

RIVER VALLEY MOTEL CONVERSION:
29-MICRO-APARTMENTS AND 1 MANAGER'S OFFICE UNIT
MULTI-FAMILY RESIDENTIAL COMPLEX

1707 NEEDLES HWY, NEEDLES, CA 92363

| LEGAL DESCRIPTION | |
|---------------------------|-------------------------------------|
| APN: | 0185048090000 |
| ADDRESS: | 1707 NEEDLES HWY, NEEDLES, CA 92363 |
| USE CODE: | MOTEL |
| TAX STATUS: | ASSESSED BY COUNTY |
| LAND TYPE: | COMMERCIAL |
| CONSTRUCTION TYPE: | V-B |
| ZONING: | C-2 |
| FIRE ZONE: | YES |
| FIRE SPRINKLER: | NO |
| NUMBER OF STORIES: | 1 |
| EXISTING BUILDING HEIGHT: | 13'-8" |

| OWNER / CONSULTANTS | |
|----------------------|---|
| PROJECT OWNER: | 1707 NEEDLES HWY LLC 1707 NEEDLES HWY, NEEDLES, CA 92363 (818) 381-2200 GHADIMIANA@GMAIL.COM |
| DESIGNER: | ADRIK ISSAEI (818) 268-6000 ADRIK.ISSAEI@GAMIL.COM |
| MECHANICAL ENGINEER: | ARMEN YARIAN (818) 370-7424 YARIANARMEN@GMAIL.COM |

| PROJECT STATISTICS | |
|-------------------------|---|
| LOT SIZE GROSS ACRE: | 0.987 |
| NUMBER OF UNITS: | 29 MICRO-APARTMENTS AND 1 MANAGEMENT OFFICE UNIT |
| NUMBER OF PARKING SPOT: | 28 STANDARD PARKING SPOTS + 2 ACCESSIBLE PARKING SPOTS = TOTAL 30 |

| SCOPE OF WORK |
|--|
| A CONDITIONAL USE PERMIT (CUP) TO CONVERT THE RIVER VALLEY MOTEL INTO A MULTI-FAMILY RESIDENTIAL COMPLEX INCLUDING 29- MICRO-APARTMENTS AND 1 MANAGER'S OFFICE UNIT. THE SCOPE OF WORK INCLUDES EXTERIOR IMPROVEMENTS, INSTALLING ELECTRIC COOKTOPS AND KITCHEN CEILING VENTILATION IN EACH UNIT, AND REPLACING EXISTING AIR CONDITIONING UNITS WITH NEW SPLIT-UNIT SYSTEMS. |

| CODE REFERENCES | |
|-----------------|--|
| a. | 2022 CALIFORNIA RESIDENTIAL CODE |
| b. | 2022 CALIFORNIA ELECTRICAL CODE |
| c. | 2022 CALIFORNIA PLUMBING CODE |
| d. | 2022 CALIFORNIA MECHANICAL CODE |
| e. | 2022 CALIFORNIA GREEN BUILDING STANDARD CODE |
| 2. | 2023 TITLE 24 ENERGY STANDARDS |



San Bernardino County Assessor -
Recorder - County Clerk
Office of Chris Wilhite

Report generated: Thursday, November 14, 2024
Parcel Report

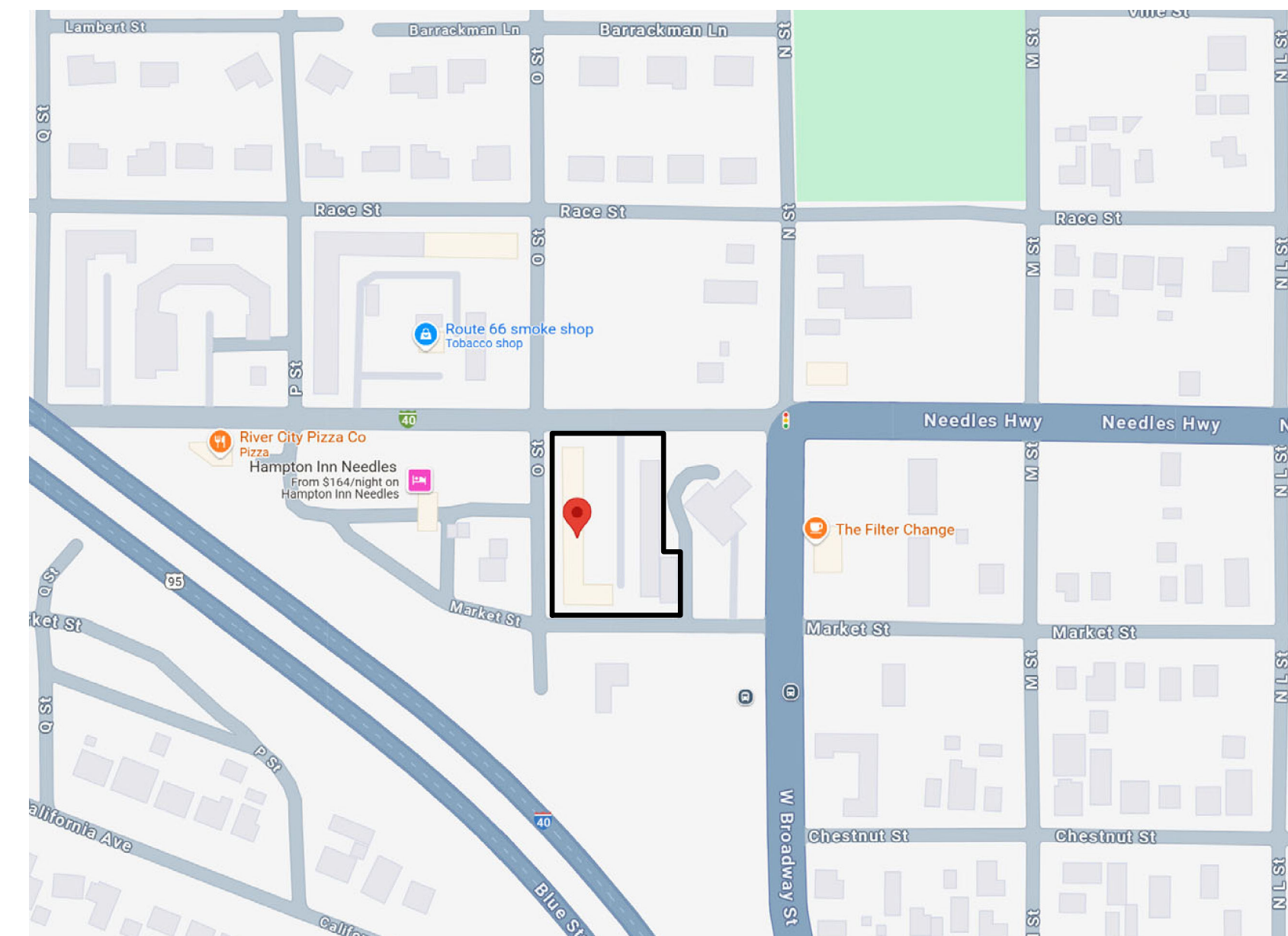
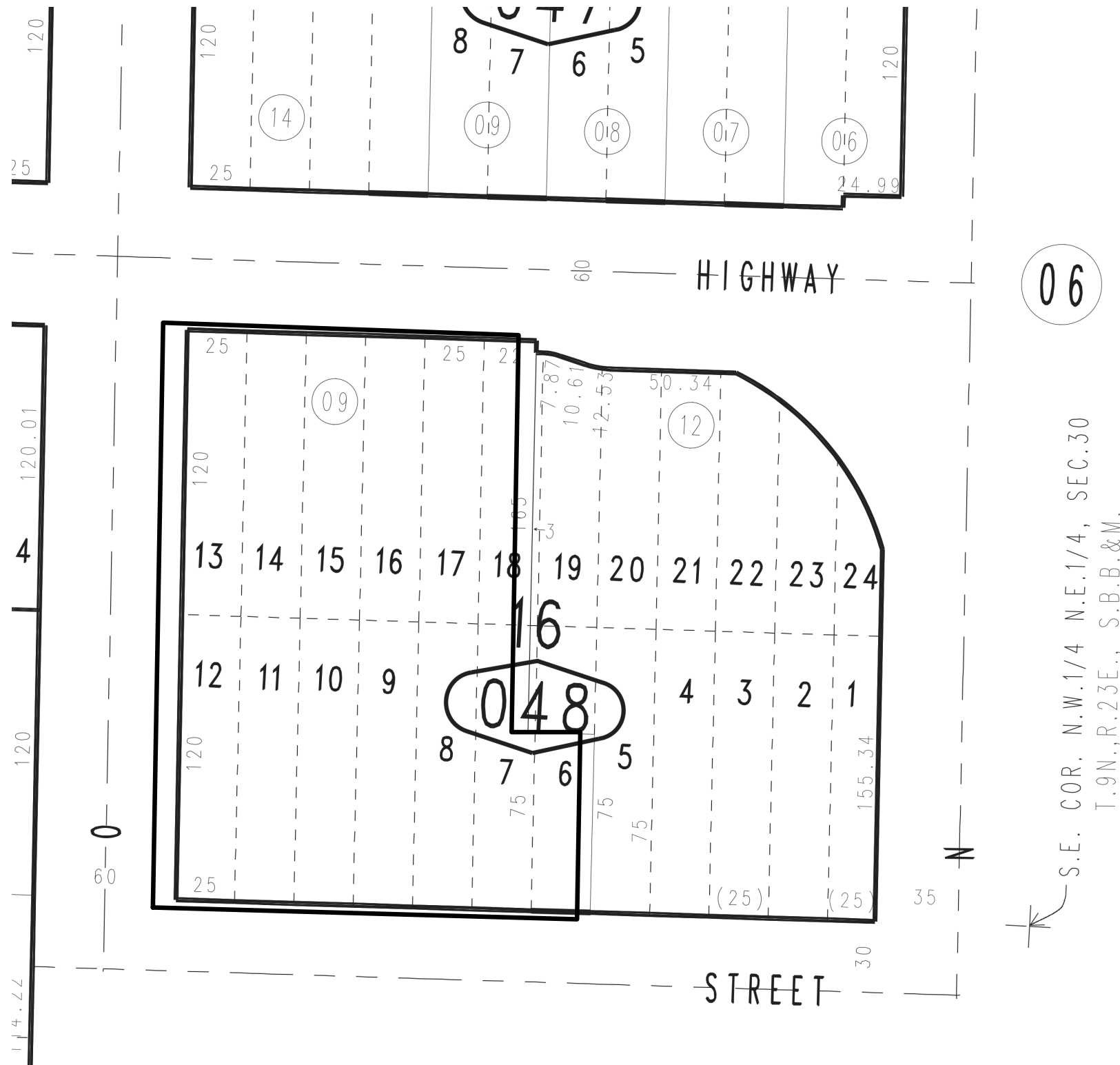


Parcel
Parcel: 0185048090000
Parcel Status: A | ACTIVE
Parcel Type: 0 | REAL PROPERTY
Property ID:
Tax Status: 1 | ASSESSED BY COUNTY
Use Code: MOTEL
Land Access: PUB/PV PUBLIC PAVED
Size: 04 | 20,000 SQ. FEET TO 1,500 ACRES
Land Type: 03 | COMMERCIAL
District: JOSHUA TREE
Resp Group: D | REAL PROPERTY
RespnUnit: COM | COMMERCIAL ZONE OR USE

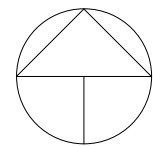
Owner
Owner 1: 1707 NEEDLES HWY LLC
Owner 2:
Joint Owner:
Effective Date: 03/14/2024

| Current Owners | | | | | | | |
|----------------------|-----------------|----------|------------------|------------------|---------------|---------------|--------------------------|
| Name | R/I | % Int | Type | Acquisition Date | Document Date | Inactive Date | Document Nbrs |
| 1707 NEEDLES HWY LLC | SO = SOLE OWNER | 100.0000 | B = BILLED OWNER | 02/28/2024 | 02/28/2024 | NONE | 20240046538; 20240046537 |

| SHEET INDEX | |
|--------------|-------------------------------------|
| Sheet Number | Sheet Name |
| A 0.0 | COVER SHEET |
| A 0.1 | GENERAL NOTES |
| A 1.0 | SITE PLAN |
| A 1.1 | LANDSCAPE PLAN |
| A 2.0 | EXISTING FLOOR PLANS |
| A 2.1 | PROPOSED FLOOR PLANS |
| A 2.2 | EXISTING ROOF PLANS |
| A 3.0 | EXISTING ELEVATIONS |
| A 3.1 | EXISTING ELEVATIONS |
| M 0.0 | MECHANICAL CALCULATION AND SCHEDULE |
| M 0.01 | MECHANICAL DETAILS |
| M 1.00 | MECHANICAL FLOOR PLAN |
| M 2.00 | MECHANICAL FLOOR PLAN |
| M 3.00 | MECHANICAL T-24 |
| M 3.10 | MECHANICAL T-24 |
| M 3.20 | MECHANICAL T-24 |



VICINITY MAP



CONSULTANTS

THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREMENTS NECESSARY TO OBTAIN A BUILDING PERMIT. PLANS DO NOT PROVIDE ANY SPECIFICATIONS OTHER THAN THOSE NECESSARY TO OBTAIN BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION IT WILL BE BUILT. OWNER/CONTRACTOR SHALL HIRE THEIR OWN CONSULTANTS FOR ANY ADDITIONAL SPECIFICATIONS, WHICH MAY BE ADDED OR ATTACHED TO PLANS, AT THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECTURAL DESIGNER AND/OR CONSULTING OFFICE.

**ATELIER
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LLC

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FEB 2025
PROJECT STATUS

COVER SHEET

A 0.0

FIRE CONDITIONS AND STANDARDS

F01 JURISDICTION
THE ABOVE REFERENCED PROJECT IS UNDER THE JURISDICTION OF THE SAN BERNARDINO COUNTY FIRE DEPARTMENT HEREIN "FIRE DEPARTMENT". PRIOR TO ANY CONSTRUCTION OCCURRING ON ANY PARCEL, THE APPLICANT SHALL CONTACT THE FIRE DEPARTMENT FOR VERIFICATION OF CURRENT FIRE PROTECTION REQUIREMENTS. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CURRENT CALIFORNIA FIRE CODE REQUIREMENTS AND ALL APPLICABLE STATUTES, CODES, ORDINANCES, AND STANDARDS OF THE FIRE DEPARTMENT.

F02 FIRE FEE
THE REQUIRED FIRE FEES SHALL BE PAID TO THE SAN BERNARDINO COUNTY FIRE DEPARTMENT/COMMUNITY SAFETY DIVISION.

F03 FIRE CONDITION LETTER EXPIRATION
FIRE CONDITION LETTERS SHALL EXPIRE ON THE DATE DETERMINED BY THE PLANNING DIVISION OR BUILDING AND SAFETY.

F06 INSPECTION BY FIRE DEPARTMENT
PERMISSION TO OCCUPY OR USE THE BUILDING (CERTIFICATION OF OCCUPANCY OR SHELL RELEASE) WILL NOT BE GRANTED UNTIL THE FIRE DEPARTMENT INSPECTS, APPROVES AND SIGNS OFF ON THE BUILDING AND SAFETY JOB CARD FOR "FIRE FINAL".

F09 BUILDING PLANS
BUILDING PLANS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. THE REQUIRED FEES SHALL BE PAID AT THE TIME OF PLAN SUBMITTAL.

F11 COMBUSTIBLE VEGETATION
COMBUSTIBLE VEGETATION SHALL BE REMOVED AS FOLLOWS: A. WHERE THE AVERAGE SLOPE OF THE SITE IS LESS THAN 15% - COMBUSTIBLE VEGETATION SHALL BE REMOVED A MINIMUM DISTANCE OF THIRTY (30) FEET FROM ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS LESS. B. WHERE THE AVERAGE SLOPE OF THE SITE IS 15% OR GREATER - COMBUSTIBLE VEGETATION SHALL BE REMOVED A MINIMUM ONE HUNDRED (100) FEET FROM ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS LESS. COUNTY ORDINANCE #3586

F16 ACCESS
THE DEVELOPMENT SHALL HAVE A MINIMUM OF TWO POINTS OF VEHICULAR ACCESS. THESE ARE FOR FIRE/EMERGENCY EQUIPMENT ACCESS AND FOR EVACUATION ROUTES. A. SINGLE STORY ROAD ACCESS WIDTH. ALL BUILDINGS SHALL HAVE ACCESS PROVIDED BY APPROVED ROADS, ALLEYS AND PRIVATE DRIVES WITH A MINIMUM TWENTY-SIX (26) FOOT UNOBSTRUCTED WIDTH AND VERTICALLY TO FOURTEEN (14) FEET SIX (6) INCHES IN HEIGHT. DUE TO THE EXISTING WIDTH OF THE ONSITE DRIVE AISLE YOU SHALL CONVERT THE DRIVE AISLE TO ONE WAY TRAFFIC ONLY BY ENTERING ON NEEDLES HWY AND EXITING ON MARKET ST. DRIVE AISLE SHALL HAVE DIRECTIONAL ARROWS PAINTED ON DRIVING SURFACE AND "DO NOT ENTER" PAINTED ON DRIVING SURFACE AT MARKET ST.

F19 SURFACE
FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. ROAD SURFACE SHALL MEET THE APPROVAL OF THE FIRE CHIEF PRIOR TO INSTALLATION. ALL ROADS SHALL BE DESIGNED TO 85% COMPACTION AND/OR PAVING AND HOLD THE WEIGHT OF FIRE APPARATUS AT A MINIMUM OF 80K POUNDS.

F24 FIRE LANES
THE APPLICANT SHALL SUBMIT A FIRE LANE PLAN WITH THE BUILDING CONSTRUCTION PLANS TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. FIRE LANE CURBS SHALL BE PAINTED RED. "NO PARKING, FIRE LANE" SIGNS SHALL BE INSTALLED ON PUBLIC/PRIVATE ROADS IN ACCORDANCE WITH THE APPROVED PLAN.

F25 STREET SIGN
THIS PROJECT IS REQUIRED TO HAVE AN APPROVED STREET SIGN (TEMPORARY OR PERMANENT). THE STREET SIGN SHALL BE INSTALLED ON THE NEAREST STREET CORNER TO THE PROJECT. INSTALLATION OF THE TEMPORARY SIGN SHALL BE PRIOR ANY COMBUSTIBLE MATERIAL BEING PLACED ON THE CONSTRUCTION SITE. PRIOR TO FINAL INSPECTION AND OCCUPANCY OF THE FIRST STRUCTURE, THE PERMANENT STREET SIGN SHALL BE INSTALLED.

F45 FIRE EXTINGUISHERS
HAND PORTABLE FIRE EXTINGUISHERS ARE REQUIRED. THE LOCATION, TYPE, AND CABINET DESIGN SHALL BE APPROVED BY THE FIRE DEPARTMENT.

F51 COMMERCIAL ADDRESSING
COMMERCIAL AND INDUSTRIAL DEVELOPMENTS OF 100,000 SQ. FT OR LESS SHALL HAVE THE STREET ADDRESS INSTALLED ON THE BUILDING WITH NUMBERS THAT ARE A MINIMUM EIGHT (8) INCHES IN HEIGHT AND WITH A ONE (1) INCH STROKE. THE STREET ADDRESS SHALL BE VISIBLE FROM THE STREET. DURING THE HOURS OF DARKNESS, THE NUMBERS SHALL BE ELECTRICALLY ILLUMINATED (INTERNAL OR EXTERNAL). WHERE THE BUILDING IS TWO HUNDRED (200) FEET OR MORE FROM THE ROADWAY, ADDITIONAL NON-ILLUMINATED ADDRESS IDENTIFICATION SHALL BE DISPLAYED ON A MONUMENT, SIGN OR OTHER APPROVED MEANS WITH NUMBERS THAT ARE A MINIMUM OF SIX (6) INCHES IN HEIGHT AND THREE-QUARTER (¾) INCH STROKE.

F60 SOLAR PLANS
SOLAR/PV PLANS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. THE REQUIRED FEES SHALL BE PAID AT THE TIME OF PLAN SUBMITTAL.

F70 ADDITIONAL REQUIREMENTS
IN ADDITION TO THE FIRE REQUIREMENTS STATED HEREIN, OTHER ONSITE AND OFF-SITE IMPROVEMENTS MAY BE REQUIRED WHICH CANNOT BE DETERMINED AT THIS TIME AND WOULD HAVE TO BE REVIEWED AFTER MORE COMPLETE IMPROVEMENT PLANS AND PROFILES HAVE BEEN SUBMITTED TO THIS OFFICE.

F71 PROPOSAL CHANGES
ANY CHANGES TO THIS PROPOSAL SHALL REQUIRE NEW FIRE DEPARTMENT CONDITION LETTER.

CONSULTANTS

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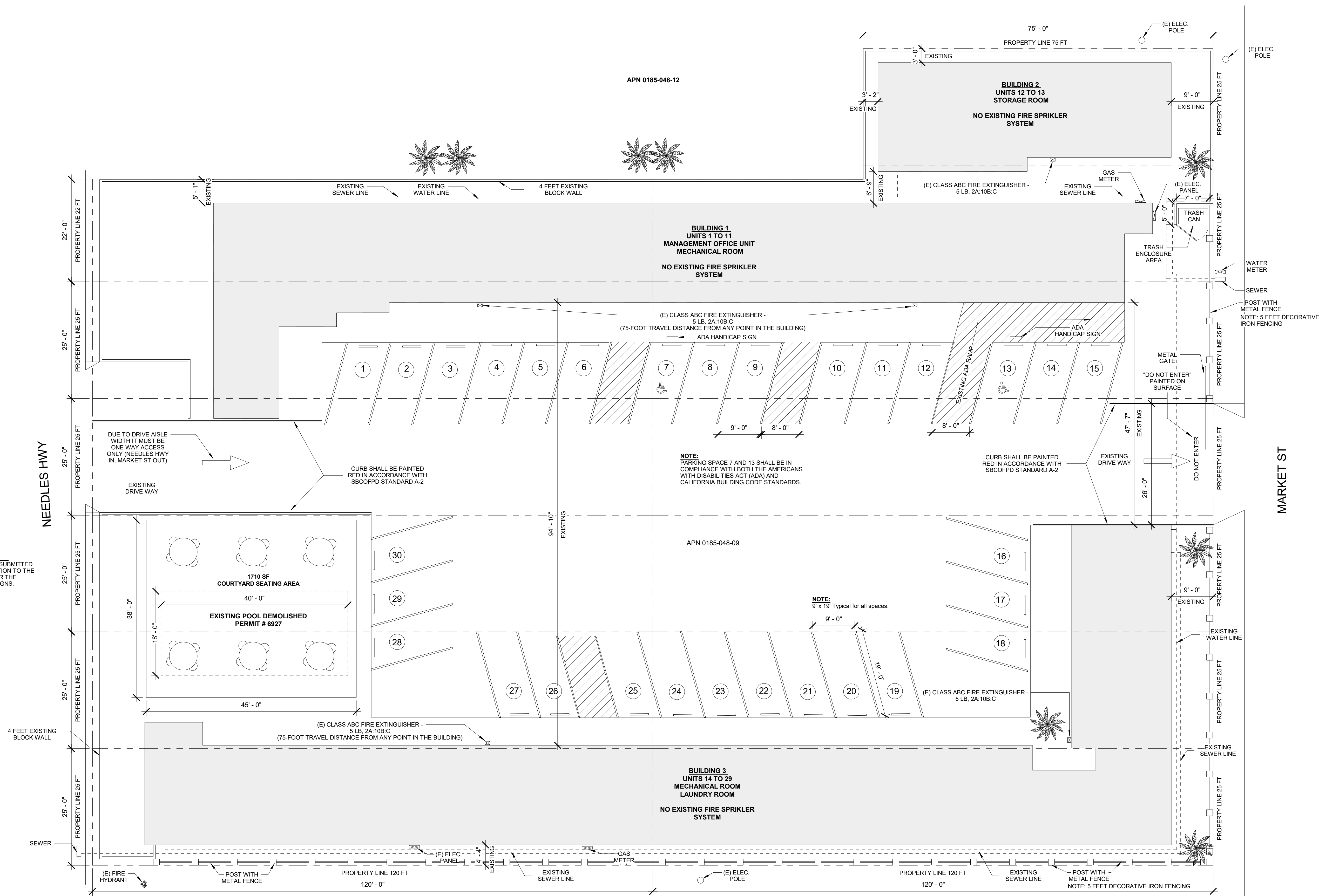
River Valley Motel
Conversion: 29
Micro-Apartments and 1
Management Office Unit

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Needles, CA 92363

FEB 2025
PROJECT STATUS

GENERAL NOTES

A 0.1



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SITE PLAN

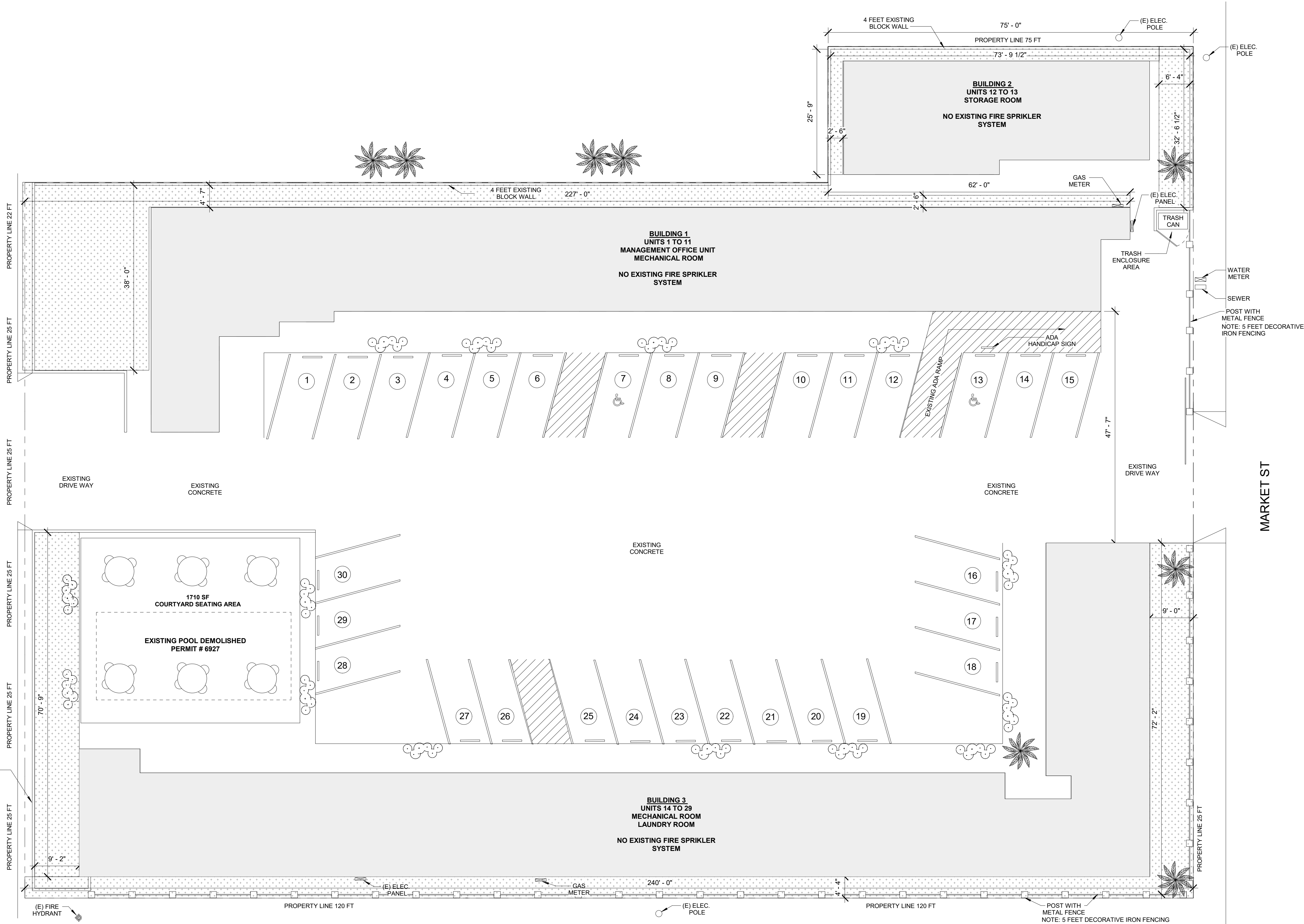
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ATTACHMENT NO. 2

NEEDLES HWY

4 FEET EXISTING
BLOCK WALL

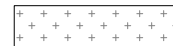
1 LANDSCAPE PLAN
SCALE: 3/32" = 1'-0"



O ST



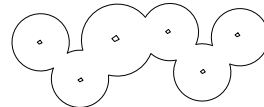
LEGEND



LANDSCAPE GRASS
TOPSOIL (4700 SF)



25 GAL SIZE QUEEN PALM TREE
(15 TO 25 FEET MATURE HEIGHT)
QUANTITY: 4



5 GAL SIZE SHRUB
CAMELLIA MARIE BRACEY

LANDSCAPE % OF TOTAL SITE AREA

LOT SIZE: 42,993.72 SF

TOTAL LANDSCAPE ARE: 4700 SF

LOT LANDSCAPE % : 4700 / 42,993.72 = 10 %

CONSULTANTS

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COST EFFECTIVE MINIMUM REQUIREMENTS
NECESSARY TO OBTAIN A BUILDING PERMIT.
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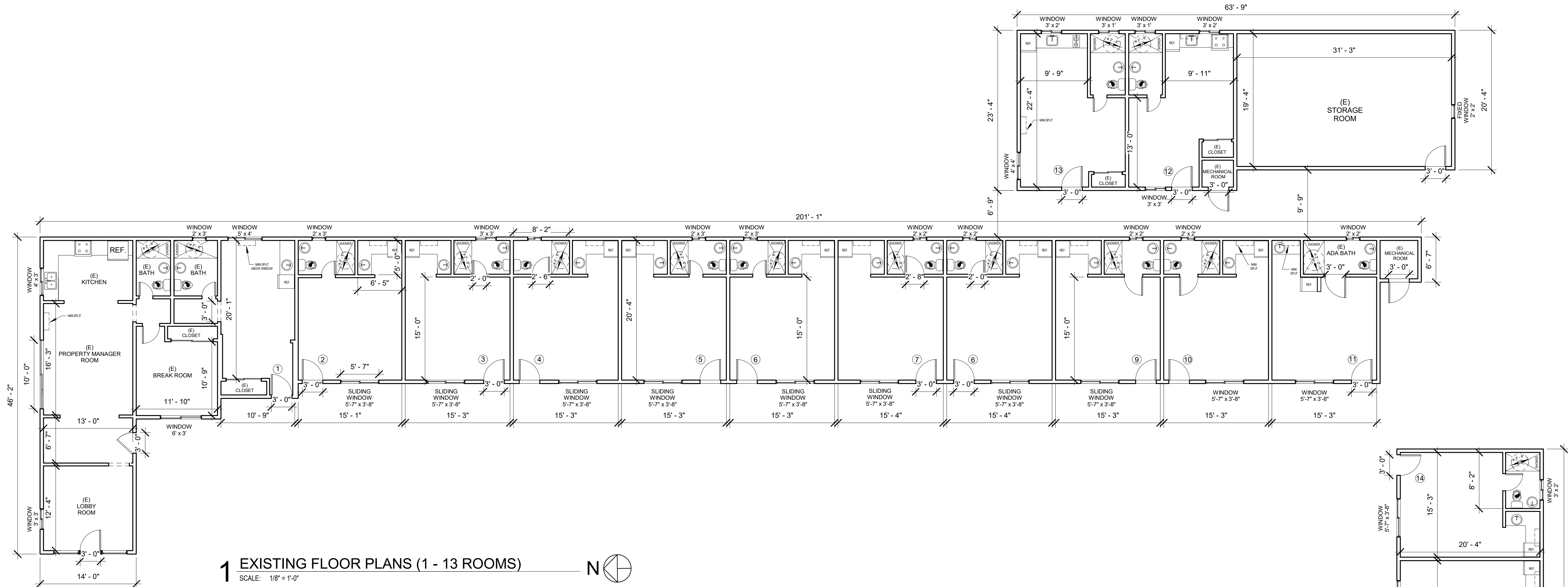
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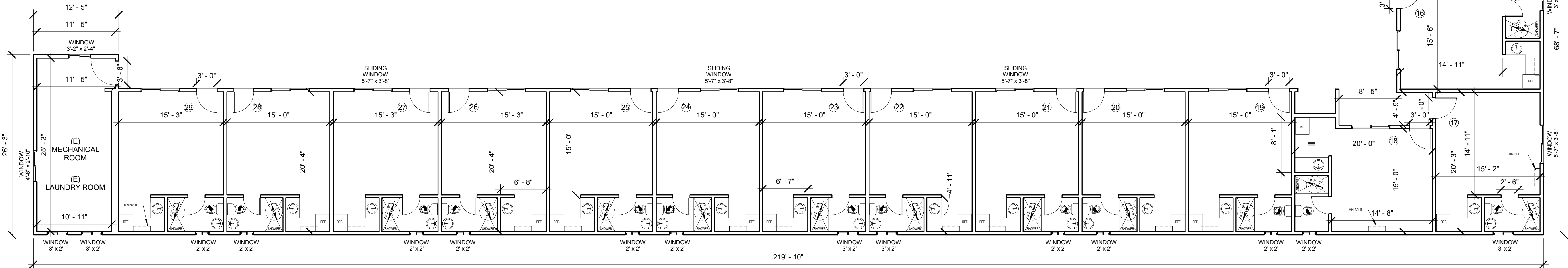
LANDSCAPE
PLAN

A 1.1



1 EXISTING FLOOR PLANS (1 - 13 ROOMS)

SCALE: 1/8" = 1'-0"



2 EXISTING FLOOR PLAN (14 - 29 ROOMS)

SCALE: 1/8" = 1'-0"



LEGEND:

- EXISTING WALL
- DEMO WALL
- 120 V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP
- APPROVED CARBON MONOXIDE DETECTOR RECEIVING POWER FROM MAIN WIRING WITH BATTERY BACK-UP
- ENERGY STAR RATED, HUMIDISTAT CONTROLLED MIN. 50 CFM EXHAUST FAN DUCTED TO THE OUTDOOR.
- ENERGY STAR RATED, KITCHEN CEILING EXHAUST FAN, CEILING MOUNT VENTILATION FAN DUCTED TO THE OUTDOOR.

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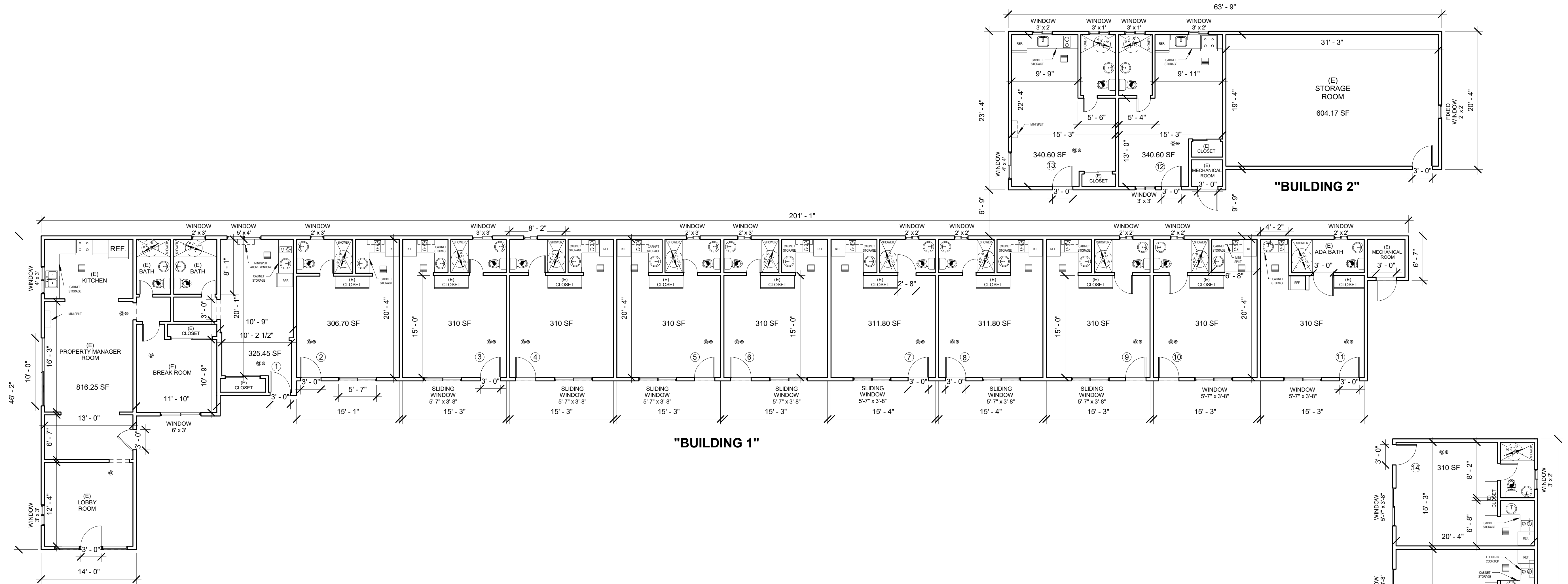
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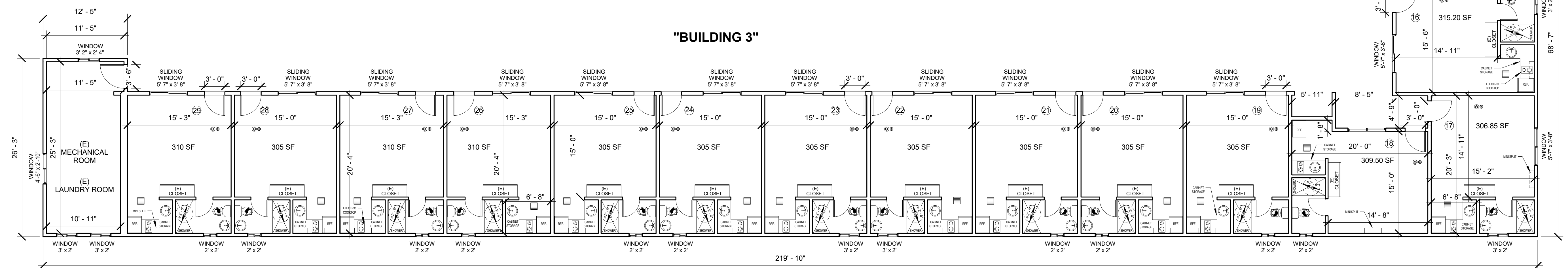
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PROJECT STATUS

EXISTING FLOOR
PLANS



1 PROPOSED FLOOR PLANS BUILDING 1 (UNITS 1-11 AND MANAGEMENT OFFICE UNIT) BUILDING 2 (UNITS 12 - 13 AND STORAGE ROOM) N



2 PROPOSED FLOOR PLAN - BUILDING 3 (UNITS 14 - 29, MECHANICAL ROOM AND LAUNDRY ROOM) N

| UNIT | SQ FT |
|------|--------|
| 1 | 325.45 |
| 2 | 306.70 |
| 3 | 310 |
| 4 | 310 |
| 5 | 310 |
| 6 | 310 |
| 7 | 311.80 |
| 8 | 311.80 |
| 9 | 310 |
| 10 | 310 |
| 11 | 310 |
| 12 | 340.60 |
| 13 | 340.60 |
| 14 | 310 |

| UNIT | SQ FT |
|------|--------|
| 15 | 306.70 |
| 16 | 315.20 |
| 17 | 306.85 |
| 18 | 309.50 |
| 19 | 305 |
| 20 | 305 |
| 21 | 305 |
| 22 | 305 |
| 23 | 305 |
| 24 | 305 |
| 25 | 305 |
| 26 | 310 |
| 27 | 310 |
| 28 | 305 |

| UNIT | SQ FT |
|---|--------|
| 29 | 310 |
| MANAGER OFFICE UNIT | 816.25 |
| STORAGE ROOM | 604.17 |
| BUILDING 1 MECHANICAL ROOM | 30.71 |
| BUILDING 3 MECHANICAL ROOM & LAUNDRY ROOM | 276 |

NOTE

1) EACH DWELLING TO HAVE A SEPARATE CLOTHING CLOSET WITH A DOOR AND ADDITIONAL STORAGE FOR DRY FOOD AND COOKING UTENSILS, MEETING INTERNATIONAL BUILDING CODE STANDARDS.

2) EACH UNIT TO INCLUDE A KITCHEN SINK, COOKING APPLIANCE, AND REFRIGERATOR, WITH AT LEAST 30 INCHES OF CLEAR WORKING SPACE IN FRONT OF EACH.

LEGEND:

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PROPOSED FLOOR PLANS

A 2.1

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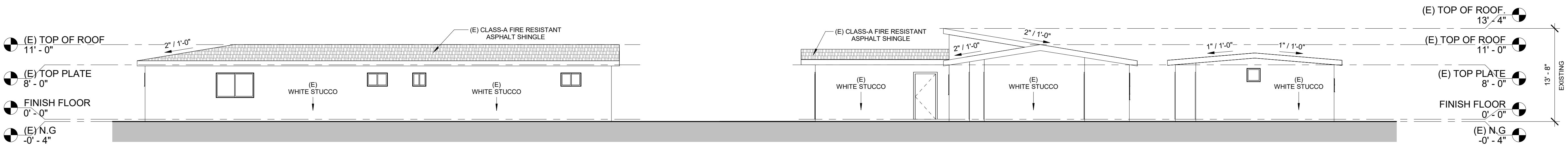
A 2.2



ROOF LEGEND:

EXISTING CLASS-A FIRE RATED ASPHALT SHINGLES

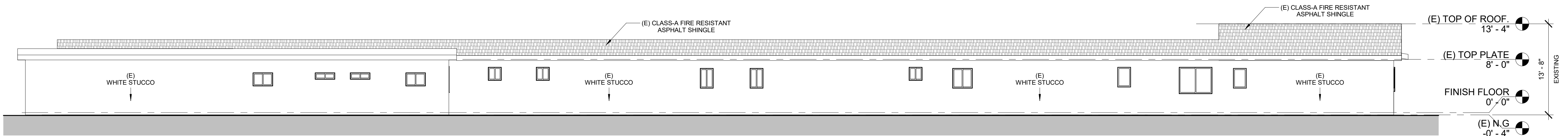
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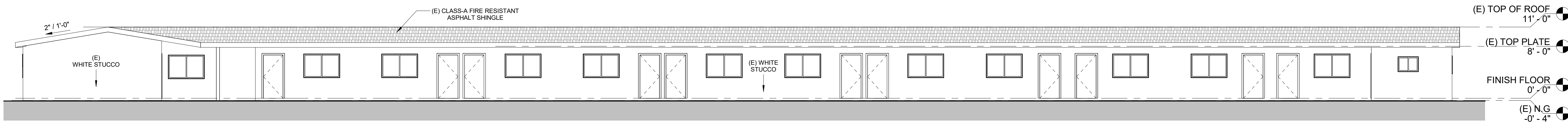
1 EXISTING SOUTH ELEVATIONS
SCALE: 1/8" = 1'-0"



2 EXISTING NORTH ELEVATIONS
SCALE: 1/8" = 1'-0"



3 EXISTING EAST ELEVATION (1 - 13 UNITS)
SCALE: 1/8" = 1'-0"



4 EXISTING EAST ELEVATION (14 - 29 UNITS)
SCALE: 1/8" = 1'-0"

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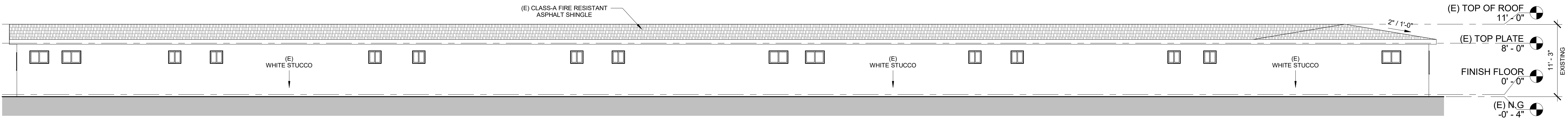
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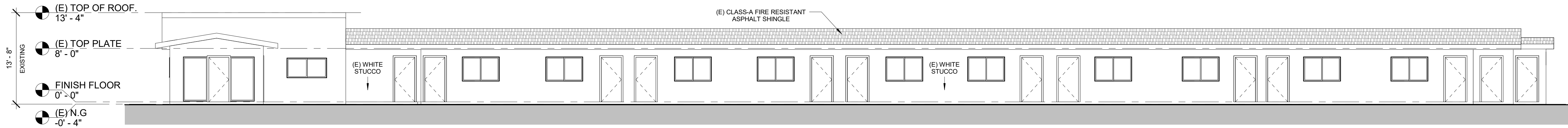
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EXISTING
ELEVATIONS

A 3.0



1 EXISTING WEST ELEVATION (14 - 29 UNITS)
SCALE: 1/8" = 1'-0"



2 EXISTING WEST ELEVATION (1 - 13 UNITS)
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1707 NEEDLES HWY
LLC

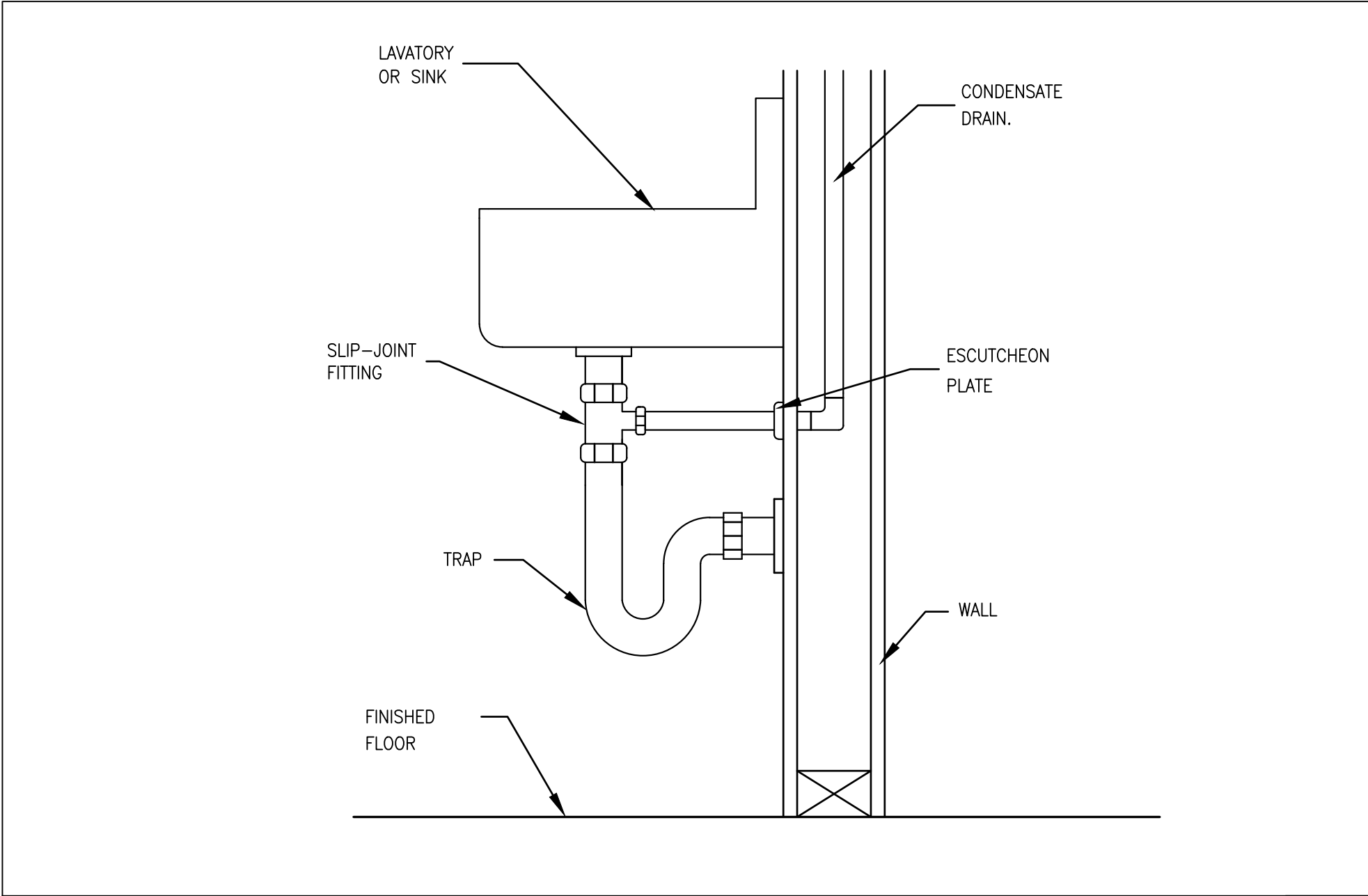
River Valley Motel
Conversion: 29
Micro-Apartments and 1
Management Office Unit

1707 Needles Hwy,
Needles, CA 92363

FEB 2025
PROJECT STATUS

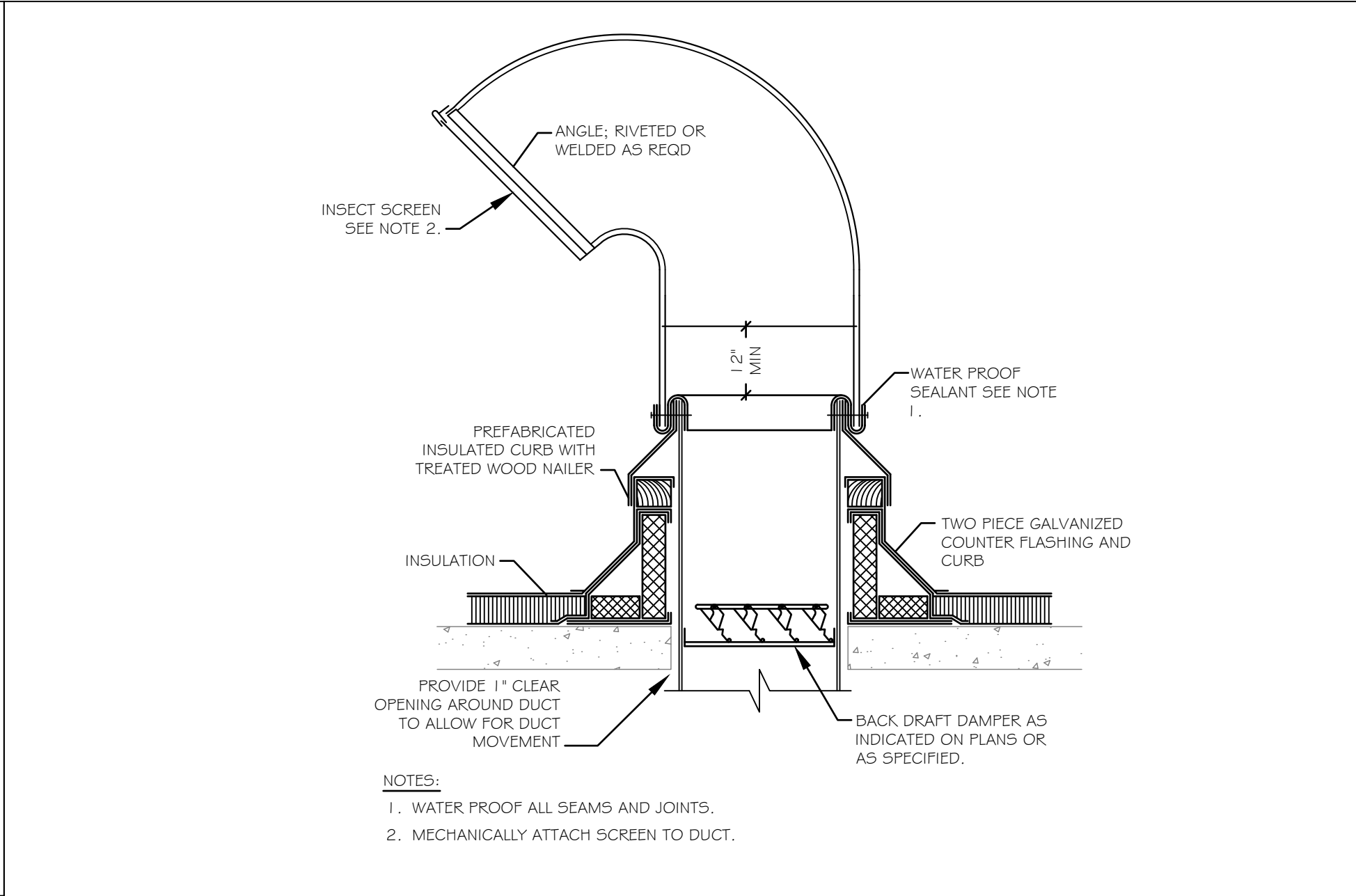
EXISTING
ELEVATIONS

A 3.1



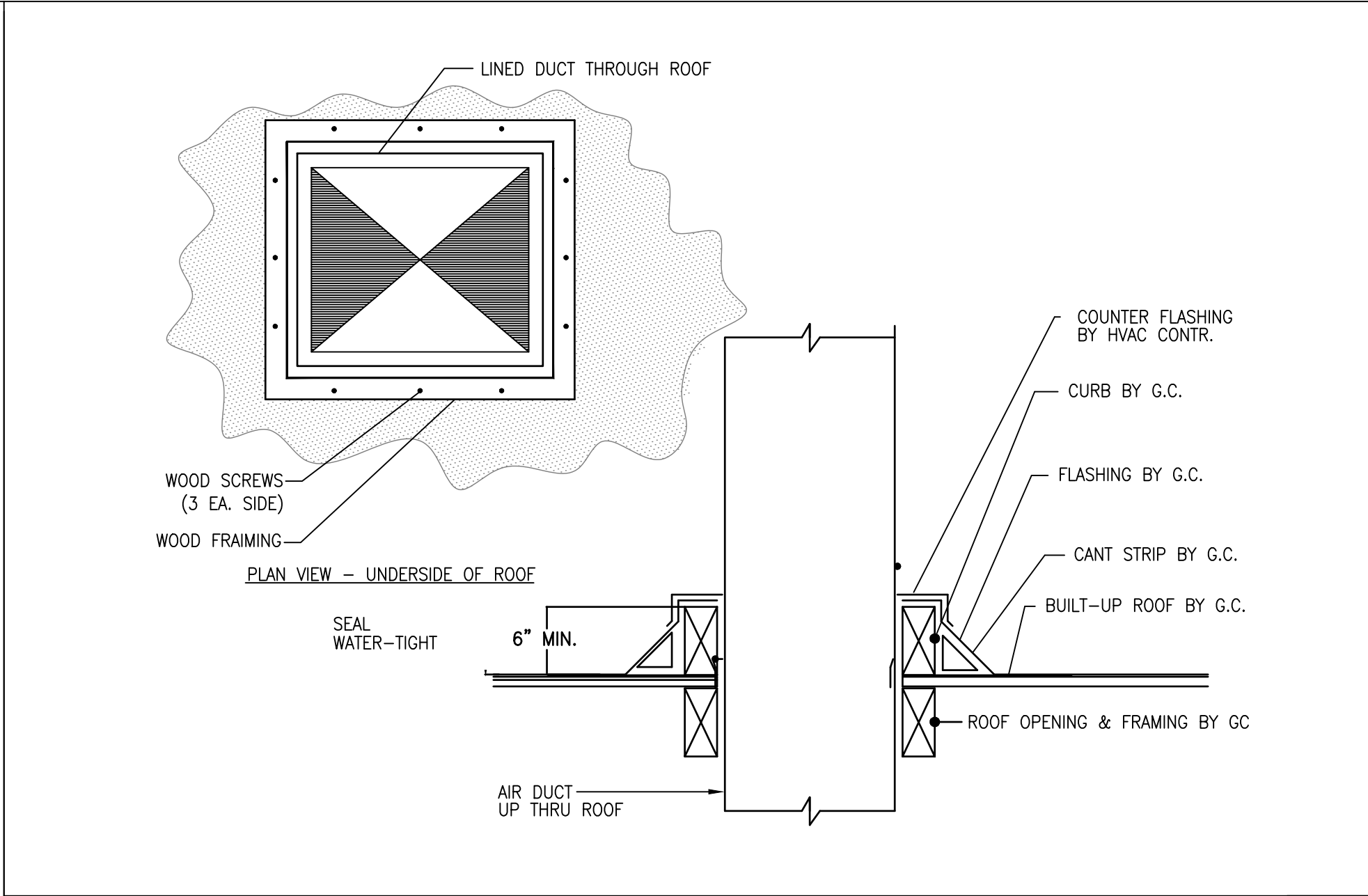
CONDENSATE DRAIN CONNECTION DETAIL

3



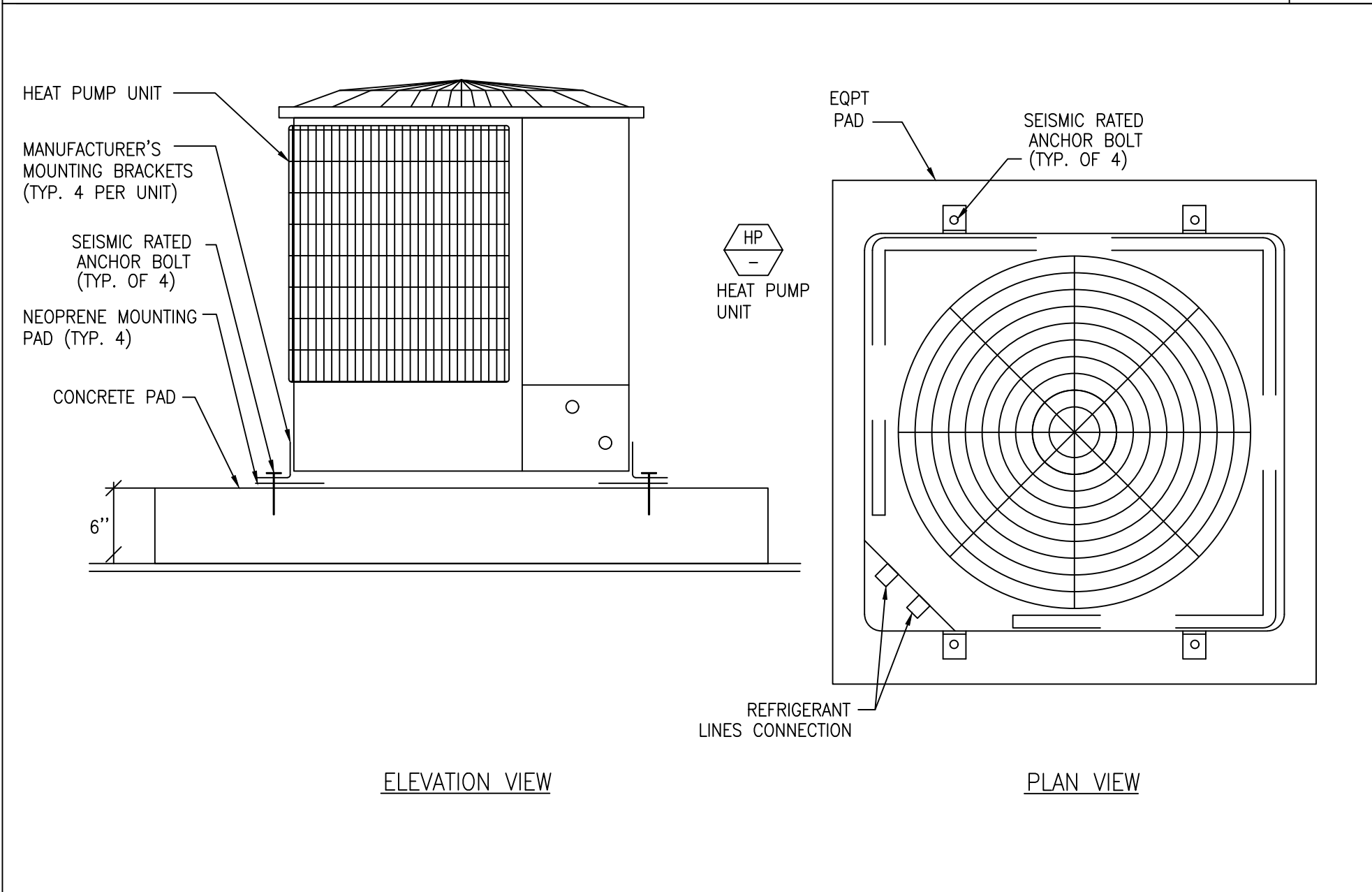
GOOSENECK DETAIL

2



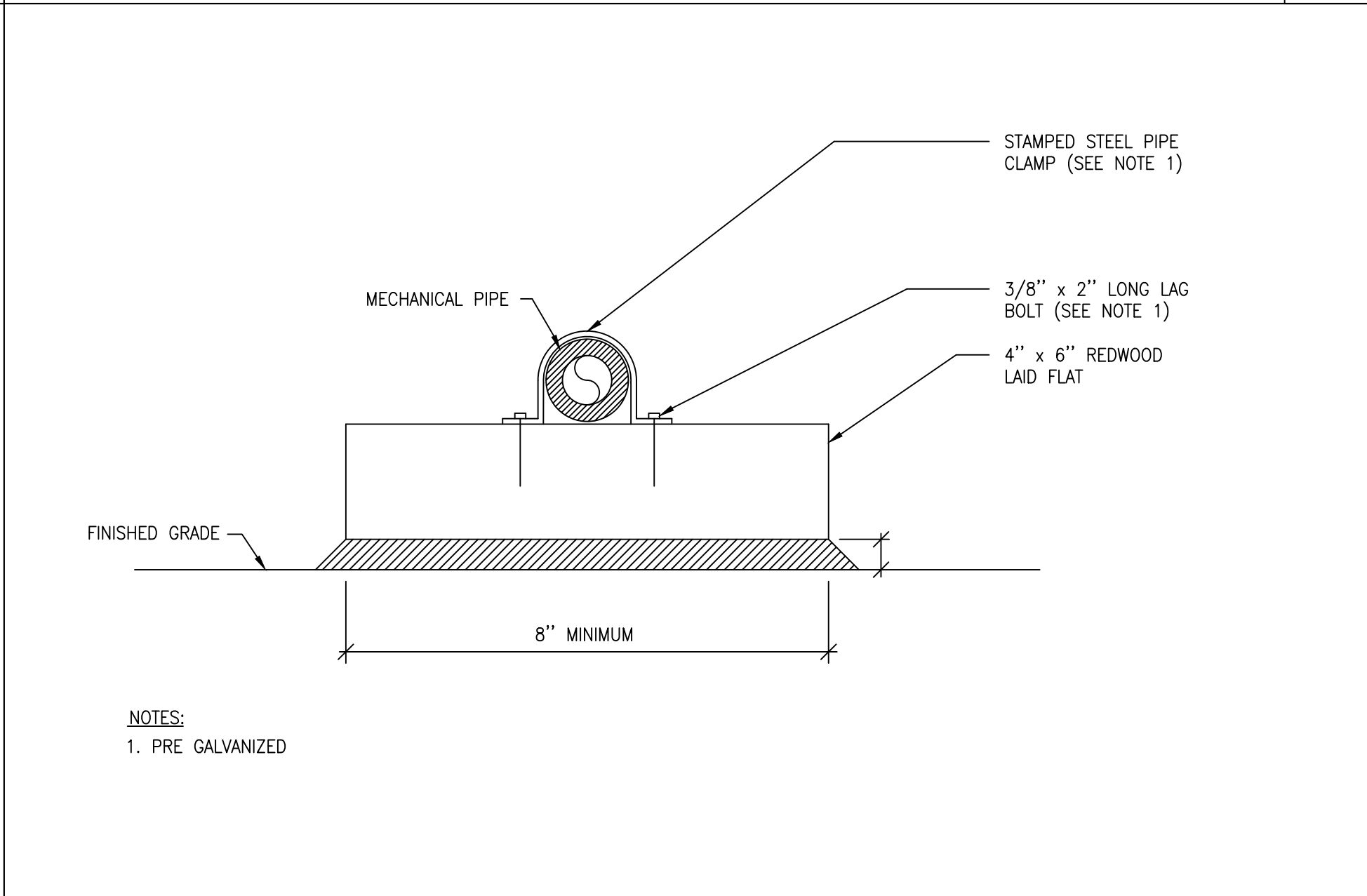
REINFORCEMENT AT DUCT THROUGH ROOF PENETRATION

1



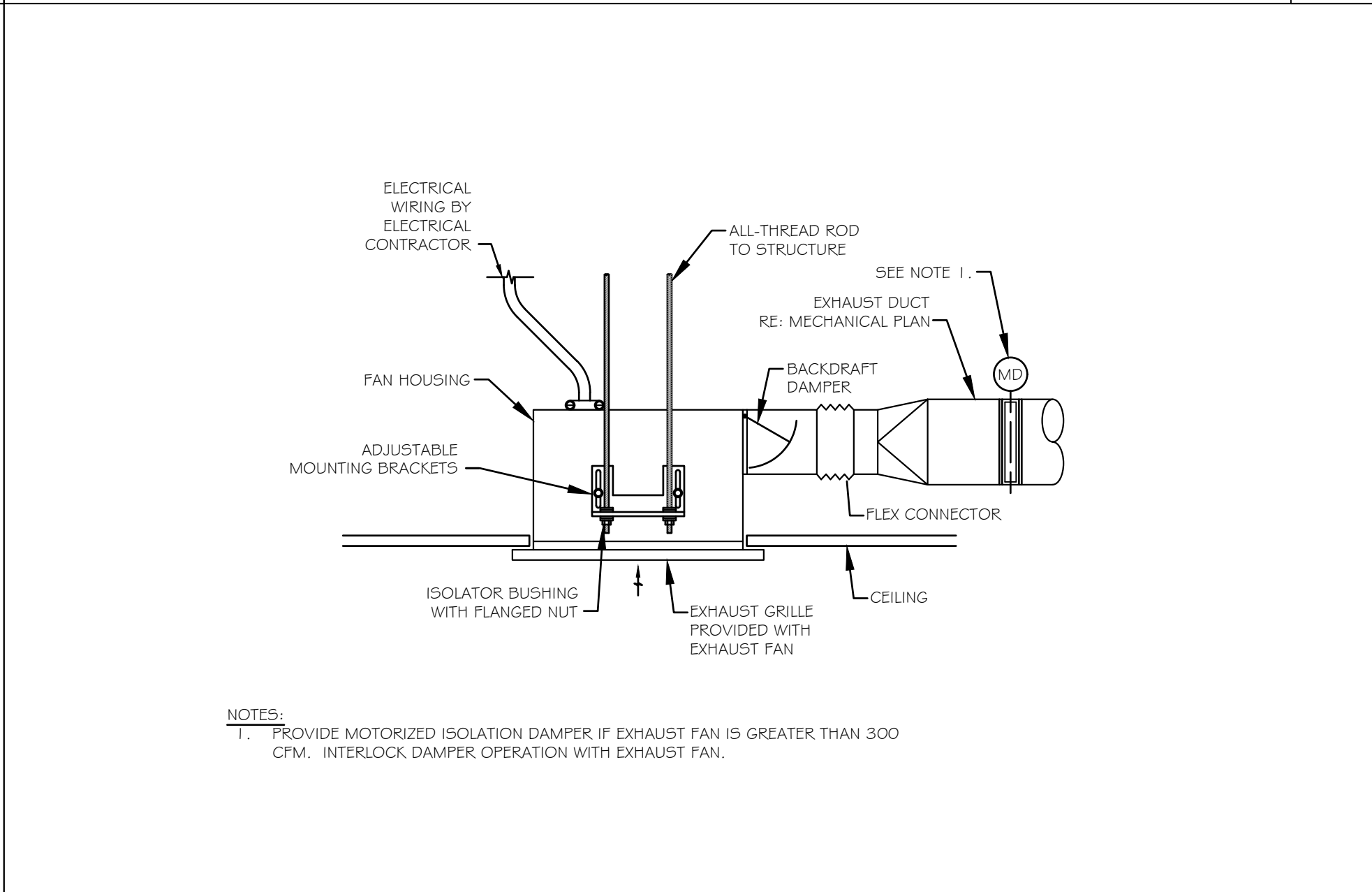
OUTDOOR HEAT PUMP UNIT MOUNTING DETAIL

6



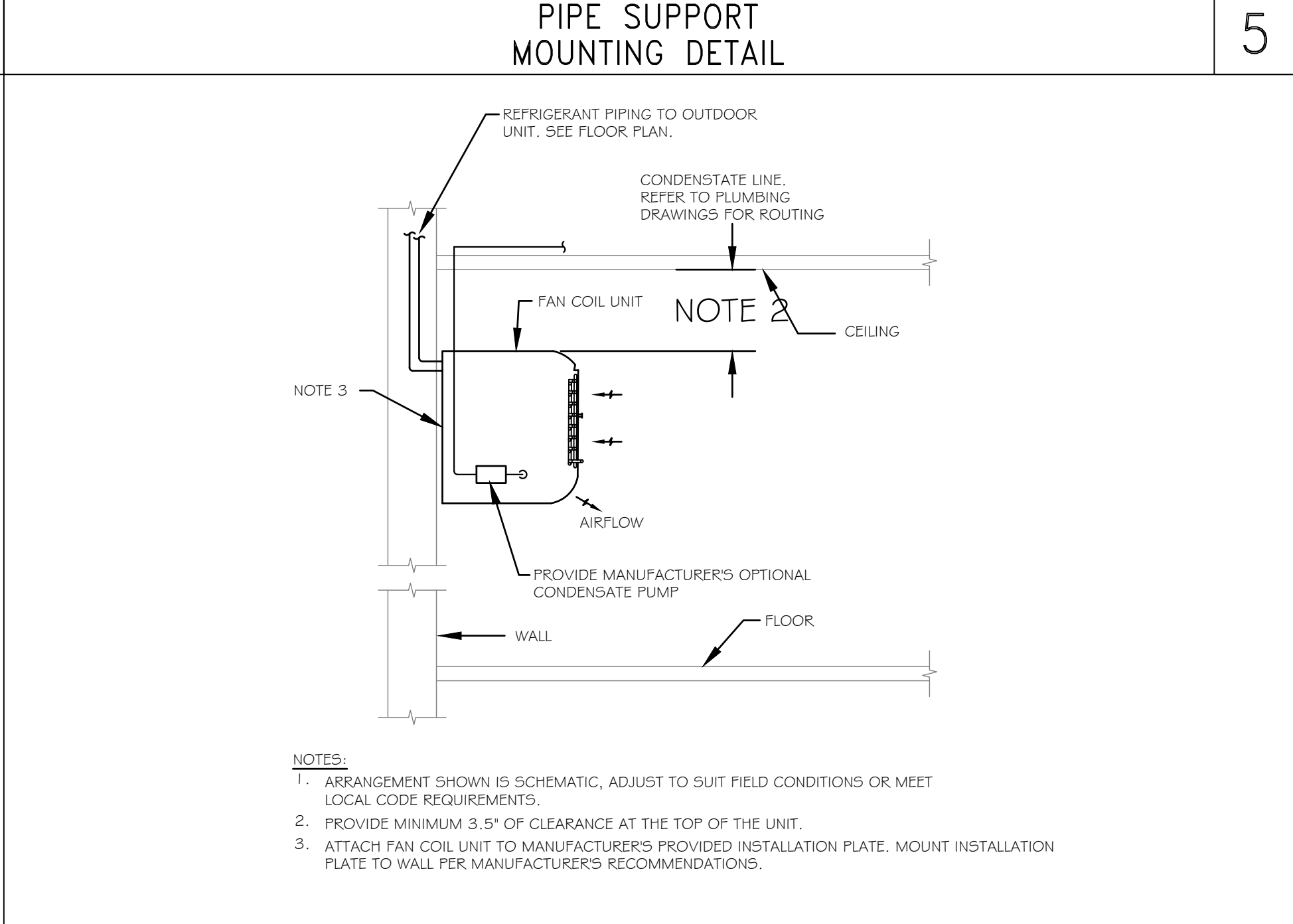
PIPE SUPPORT MOUNTING DETAIL

5



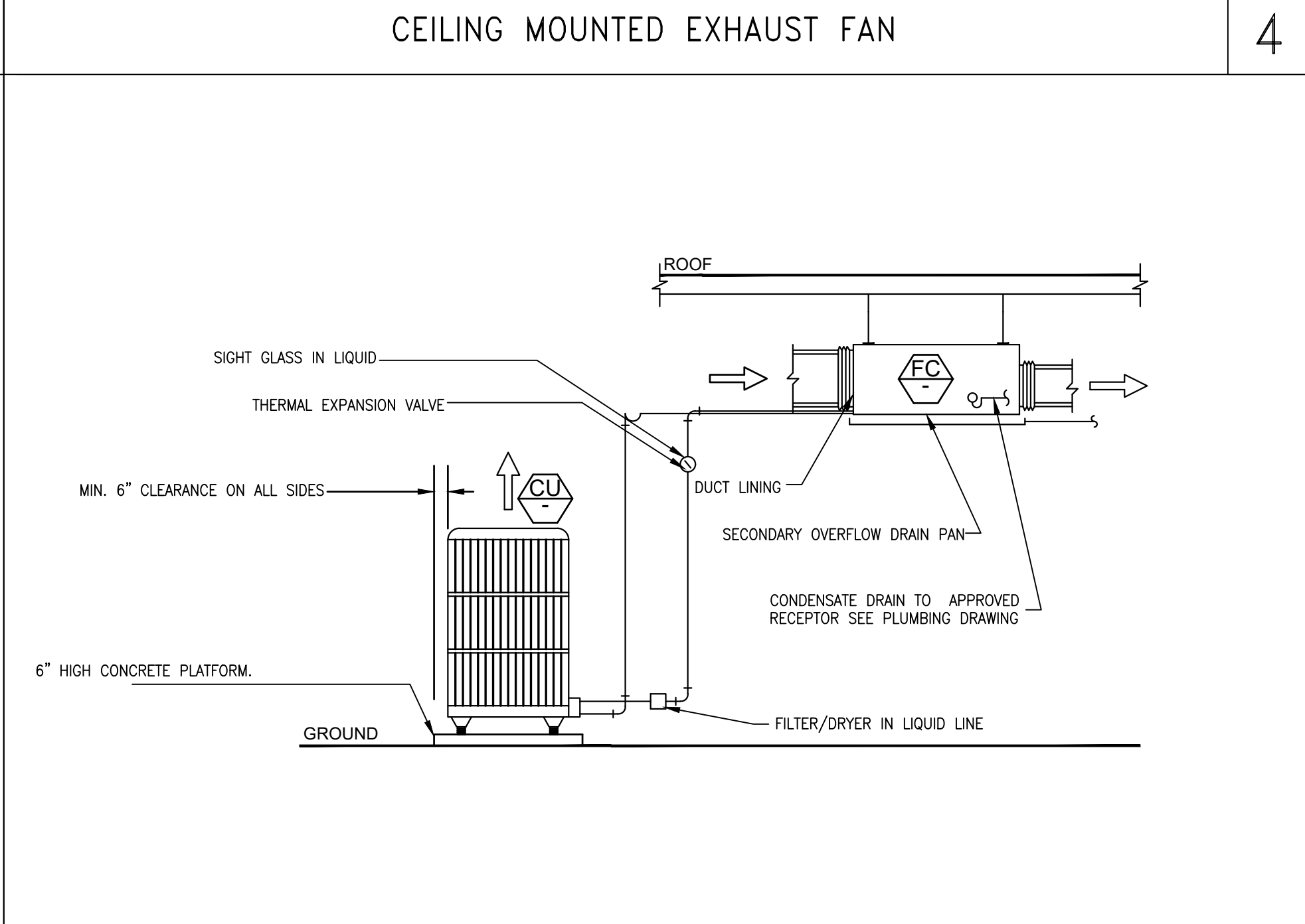
CEILING MOUNTED EXHAUST FAN

4



WALL MOUNTED FAN COIL UNIT MOUNTING

8



TYPICAL SPLIT AC SYSTEM DETAIL

7

ARCHITECT:

CONSULTANTS:

STAMP:

REGISTERED PROFESSIONAL ENGINEER
MECHANICAL
STATE OF CALIFORNIA
M32162
EXP. 08-30-25

Joshua S. Hwang

PROJECT NAME:

TENANT IMPROVEMENT
1707 NEEDLES HWY
NEEDLES CA 92363

SUBMISSION RECORD:

| | | |
|----|----------|----------------------|
| 1. | 11/20/24 | PLAN CHECK SUBMITTAL |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

HE PROJ. # -

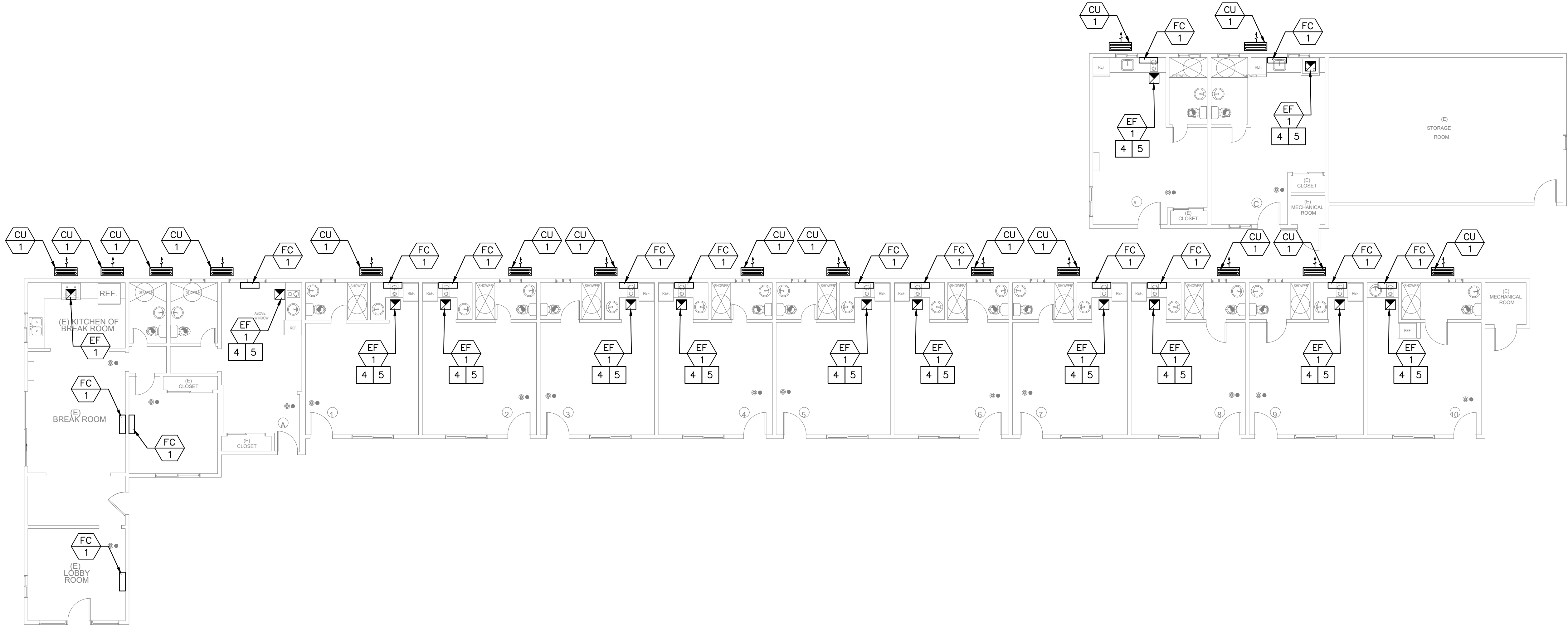
SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL
DETAILS

SHEET NO:

M0.01



MECHANICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"

PLAN NORTH

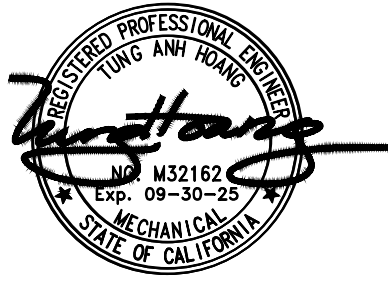
HVAC KEYNOTES

- 1
- INSTALL PRIMARY 3/4" CONDENSATE DRAIN DOWN TO LAVATORY TAILPIECE.
- 2
- OR CONTRACTOR SHALL INSTAL 3/4" CONDENSATE DRAIN. TERMINATE AT VISIBLE LOCATION, PROVIDE ESCUTCHEON PLATE. AS ALTERNATIVE PROVIDE ELECTRONIC OVERFLOW PROTECTION, DRAIN PAN LEVEL FLOAT SENSOR/CONTROL.
- 3
- PROVIDE MINIMUM MAINTENANCE CLEARANCE REQUIRED PER MANUFACTURE RECOMMENDATION.
- 4
- 8"Ø UTR.
- 5
- ENVIRONMENTAL EXHAUST OUTLETS SHALL TERMINATE NO LESS THAN 3 FEET FROM PROPERTY LINE, 3 FEET FROM OPENINGS INTO BUILDING, AND 10 FEET FROM MECHANICAL AIR INTAKE.

ARCHITECT:

CONSULTANTS:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT
1707 NEEDLES HWY
NEEDLES CA 92363

SUBMISSION RECORD:

| | | |
|----|----------|----------------------|
| 1. | 11/20/24 | PLAN CHECK SUBMITTAL |
|----|----------|----------------------|

HE PROJ. # -

SCALE: AS SHOWN

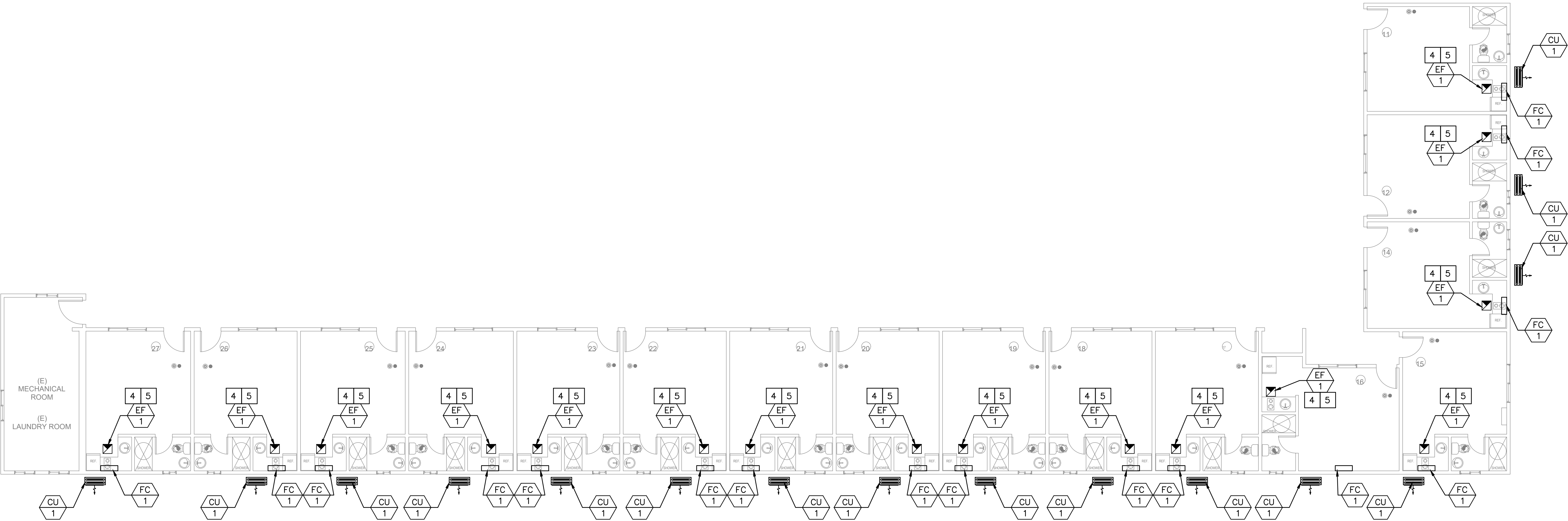
DRAWING TITLE

MECHANICAL
FLOOR PLAN

SHEET NO:

M1.00

MECHANICAL FLOOR PLAN



SCALE: 1/8" = 1'-0"



HVAC KEYNOTES

1. INSTALL PRIMARY 3/4" CONDENSATE DRAIN DOWN TO LAVATORY TAILPIECE.
2. OR CONTRACTOR SHALL INSTAL 3/4" CONDENSATE DRAIN. TERMINATE AT VISIBLE LOCATION, PROVIDE ESCUTCHEON PLATE. AS ALTERNATIVE PROVIDE ELECTRONIC OVERFLOW PROTECTION, DRAIN PAN LEVEL FLOAT SENSOR/CONTROL.
3. PROVIDE MINIMUM MAINTENANCE CLEARANCE REQUIRED PER MANUFACTURE RECOMMENDATION.
4. 8"Ø UTR.
5. ENVIRONMENTAL EXHAUST OUTLETS SHALL TERMINATE NO LESS THAN 3 FEET FROM PROPERTY LINE, 3 FEET FROM OPENINGS INTO BUILDING, AND 10 FEET FROM MECHANICAL AIR INTAKE.

ARCHITECT:

CONSULTANTS:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT
1707 NEEDLES HWY
NEEDLES CA 92363

SUBMISSION RECORD:

1. 11/20/24 PLAN CHECK SUBMITTAL

HE PROJ. # -

SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL
FLOOR PLAN

SHEET NO:

M2.00

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

NRCC-PRF-E

Nonresidential Performance Compliance Method

(Page 1 of 19)

Project Name:1707 NEEDLES HWYDate Prepared:2024-11-20

A. General Information

1

Project Name

1707 NEEDLES HWY

2

Run Title

Title 24 Analysis

3

Project Location

1707 NEEDLES HWY

4

City

NEEDLES

5

Standards Version

Compliance 2022

6

Zip code

92363

7

Compliance Software (version)

EnergyPro 9.1

8

Climate Zone

15

9

Building Orientation (deg)

0

10

Building Type(s)

• Nonresidential

11

Weather File

NEEDLES_STYP20.epw

12

Project Scope

• Existing alteration

13

Number of Dwelling Units

0

14

Total Conditioned Floor Area in Scope (ft²)

8596

15

Total # of hotel/motel rooms

0

16

Total Unconditioned Floor Area (ft²)

0

17

Fuel Type

Natural gas

18

Nonresidential Conditioned Floor Area

8596

19

Total # of Stories (Habitable Above Grade)

1

20

Residential Conditioned Floor Area

0

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

NRCC-PRF-E

Nonresidential Performance Compliance Method

(Page 4 of 19)

C2. TDV ENERGY COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kBtu/ft² - yr)

COMPLIES²

Energy Component

Standard Design (TDV)

Proposed Design (TDV)

Compliance Margin (TDV)¹

Space Heating

1.86

3.07

-1.21

Space Cooling

190.65

150.86

39.79

Indoor Fans

198.65

66.54

132.11

Heat Rejection

0

0

0

Pumps & Misc.

0

0

0

Domestic Hot Water

6.22

6.22

0

Indoor Lighting

63.24

63.24

0

Flexibility

EFFICIENCY COMPLIANCE TOTAL

460.62

289.93

170.69 (37.1%)

Photovoltaics

Batteries

TOTAL COMPLIANCE

460.62

289.93

170.69 (37.1%)

¹ Notes: This number in parenthesis following the Compliance Margin in column 4, represents the Percent Better than Standard.

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

NRCC-PRF-E

Nonresidential Performance Compliance Method

(Page 7 of 19)

C5. SOURCE ENERGY RESULTS FOR NON-REGULATED COMPONENTS¹

Non-Regulated Energy Component

Standard Design (SOURCE)

Proposed Design (SOURCE)

Compliance Margin (SOURCE)¹

Receptacle

8.86

8.86

Process

Other Ltg

Process Motors

TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)

49.97

32.35

17.62 (35.3%)

¹ Notes: This table is not used for Energy Code Compliance.

C6. 'ABOVE CODE' QUALIFICATIONS

☐ This project is pursuing CalGreen Tier 1

☐ This project is pursuing CalGreen Tier 2

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

NRCC-PRF-E

Nonresidential Performance Compliance Method

(Page 2 of 19)

B. PROJECT SUMMARY

Table B shows which building components are included in the performance calculation. If indicated as not included, the project must show compliance prescriptively if within the permit application.

Building Components Complying via Performance

Building Components Complying Prescriptively

Envelope (See Table G)

Nonres
MultiFam

Not Included

Solar Thermal Water Heating (See Table I3)

☐ Performance
☒ Not Included

The following building components are ONLY eligible for prescriptive compliance and should be documented on the NRCC form listed if within the scope of the permit application (i.e. compliance will not be shown on the NRCC-PRF-E.)

Mechanical (See Table H)

Nonres
MultiFam

Performance
Not Included

Covered Process: Commercial Kitchens (see Table J)

☐ Performance
☒ Not Included

Indoor Lighting (Unconditioned) 140.6 & 170.2(e)
Outdoor Lighting 140.7 & 170.2(e)

NRCC-L11-E is required
NRCC-L10-E is required

Domestic Hot Water (See Table I)

Nonres
MultiFam

Not Included
Not Included

Covered Process: Laboratory Exhaust (see Table J)

☐ Performance
☒ Not Included

Sign Lighting 140.8 & 170.2(e)

NRCC-L15-E is required

Lighting (Indoor Conditioned, see Table K)

Nonres
MultiFam

Not Included
Not Included

Photovoltaics (see table F)

☐ Performance
☒ Not Included

Electrical power systems, commissioning, solar ready, elevator and escalator requirements are mandatory and should be documented on the NRCC form listed if applicable (i.e. compliance will not be shown on the NRCC-PRF-E.)
Electrical Power Distribution 110.11

NRCC-ELC-E is required

Battery (see Table F)

☐ Performance
☒ Not Included

Commissioning 120.8
Solar and Battery 110.10

NRCC-CXR-E is required
NRCC-SAB-E is required

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000
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Compliance ID: EnergyPro-20166-1124-0134

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

NRCC-PRF-E

Nonresidential Performance Compliance Method

(Page 5 of 19)

C3. TDV ENERGY RESULTS FOR NON-REGULATED COMPONENTS¹

Non-Regulated Energy Component

Standard Design (TDV)

Proposed Design (TDV)

Compliance Margin (TDV)¹

Receptacle

112.8

112.8

Process

Other Ltg

Process Motors

TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)

573.42

402.73

170.69 (29.8%)

¹ Notes: This table is not used for Energy Code Compliance.

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

NRCC-PRF-E

Nonresidential Performance Compliance Method

(Page 8 of 19)

C7. ENERGY USE SUMMARY

Energy Component

Standard Design Site (MWh)

Proposed Design Site (MWh)

Margin (MWh)

Standard Design Site (MBtu)

Proposed Design Site (MBtu)

Margin (MBtu)

Space Heating

0.8

5.5

Space Cooling

52

39.9

12.1

Indoor Fans

61.1

21

40.1

Heat Rejection

Pumps & Misc.

Domestic Hot Water

20.9

20.9

0

Indoor Lighting

21.7

21.7

0

Flexibility

EFFICIENCY TOTAL

134.8

83.4

51.4

26.4

20.9

5.5

Photovoltaics

Batteries

ENERGY USE SUBTOTAL

134.8

83.4

51.4

26.4

20.9

5.5

Receptacle

39.3

39.3

0

Process

Other Ltg

Process Motors

ENERGY USE TOTAL

174.1

104.7

69.4

32.4

20.9

5.5

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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ATTACHMENT NO. 2

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

NRCC-PRF-E

Nonresidential Performance Compliance Method

(Page 3 of 19)

C1. COMPLIANCE SUMMARY

COMPLIES¹

Time Dependent Valuation (TDV)

Source Energy Use

Efficiency¹ (kBtu/ft² - yr)

Total² (kBtu/ft² - yr)

Total³ (kBtu/ft² - yr)

Standard Design

460.62

460.62

41.11

Proposed Design

289.93

289.93

23.49

Compliance Margins

170.69

170.69

17.62

Pass

Pass

Pass

¹ Efficiency measures include improvements like a better building envelope and more efficient equipment

² Compliance Totals include efficiency, photovoltaics and batteries

³ Building complies when efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000
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Compliance ID: EnergyPro-20166-1124-0134

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

NRCC-PRF-E

Nonresidential Performance Compliance Method

(Page 6 of 19)

C4. SOURCE ENERGY COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual SOURCE Energy Use, kBtu/ft² /yr)

COMPLIES¹

Energy Component

Standard Design (SOURCE)

Proposed Design (SOURCE)

Compliance Margin (SOURCE)¹

Space Heating

0.59

0.5

0.09

Space Cooling

12.75

9.55

3.2

Indoor Fans

20.44

6.11

14.33

Heat Rejection

0

0

0

Pumps & Misc.

0

0

0

Domestic Hot Water

2.24

2.24

0

Indoor Lighting

5.09

5.09

0

Flexibility

EFFICIENCY COMPLIANCE TOTAL

41.11

23.49

17.62 (42.9%)

Photovoltaics

Batteries

TOTAL COMPLIANCE

41.11

23.49

17.62 (42.9%)

¹ Notes: This number in parenthesis following the Compliance Margin in column 4, represents the Percent Better than Standard.

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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Schema Version: rev 20220601

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

NRCC-PRF-E

Nonresidential Performance Compliance Method

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C8. ENERGY USE INTENSITY (EUI)

Standard Design (kBtu/ft² / yr)

Proposed Design (kBtu/ft² / yr)

Margin (kBtu/ft² / yr)

Margin Percentage

GROSS EUI¹

72.18

51.13

21.05

29.16

NET EUI¹

72.18

51.13

21.05

29.16

¹ Notes: Gross EUI is Energy Use Total (not including PV)/Total Building Area. Net EUI is Energy Use Total (including PV)/Total Building Area.

D1. EXCEPTIONAL CONDITIONS

• The building does not include service water heating. Verify that service water heating is not required and is not included in the design.

• The user model includes space(s) that are designed to be served by mechanical cooling systems, but the cooling systems were not included in the simulation model. A cooling system has been modeled for both the proposed and standard cases.

• The user model includes space(s) without sufficient cooling equipment. Cooling equipment has been added to the model to meet cooling loads.

H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.)

01

02

03

04

05

06

07

08

09

10

11

12

Equipment Name

Equipment Type

Qty

Total Heating Output (kBtu/h)

Supp Heat Output (kBtu/h)

Efficiency Unit

Efficiency

Total Cooling Output (kBtu/h)

Efficiency Unit

Efficiency

Economizer Type (if present)

Status¹

HP-1

Single Zone Heat Pump (SZHP) Air System

1

11.98

0

N/A

NA

10.56

EER SEER

12.1 17

No Economizer

N

HP-2

Single Zone Heat Pump (SZHP) Air System

1

11.98

0

N/A

NA

10.56

EER SEER

12.1 17

No Economizer

N

¹ Status: N - New, A - Altered, E - Existing

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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Schema Version: rev 20220601

Report Generated: 2024-11-20 11:14:36
Compliance ID: EnergyPro-20166-1124-0134

ARCHITECT:

CONSULTANTS:

STAMP:

PROJECT NAME:

TENANT IMPROVEMENT
1707 NEEDLES HWY
NEEDLES CA 92363

SUBMISSION RECORD:

1. 11/20/24 PLAN CHECK SUBMITTAL

HE PROJ. # -

SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL
T-24

SHEET NO:

M3.00

| CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD | | | | | | | | | | | | NRCC-PRF-E |
|--|---|-----|-------------------------------|---------------------------|-----------------|------------|-------------------------------|-----------------|------------|------------------------------|---------------------|-----------------|
| Nonresidential Performance Compliance Method | | | | | | | | | | | | (Page 10 of 19) |
| H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.) | | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | |
| Equipment Name | Equipment Type | Qty | Heating | | | | Cooling | | | Economizer Type (if present) | Status ¹ | |
| | | | Total Heating Output (kBtu/h) | Supp Heat Output (kBtu/h) | Efficiency Unit | Efficiency | Total Cooling Output (kBtu/h) | Efficiency Unit | Efficiency | | | |
| HP-3 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-4 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-5 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-6 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-7 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-8 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-9 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-10 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |

¹ Status: N - New, A - Altered, E - Existing

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Report Generated: 2024-11-20 11:14:36
Schema Version: rev 20220601 Compliance ID: EnergyPro-20166-1124-0134

| CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD | | | | | | | | | | | NRCC-PRF-E |
|--|---|-----|-------------------------------|---------------------------|-----------------|------------|-------------------------------|-----------------|------------|------------------------------|---------------------|
| Nonresidential Performance Compliance Method | | | | | | | | | | | (Page 13 of 19) |
| H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.) | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
| Equipment Name | Equipment Type | Qty | Heating | | | | Cooling | | | Economizer Type (if present) | Status ¹ |
| | | | Total Heating Output (kBtu/h) | Supp Heat Output (kBtu/h) | Efficiency Unit | Efficiency | Total Cooling Output (kBtu/h) | Efficiency Unit | Efficiency | | |
| | | | | | | | | | | | |
| HP-26 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N |
| HP-27 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N |

¹ Status: N - New, A - Altered, E - Existing

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Report Generated: 2024-11-20 11:14:36
Schema Version: rev 20220601 Compliance ID: EnergyPro-20166-1124-0134

| CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD | | | | | | | | | | | NRCC-PRF-E |
|--|----------------------|------------------------|---------------|-------------|-----------------------|--|--|--|--|--|-----------------|
| Nonresidential Performance Compliance Method | | | | | | | | | | | (Page 16 of 19) |
| H9. NONRESIDENTIAL / COMMON USE AREA & HOTEL/MOTEL VENTILATION | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | | | | | |
| Zone Name | Ventilation Function | Mechanical Ventilation | | | Conditioned Area (sf) | DCV or Occupant Sensor Controls, or Both | | | | | |
| | | # of People | Supply OA CFM | Exhaust CFM | | | | | | | |
| 15-ROOM 14 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 16-ROOM 15 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 17-ROOM 16 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 18-ROOM 17 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 19-ROOM 18 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 20-ROOM 19 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 21-ROOM 20 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 22-ROOM 21 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 23-ROOM 22 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 24-ROOM 23 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 25-ROOM 24 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 26-ROOM 25 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 27-ROOM 26 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |
| 28-ROOM 27 | Misc - All others | 1.53 | 46.05 | 0 | 307 | N/A | | | | | |

| H11. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY | | | | | | | | | | | |
|---|--------------|-----|-------------------------|---------|---------------|------|------------|-------|-------------|--------|--------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 |
| System ID | System Type | Qty | Rated Capacity (kBtu/h) | | Airflow (cfm) | | | Fan | | | VSD |
| | | | Heating | Cooling | Design | Min. | Min. Ratio | Power | Power Units | Cycles | |
| 1-ROOM 1-1rm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> |
| 2-ROOM 2-1rm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> |
| 3-ROOM 3-1rm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> |
| 4-ROOM 4-1rm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> |
| 5-ROOM 5-1rm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> |

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000
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| CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD | | | | | | | | | | | | NRCC-PRF-E |
|---|---|-----|-------------------------------|---------------------------|-----------------|------------|-------------------------------|-----------------|------------|------------------------------|---------------------|-----------------|
| Nonresidential Performance Compliance Method | | | | | | | | | | | | (Page 11 of 19) |
| HL DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.) | | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | |
| Equipment Name | Equipment Type | Qty | Heating | | | | Cooling | | | Economizer Type (if present) | Status ¹ | |
| | | | Total Heating Output (kBtu/h) | Supp Heat Output (kBtu/h) | Efficiency Unit | Efficiency | Total Cooling Output (kBtu/h) | Efficiency Unit | Efficiency | | | |
| HP-B | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-C | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-11 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-12 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-14 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-15 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-16 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |
| HP-17 | Single Zone Heat Pump (SZHP) Air System | 1 | 11.98 | 0 | N/A | NA | 10.56 | EER SEER | 12.1 17 | No Economizer | N | |

¹ Status: N - New, A - Altered, E - Existing

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| CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD | | | | | | | | | | | | NRCC-PRF-E |
|--|-----|---------------|------------|-------|-------------|---------------------|----------|-----|-------|-------------|---------|---------------------|
| Nonresidential Performance Compliance Method | | | | | | | | | | | | (Page 14 of 19) |
| H3. NONRESIDENTIAL / COMMON USE AREA FAN SYSTEMS SUMMARY | | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | 13 |
| Name or Item Tag | Qty | Design OA CFM | Supply Fan | | | Return / Relief Fan | | | | | | Status ¹ |
| | | | CFM | Power | Power Units | Control | Fan Type | CFM | Power | Power Units | Control | |
| HP-1 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-2 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-3 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-4 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-5 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-6 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-7 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-8 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-9 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-10 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-8 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-C | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-11 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-12 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-14 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-15 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-16 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-17 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-18 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-19 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-20 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-21 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |
| HP-22 | 1 | 46.05 | 400 | 0.15 | BHP | Constant Vol | N/A | N/A | N/A | N/A | N/A | N |

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| CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD | | | | | | | | | | | | NRCC-PRF-E |
|--|--------------|-----|-------------------------|---------|---------------|------|------------|-------|-------------|--------|--------------------------|-----------------|
| Nonresidential Performance Compliance Method | | | | | | | | | | | | (Page 17 of 19) |
| H11. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY | | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | |
| System ID | System Type | Qty | Rated Capacity (kBtu/h) | | Airflow (cfm) | | | Fan | | | VSD | |
| | | | Heating | Cooling | Design | Min. | Min. Ratio | Power | Power Units | Cycles | | |
| 6-ROOM 6-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 7-ROOM 7-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 8-ROOM 8-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 9-ROOM 9-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 10-ROOM 10-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 11-ROOM 11-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 12-ROOM 12-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 13-ROOM 13-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 14-ROOM 14-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 15-ROOM 15-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 16-ROOM 16-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 17-ROOM 17-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 18-ROOM 18-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 19-ROOM 19-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 21-ROOM 20-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 22-ROOM 21-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 23-ROOM 22-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 24-ROOM 23-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 25-ROOM 24-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 26-ROOM 25-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 27-ROOM 26-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |
| 28-ROOM 27-Trm | Uncontrolled | 1 | N/A | N/A | 400 | N/A | 0 | N/A | N/A | N/A | <input type="checkbox"/> | |

