

# RIVER VALLEY MOTEL CONVERSION: 29-MICRO-APARTMENTS AND 1 MANAGER'S OFFICE UNIT MULTI-FAMILY RESIDENTIAL COMPLEX

1707 NEEDLES HWY, NEEDLES, CA 92363

LEGAL DESCRIPTION	
APN:	0185048090000
ADDRESS:	1707 NEEDLES HWY, NEEDLES, CA 92363
USE CODE:	MOTEL
TAX STATUS:	ASSESSED BY COUNTY
LAND TYPE:	COMMERCIAL
CONSTRUCTION TYPE:	V-B
ZONING:	C-2
FIRE ZONE:	YES
FIRE SPRINKLER:	NO
NUMBER OF STORIES:	1
EXISTING BUILDING HEIGHT:	13'-8"

OWNER / CONSULTANTS	
PROJECT OWNER:	1707 NEEDLES HWY LLC 1707 NEEDLES HWY, NEEDLES, CA 92363 (818) 381-2200 GHADIMIANA@GMAIL.COM
DESIGNER:	ADRIK ISSAEI (818) 268-6000 ADRIK.ISSAEI@GAMIL.COM
MECHANICAL ENGINEER:	ARMEN YARIAN (818) 370-7424 YARIANARMEN@GMAIL.COM

PROJECT STATISTICS	
LOT SIZE GROSS ACRE:	0.987
NUMBER OF UNITS:	29 MICRO-APARTMENTS AND 1 MANAGEMENT OFFICE UNIT
NUMBER OF PARKING SPOT:	28 STANDARD PARKING SPOTS + 2 ACCESSIBLE PARKING SPOTS = TOTAL 30

**SCOPE OF WORK**

A CONDITIONAL USE PERMIT (CUP) TO CONVERT THE RIVER VALLEY MOTEL INTO A MULTI-FAMILY RESIDENTIAL COMPLEX INCLUDING 29- MICRO-APARTMENTS AND 1 MANAGER'S OFFICE UNIT. THE SCOPE OF WORK INCLUDES EXTERIOR IMPROVEMENTS, INSTALLING ELECTRIC COOKTOPS AND KITCHEN CEILING VENTILATION IN EACH UNIT, AND REPLACING EXISTING AIR CONDITIONING UNITS WITH NEW SPLIT-UNIT SYSTEMS.

CODE REFERENCES	
a.	2022 CALIFORNIA RESIDENTIAL CODE
b.	2022 CALIFORNIA ELECTRICAL CODE
c.	2022 CALIFORNIA PLUMBING CODE
d.	2022 CALIFORNIA MECHANICAL CODE
e.	2022 CALIFORNIA GREEN BUILDING STANDARD CODE
2.	2023 TITLE 24 ENERGY STANDARDS



San Bernardino County Assessor -  
Recorder - County Clerk  
Office of Chris Wilhite

Report generated: Thursday, November 14, 2024  
Parcel Report

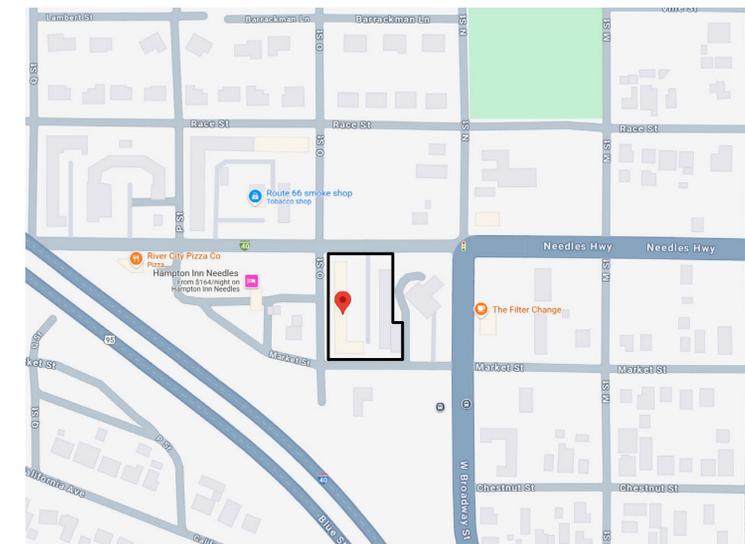


**Parcel**  
Parcel: 0185048090000  
Parcel Status: A | ACTIVE  
Parcel Type: 0 | REAL PROPERTY  
Property ID:  
Tax Status: 1 | ASSESSED BY COUNTY  
Use Code: MOTEL  
Land Access: PUB/PV PUBLIC PAVED  
Size: 04 | 20,000 SQ. FEET TO 1,500 ACRES  
Land Type: 03 | COMMERCIAL  
District: JOSHUA TREE  
Resp Group: D | REAL PROPERTY  
RespnUnit: COM | COMMERCIAL ZONE OR USE

**Owner**  
Owner 1: 1707 NEEDLES HWY LLC  
Owner 2:  
Joint Owner:  
Effective Date: 03/14/2024

Name	R/I	% Int	Type	Acquisition Date	Document Date	Inactive Date	Document Nbrs
1707 NEEDLES HWY LLC	SO = SOLE OWNER	100.0000	B = BILLED OWNER	02/28/2024	02/28/2024	NONE	20240046538; 20240046537

SHEET INDEX	
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A 1.0	SITE PLAN
A 1.1	LANDSCAPE PLAN
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A 2.1	PROPOSED FLOOR PLANS
A 2.2	EXISTING ROOF PLANS
A 3.0	EXISTING ELEVATIONS
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M 0.0	MECHANICAL CALCULATION AND SCHEDULE
M 0.01	MECHANICAL DETAILS
M 1.00	MECHANICAL FLOOR PLAN
M 2.00	MECHANICAL FLOOR PLAN
M 3.00	MECHANICAL T-24
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M 3.20	MECHANICAL T-24



VICINITY MAP



CONSULTANTS

THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREMENTS NECESSARY TO OBTAIN A BUILDING PERMIT. PLANS DO NOT PROVIDE ANY SPECIFICATIONS OTHER THAN THOSE NECESSARY TO OBTAIN BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION IT WILL BE BUILT. OWNER/CONTRACTOR SHALL HIRE THEIR OWN CONSULTANTS FOR ANY ADDITIONAL SPECIFICATIONS, WHICH MAY BE ADDED OR ATTACHED TO PLANS, AT THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECTURAL DESIGNER AND/OR CONSULTING OFFICE.

**ATELIER  
ISSAEI**

669 Ivy Street  
Glendale, CA 91204  
adrik.issaei@gmail.com  
818.268.6000

1707 NEEDLES HWY  
LLC

River Valley Motel  
Conversion: 29  
Micro-Apartments and 1  
Management Office Unit

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FEB 2025  
PROJECT STATUS

COVER SHEET

A 0.0

**FIRE CONDITIONS AND STANDARDS**

**F01 JURISDICTION**

THE ABOVE REFERENCED PROJECT IS UNDER THE JURISDICTION OF THE SAN BERNARDINO COUNTY FIRE DEPARTMENT HEREIN "FIRE DEPARTMENT". PRIOR TO ANY CONSTRUCTION OCCURRING ON ANY PARCEL, THE APPLICANT SHALL CONTACT THE FIRE DEPARTMENT FOR VERIFICATION OF CURRENT FIRE PROTECTION REQUIREMENTS. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CURRENT CALIFORNIA FIRE CODE REQUIREMENTS AND ALL APPLICABLE STATUTES, CODES, ORDINANCES, AND STANDARDS OF THE FIRE DEPARTMENT.

**F02 FIRE FEE**

THE REQUIRED FIRE FEES SHALL BE PAID TO THE SAN BERNARDINO COUNTY FIRE DEPARTMENT/COMMUNITY SAFETY DIVISION.

**F03 FIRE CONDITION LETTER EXPIRATION**

FIRE CONDITION LETTERS SHALL EXPIRE ON THE DATE DETERMINED BY THE PLANNING DIVISION OR BUILDING AND SAFETY.

**F06 INSPECTION BY FIRE DEPARTMENT**

PERMISSION TO OCCUPY OR USE THE BUILDING (CERTIFICATION OF OCCUPANCY OR SHELL RELEASE) WILL NOT BE GRANTED UNTIL THE FIRE DEPARTMENT INSPECTS, APPROVES AND SIGNS OFF ON THE BUILDING AND SAFETY JOB CARD FOR "FIRE FINAL".

**F09 BUILDING PLANS**

BUILDING PLANS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. THE REQUIRED FEES SHALL BE PAID AT THE TIME OF PLAN SUBMITTAL.

**F11 COMBUSTIBLE VEGETATION**

COMBUSTIBLE VEGETATION SHALL BE REMOVED AS FOLLOWS: A. WHERE THE AVERAGE SLOPE OF THE SITE IS LESS THAN 15% - COMBUSTIBLE VEGETATION SHALL BE REMOVED A MINIMUM DISTANCE OF THIRTY (30) FEET FROM ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS LESS. B. WHERE THE AVERAGE SLOPE OF THE SITE IS 15% OR GREATER - COMBUSTIBLE VEGETATION SHALL BE REMOVED A MINIMUM ONE HUNDRED (100) FEET FROM ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS LESS. COUNTY ORDINANCE #3586

**F16 ACCESS**

THE DEVELOPMENT SHALL HAVE A MINIMUM OF TWO POINTS OF VEHICULAR ACCESS. THESE ARE FOR FIRE/EMERGENCY EQUIPMENT ACCESS AND FOR EVACUATION ROUTES. A. SINGLE STORY ROAD ACCESS WIDTH. ALL BUILDINGS SHALL HAVE ACCESS PROVIDED BY APPROVED ROADS, ALLEYS AND PRIVATE DRIVES WITH A MINIMUM TWENTY-SIX (26) FOOT UNOBSTRUCTED WIDTH AND VERTICALLY TO FOURTEEN (14) FEET SIX (6) INCHES IN HEIGHT. DUE TO THE EXISTING WIDTH OF THE ONSITE DRIVE AISLE YOU SHALL CONVERT THE DRIVE AISLE TO ONE WAY TRAFFIC ONLY BY ENTERING ON NEEDLES HWY AND EXITING ON MARKET ST. DRIVE AISLE SHALL HAVE DIRECTIONAL ARROWS PAINTED ON DRIVING SURFACE AND "DO NOT ENTER" PAINTED ON DRIVING SURFACE AT MARKET ST.

**F19 SURFACE**

FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. ROAD SURFACE SHALL MEET THE APPROVAL OF THE FIRE CHIEF PRIOR TO INSTALLATION. ALL ROADS SHALL BE DESIGNED TO 85% COMPACTION AND/OR PAVING AND HOLD THE WEIGHT OF FIRE APPARATUS AT A MINIMUM OF 80K POUNDS.

**F24 FIRE LANES**

THE APPLICANT SHALL SUBMIT A FIRE LANE PLAN WITH THE BUILDING CONSTRUCTION PLANS TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. FIRE LANE CURBS SHALL BE PAINTED RED. "NO PARKING, FIRE LANE" SIGNS SHALL BE INSTALLED ON PUBLIC/PRIVATE ROADS IN ACCORDANCE WITH THE APPROVED PLAN.

**F25 STREET SIGN**

THIS PROJECT IS REQUIRED TO HAVE AN APPROVED STREET SIGN (TEMPORARY OR PERMANENT). THE STREET SIGN SHALL BE INSTALLED ON THE NEAREST STREET CORNER TO THE PROJECT. INSTALLATION OF THE TEMPORARY SIGN SHALL BE PRIOR ANY COMBUSTIBLE MATERIAL BEING PLACED ON THE CONSTRUCTION SITE. PRIOR TO FINAL INSPECTION AND OCCUPANCY OF THE FIRST STRUCTURE, THE PERMANENT STREET SIGN SHALL BE INSTALLED.

**F45 FIRE EXTINGUISHERS**

HAND PORTABLE FIRE EXTINGUISHERS ARE REQUIRED. THE LOCATION, TYPE, AND CABINET DESIGN SHALL BE APPROVED BY THE FIRE DEPARTMENT.

**F51 COMMERCIAL ADDRESSING**

COMMERCIAL AND INDUSTRIAL DEVELOPMENTS OF 100,000 SQ. FT OR LESS SHALL HAVE THE STREET ADDRESS INSTALLED ON THE BUILDING WITH NUMBERS THAT ARE A MINIMUM EIGHT (8) INCHES IN HEIGHT AND WITH A ONE (1) INCH STROKE. THE STREET ADDRESS SHALL BE VISIBLE FROM THE STREET. DURING THE HOURS OF DARKNESS, THE NUMBERS SHALL BE ELECTRICALLY ILLUMINATED (INTERNAL OR EXTERNAL). WHERE THE BUILDING IS TWO HUNDRED (200) FEET OR MORE FROM THE ROADWAY, ADDITIONAL NON-ILLUMINATED ADDRESS IDENTIFICATION SHALL BE DISPLAYED ON A MONUMENT, SIGN OR OTHER APPROVED MEANS WITH NUMBERS THAT ARE A MINIMUM OF SIX (6) INCHES IN HEIGHT AND THREE-QUARTER (¾) INCH STROKE.

**F60 SOLAR PLANS**

SOLAR/PV PLANS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. THE REQUIRED FEES SHALL BE PAID AT THE TIME OF PLAN SUBMITTAL.

**F70 ADDITIONAL REQUIREMENTS**

IN ADDITION TO THE FIRE REQUIREMENTS STATED HEREIN, OTHER ONSITE AND OFF-SITE IMPROVEMENTS MAY BE REQUIRED WHICH CANNOT BE DETERMINED AT THIS TIME AND WOULD HAVE TO BE REVIEWED AFTER MORE COMPLETE IMPROVEMENT PLANS AND PROFILES HAVE BEEN SUBMITTED TO THIS OFFICE.

**F71 PROPOSAL CHANGES**

ANY CHANGES TO THIS PROPOSAL SHALL REQUIRE NEW FIRE DEPARTMENT CONDITION LETTER.

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# ATELIER ISSAEI

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1707 NEEDLES HWY  
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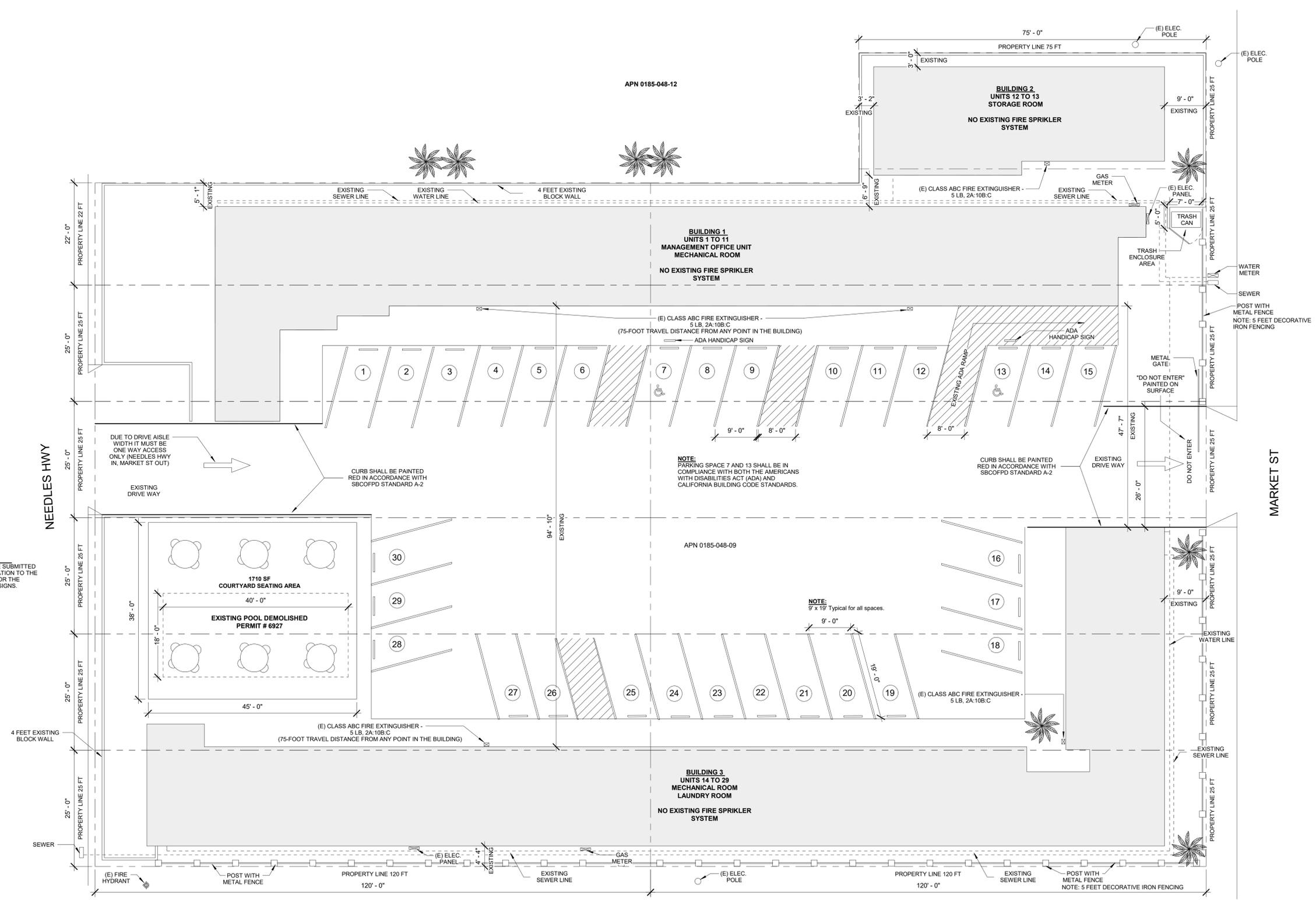
River Valley Motel  
Conversion: 29  
Micro-Apartments and 1  
Management Office Unit

1707 Needles Hwy,  
Needles, CA 92363

FEB 2025  
PROJECT STATUS

**GENERAL NOTES**

**A 0.1**



**1 SITE PLAN**  
SCALE: 3/32" = 1'-0"

0 ST



**ATTACHMENT NO. 2**

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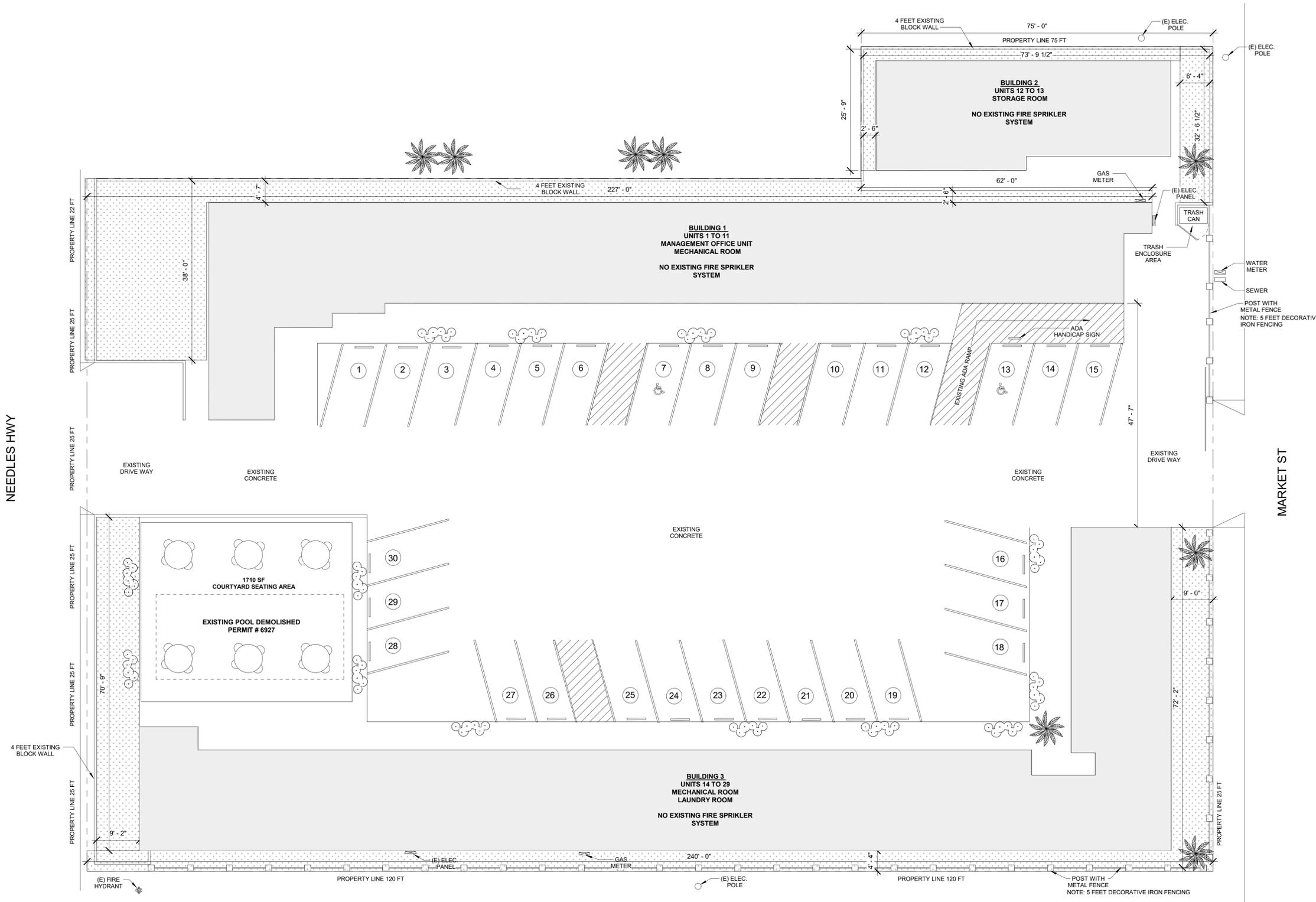
FEB 2025  
PROJECT STATUS

SITE PLAN

A 1.0

NEEDLES HWY

MARKET ST



**1 LANDSCAPE PLAN**  
 SCALE: 3/32" = 1'-0"  
 N

**LEGEND**

- LANDSCAPE GRASS TOPSOIL (4700 SF)
- 25 GAL SIZE QUEEN PALM TREE (15 TO 25 FEET MATURE HEIGHT) QUANTITY: 4
- 5 GAL SIZE SHRUB CAMELLIA MARIE BRACEY

**LANDSCAPE % OF TOTAL SITE AREA**

LOT SIZE: 42,993.72 SF  
 TOTAL LANDSCAPE ARE: 4700 SF  
 LOT LANDSCAPE % : 4700 / 42,993.72 = 10 %

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**LANDSCAPE PLAN**

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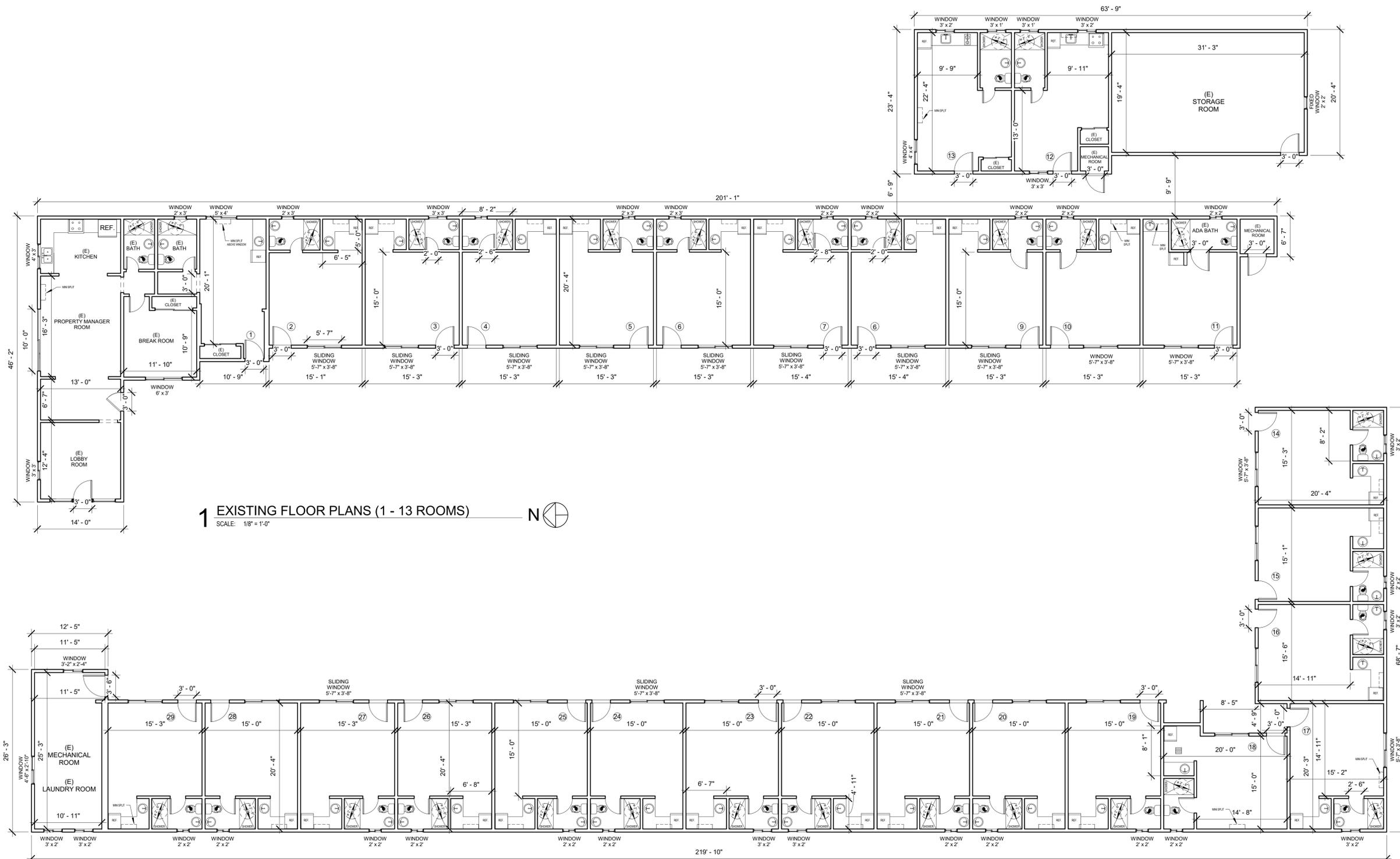
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PROJECT STATUS

## EXISTING FLOOR PLANS

A 2.0

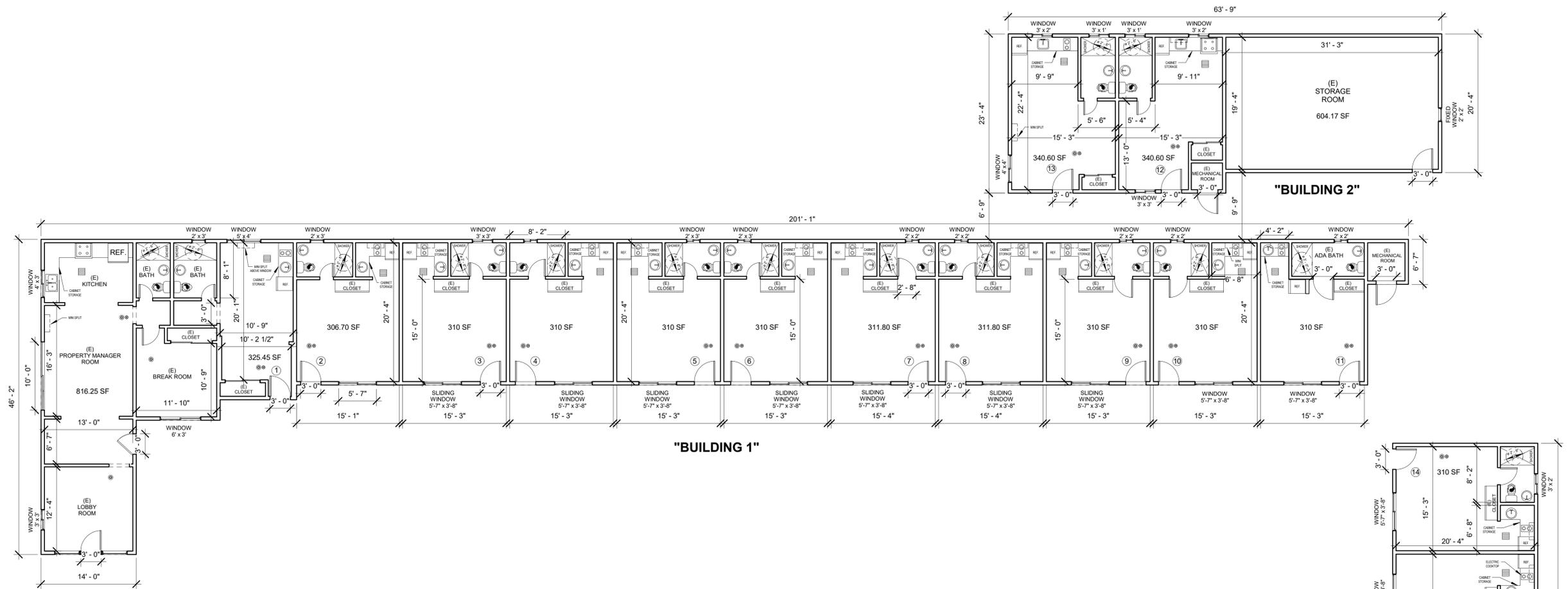


**1** EXISTING FLOOR PLANS (1 - 13 ROOMS)  
SCALE: 1/8" = 1'-0" N

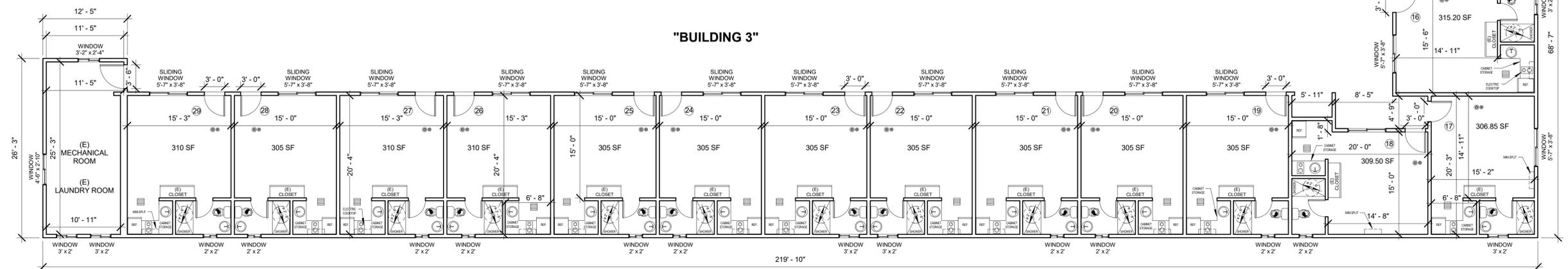
**2** EXISTING FLOOR PLAN (14 - 29 ROOMS)  
SCALE: 1/8" = 1'-0" N

**LEGEND:**

-  EXISTING WALL
-  DEMO WALL
-  120 V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP
-  APPROVED CARBON MONOXIDE DETECTOR RECEIVING POWER FROM MAIN WIRING WITH BATTERY BACK-UP
-  ENERGY STAR RATED, HUMIDISTAT CONTROLLED MIN. 50 CFM EXHAUST FAN DUCTED TO THE OUTDOOR.
-  ENERGY STAR RATED, KITCHEN CEILING EXHAUST FAN, CEILING MOUNT VENTILATION FAN DUCTED TO THE OUTDOOR.



**1 PROPOSED FLOOR PLANS** BUILDING 1 (UNITS 1-11 AND MANAGEMENT OFFICE UNIT ) BUILDING 2 (UNITS 12 - 13 AND STORAGE ROOM) N



**2 PROPOSED FLOOR PLAN - BUILDING 3** (UNITS 14 - 29, MECHANICAL ROOM AND LAUNDRY ROOM) N

UNIT	SQ FT	UNIT	SQ FT	UNIT	SQ FT
1	325.45	15	306.70	29	310
2	306.70	16	315.20	MANAGER OFFICE UNIT	816.25
3	310	17	306.85	STORAGE ROOM	604.17
4	310	18	309.50	BUILDING 1 MECHANICAL ROOM	30.71
5	310	19	305	BUILDING 3 MECHANICAL ROOM & LAUNDRY ROOM	276
6	310	20	305		
7	311.80	21	305		
8	311.80	22	305		
9	310	23	305		
10	310	24	305		
11	310	25	305		
12	340.60	26	310		
13	340.60	27	310		
14	310	28	305		

**NOTE**  
 1) EACH DWELLING TO HAVE A SEPARATE CLOTHING CLOSET WITH A DOOR AND ADDITIONAL STORAGE FOR DRY FOOD AND COOKING UTENSILS, MEETING INTERNATIONAL BUILDING CODE STANDARDS.  
 2) EACH UNIT TO INCLUDE A SEPARATE CLOTHING CLOSET WITH AT LEAST 30 INCHES OF CLEAR WORKING SPACE IN FRONT OF EACH.

**LEGEND:**  
 [Solid Line] EXISTING WALL  
 [Dashed Line] DEMO WALL  
 [Circle with X] 120 V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP  
 [Circle with dot] APPROVED CARBON MONOXIDE DETECTOR RECEIVING POWER FROM MAIN WIRING WITH BATTERY BACK-UP  
 [Circle with slash] ENERGY STAR RATED, HUMIDISTAT CONTROLLED MIN. 50 CFM EXHAUST FAN DUCTED TO THE OUTDOOR.  
 [Square with lines] ENERGY STAR RATED, KITCHEN CEILING EXHAUST FAN, CEILING MOUNT VENTILATION FAN DUCTED TO THE OUTDOOR.

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## PROPOSED FLOOR PLANS

A 2.1

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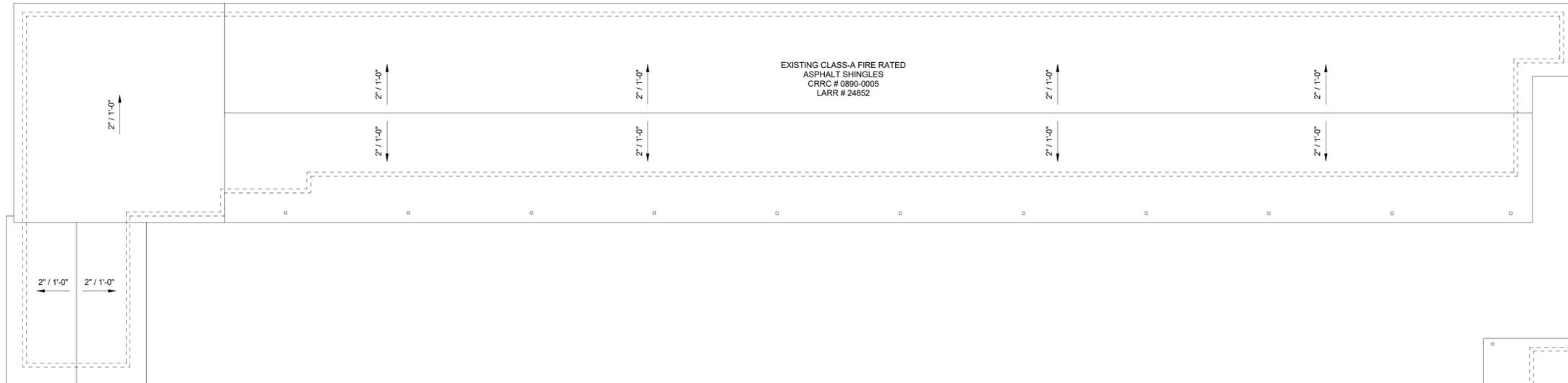
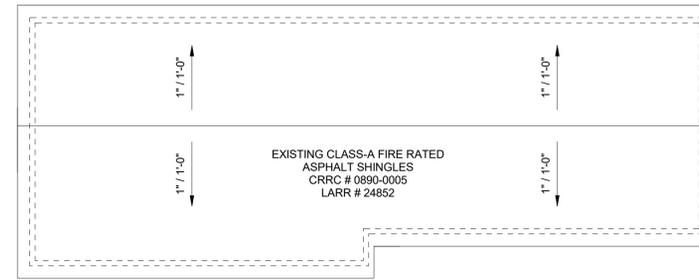
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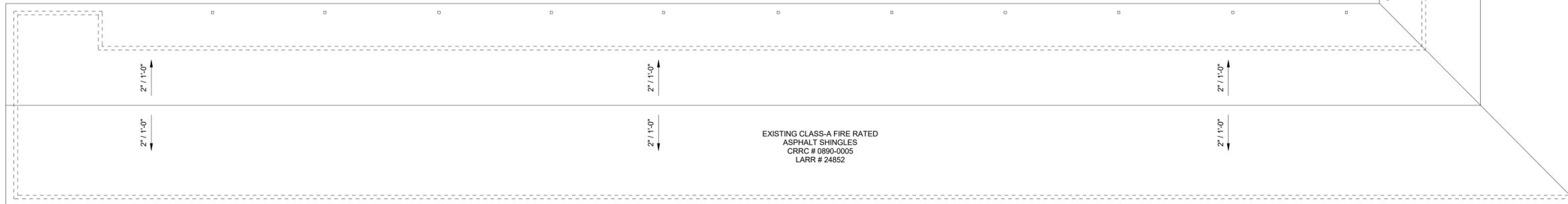
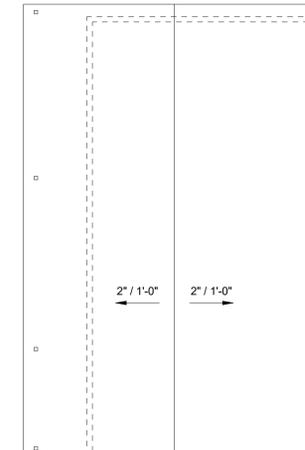
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## EXISTING ROOF PLANS

### A 2.2



**1** EXISTING ROOF PLAN  
SCALE: 1/8" = 1'-0"

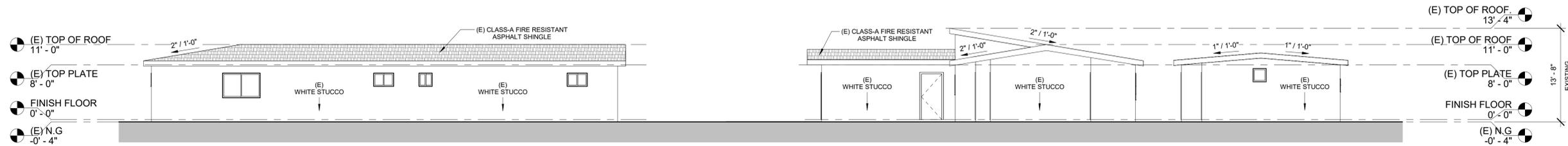


**2** EXISTING ROOF PLAN.  
SCALE: 1/8" = 1'-0"



**ROOF LEGEND:**

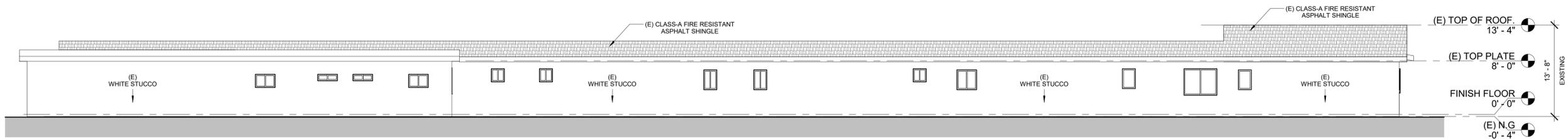
 EXISTING CLASS-A FIRE RATED ASPHALT SHINGLES



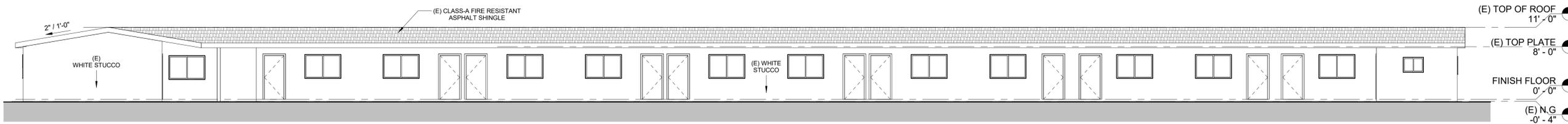
1 EXISTING SOUTH ELEVATIONS  
SCALE: 1/8" = 1'-0"



2 EXISTING NORTH ELEVATIONS  
SCALE: 1/8" = 1'-0"



3 EXISTING EAST ELEVATION (1 - 13 UNITS)  
SCALE: 1/8" = 1'-0"



4 EXISTING EAST ELEVATION (14 - 29 UNITS)  
SCALE: 1/8" = 1'-0"

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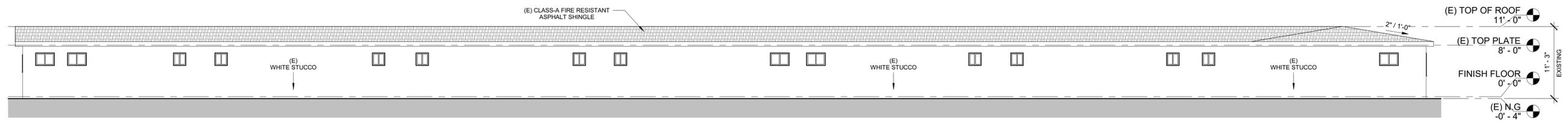
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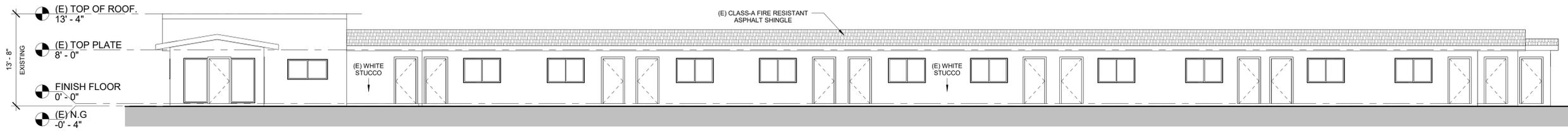
EXISTING  
ELEVATIONS

A 3.0

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**1** EXISTING WEST ELEVATION (14 - 29 UNITS)  
SCALE: 1/8" = 1'-0"



**2** EXISTING WEST ELEVATION (1 - 13 UNITS)  
SCALE: 1/8" = 1'-0"

# ATELIER ISSAEI

669 Ivy Street  
Glendale, CA 91204  
adrik.issaei@gmail.com  
818.268.6000

1707 NEEDLES HWY  
LLC

River Valley Motel  
Conversion: 29  
Micro-Apartments and 1  
Management Office Unit

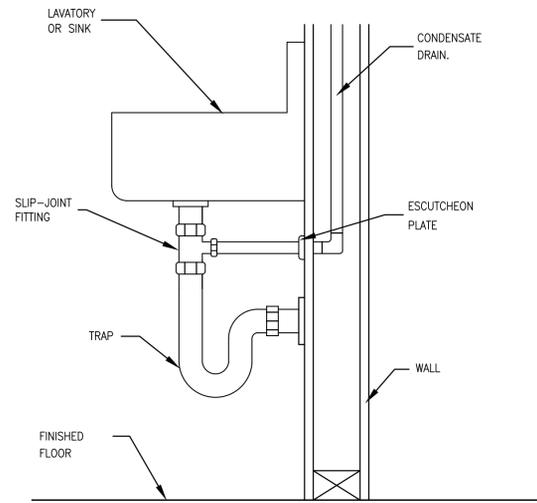
1707 Needles Hwy,  
Needles, CA 92363

FEB 2025  
PROJECT STATUS

EXISTING  
ELEVATIONS

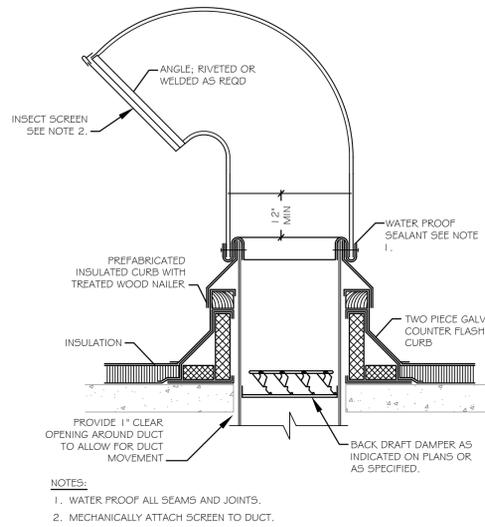
A 3.1





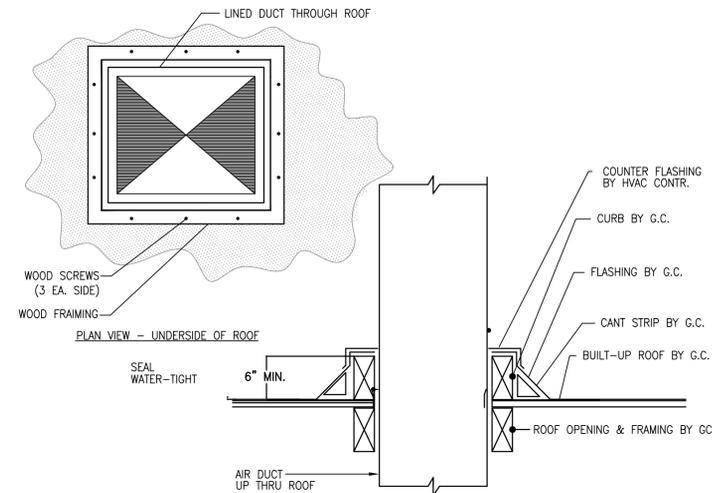
CONDENSATE DRAIN CONNECTION DETAIL

3



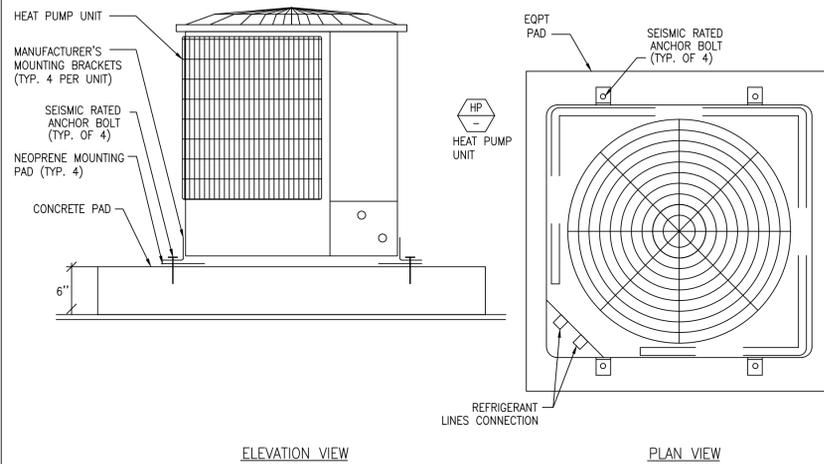
GOOSENECK DETAIL

2



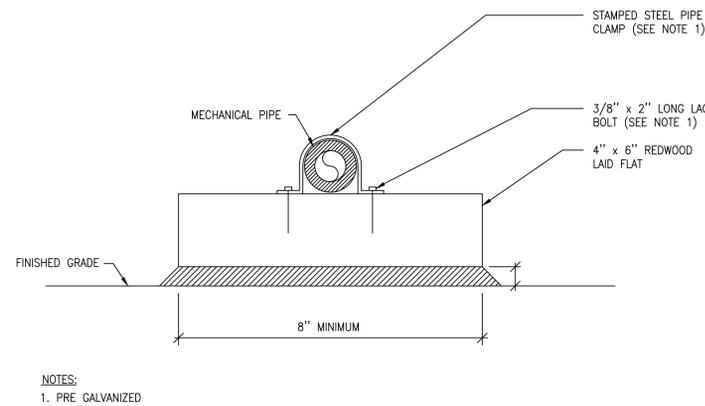
REINFORCEMENT AT DUCT THROUGH ROOF PENETRATION

1



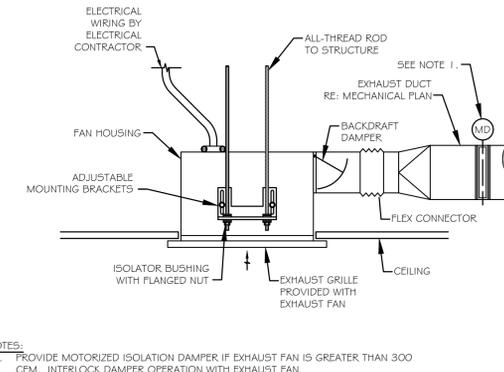
OUTDOOR HEAT PUMP UNIT MOUNTING DETAIL

6



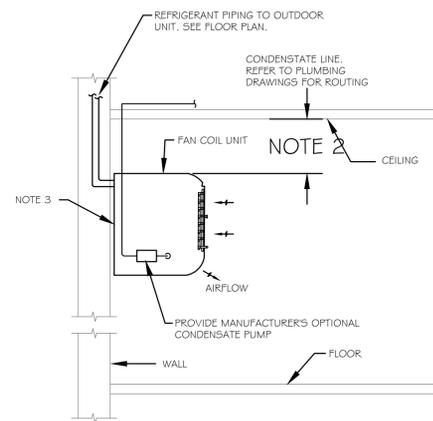
PIPE SUPPORT MOUNTING DETAIL

5



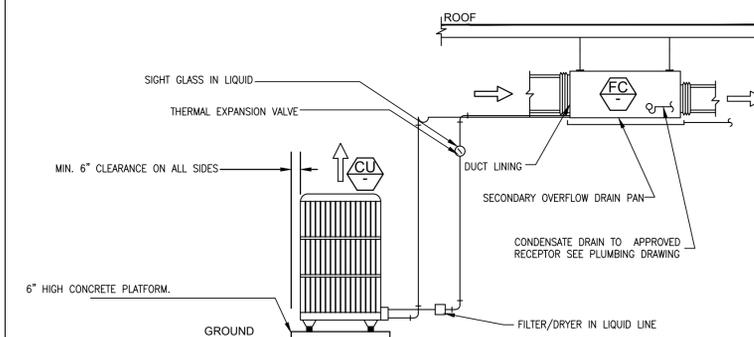
CEILING MOUNTED EXHAUST FAN

4



WALL MOUNTED FAN COIL UNIT MOUNTING

8



TYPICAL SPLIT AC SYSTEM DETAIL

7

ARCHITECT:

CONSULTANTS:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT  
1707 NEEDLES HWY  
NEEDLES CA 92363

SUBMISSION RECORD:

1. 11/20/24 PLAN CHECK SUBMITTAL

HE PROJ. # -

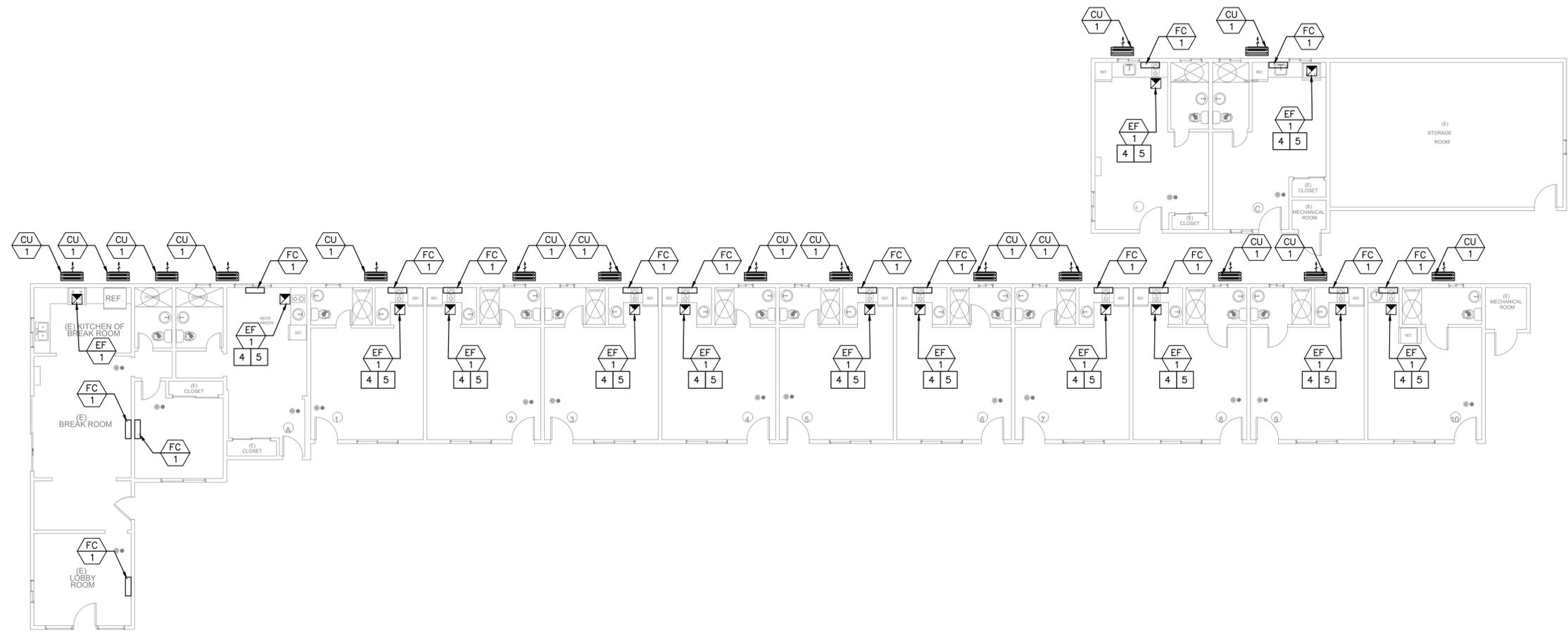
SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL  
DETAILS

SHEET NO:

MO.01



MECHANICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"



**HVAC KEYNOTES**

- 1 INSTALL PRIMARY 3/4" CONDENSATE DRAIN DOWN TO LAVATORY TAILPIECE.
- 2 OR CONTRACTOR SHALL INSTAL 3/4" CONDENSATE DRAIN. TERMINATE AT VISIBLE LOCATION, PROVIDE ESCUTCHEON PLATE. AS ALTERNATIVE PROVIDE ELECTRONIC OVERFLOW PROTECTION, DRAIN PAN LEVEL FLOAT SENSOR/CONTROL.
- 3 PROVIDE MINIMUM MAINTENANCE CLEARANCE REQUIRED PER MANUFACTURE RECOMMENDATION.
- 4 8"Ø UTR.
- 5 ENVIRONMENTAL EXHAUST OUTLETS SHALL TERMINATE NO LESS THAN 3 FEET FROM PROPERTY LINE, 3 FEET FROM OPENINGS INTO BUILDING, AND 10 FEET FROM MECHANICAL AIR INTAKE.

**ATTACHMENT NO. 2**

ARCHITECT:

CONSULTANTS:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT  
1707 NEEDLES HWY  
NEEDLES CA 92363

SUBMISSION RECORD:

1. 11/20/24 PLAN CHECK SUBMITTAL

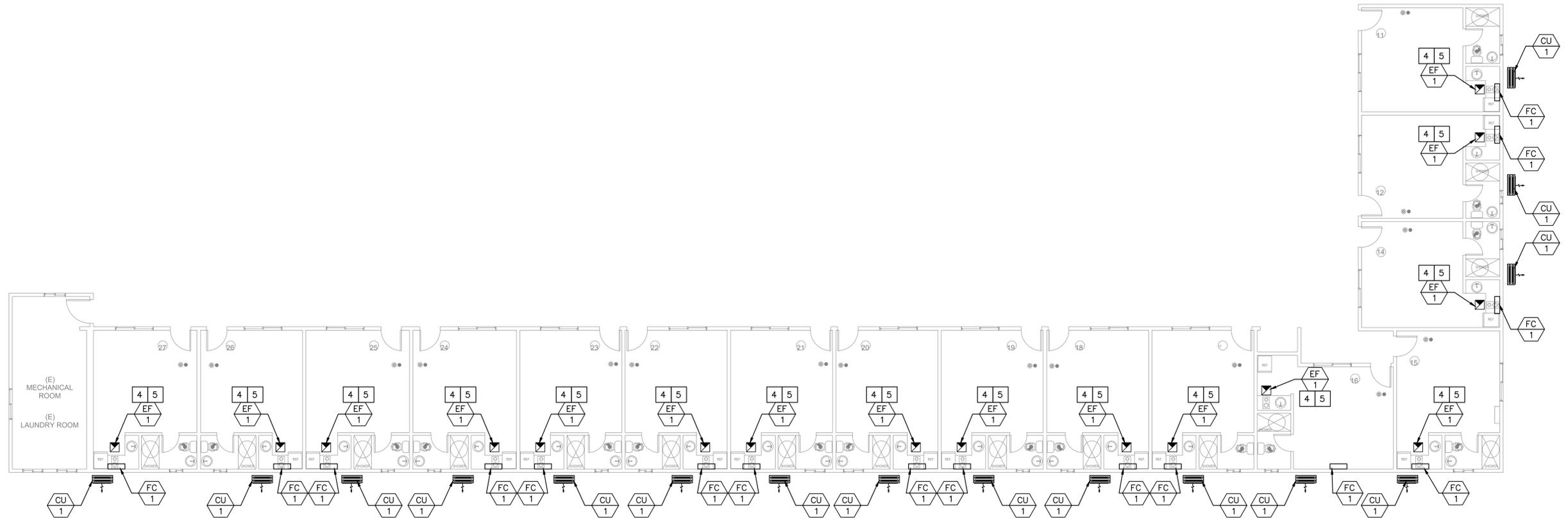
HE PROJ. # -

SCALE: AS SHOWN

DRAWING TITLE  
MECHANICAL FLOOR PLAN

SHEET NO:

M1.00



MECHANICAL FLOOR PLAN

SCALE: 1/8" = 1'-0" 

**HVAC KEYNOTES**

- 1 INSTALL PRIMARY 3/4" CONDENSATE DRAIN DOWN TO LAVATORY TAILPIECE.
- 2 OR CONTRACTOR SHALL INSTAL 3/4" CONDENSATE DRAIN. TERMINATE AT VISIBLE LOCATION, PROVIDE ESCUTCHEON PLATE. AS ALTERNATIVE PROVIDE ELECTRONIC OVERFLOW PROTECTION, DRAIN PAN LEVEL FLOAT SENSOR/CONTROL.
- 3 PROVIDE MINIMUM MAINTENANCE CLEARANCE REQUIRED PER MANUFACTURE RECOMMENDATION.
- 4 8"Ø UTR.
- 5 ENVIRONMENTAL EXHAUST OUTLETS SHALL TERMINATE NO LESS THAN 3 FEET FROM PROPERTY LINE, 3 FEET FROM OPENINGS INTO BUILDING, AND 10 FEET FROM MECHANICAL AIR INTAKE.

**ATTACHMENT NO. 2**

ARCHITECT:

CONSULTANTS:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT  
1707 NEEDLES HWY  
NEEDLES CA 92363

SUBMISSION RECORD:

1.	11/20/24	PLAN CHECK SUBMITTAL

HE PROJ. # -

SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL FLOOR PLAN

SHEET NO:

M2.00

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E		
Nonresidential Performance Compliance Method				(Page 1 of 19)		
Project Name:		1707 NEEDLES HWY	Date Prepared:		2024-11-20	
<b>A. General Information</b>						
1	Project Name	1707 NEEDLES HWY				
2	Run Title	Title 24 Analysis				
3	Project Location	1707 NEEDLES HWY				
4	City	NEEDLES	5	Standards Version	Compliance 2022	
6	Zip code	92363	7	Compliance Software (version)	EnergyPro 9.1	
8	Climate Zone	15	9	Building Orientation (deg)	0	
10	Building Type(s)	• Nonresidential		11	Weather File	NEEDLES_STYP20.epw
12	Project Scope	• Existing alteration		13	Number of Dwelling Units	0
14	Total Conditioned Floor Area in Scope (ft <sup>2</sup> )	8596		15	Total # of hotel/motel rooms	0
16	Total Unconditioned Floor Area (ft <sup>2</sup> )	0		17	Fuel Type	Natural gas
18	Nonresidential Conditioned Floor Area	8596		19	Total # of Stories (Habitable Above Grade)	1
20	Residential Conditioned Floor Area	0				

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Report Generated: 2024-11-20 11:14:36  
 Schema Version: rev 20220601 Compliance ID: EnergyPro-20166-1124-0134

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD						NRCC-PRF-E	
Nonresidential Performance Compliance Method						(Page 2 of 19)	
<b>B. PROJECT SUMMARY</b>							
Table B shows which building components are included in the performance calculation. If indicated as not included, the project must show compliance prescriptively if within the permit application.							
<b>Building Components Complying via Performance</b>				<b>Building Components Complying Prescriptively</b>			
Envelope (See Table G)	Nonres	Not Included	Solar Thermal Water Heating (See Table I3)	<input type="checkbox"/>	Performance	The following building components are ONLY eligible for prescriptive compliance and should be documented on the NRCC form listed if within the scope of the permit application (i.e. compliance will not be shown on the NRCC-PRF-E).	
	MultiFam	Not Included		<input checked="" type="checkbox"/>	Not Included		
Mechanical (See Table H)	Nonres	Performance	Covered Process: Commercial Kitchens (see Table J)	<input type="checkbox"/>	Performance	Indoor Lighting (Unconditioned) 140.6 & 170.2(e)	NRCC-11-E is required
	MultiFam	Not Included		<input checked="" type="checkbox"/>	Not Included	Outdoor Lighting 140.7 & 170.2(e)	NRCC-170-E is required
Domestic Hot Water (See Table I)	Nonres	Not Included	Covered Process: Laboratory Exhaust (see Table J)	<input type="checkbox"/>	Performance	Sign Lighting 140.8 & 170.2(e)	NRCC-115-E is required
	MultiFam	Not Included		<input checked="" type="checkbox"/>	Not Included	<b>Building Components Complying with Mandatory Measures</b>	
Lighting (Indoor Conditioned, see Table K)	Nonres	Not Included	Photovoltaics (see table F)	<input type="checkbox"/>	Performance	Electrical power systems, commissioning, solar ready, elevator and escalator requirements are mandatory and should be documented on the NRCC form listed if applicable (i.e. compliance will not be shown on the NRCC-PRF-E.)	
	MultiFam	Not Included		<input checked="" type="checkbox"/>	Not Included	Electrical Power Distribution 110.11	NRCC-ELC-E is required
			Battery (see Table F)	<input type="checkbox"/>	Performance	Commissioning 120.8	NRCC-CXR-E is required
				<input checked="" type="checkbox"/>	Not Included	Solar and Battery 110.10	NRCC-SAB-E is required

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 3 of 19)	
<b>C1. COMPLIANCE SUMMARY</b>					
<b>COMPLIES<sup>1</sup></b>					
	Time Dependent Valuation (TDV)			Source Energy Use	
	Efficiency <sup>1</sup> (kBtu/ft <sup>2</sup> - yr)	Total <sup>2</sup> (kBtu/ft <sup>2</sup> - yr)	Total <sup>2</sup> (kBtu/ft <sup>2</sup> - yr)		
Standard Design	460.62	460.62	41.11		
Proposed Design	289.93	289.93	23.49		
<b>Compliance Margins</b>	<b>170.69</b>	<b>170.69</b>	<b>17.62</b>		
	<b>Pass</b>	<b>Pass</b>	<b>Pass</b>		

<sup>1</sup> Efficiency measures include improvements like a better building envelope and more efficient equipment  
<sup>2</sup> Compliance totals include efficiency, photovoltaics and batteries  
<sup>3</sup> Building complies when efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Report Generated: 2024-11-20 11:14:36  
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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 4 of 19)	
<b>C2. TDV ENERGY COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kBtu/ft<sup>2</sup> - yr)</b>					
<b>COMPLIES<sup>2</sup></b>					
Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) <sup>1</sup>		
Space Heating	1.86	3.07	-1.21		
Space Cooling	190.65	150.86	39.79		
Indoor Fans	198.65	66.54	132.11		
Heat Rejection	0	0	0		
Pumps & Misc.	0	0	0		
Domestic Hot Water	6.22	6.22	0		
Indoor Lighting	63.24	63.24	0		
Flexibility	---	---	---		
<b>EFFICIENCY COMPLIANCE TOTAL</b>	<b>460.62</b>	<b>289.93</b>	<b>170.69 (37.1%)</b>		
Photovoltaics	---	---	---		
Batteries	---	---	---		
<b>TOTAL COMPLIANCE</b>	<b>460.62</b>	<b>289.93</b>	<b>170.69 (37.1%)</b>		

<sup>1</sup> Notes: This number in parenthesis following the Compliance Margin in column 4, represents the Percent Better than Standard.

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Report Generated: 2024-11-20 11:14:36  
 Schema Version: rev 20220601 Compliance ID: EnergyPro-20166-1124-0134

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 5 of 19)	
<b>C3. TDV ENERGY RESULTS FOR NON-REGULATED COMPONENTS<sup>1</sup></b>					
Non-Regulated Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) <sup>1</sup>		
Receptacle	112.8	112.8	---		
Process	---	---	---		
Other Ltg	---	---	---		
Process Motors	---	---	---		
<b>TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)</b>	<b>573.42</b>	<b>402.73</b>	<b>170.69 (29.8%)</b>		

<sup>1</sup> Notes: This table is not used for Energy Code Compliance.

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Report Generated: 2024-11-20 11:14:36  
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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 6 of 19)	
<b>C4. SOURCE ENERGY COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual SOURCE Energy Use, kBtu/ft<sup>2</sup> / yr)</b>					
<b>COMPLIES<sup>1</sup></b>					
Energy Component	Standard Design (SOURCE)	Proposed Design (SOURCE)	Compliance Margin (SOURCE) <sup>1</sup>		
Space Heating	0.59	0.5	0.09		
Space Cooling	12.75	9.55	3.2		
Indoor Fans	20.44	6.11	14.33		
Heat Rejection	0	0	0		
Pumps & Misc.	0	0	0		
Domestic Hot Water	2.24	2.24	0		
Indoor Lighting	5.09	5.09	0		
Flexibility	---	---	---		
<b>EFFICIENCY COMPLIANCE TOTAL</b>	<b>41.11</b>	<b>23.49</b>	<b>17.62 (42.9%)</b>		
Photovoltaics	---	---	---		
Batteries	---	---	---		
<b>TOTAL COMPLIANCE</b>	<b>41.11</b>	<b>23.49</b>	<b>17.62 (42.9%)</b>		

<sup>1</sup> Notes: This number in parenthesis following the Compliance Margin in column 4, represents the Percent Better than Standard.

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 7 of 19)	
<b>C5. SOURCE ENERGY RESULTS FOR NON-REGULATED COMPONENTS<sup>1</sup></b>					
Non-Regulated Energy Component	Standard Design (SOURCE)	Proposed Design (SOURCE)	Compliance Margin (SOURCE) <sup>1</sup>		
Receptacle	8.86	8.86	---		
Process	---	---	---		
Other Ltg	---	---	---		
Process Motors	---	---	---		
<b>TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)</b>	<b>49.97</b>	<b>32.35</b>	<b>17.62 (35.3%)</b>		

<sup>1</sup> Notes: This table is not used for Energy Code Compliance.

C6. 'ABOVE CODE' QUALIFICATIONS	
<input type="checkbox"/> This project is pursuing CalGreen Tier 1	<input type="checkbox"/> This project is pursuing CalGreen Tier 2

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD							NRCC-PRF-E	
Nonresidential Performance Compliance Method							(Page 8 of 19)	
<b>C7. ENERGY USE SUMMARY</b>								
Energy Component	Standard Design Site (MWh)	Proposed Design Site (MWh)	Margin (MWh)	Standard Design Site (MBtu)	Proposed Design Site (MBtu)	Margin (MBtu)		
Space Heating	---	0.8	---	5.5	---	---		
Space Cooling	52	39.9	12.1	---	---	---		
Indoor Fans	61.1	21	40.1	---	---	---		
Heat Rejection	---	---	---	---	---	---		
Pumps & Misc.	---	---	---	---	---	---		
Domestic Hot Water	---	---	---	20.9	20.9	0		
Indoor Lighting	21.7	21.7	0	---	---	---		
Flexibility	---	---	---	---	---	---		
<b>EFFICIENCY TOTAL</b>	<b>134.8</b>	<b>83.4</b>	<b>51.4</b>	<b>26.4</b>	<b>20.9</b>	<b>5.5</b>		
Photovoltaics	---	---	---	---	---	---		
Batteries	---	---	---	---	---	---		
<b>ENERGY USE SUBTOTAL</b>	<b>134.8</b>	<b>83.4</b>	<b>51.4</b>	<b>26.4</b>	<b>20.9</b>	<b>5.5</b>		
Receptacle	39.3	39.3	0	---	---	---		
Process	---	---	---	---	---	---		
Other Ltg	---	---	---	---	---	---		
Process Motors	---	---	---	---	---	---		
<b>ENERGY USE TOTAL</b>	<b>174.1</b>	<b>114.7</b>	<b>59.4</b>	<b>31.4</b>	<b>20.9</b>	<b>5.5</b>		

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD												NRCC-PRF-E	
Nonresidential Performance Compliance Method												(Page 9 of 19)	
<b>C8. ENERGY USE INTENSITY (EUI)</b>													
	Standard Design (kBtu/ft <sup>2</sup> / yr)	Proposed Design (kBtu/ft <sup>2</sup> / yr)	Margin (kBtu/ft <sup>2</sup> / yr)	Margin Percentage									
GROSS EUI <sup>1</sup>	72.18	51.13	21.05	29.16									
NET EUI <sup>1</sup>	72.18	51.13	21.05	29.16									

<sup>1</sup> Notes: Gross EUI is Energy Use Total (not including PV)/Total Building Area. Net EUI is Energy Use Total (including PV)/Total Building Area.

**D1. EXCEPTIONAL CONDITIONS**

- The building does not include service water heating. Verify that service water heating is not required and is not included in the design.
- The user model includes space(s) that are designed to be served by mechanical cooling systems, but the cooling systems were not included in the simulation model. A cooling system has been modeled for both the proposed and standard cases.
- The user model includes space(s) without sufficient cooling equipment. Cooling equipment has been added to the model to meet cooling loads.

H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.)											
Equipment Name	Equipment Type	Qty	Heating			Cooling			Economizer Type (if present)	Status <sup>1</sup>	
			Total Heating Output (kBtu/h)	Supp Heat Output (kBtu/h)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit			Efficiency
HP-1	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N
HP-2	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N

<sup>1</sup> Status: N - New, A - Altered, E - Existing

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Report Generated: 2024-11-20 11:14:36  
 Schema Version: rev 20220601 Compliance ID: EnergyPro-20166-1124-0134

ARCHITECT:

CONSULTANTS:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT  
1707 NEEDLES HWY  
NEEDLES CA 92363

SUBMISSION RECORD:

1. 11/20/24 PLAN CHECK SUBMITTAL

HE PROJ. # -

SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL  
T-24

SHEET NO:

M3.00

ATTACHMENT NO. 2

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD												NRCC-PRF-E	
Nonresidential Performance Compliance Method												(Page 10 of 19)	
H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.)													
Equipment Name	Equipment Type	Qty	Heating				Cooling				Economizer Type (if present)	Status <sup>1</sup>	
			Total Heating Output (kBtu/h)	Supp Heat Output (kBtu/h)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency				
HP-3	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-4	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-5	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-6	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-7	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-8	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-9	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-10	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		

<sup>1</sup> Status: N - New, A - Altered, E - Existing

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Report Generated: 2024-11-20 11:14:36  
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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD												NRCC-PRF-E	
Nonresidential Performance Compliance Method												(Page 11 of 19)	
H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.)													
Equipment Name	Equipment Type	Qty	Heating				Cooling				Economizer Type (if present)	Status <sup>1</sup>	
			Total Heating Output (kBtu/h)	Supp Heat Output (kBtu/h)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency				
HP-B	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-C	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-11	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-12	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-14	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-15	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-16	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-17	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		

<sup>1</sup> Status: N - New, A - Altered, E - Existing

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD												NRCC-PRF-E	
Nonresidential Performance Compliance Method												(Page 12 of 19)	
H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.)													
Equipment Name	Equipment Type	Qty	Heating				Cooling				Economizer Type (if present)	Status <sup>1</sup>	
			Total Heating Output (kBtu/h)	Supp Heat Output (kBtu/h)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency				
HP-18	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-19	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-20	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-21	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-22	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-23	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-24	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-25	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		

<sup>1</sup> Status: N - New, A - Altered, E - Existing

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD												NRCC-PRF-E	
Nonresidential Performance Compliance Method												(Page 13 of 19)	
H1. DRY SYSTEM EQUIPMENT (FURNACES, AIR HANDLING UNITS, HEAT PUMPS, VRF, ECONOMIZERS ETC.)													
Equipment Name	Equipment Type	Qty	Heating				Cooling				Economizer Type (if present)	Status <sup>1</sup>	
			Total Heating Output (kBtu/h)	Supp Heat Output (kBtu/h)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency				
HP-26	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		
HP-27	Single Zone Heat Pump (SZHP) Air System	1	11.98	0	N/A	NA	10.56	EER SEER	12.1 17	No Economizer	N		

<sup>1</sup> Status: N - New, A - Altered, E - Existing

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD												NRCC-PRF-E	
Nonresidential Performance Compliance Method												(Page 14 of 19)	
H3. NONRESIDENTIAL / COMMON USE AREA FAN SYSTEMS SUMMARY													
Name or Item Tag	Qty	Design OA CFM	Supply Fan				Return / Relief Fan				Status <sup>1</sup>		
			CFM	Power	Power Units	Control	Fan Type	CFM	Power	Power Units		Control	
HP-1	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-2	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-3	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-4	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-5	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-6	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-7	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-8	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-9	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-10	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-8	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-C	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-11	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-12	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-14	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-15	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-16	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-17	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-18	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-19	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-20	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-21	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-22	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		

<sup>1</sup> Status: N - New, A - Altered, E - Existing

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD												NRCC-PRF-E	
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H3. NONRESIDENTIAL / COMMON USE AREA FAN SYSTEMS SUMMARY													
Name or Item Tag	Qty	Design OA CFM	Supply Fan				Return / Relief Fan				Status <sup>1</sup>		
			CFM	Power	Power Units	Control	Fan Type	CFM	Power	Power Units		Control	
HP-23	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-24	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-25	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-26	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		
HP-27	1	46.05	400	0.15	BHP	Constant Vol	N/A	N/A	N/A	N/A	N		

<sup>1</sup> Status: N - New, A - Altered, E - Existing

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H9. NONRESIDENTIAL / COMMON USE AREA & HOTEL/MOTEL VENTILATION													
Zone Name	Ventilation Function	# of People	Mechanical Ventilation		Conditioned Area (sf)	DCV or Occupant Sensor Controls, or Both							
			Supply OA CFM	Exhaust CFM									
15-ROOM 14	Misc - All others	1.53	46.05	0	307	N/A							
16-ROOM 15	Misc - All others	1.53	46.05	0	307	N/A							
17-ROOM 16	Misc - All others	1.53	46.05	0	307	N/A							
18-ROOM 17	Misc - All others	1.53	46.05	0	307	N/A							
19-ROOM 18	Misc - All others	1.53	46.05	0	307	N/A							
20-ROOM 19	Misc - All others	1.53	46.05	0	307	N/A							
21-ROOM 20	Misc - All others	1.53	46.05	0	307	N/A							
22-ROOM 21	Misc - All others	1.53	46.05	0	307	N/A							
23-ROOM 22	Misc - All others	1.53	46.05	0	307	N/A							
24-ROOM 23	Misc - All others	1.53	46.05	0	307	N/A							
25-ROOM 24	Misc - All others	1.53	46.05	0	307	N/A							
26-ROOM 25	Misc - All others	1.53	46.05	0	307	N/A							
27-ROOM 26	Misc - All others	1.53	46.05	0	307	N/A							
28-ROOM 27	Misc - All others	1.53	46.05	0	307	N/A							

H11. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY											
System ID	System Type	Qty	Rated Capacity (kBtu/h)		Airflow (cfm)			Fan			VSD
			Heating	Cooling	Design	Min.	Min. Ratio	Power	Power Units	Cycles	
1-ROOM 1-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□
2-ROOM 2-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□
3-ROOM 3-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□
4-ROOM 4-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□
5-ROOM 5-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□

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H11. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY													
System ID	System Type	Qty	Rated Capacity (kBtu/h)		Airflow (cfm)			Fan			VSD		
			Heating	Cooling	Design	Min.	Min. Ratio	Power	Power Units	Cycles			
6-ROOM 6-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
7-ROOM 7-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
8-ROOM 8-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
9-ROOM 9-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
10-ROOM 10-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
11-ROOM 11-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
12-ROOM 12-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
13-ROOM 13-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
14-ROOM 14-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
16-ROOM 15-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
17-ROOM 16-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
18-ROOM 17-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
19-ROOM 18-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
20-ROOM 19-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
21-ROOM 20-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
22-ROOM 21-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
23-ROOM 22-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
24-ROOM 23-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
25-ROOM 24-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
26-ROOM 25-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
27-ROOM 26-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		
28-ROOM 27-Trm	Uncontrolled	1	N/A	N/A	400	N/A	0	N/A	N/A	N/A	□		

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**Documentation Author's Declaration Statement**

**1. I certify that this Certificate of Compliance documentation is accurate and complete.**

Documentation Author Name:	Documentation Author Signature:
Company:	Signature Date:
Address:	CEA/HERS Certification Identification (if applicable):
City/State/Zip, :	Phone:

**Responsible Person's Declaration statement**

**I certify the following under penalty of perjury, under the laws of the State of California:**

1. The information provided on this Certificate of Compliance is true and correct.
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
5. I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections, and I will take the necessary steps to accomplish this requirement.
6. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy, and I will take the necessary steps to accomplish these requirements.

Responsible Designer Name:	Responsible Designer Signature:
Company:	Date Signed:
Address:	License #:
City/State/Zip, :	Title:
Phone:	Scope:

ARCHITECT:

CONSULTANTS:

STAMP:



PROJECT NAME:

TENANT IMPROVEMENT  
1707 NEEDLES HWY  
NEEDLES CA 92363

SUBMISSION RECORD:

1.	11/20/24	PLAN CHECK SUBMITTAL

HE PROJ. # -

SCALE: AS SHOWN

DRAWING TITLE

MECHANICAL  
T-24

SHEET NO:

M3.20