220601	3.07 150.8 66.5	Sign (TDV)	NRCC-PR (Page 4 of Compliance Margin (TDV) -1.21 39.79 132.11
CERTIFICATE OF CO Nonresidential Per C2. TDV ENERGY COR Space Heating Space Cooling Indoor Fans Heat Rejection	OMPLIANCE - NO	NRESIDENTIAL PERFORMANCE CO iance Method FOR PERFORMANCE COMPONENTS	COMPLIANCE METH (Annual TDV Energy COMI Standard D 1 190 198 (6	HOD Vy Use, PLIES esign 86 0.65	sion: rev 20220601	3.07 150.8 66.5 0	sign (TDV)	NRCC-PR (Page 4 of -1.21 39.79 132.11 0

B. PROJECT SUMMARY									
Toble B shows which building copermit application.	components a	re included in the	performance calculation. I	f ind	icated as not inc	luded, the project must show compliance prescri	ptively if within th		
В	uilding Comp	onents Complyin	g via Performance			Building Components Complying Pres	scriptively		
Envelope (See Table G)	Nonres	Not Included	Solar Thermal Water		Performance	The following building components are ONLY eligible for p			
Envelope (see Table G)	MultiFam	Not Included	Heating (See Table 13)	\boxtimes	Not Included	and should be documented on the NRCC form listed if within the scope o permit application (i.e. compliance will not be shown on the NRCC-PRF-			
Nonres Nonres		Performance	Covered Process: Commercial Kitchens (see		Performance	Indoor Lighting (Unconditioned) 140.6 & 170.2(e)	NRCC-LTI-E is required		
Mechanical (See Table H)	MultiFam	Not Included	Table J)		Not Included	Outdoor Lighting 140.7 & 170.2(e)	NRCC-LTO-E is required		
Domestic Hot Water (See	stic Hot Water (See Nonres Not Included		Covered Process: Laboratory Exhaust (see		Performance	Sign Lighting 140.8 & 170.2(e)	NRCC-LTS-E is required		
rable i)	MultiFam	Not Included	Table J)		Not Included	Building Components Complying with Mandatory Meason			
Lighting (Indoor Conditioned, see Table K)	Nonres	Not Included	Photovoltaics (see ⊺able F)		Performance	Electrical power systems, commissioning, solar escalator requirements are mandatory and sho on the NRCC form listed if applicable (i.e. com shown on the NRCC-PRF-E.)	uld be document pliance will not b		
	MultiFam	Not Included		×	Not Included	Electrical Power Distribution 110.11	NRCC-ELC-E is required		
			Battery (see Table F)		Performance	Commissioning 120.8	NRCC-CXR-E is required		
			battery (see Table F)	×	Not Included	Solar and Battery 110.10	NRCC-SAB-E in required		

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E
Nonresidential Performance Compliance Method	(Page 3 of 19)

C1. COMPLIANCE SUMMARY

NRCC-PRF-E

	COMPLIES ³		
	Time Dependent	t Valuaton (TDV)	Source Energy Use
	Efficiency ¹ (kBtu/ft ² - yr)	Total ² (kBtu/ft ² - yr)	Total ² (kBtu/ft ² - yr)
Standard Design	460.62	460.62	41.11
Proposed Design	289.93	289.93	23.49
Compliance Margins	170.69	170.69	17.62

Efficiency measures include improvements like a better building envelope and more efficient equipment

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Nonresidential Performance Compliance Method

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Compliance Totals include efficiency, photovoltaics and batteries ³ Building complies when efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

STAMP:

ARCHITECT:

CONSULTANTS:

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Report Generated: 2024-11-20 11:14:36

NRCC-PRF-E

(Page 6 of 19)

Compliance ID: EnergyPro-20166-1124-0134

PROJECT NAME:

TENANT I 1707 NI NEEDLE

SUBMISSION RECORD: 1. 11/20/24 PLAN CHECK SUBMITTAL

HE PROJ. # -

SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL

SHEET NO:

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E
Nonresidential Performance Compliance Method	(Page 5 of 19)

Report Version: 2022.0.000

Schema Version: rev 20220601

C3. TDV ENERGY RESULTS FOR NON-REGULATED COMPONENTS ¹							
Non-Regulated Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹				
Receptacle	112.8	112.8	(alia)				
Process			: 127 1)				
Other Ltg	****	SWA	WW.				
Process Motors							
TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)	573.42	402.73	170.69 (29.8%)				
¹ Notes: This table is not used for Energy Code Compliance.							

Report Version: 2022.0.000

Schema Version: rev 20220601

	COMPLIES ²		
Energy Component	Standard Design (SOURCE)	Proposed Design (SOURCE)	Compliance Margin (SOURCE) ¹
Space Heating	0.59	0.5	0.09
Space Cooling	12.75	9.55	3.2
Indoor Fans	20.44	6.11	14.33
Heat Rejection	0	0	0
Pumps & M isc.	0	0	0
Domestic Hot Water	2.24	2.24	0
Indoor Lighting	5.09	5.09	0
Flexibility			
EFFICIENCY COMPLIANCE TOTAL	41.11	23.49	17.62 (42.9%)
Photovoltaics			
Batteries			
TOTAL COMPLIANCE	41.11	23.49	17.62 (42.9%)

Report Version: 2022.0.000

Schema Version: rev 20220601

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Nonresidential Performance Compliance Method

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Report Generated: 2024-11-20 11:14:36 Compliance ID: EnergyPro-20166-1124-0134

NRCC-PRF-E

(Page 8 of 19)

Report Generated: 2024-11-20 11:14:36

Compliance ID: EnergyPro-20166-1124-0134

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Nonresidential Performance Compliance Method

system has been modeled for both the proposed and standard cases.

C8. ENERGY USE INTENSITY (EUI)

D1. EXCEPTIONAL CONDITIONS

Equipment Name | Equipment Type

Single Zone Heat

Pump (SZHP) Air

Single Zone Heat

Pump (SZHP) Air

¹ Status: N - New, A - Altered, E - Existing

GROSS EUI¹

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

72.18

H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.)

Output (kBtu/h)

11.98

11.98

Standard Design (kBtu/ft²/yr) Proposed Design (kBtu/ft²/yr)

¹ Notes: Gross EUI is Energy Use Total (not including PV)/Total Building Area, Net EUI is Energy Use Total (including PV)/Total Building Area,

• The building does not include service water heating. Verify that service water heating is not required and is not included in the design.

• The user model includes space(s) without sufficient cooling equipment. Cooling equipment has been added to the model to meet cooling loads.

Supp Heat

Output

(kBtu/h)

Report Version: 2022.0.000 Schema Version: rev 20220601

51.13

• The user model includes space(s) that are designed to be served by mechanical cooling systems, but the cooling systems were not included in the simulation model. A cooling

Unit

N/A

N/A

02 03 04 05 06 07 08 09 10 11 12

Efficiency

NA

Cooling Output

(kBtu/h)

10.56

10.56

Efficiency

EER

SEER

EER SEER

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Margin (kBtu/ft² / yr)

21.05

NRCC-PRF-E

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Margin Percentage

29.16

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E
Nonresidential Performance Compliance Method	(Page 7 of 19)

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460.62

¹ Notes: This number in parenthesis following the Compliance Margin in column 4, represents the Percent Better than Standard.

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CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

EFFICIENCY COMPLIANCE TOTAL

Photovoltaics

TOTAL COMPLIANCE

Batteries

C5. SOURCE ENERGY RESULTS FOR NON-REGULATED COMPONENTS ¹								
Non-Regulated Energy Component	Standard Design (SOURCE)	Proposed Design (SOURCE)	Compliance Margin (SOURCE) ¹					
Receptacle	8.86	8.86	3215					
Process			244					
Other Ltg								
Process Motors			6 dd					
TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)	49.97	32.35	17.62 (35.3%)					
¹ Notes: This table is not used for Energy Code Compliance.		5.	25					

¹ Notes: This table is not used for Energy Code Compliance.		
C6. 'ABOVE CODE' QUALIFICATIONS		
☐ This project is pursuing CalGreen Tier 1	☐ This project is pursuing CalGreen Tier 2	

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Energy Component	Standard Design Site (MWh)	Proposed Design Site (MWh)	Margin (MWh)	Standard Design Site (MBtu)	Proposed Design Site (MBtu)	Margin (MBtu)
Space Heating		0.8		5.5	(400)	
Space Cooling	52	39.9	12.1	222		
Indoor Fans	61.1	21	40.1			
Heat Rejection						
Pumps & Misc.				242		
Domestic Hot Water				20.9	20.9	0
Indoor Lighting	21.7	21.7	0			
Flexibility						
EFFICIENCY TOTAL	134.8	83.4	51.4	26.4	20.9	5.5
Photovoltaics					A441	
Batteries						
ENERGY USE SUBTOTAL	134.8	83.4	51.4	26.4	20.9	5.5
Receptacle	39.3	39.3	0			
Process						
Other Ltg				***	(PERE)	
Process Motors						
ENERGY USE TOTAL	174.1	 	l-	7055	20.9	5.5

ATTACHMENT NO. 2 CA Building Energy Efficiency Standards - 2022 Non

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Type (if

present)

No

Economizer

No

Efficiency

12.1

12.1

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170.69 (37.1%)

170.69 (37.1%)

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289.93

289.93

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onresidential Performance Compliance Method (Page 1										ge 10 of 19	
11. DRY SYSTEM EC	QUIPMENT (FURNACES	, AIR HANDI	ING UNITS, HEA	AT PUMPS, VRF, I	CONOMIZERS	ETC.)					
01	02	03	04	05	06	07	08	09	10	11	12
				Hea	ting			Cooling			
Equipment Name	Equipment Type	Qty	Total Heating Output (kBtu/h)	Supp Heat Output (kBtu/h)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency	Economizer Type (if present)	Status ¹
HP-3	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-4	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-5	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-6	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-7	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-8	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-9	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-10	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N

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06 07 08 09

Cooling Output

(kBtu/h)

10.56

10.56

Cooling

Efficiency

Unit

SEER

EER

SEER

Efficiency

12.1

17

12.1

17

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.)

04 | 05 |

Heating Output (kBtu/h)

11.98

11.98

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Supp Heat

Output

(kBtu/h)

Efficiency

Unit

N/A

N/A

Nonresidential Performance Compliance Method

Single Zone Heat

Pump (SZHP) Air

Pump (SZHP) Air

¹ Status: N - New, A - Altered, E - Existing

Equipment Name | Equipment Type

01	02	03	04	05	06	07	08	09	10	11	12
				Hea	ting			Cooling			
Equipment Name	Equipment Type	Qty	Total Heating Output (kBtu/h)	Supp Heat Output (kBtu/h)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency	Economizer Type (if present)	Status ¹
HP-B	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-C	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-11	Single Zone Heat Pump (SZHP) Air System	1	1 1.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-12	Single Zone Heat Pump (SZHP) Air System	1	1 1.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-14	Single Zone Heat Pump (SZHP) Air System	1	1 1.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-15	Single Zone Heat Pump (SZHP) Air System	1	1 1.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-16	Single Zone Heat Pump (SZHP) Air System	1	1 1.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-17	Single Zone Heat Pump (SZHP) Air System	1	1 1.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Nonresidentiai P	Performance Complia	ance Wetho	oa 							(Pa	ge 12
H1. DRY SYSTEM E	QUIPMENT (FURNACE	S, AIR HAND	LING UNITS, HEA	T PUMPS, VRF,	ECONOMIZERS	ETC.)				-	
01	02	03	04	05	06	07	08	09	10	11	
				Hea	ting			Cooling			
Equipment Name	Equipment Type	Qty	Total Heating Output (kBtu/h)	Supp Heat Output (kBtu/h)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency	Economizer Type (if present)	e (if Sta
HP-18	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	
HP-19	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	
HP-20	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	
HP-21	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	
HP-22	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	
HP-23	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	
HP-24	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	
HP-25	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	

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BHP Constant Vol N/A

BHP Constant Vol N/A

BHP Constant Vol N/A

Supply OA CFM

46.05

46.05

46.05

46.05

46.05

46.05

46.05

46.05

46.05

46.05

46.05

46.05

46.05

46.05

Selections made by Documentation Author indicate which Certificates of Installation must be submitted for the features to be recognized for compliance. These documents must be retained

ections made by Documentation Author indicate which Certificates of Acceptance must be submitted for the features to be recognized for compliance. These documents must be provided

NRCA-MCH-02-A - Outdoor Air must be submitted for all newly installed HVAC units. Note: MCH-02-A can be performed in conjunction with

05 06 07

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

04

NRCI-ENV-01-E - Must be submitted for all buildings NRCI-MCH-01-E - Must be submitted for all buildings

NRCI-MCH-E - For all buildings with Mechanical Systems

to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP).

NRCA-ENV-02-F - NRFC label verification for fenestration

NRCA-MCH-03-A - Constant Volume Single Zone HVAC

Nonresidential Performance Compliance Method

H3. NONRESIDENTIAL / COMMON USE AREA FAN SYSTEMS SUMMARY

Design OA

CFM

STAMP:
PROFESSION AND MAJOR AND M

PROJECT NAME:

ARCHITECT:

CONSULTANTS:

IMPROVEMENT VEEDLES HWY ES CA 92363

TENANT I 1707 N NEEDLE

SUE	BMISSION R	ECORD:	
1.	11/20/24	PLAN CHECK S	SUBMITT
	1 1		

HE PROJ. # -

SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL

SHEET NO:

ı	NRCC-PRF-E	9	CERTIFICATE OF COM	IPLIANC	E - NONRESIE	DENTIAL PERF	ORMANCE CO	OMPLIANCE M	ETH
(Pa	ge 13 of 19)		Nonresidential Perfo	rmance	Compliance I	Method			
11	12		H3. NONRESIDENTIAL/	СОММО	ON USE AREA F	AN SYSTEMS SU	JMMARY		
-11	12	T.	01	02	03	04	05	06	
onomizer			Alama and the sa Tara	0.	Design OA		Supp	oly Fan	
Type (if present)	Status ¹		Name or Item Tag	Qty	CFM	CFM	Power	Power Units	
			HP-1	1	46.05	400	0.15	ВНР	Coi
			HP-2	1	46.05	400	0.15	ВНР	Со
No	N		HP-3	1	46.05	400	0.15	ВНР	Со
nomizer			HP-4	1	46.05	400	0.15	ВНР	Со
No			HP-5	1	46.05	400	0.15	ВНР	Со
omizer	N		HP-6	1	46.05	400	0.15	ВНР	Co
			HP-7	1	46.05	400	0.15	ВНР	Co
		0;	HP-8	1	46.05	400	0.15	ВНР	Co
			HP-9	1	46.05	400	0.15	ВНР	Co
			HP-10	1	46.05	400	0.15	ВНР	Со
			HP-B	1	46.05	400	0.15	ВНР	Со
			HP-C	1	46.05	400	0.15	ВНР	Co
			HP- 1 1	1	46.05	400	0.15	ВНР	Со

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			C	1 0 11 0	. ower ourts	Control	. all Type	C		. outer onnes	Control	
HP-1	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-2	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-3	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-4	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-5	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-6	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-7	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-8	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-9	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP- 1 0	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-B	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-C	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP- 1 1	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-12	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-14	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP- 1 5	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP- 1 6	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP- 17	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-18	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP- 1 9	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-20	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-21	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	
HP-22	1	46.05	400	0.15	ВНР	Constant Vol	N/A	N/A	N/A	N/A	N/A	

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Nonresidential Performance Compliance Method

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04 05 06 07 08 09 10 11 12 13

CFM Power Power Units Control

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				HP-23	1	46.05	400	0	0.15	
	N		3	HP-24	1	46.05	400	0	0.15	1
ļ	N		1	HP-25	1	46.05	400	0	0.15	\top
	N		34.5	HP-26	1	46.05	400	0	0.15	1
	N		3	HP-27	1	46.05	400	0	0.15	1
	N		5	¹ Status: N - New, A - Alter	ed E - 8	xistina				-
	N									
	N			H9. NONRESIDENTIAL / C	оммо	ON USE AREA &	HOTEL/I	MOTEL	.VENTILATIO	v
ĺ	N			01		02			03	
I,	N			Zone Name					Mech	nanic
ľ	N			Zone Name	Ve	entilation Funct	ion		# of People	
ļ	N			1-ROOM 1	1	Misc - All othe	rs		1.53	
Ì	N			2-ROOM 2	ı	∕lisc - All othe	rs		1.53	
ļ	N			3-ROOM 3	1	∕lisc - All othe	rs		1.53	
Ì	N			4-ROOM 4	1	∕lisc - All othe	rs		1.53	
	N			5-ROOM 5	1	∕lisc - All othe	rs		1.53	
ľ	N			6-ROOM 6	1	∕lisc - All othe	rs		1.53	
Ī	N		i i	7-ROOM 7	1	∕lisc - All othe	rs		1.53	
Ī	N			8-ROOM 8	1	∕lisc - All othe	rs		1.53	
ľ	N			9-ROOM 9	1	∕lisc - All othe	rs		1.53	
ľ	N			10-ROOM 10	1	∕lisc -All othe	rs		1.53	
	N			11-ROOM B	1	Misc - All othe	rs		1.53	
ĺ	N			12-ROOM C	1	Misc - All othe	rs		1.53	
				13-ROOM 11	1	∕lisc - All othe	rs		1.53	
		ŀ		14-ROOM 12	1	visc - All othe	rs		1.53	

Name or Item Tag

NRCC-PRF-E

NRCC-PRF-E

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1.53 1.53 CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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07 DCV or Occupant Sensor

Controls, or Both

N/A

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08 09 10 11 12 13

N/A

N/A

Conditioned Area (sf)

307

307

307

307

307

307

307

307

307

307

N/A

N/A

N/A

N/A

Exhaust CFM

BHP Constant Vol N/A N/A N/A N/A N/A N

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Nonresidential Performance Compliance Method	(Page 16 of 19)

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01	02	03	04	05	06	07
Zone Name		Mechanical	Ventilation		Conditioned Area (sf)	DCV or Occupant Sensor
Zone Name	Ventilation Function	# of People	Supply OA CFM	Exhaust CFM	Conditioned Area (SI)	Controls, or Both
15-ROOM 14	Misc - All others	1.53	46.05	0	307	N/A
16-ROOM 15	Misc - All others	1.53	46.05	0	307	N/A
17-ROOM 16	Misc - All others	1.53	46.05	0	307	N/A
18-ROOM 17	Misc - All others	1.53	46.05	0	307	N/A
19-ROOM 18	Misc - All others	1.53	46.05	0	307	N/A
20-ROOM 19	Misc - All others	1.53	46.05	0	307	N/A
21-ROOM 20	Misc - All others	1.53	46.05	0	307	N/A
22-ROOM 21	Misc - All others	1.53	46.05	0	307	N/A
23-ROOM 22	Misc - All others	1.53	46.05	0	307	N/A
24-ROOM 23	Misc - All others	1.53	46.05	0	307	N/A
25-ROOM 24	Misc - All others	1.53	46.05	0	307	N/A
26-ROOM 25	Misc - All others	1.53	46.05	0	307	N/A
27-ROOM 26	Misc - All others	1.53	46.05	0	307	N/A
28-ROOM 27	Misc - All others	1.53	46.05	0	307	N/A

01	02	03	04	05	06	07	08	09	10	11	12
			Rated Capa	city (kBtuh)		Airflow (cfm)		Fan			
System ID	System Type	Qty	Heating	Cooling	Design	Min.	Min. Ratio	Power	Power Units	Cycles	VSD
1-ROOM 1-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
2-ROOM 2-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
3-ROOM 3-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
4-ROOM 4-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
5-ROOM 5-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	

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01	02	03	04	05	06	07	08	09	10	11	12
			Rated Capa	city (kBtuh)		Airflow (cfm)	•		Fan		
System ID	System Type	Qty	Heating	Cooling	Design	Min.	Min. Ratio	Power	Power Units	Cycles	VSD
6-ROOM 6-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
7-ROOM 7-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
8-ROOM 8-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
9-ROOM 9-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
10-ROOM 10-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
11-ROOM B-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
12-ROOM C-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
13-ROOM 11-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
14-ROOM 12-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
15-ROOM 14-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
16-ROOM 15-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
17-ROOM 16-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
18-ROOM 17-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
19-ROOM 18-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
20-ROOM 19-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
21-ROOM 20-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
22-ROOM 21-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
23-ROOM 22-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
24-ROOM 23-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
25-ROOM 24-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
26-ROOM 25-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
27-ROOM 26-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	
28-ROOM 27-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	

ATTACHMENT NO. 2

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Schema Version: rev 20220601

N. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION Selections made by Documentation Author indicate which Certificates of Verification must be submitted for the features to be recognized for compliance. These documents must be retained

Nonresidential Performance Compliance Method

Building Component Envelope

Mechanical

Building Component

Mechanical

L. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

M. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

and provided to the building inspector during construction and can be found online

There are no Certificates of Verification applicable to this project

MCH-07-A Supply Fan VFD Acceptance (if applicable) since testing activities overlap

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		<i>j</i>	35.

ATTACHMENT NO. 2

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E
Nonresidential Performance Compliance Method	(Page 19 of 19)

Documentation Author's Declaration Statement		
1 Leartify that this Cartificate of Compliance docume		

1. I certify that this Certificate of Compliance documentation is accurate and complete. Documentation Author Name: Documentation Author Signature: Signature Date: CEA/HERS Certification Identification (if applicable): Address: City/State/Zip: ,

Responsible Person's Declaration statement

I certify the following under penalty of perjury, under the laws of the State of California:

- 1. The information provided on this Certificate of Compliance is true and correct. 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)
- 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this
- Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable
- compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application. 5. I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections, and I will take the necessary steps to accomplish this requirement.
- 6. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at

occupancy, and I will take the necessary steps to accomplish these requirements.		
Responsible Designer Name:	Responsible Designer Signature:	
Company:		
Address:	Date Signed:	
City/State/Zip: ,	License #:	
Phone:	Title:	Scope:

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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ARCHITECT:

CONSULTANTS:

STAMP:



PROJECT NAME:

TENANT II 1707 NE NEEDLES

1. 11/20/24 PLAN CHECK SUBMITTAL

HE PROJ. # -

SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL T - 24

SHEET NO: