

1800 PIONEER CREEK CENTER PRIVATE DRIVE

TITLE SHEET, LEGEND, EXISTING CONDITIONS & REMOVAL PLAN

MAPLE PLAIN, MINNESOTA

LEGEND *

— OHW —	EXISTING OVERHEAD ELECTRIC	— —	PROPOSED WATER PIPE
— TEL —	EXISTING UNDERGROUND TELEPHONE	— >—	PROPOSED SANITARY SEWER PIPE
— CBL —	EXISTING UNDERGROUND CABLE	— >>—	PROPOSED STORM SEWER PIPE
□	EXISTING TELEPHONE PEDESTAL	— >>>—	PROPOSED DRAINTILE AND CLEAN-OUT
□	EXISTING ELECTRICAL PEDESTAL	— ELEC —	PROPOSED ELECTRIC SERVICE *
□	EXISTING CABLE PEDESTAL	— GAS —	PROPOSED GAS SERVICE *
□	EXISTING UTILITY POLE	— TEL —	PROPOSED TELEPHONE SERVICE *
☆	EXISTING LIGHT POLE	⊙	PROPOSED STORM MANHOLE
—>	EXISTING STORM SEWER	□	PROPOSED CATCH BASIN
— —	EXISTING WATER MAIN	□	PROPOSED FLARED-END SECTION
—>	EXISTING SANITARY SEWER	⊗	PROPOSED GATE VALVE
— FM —	EXISTING FORCEMAIN	⊗	PROPOSED HYDRANT
⊙	EXISTING STORM MANHOLE	⊙	PROPOSED SANITARY SEWER MANHOLE
□	EXISTING CATCH BASIN	— 928 —	PROPOSED CONTOUR
◀	EXISTING FLARED-END SECTION	— 930 —	PROPOSED CONTOUR
⊗	EXISTING GATE VALVE	⊗ 920.60	PROPOSED SPOT ELEVATION (GUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
⊗	EXISTING HYDRANT	— S —	PROPOSED SILT FENCE
⊗	EXISTING WELL	— 4.0% —	PROPOSED DIRECTION OF DRAINAGE
⊙	EXISTING SANITARY SEWER MANHOLE	■	PROPOSED BITUMINOUS
— 928 —	EXISTING CONTOUR	■	PROPOSED FILTRATION MEDIA
— 930 —	EXISTING CONTOUR	○	PROPOSED INLET PROTECTION
⊗ 920.99	EXISTING SPOT ELEVATION	■	PROPOSED HEAVY-DUTY PAVEMENT
⊗ 207.42	EXISTING SPOT ELEVATION (MATCH INTO ELEVATION)	■	PROPOSED ENKAMAT
■	EXISTING BITUMINOUS	■	PROPOSED RETAINING WALL
☀	EXISTING TREES	■	BITUMINOUS PAVEMENT REMOVAL
✕	EXISTING TREE TO BE REMOVED	■	CONCRETE SIDEWALK REMOVAL
→	SURFACE DRAINAGE DIRECTION	■	PROPOSED CONCRETE SIDEWALK
— x —	EXISTING FENCE	■	
— ○ —	EXISTING RETAINING WALL		
— WET —	EXISTING WETLAND		

* NOT ALL SYMBOLS ARE APPLICABLE.

GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.

ALL UTILITIES THAT WILL BE OWNED AND MAINTAINED BY THE CITY AFTER CONSTRUCTION SHALL BE BUILT TO CITY STANDARDS.

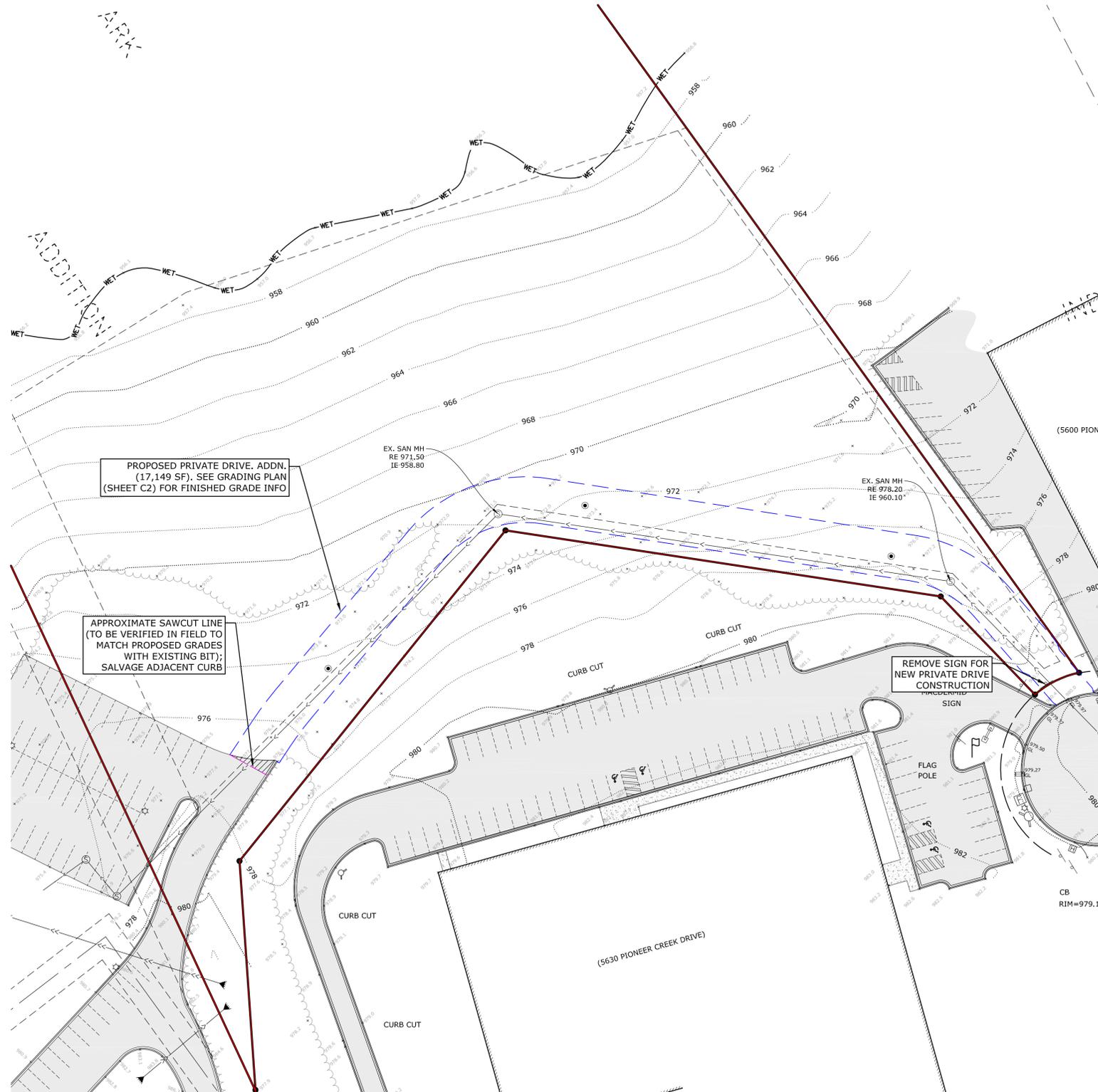
THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE CITY PRIOR TO ANY WORK.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.



VICINITY MAP



NOT TO SCALE

DRAWN BY:	DESIGN BY:
M.Q.A.	Q.M.A.
CHKD BY:	PROJ. NO.:
M.Q.A.	25-2220
ORIGINAL DATE:	
DECEMBER 12, 2025	

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QASEM M. ABUGHAZLEN LIC. NO. 56289
DATE: 12.12.2025

1800 PIONEER CREEK CENTER PRIVATE DRIVE
MAPLE PLAIN, MINNESOTA

TITLE SHEET, LEGEND, EXISTING CONDITIONS, AND REMOVAL PLAN

PREPARED FOR:
PARKER SMITH



SITE PLANNING & ENGINEERING

PLOWE ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

SHEET INDEX

- C0** TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN
- C1.1** CIVIL SITE PLAN
- C1.2** CIVIL SITE PLAN
- C2** GRADING, DRAINAGE & EROSION CONTROL PLAN
- C3** DETAILS & NOTES

NORTH



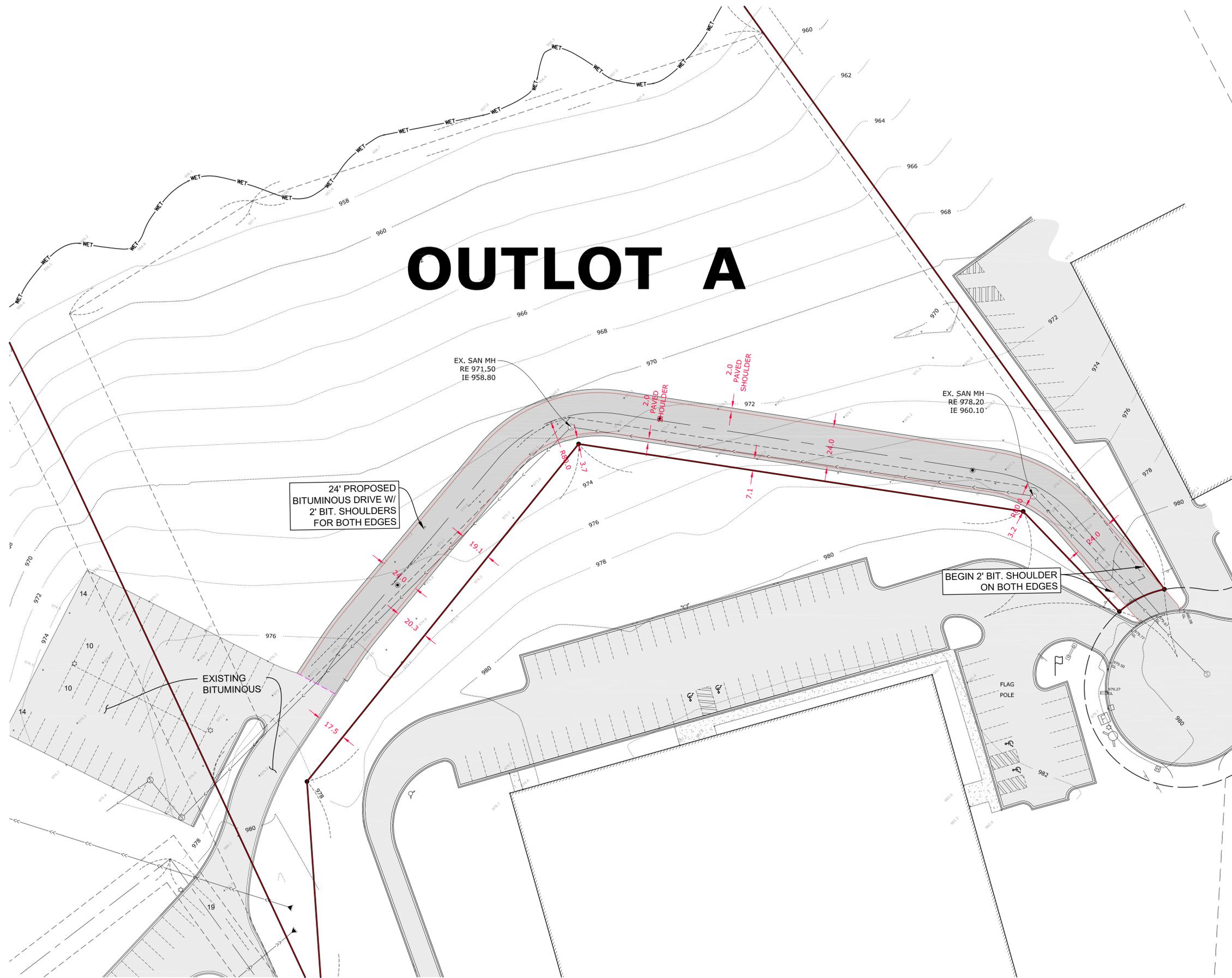
1 INCH = 40 FEET

CO



below.
Call before you dig.

OUTLOT A



24' PROPOSED BITUMINOUS DRIVE W/ 2' BIT. SHOULDERS FOR BOTH EDGES

BEGIN 2' BIT. SHOULDER ON BOTH EDGES

EXISTING BITUMINOUS

EX. SAN MH
RE 971.50
IE 958.80

EX. SAN MH
RE 978.20
IE 960.10



Know what's below.
Call before you dig.

ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

CIVIL SITE PLAN
1800 PIONEER CREEK CENTER

DRAWN BY: M.Q.A.	DESIGN BY: Q.M.A.
CHKD BY: M.Q.A.	PROJ. NO. 25-2220
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COASEM M. ABUGHAZLEN
DATE: 12.12.2025 LIC. NO. 56299

1800 PIONEER CREEK CENTER PRIVATE DRIVE
MAPLE PLAIN, MINNESOTA
CIVIL SITE PLAN

PREPARED FOR:
PARKER SMITH

SITE PLANNING & ENGINEERING

PLOWE ENGINEERING, INC.

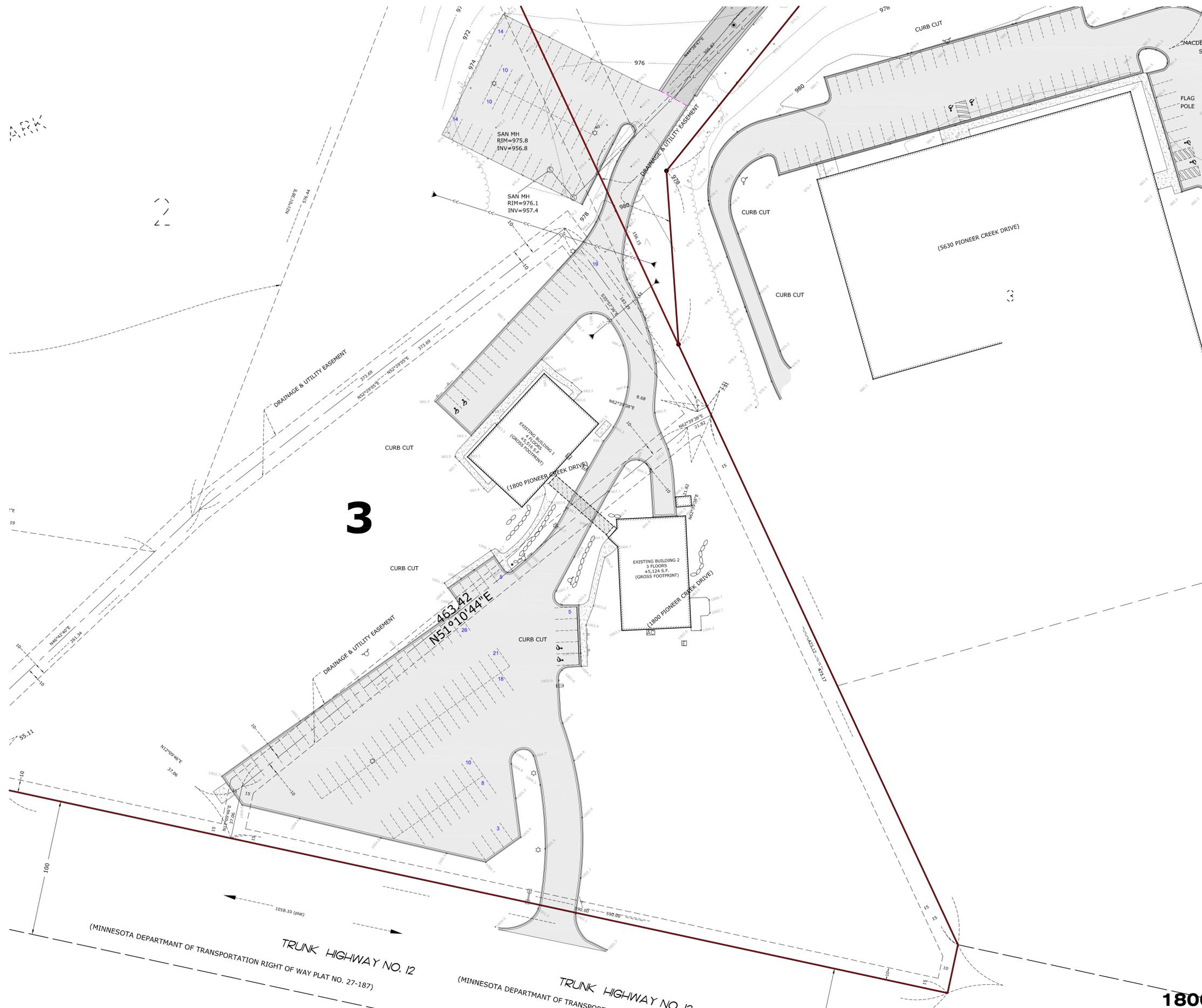
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NORTH

0 15 30
1 INCH = 30 FEET

C1.1

S:\Users\cald_25\p01\2220_1800 Pioneer Creek Private Drive (Maple Plain)\2220_CAD\2220_BASE.dwg 12/12/2025



GENERAL SITE INFORMATION:

LOT 1 SIZE (PID: 23-118-24-41-0004) = 868,816 SF (19.945 ACRES)
 LOT 2 SIZE (PID: 23-118-24-41-0010) = 573,242 SF (13.160 ACRES)

BOTH LOTS:
 EXISTING IMPERVIOUS = 89,349 SF (2.051 ACRES)
 PROPOSED STREET ADDITION (WITHIN PARCEL) = 16,815 SF (0.386 ACRES)
 TOTAL IMPERVIOUS = 106,164 SF (2.437 ACRES)

CURRENT ZONING = INDUSTRIAL (I-1)
 PROPOSED OCCUPANCY = MIXED USE

BUILDING 1 (WESTERN BLDG):
 5,516 SF GROSS AREA PER FLOOR; 4 FLOORS
 PROPOSED PARKING DATA = 5,516 SF X 4 FLOORS = 22,064 SF
 22,064 SF AT 1 STALL / 250 SF = 89 STALLS REQUIRED

BUILDING 2 (EASTERN BLDG):
 5,124 SF GROSS AREA PER FLOOR; 3 FLOORS
 PROPOSED PARKING DATA = 5,124 SF X 3 FLOORS = 15,372 SF
 15,372 SF AT 1 STALL / 250 SF = 62 STALLS REQUIRED

TOTAL REQUIRED = 151 STALLS
 TOTAL PROVIDED = 163 STALLS

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 MAPLE PLAIN, MINNESOTA
 CIVIL SITE PLAN

PREPARED FOR:
PARKER SMITH

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PLOWE ENGINEERING, INC.
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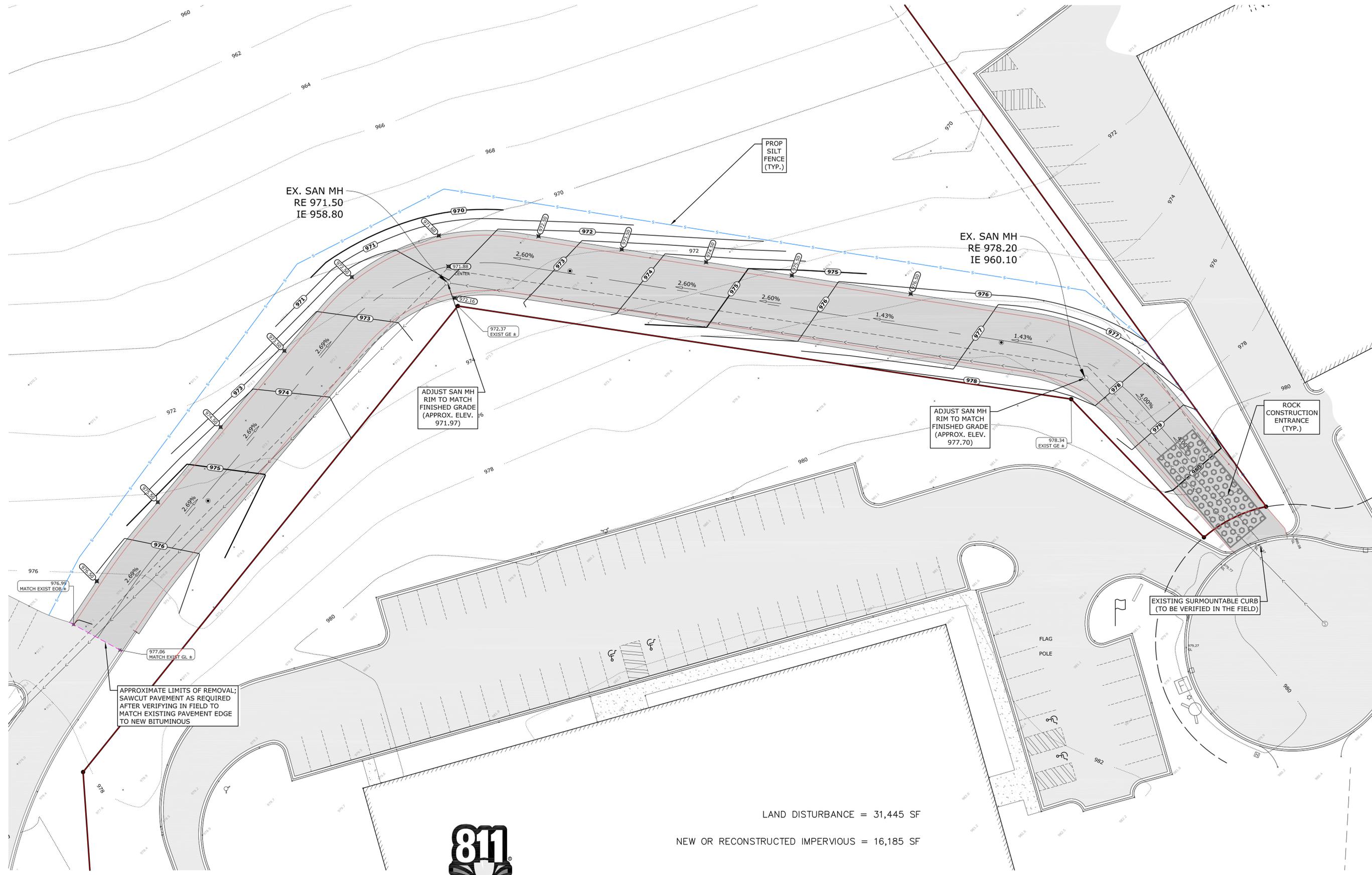
NORTH

0 20 40
 1 INCH = 40 FEET

ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

CIVIL SITE PLAN
1800 PIONEER CREEK CENTER
C1.1

S:\Users\qad\25\proj\2220_1800 Pioneer Creek Private Drive (Maple Plain)\2220_CAD\2220_BASE.dwg 12/12/2025



LAND DISTURBANCE = 31,445 SF

NEW OR RECONSTRUCTED IMPERVIOUS = 16,185 SF



Know what's below.
Call before you dig.

SEE SHEET C3 FOR GRADING NOTES.

**GRADING, DRAINAGE, AND EROSION CONTROL PLAN
1800 PIONEER CREEK CENTER**

DRAWN BY: M.Q.A.	DESIGN BY: Q.M.A.
CHKD BY: M.Q.A.	PROJ. NO. 25-2220
ORIGINAL DATE: DECEMBER 12, 2025	

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QASEM M. ABUGHAZLEN
DATE: 12.12.2025 LIC. NO. 56289

**1800 PIONEER CREEK
CENTER PRIVATE DRIVE
MAPLE PLAIN, MINNESOTA**

GRADING, DRAINAGE, AND EROSION
CONTROL PLAN

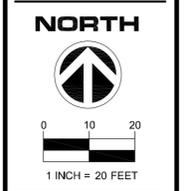
PREPARED FOR:
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SITE PLANNING
& ENGINEERING

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C2

S:\Drawings\25\2220\1800 Pioneer Creek Center Drive (Maple Plain)\2220 CAD\2220 BASE.dwg 12/12/2025

SITE SEQUENCING

- PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL INSTALL ROCK CONSTRUCTION ENTRANCE (LOCATIONS TO BE DETERMINED - COORDINATE WITH OWNER) AND PERIMETER SILT FENCE AS SHOWN ON PLAN. (CONTACT CITY TO INSPECT EROSION CONTROL MEASURES PRIOR TO GRADING OPERATIONS, IF NECESSARY.) ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
- THE CONTRACTOR SHALL PROVIDE ALL SOD, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING MNDOT SPECIFICATIONS AS MODIFIED BELOW.

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED **	3876
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY	
FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

- * MOW A MINIMUM OF ONCE PER 2 WEEKS
- ** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.
- ALL EXPOSED SOILS MUST HAVE TEMPORARY EROSION CONTROL PROTECTION OR PERMANENT COVER WITHIN FOURTEEN (14) DAYS.
- THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.
- PROTECT ALL STORM WATER MANAGEMENT FACILITIES FROM CONSTRUCTION RUN-OFF. CONTRACTOR TO INSTALL AND CONSTRUCT SAID FACILITIES ONCE SITE HAS BEEN STABILIZED.
- IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BIOROLLS AND EROSION CONTROL BLANKET AS NEEDED.
- THE CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
- THE CONTRACTOR SHALL SOD ALL DISTURBED DRAINAGE AREAS, INCLUDING SWALES & OVERFLOWS.
- UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL WITH SOD OR SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 48 HOURS OF FINAL GRADING.
- EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES.
- IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED.

OTHER POLLUTION CONTROL MEASURES

CONSTRUCTION WASTE MATERIALS - ALL WASTE MATERIALS GENERATED AS A RESULT OF SITE CONSTRUCTION SHALL BE COLLECTED AND REMOVED ACCORDING TO ALL LOCAL AND/OR STATE WASTE MANAGEMENT REGULATIONS BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE CONTRACTOR WILL ENSURE THAT ALL SITE PERSONNEL ARE INSTRUCTED IN THESE PRACTICES.

HAZARDOUS WASTES - ALL HAZARDOUS WASTE MATERIALS SHALL BE STORED PROPERLY TO PREVENT SPILLS AND VANDALISM. WHEN NECESSARY, HAZARDOUS WASTES WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND/OR STATE REGULATION OR BY THE MANUFACTURER.

SANITARY WASTE - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS BY A LOCAL, LICENSED WATER MANAGEMENT COMPANY, AS REQUIRED BY LOCAL REGULATION.

OFFSITE VEHICLE TRACKING - A ROCK CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED. DUMP TRUCKS HAULING LOOSE MATERIALS (SAND, TOPSOIL, ETC.) TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPULIN.

VEHICLE CLEANING - NO ENGINE DEGREASING IS ALLOWED ON-SITE. EXTERNAL WASHING OF VEHICLES TO BE CONFINED TO A DEFINED AREA ("BOILER YARD") ON-SITE. CONTRACTOR TO PROVIDE DESIGNATED TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50' FROM DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE) AND DISPOSED OF PROPERLY.

SPILL PREVENTION AND CONTROL - ALL VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. SPILL KITS WILL BE STORED ON-SITE AND ALL SPILLS WILL BE CLEANED UP IMMEDIATELY DISCOVERY. SPENT ABSORBENT MATERIALS AND RAGS WILL BE HAULED OFF-SITE IMMEDIATELY AFTER THE SPILL IS CLEANED UP AND PROPERLY DISPOSED OF. SPILL PREVENTION AND CONTROL MEASURES SHALL BE IMPLEMENTED ONCE CONSTRUCTION BEGINS.

SOIL STOCKPILES - INSTALL SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AROUND ALL TEMPORARY SOIL STOCKPILES. LOCATE SOIL OR DIRT STOCKPILES SUCH THAT DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN 8 M (25 FEET) FROM THE TOE OF THE PILE TO A SURFACE WATER, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. IF REMAINING FOR MORE THAN 7 DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN 8 M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARPS, AND PROTECT STORM SEWER INLETS WITH SILT SOCKS OR STAKED SILT FENCE.

PROVIDE WIMCO (OR APPROVED EQUAL) FOR INLET PROTECTION AT ALL EXISTING STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF DURING CONSTRUCTION. INLET PROTECTION TO REMAIN IN-PLACE UNTIL AT LEAST 70% OF SITE VEGETATION HAS BEEN ESTABLISHED.

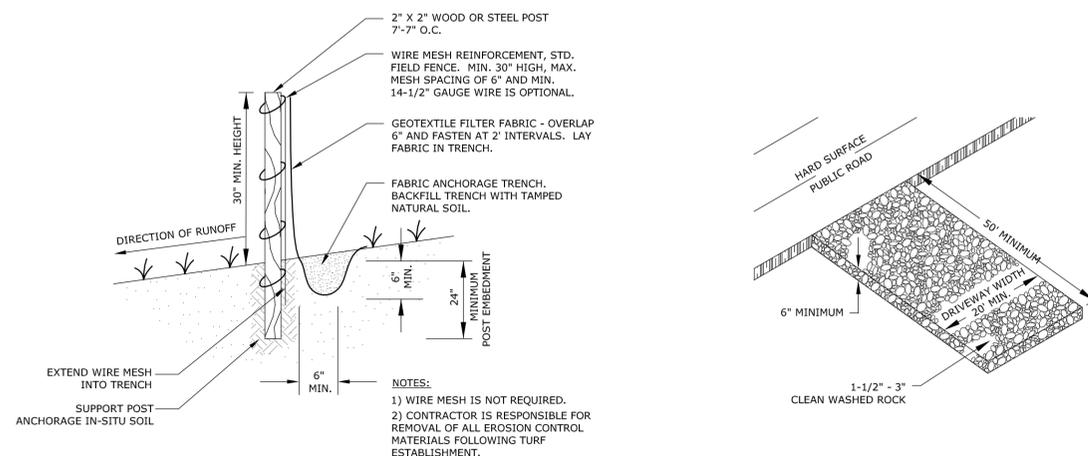
CONTRACTOR TO PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. KEEP WASHOUT AREAS AS FAR AS PRACTICAL FROM STORM DRAINS, DITCHES AND PONDS. DO NOT ALLOW RUN-OFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE. AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. THE CONTRACTOR MAY DISCHARGE FROM THE TEMPORARY OR PERMANENT SEDIMENTATION BASINS TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPs, SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES.



EASTERN ENTRANCE (PIONEER CREEK DRIVE)

NOT TO SCALE



SILT FENCE

NOT TO SCALE

ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE

DETAILS & NOTES 1800 PIONEER CREEK CENTER

DRAWN BY: M.Q.A. DESIGN BY: Q.M.A.
CHKD BY: M.Q.A. PROJ. NO. 25-2220

ORIGINAL DATE: DECEMBER 12, 2025

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MAPLE PLAIN, MINNESOTA

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C3