

City of Maple Plain
Request by Comfort Haven LLC for a Conditional Use Permit and Site Plan
Review to Allow the Re-use of the Existing Building as Assisted Living Care
Facility on the Property Located at 1520 Wyman Ave.

To: City Council
From: Mark Kaltsas, City Planner
Meeting Date: April 29, 2024
Applicant: Jon Gleisner (Applicant on behalf of Comfort Haven LLC)
Owner: Cassia
Location: 1520 Wyman Ave.

Request:

Jon Gleisner (Applicant on behalf of Comfort Haven LLC) and Cassia (Owner) requests that the City consider the following actions for the property located at 1520 Wyman Ave. (PID No's. 25-118-24-22-0027 and 25-118-24-22-0114):

- a. A conditional use permit to allow an assisted living facility to be located within the existing building on the subject property.
- b. Site plan review to consider renovation of the existing building and grounds to accommodate the proposed use of the facility.

Property/Site Information:

The property is located at 1520 Wyman Ave. There are two parcels, the north parcel with a vacant building previously used for assisted and independent living and the south parcel which is vacant. The property has the following characteristics:

Property Information: 1520 Wyman Ave. - (PID No.s 25-118-24-22-0027 and 25-118-24-22-0114)
Zoning: *R-1, Single-Family Residential*
Comprehensive Plan: *Low Density Residential*
Acreage: 2.53 acres (north parcel), .99 (south parcel)

Site Aerial



Discussion:

The applicant is seeking consideration of a conditional use permit and site plan review to allow the reuse of the existing building and site located at 1520 Wyman Ave. The applicant is proposing to redevelop the existing building into a "Assisted Living Facility" that would have 39 assisted living units and 22 memory care units. The subject property is currently zoned R-1, Single-Family Residential. In 2024, the city adopted an ordinance amendment which established assisted living facility as a conditional use within the R-1 Single-Family Residential zoning district (see ordinance standards below).

153.007 DEFINITIONS.

Assisted Living Facility. A facility that provides sleeping accommodations and assisted living services to one or more adults. Assisted living facility does not include emergency shelters, nursing homes, hospitals, adult foster care and all other exemptions listed in MN Statute 144G.08 Subd 7.

153.025 R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT.

Sec. 10-539. "R-1" Single-Family Residential District.

(2) Assisted Living Facility.

- a. Minimum lot size 2.5 acres.
- b. Maximum assembly size within the facility or outdoors shall not be more than 50 non-residents and employees. Large assemblies (greater than 50 people), open houses and or public events and gatherings shall be individually considered and approved by the City Council. Application for these events shall be made a minimum of 45 days prior to the event.
- c. Site plan in compliance with Section 153.04 is required. All improvements must be constructed and maintained in compliance with the approved site plan, the approved City resolution, and all applicable local, state, and federal rules and regulations.
- d. The facility and its operation must be current, at all times, with any required local, state, and federal permits and licenses.
- e. Use of the facility shall not be injurious or create a nuisance to adjoining neighborhoods.
- f. Assisted living facilities which include dementia care can be approved by the City Council as a part of the initial conditional use permit or by a conditional use permit addendum.
- g. City Council may impose additional conditions.

The former use of the property as an assisted and independent care facility was considered a legal, non-conforming use. The former use and its legal non-conforming status are no longer applicable as a result of the property not being used for approximately 3 years. In order for the City to consider the reuse of the facility it would need to consider and approve a conditional use permit allowing an assisted living facility in conformance with applicable standards. All commercial conditional use permits are also required to receive site plan review approval.

The existing property had historically been used as an assisted and independent care facility. The historic facility had 69 bed spaces in four different wings of the building along with a reception area, office space a chapel and kitchen area. The overall building is comprised of approximately 45,000 SF on one story. The applicant is proposing to reuse the existing space by making interior and exterior renovations. The

proposed use of the building will be a licensed assisted care living facility with some memory care. The proposed use will consist of 39 assisted living units and 22 memory care units. Interior renovations will include the reconfiguration of some of the interior rooms, security upgrades, HVAC modifications and upgrades, and interior cosmetic changes. The proposed exterior renovations include painting and tuckpointing the exterior of the building, parking lot resurfacing and striping, the addition of a new ingress/egress and looped drive off of Wyman, reduction of parking lot width off of Bryant, general landscape maintenance and some additional plantings and signage.

The City consider will need to consider a conditional use permit and site plan review to allow the propsoed reuse of the existing building and subject site. The City has reviewed the propsoed reuse and provided a detailed analysis of the plans submitted. The applicant has responded to the initial review of the application by the City (review letter and applicant repsonse included as an attachment to this report). The City has reviewed the repsonses and revised plans for Planning Commission and City Council consideration. The City also has established criteria relating to the consideration of a conditonal use permit as follows:

Applicable Standards for Considering Granting a Conditional Use Permit

(F) *Conditional use permit criteria.* The Planning Commission shall review the conditional use permit for its conformance with the City Code and shall not recommend approval unless all the following conditions are met:

(1) That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted;

(2) That the establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area;

(3) That adequate utilities, access roads, drainage, and other necessary facilities have been or are being provided;

(4) That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use;

(5) That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise, and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result;

(6) That proper facilities are provided which would eliminate any traffic congestion or traffic hazard which may result from the proposed use; and

(7) The proposed use is in compliance with this chapter and Comprehensive Plan of the city.

(G) *Planning Commission consideration.* The Planning Commission shall consider the request for a conditional use permit and hold a public hearing. The Planning Commission shall consider possible adverse effects of the proposed conditional use following the review criteria outlined in this section and create findings of fact based on its review of the conditional use.

(H) *City Council consideration.* The City Council shall consider the conditional use and recommendations of the Planning Commission and staff. The Council shall have the option of receiving additional testimony on the matter if they so choose. The Council shall either approve or deny the application, for which approval shall require passage by a 2/3 vote of the full City Council. If the conditional use is denied by the City Council, the reasons for the action shall be recorded in the Council proceedings and transmitted to the applicant.

(I) *Revocation.* The Planning Commission may recommend, and the City Council may direct, the revocation of any conditional use permit for cause upon determination that the authorized conditional use is not in conformance with the conditions of the permit or is in continued violation of City Codes, or other applicable regulations. The City Council or Planning Commission shall initiate an application and

In addition to the conditional use permit criteria, the City has a requirement that all commercial development be reviewed and evaluated for compliance with the Comprehensive Plan, applicable codes and standards and other established design criteria.

153.045 INTENT AND PROCEDURE

(I) Evaluation criteria. The Planning Commission and City Council shall evaluate the effects of the proposed site plan. This review shall be based upon, but not be limited to, compliance with the City Comprehensive Plan, provisions of this chapter (Design Guidelines and City Engineering Requirements).

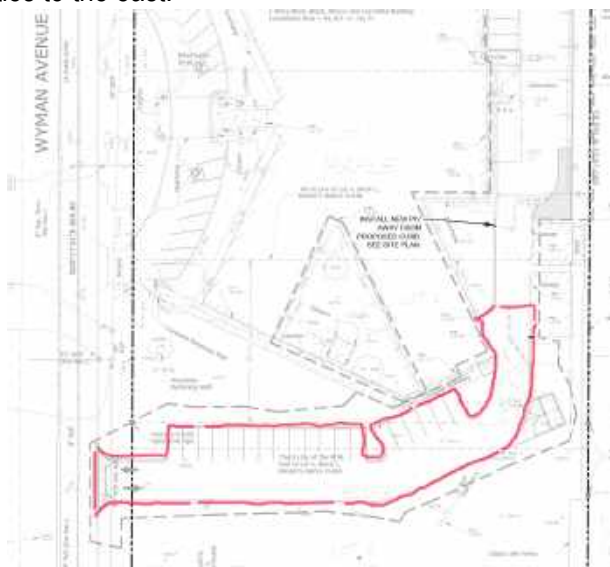
Staff has completed a detailed review of the proposed site and building plans. There are several comments that should be noted and further considered by the City during review of the application. Considerations are as follows:

Building and Architecture:

The applicant is proposing to use the existing facility but would like to make interior, exterior and site renovations. These include painting/siding and tuckpointing the exterior of the building, renovating the interior of the building to accommodate the proposed assisted living and memory care and site improvements further described below. The applicant has prepared a full set of plans relating to all proposed improvements.

Site Design:

The existing facility includes two paved parking areas, landscaping, lighting several detached accessory buildings and a trash enclosure. The applicant is proposing to construct a new ingress/egress off Wyman Avenue (see area highlighted in red below). This area will add new parking spaces as well as allow for access around the entire building perimeter. As a result of the new parking area, the applicant is proposing to reduce the width of the existing parking lot which will pull it away from the residential properties to the east. The proposed reduction in pavement will establish an approximate 10' buffer and setback to the adjacent residential properties to the east.



The City has generally established parking requirements for this type of use based on parking requirements for similar uses (i.e., Cassia). Staff reviewed various standards of practice relating to parking requirements for similar facilities as well as reviewed the more detailed staffing numbers provided by the applicant. Parking is generally recommended to be required and provided as follows:

| <u>Number of Units(type)</u> | <u>Required Stalls Per Number of Beds</u> | <u>Total Spaces</u> |
|------------------------------|---|---------------------|
| 22 (Memory Care) | 4 spaces + 1 space per 3 beds | 11.33 spaces |
| 39 (Assisted Living) | 0.5 spaces per 1 unit | 19.50 spaces |
| Staff Parking | Actual maximum number for staff overlap | 29 spaces |
| | | 60 spaces |

The proposed plans indicate a total of 61 parking spaces which includes 14 existing parking spaces in front of the building. It appears that the proposed parking will meet applicable requirements.

The existing parking lot is paved; however, the pavement is in poor condition and the striping is no longer visible or highly worn. The applicant is proposing to mill and overlay and restripe the parking spaces in accordance with the proposed site plan.

Site Lighting:

There is existing building and parking lot lighting in place. The City has noted that all parking should be brought into compliance with applicable standards. The applicant has prepared a photometric plan and provided the City with lighting cut-sheets for the proposed light fixtures. The City has reviewed the information and found that it is fully compliant with applicable standards. The maximum number of footcandles permitted at the property line is 0.5 footcandles. The applicant has been able to reduce the spill over of the proposed lighting to meeting this requirement.

Landscaping/Screening/Fencing:

The applicant is not proposing to make significant changes to the existing landscape outside of general maintenance and minor enhancements. There are two areas where new landscaping should be considered by the applicant. Several mature trees are being removed for the purpose of installing the new access drive and parking on the south side of the building. It was recommended that new deciduous trees be planted within the proposed islands or along the south side of the proposed parking lot. The applicant has added an ornamental tree to one of the proposed parking islands located along the south side of the building. It is also recommended that some landscaping be planted along the east and south sides of the new refuse enclosure located to the southeast of the building. The applicant has revised the plans to propose ornamental grasses around the perimeter of the enclosure. Staff would recommend a combination of the grasses with some larger evergreen trees/shrubs to more adequately screen the perimeter. The Planning Commission reviewed the landscaping and provided additional direction to the applicant which is captured in the recommendation. The applicant has agreed to revise the plans to incorporate the Planning Commissions recommendations. The City has reviewed the site and generally finds the existing landscape to be in keeping with the intent of the City's ordinances.

The City noted that the existing board on board fence located along the east property line is in poor condition. The applicant has noted that the fence will be replaced with a new board on board fence. Planning Commissioners recommended extending the fence to the south to the point where the existing chain link fence starts. The Planning Commission also recommended increasing the height of the fence to 8' from 6'. The applicant has agreed to make the recommended changes.

Trash Enclosure:

There is an existing dumpster enclosure located at the far south end of the drive aisle on the east side of the building. The City noted that the enclosure is not fully enclosed and that there were concerns presented to the City relating to the "beeping" associated with waste haulers backing up to the dumpster.

The applicant is proposing to replace the existing trash enclosure with a new enclosure that meets applicable standards. Backing of a vehicle removing trash will be limited as a result of the new driveway connecting to the existing driveway and allowing movement around the entire building perimeter.

Signage:

The applicant has reached out to the City relating to the signage but has not made an application relating to signage at this point. Any change in signage would need to be reviewed by the City and comply with all applicable standards. The City's sign ordinance addresses signage in the R-1 zoning district.

Fire/Public Safety:

Both Maple Plain Fire and West Hennepin Public Safety have been working on comments and have met with the applicants. The city has noted several key issues relating to the comments provided.

- The city's public safety and fire departments have been working on the establishment of base service levels associated with assisted living and memory care. WHPS and MP Fire have reached out to several agencies where the current applicant operates similar facilities. The following call data was obtained:

Traditions of Waterville
117 Paguin Street E.
Waterville, MN 56096
(507) 362-4155

35 Assisted living rooms
12 Memory Care rooms

2021 – 57 calls for service
2022 - 54 calls for service
2023 – 84 calls for service
2024 – 80 calls for service
2025 – 17 through April 4, 2025

Traditions of Montgomery
399 Lexington Ave NW
Montgomery, MN 56069

35 Assisted living rooms
15 Memory Care rooms

Time Period – 1/1/22 – 12/31/24
Montgomery Ambulance - 114 Calls for Service to Traditions
Montgomery Fire – 10 Calls for Service to Traditions
Montgomery Police – 140 Calls for Service to Traditions

- WHPS and MP Fire have met with the applicants and discussed their findings relating to calls for service. Based on the information obtained and the discussions with the applicant it is being recommended that the city and applicant enter into an agreement relating specifically lift assists. The city is recommending a fee for all lift assists performed by WHPS or MP Fire as follows:

| | |
|------------------------|-------|
| Calls 1-3 | \$350 |
| Calls 4-6 | \$500 |
| Calls 7 and thereafter | \$850 |

Note: Rates are applicable for the first year following approval. After the first year, the rates to be charged will be based on adopted fee schedule.

A condition has been added to the approval that addresses this issue.

- Public Safety has noted that they will need to review the security system with the applicant as a condition of the approval.

Stormwater/Engineering:

The city's engineer has reviewed the plans and provided comments. The applicant has provided the city with revised plans addressing all comments provided by the city engineer (see attached review letter and response).

There are several additional considerations that should be noted by the Planning Commission and City Council:

- The applicant is proposing to fence the existing courtyard with a 6' ornamental metal fence that will have a gate and lock to secure the area for residents.
- The applicant is proposing to replace the existing 6' tall wood fence located along the east property line with a new 8' tall wood fence that will be extended further south.
- The applicant has noted that they have not located all mechanical equipment on the proposed plans as they have not gotten to that level of detail. They have noted that they will screen all mechanical equipment in accordance with the city's requirements. All new units are required to be screened using a 5' tall solid equipment surround constructed of materials similar to the existing building.
- No assemblies or gatherings will occur that include persons outside of the residents/clients of the facility.
- The City has prepared conditions of approval should the Planning Commission and City Council recommend/approve the requested applications. Staff would also be seeking any additional

conditions/requirements/changes based on the discussion and direction of the Planning Commission and City Council.

The Planning Commission and City Council will need to find that the proposed use of the existing facility and associated property and site is consistent and compatible with the surrounding properties and the R-1 zoning district. In addition, the Planning Commission and City Council will need to find that the criteria established in the zoning ordinance (and included in this report) relating to granting a conditional use permit have been satisfied by the applicant. Staff is seeking direction relating to the requested applications which could include additional conditions, mitigation measures and revisions to the required plans and proposed conditions.

Neighbor Comments:

The City has not received any verbal or written comments regarding the proposed applications.

Planning Commission Discussion and Recommendation:

Planning Commissioners discussed the request and asked questions of staff and the applicant. The Planning Commission recommended approval of the requested CUP and Site Plan Review with the following additional conditions:

- Limit the number of semi-trucks permitted to no more than one weekly food delivery.
- No parking allowed on the street.
- Extend wood fence to the south side of the proposed new parking lot area.
- Add evergreen screening to “triangle” of proposed new south parking lot to block headlights.
- Increase the height of the proposed wood fence from 6’ to 8’.
- Attempt to save 20” maple near edge of Wyman at entrance to new south parking lot by removing 1st parking space.
- Add 2 more deciduous trees to the south side of the proposed new parking lot.
- Limit areas of smoking to be internal to the site - away from all property lines.

Recommendation:

The Planning Commission recommends approval to the City Council of the for the requested Conditional Use Permit and Site Plan Review with the following findings and conditions:

1. The proposed conditional use permit and site plan review meets all applicable conditions, criteria and restrictions stated in the City of Maple Plain Zoning and Subdivision Ordinance.
2. City Council’s approval of the conditional use permit and site plan review is subject to the applicant completing the following items:
 - a. The Applicant shall address all comments made by the Planning Commission and City staff. Comments and recommendations made by the Planning Commission may result in revisions to the proposed site and related plans.

- b. The applicant shall revise the site plan to address all comments made in this report including but not limited to the following:
 - i. Extend wood fence to the south side of the proposed new parking lot area.
 - ii. Add evergreen screening to “triangle” of proposed new south parking lot to block headlights.
 - iii. Increase the height of the proposed wood fence from 6’ to 8’.
 - iv. Attempt to save 20” maple near edge of Wyman at entrance to new south parking lot by removing 1st parking space.
 - v. Add 2 more deciduous trees to the south side of the proposed new parking lot.
 - c. The applicant shall prepare and submit for review a Construction Site Management plan which indicates location of the following:
 - i. Temporary parking for Contractor (not on streets)
 - ii. Dumpsters / Trash Receptacles
 - iii. Temporary Biffy
 - iv. Hazardous materials / Concrete Wash
3. The conditional use permit will include the following conditions:
- a. The conditional use permit will be reviewed at least annually by the City to ensure conformance with the conditions set forth in the resolution.
 - b. All interior and exterior improvements shall be completed and maintained in accordance with the approved site and building plans/elevations attached hereto as Exhibit B. Improvements shall be made prior to final certificate of occupancy issuance.
 - c. The conditional use permit will allow the applicant to have a maximum of 39 assisted living units and 22 memory care units.
 - d. The number of semi-trucks permitted to deliver to the property shall be limited to one (1) weekly food delivery truck.
 - e. No staff or visitor parking shall be permitted on the adjacent public streets.
 - f. Smoking on the property shall be limited to the designated area which will be internal to the site and located away from all property lines.
 - g. No signage is approved with the conditional use permit. Any new signage shall comply with all applicable standards of the City’s ordinance, will require a sign permit and may require Planning Commission and City Council approval.
 - h. All existing and proposed site and building lighting shall be brought into compliance and fully meet applicable City lighting standards.
 - i. The use of the facility will be limited to the prescribed hours of operation as follows:

- i. Public access (non-staff and visitors) shall be between the hours of 8:00 am – 9:00 pm only (Sunday-Saturday).
 - ii. Deliveries shall be between the hours of 8:00 am and 6:00 pm only (Sunday-Saturday).
 - iii. Use of the grounds (outside of the interior courtyards) shall be between the hours of 8:00 am – 10:00 pm only (Sunday-Saturday).
 - j. No parking associated with the use of this facility shall be permitted on public roadways. All parking of staff, visitors and clients shall be within the designated off-street parking spaces.
 - k. No future expansion of the existing principal building, accessory buildings and exterior spaces shall be permitted on the property without the further review and approval by the City through the conditional use permit amendment process.
 - l. No assemblies, gatherings or similar events that includes more than 50 persons other than staff and current residents (clients) of the facility shall be permitted within the building or on the grounds.
4. The Applicant shall pay for all costs associated with the City's review of the conditional use permit and site plan review.
5. The property and its use shall comply, at all times, with all applicable local, state, and federal rules and regulations, including, but not limited to, Minn. Stat. ch. 144G.
6. The Applicant shall enter into an agreement with the City to memorialize the conditions of approval and service charges for emergency services. The City shall not issue any permits for the development of the property until it is provided with recording information for the agreement.
7. Unless otherwise expressly provided for in the agreement between the Applicant and the City, upon a violation of any of the above conditions, the City shall notify (owner/applicant/permit holder) of the violation and (owner/applicant/permit holder) shall pay a fee to the City, in an amount specified below, within 30 days of the mailing of the notice. Any unpaid fees related to a violation of this permit shall be certified to the City's tax roll in the (November) following the imposition of the fees. Imposition of this fee based on a violation of this permit shall not prohibit the City from taking any other action on the permit, based on the same violation, including, but not limited to, revocation of the permit. Fees for violations of this permit shall be imposed as follows:
- 1. First violation: \$300
 - 2. Second violation: \$400
 - 3. Third violation: \$500 and automatic revocation hearing by City Council.

4. Fee amounts for any violations which occur subsequent to the third violation shall be determined by doubling the imposed fee of the most recent violation.

Attachments:

1. Application
2. Narrative
3. Staff Review Letter with Applicant Response
4. Existing Site Survey, Landscape Plan, Grading Plan and Site Plans
5. Proposed Site Plans and Exterior Plans (Exhibit A)
6. Proposed Lighting /Photometric Plan and Cut Sheets

CITY OF MAPLE PLAIN

HENNEPIN COUNTY, MINNESOTA

RESOLUTION NO. 2025-0429-03

**A RESOLUTION APPROVING THE APPLICATION FOR CONDITIONAL USE
PERMIT AND SITE PLAN REVIEW AT 1520 WYMAN AVENUE**

WHEREAS, the City of Maple Plain (“**City**”) is a municipal corporation under the laws of Minnesota located in Hennepin County, Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2020 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, Jon Gleisner (the “**Applicant**” on behalf of Comfort Haven LLC) and Cassia (“**Owner**”) submitted an application for a Conditional Use Permit and Site Plan Review to allow an Assisted Living Facility with memory care and associated site improvements (the “**Application**”) on the properties located at 1520 Wyman Ave. (PID No’s. 25-118-24-22-0027 and 25-118-24-22-0114) (the “**Property**”); and

WHEREAS, the City staff studied the matter, made a report, and provided other information to the Planning Commission and City Council; and

WHEREAS the Planning Commission held a public hearing on March 6, 2025, to review the Application for a Conditional Use Permit and Site Plan Review, following mailed and published noticed as required by law and was unable to make a recommendation; and

WHEREAS, the City Council considered the Application at its meeting of April 29, 2025, receiving and considering the Application materials, oral and written testimony offered by the Applicant and all interested parties, the report from City Staff, other information, and the

NOW, THEREFORE, BE IT RESOLVED THAT the City Council of the City of Maple Plain, Minnesota makes the following:

FINDINGS

1. The above recitals and the Staff report dated April 29, 2025, presented to the City Council at its April 29, 2025 meeting are incorporated as if fully set forth herein.

2. The Application is for a conditional use permit (“CUP”) and site plan review to utilize the Property and the existing building as an Assisted Living Facility with 61 licensed beds that would provide sleeping accommodations and assisted living services (including memory care) to adults (“**Proposed Use**”).
3. The Applicant has submitted for the City Council’s review and approval the: (i) plans, presented by Civil Site Group, dated February 14, 2025, attached hereto as Exhibit A; (collectively, the “**Plans**”); and
4. The Property is zoned R-1, Single-Family Residential. The surrounding land and neighborhood are zoned R-1, Single-Family Residential and fully developed for such residential use.
5. Minn. Stat. § 462.357 grants to the City, for the purpose of promoting the public health, safety, morals and general welfare, the authority to regulate the use of land within the City through zoning regulations.
6. Minn. Stat. § 462.3595 provides that the City may by ordinance designate certain types of activities as conditional uses and may establish standards and criteria for granting approval of such conditional uses.
7. City Code § 10-539 provides that an Assisted Living Facility may only be utilized in the R-1 Zoning District as a conditional use and in accordance with City Code § 153.140 (now City Code § 10-482).
8. A CUP requires compliance with City Code § 10-479 regarding site plan review.
9. City Code § 10-482(f) provides that the City may allow a conditional use that meets the following conditions:
 - (1) That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted;
 - (2) That the establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area;
 - (3) That adequate utilities, access roads, drainage, and other necessary facilities have been or are being provided;
 - (4) That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use;
 - (5) That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise, and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result;

- (6) That proper facilities are provided which would eliminate any traffic congestion or traffic hazard which may result from the proposed use; and
 - (7) That the proposed use is in compliance with this article and the comprehensive plan of the City.
10. City Council's approval of the conditional use permit and site plan review is subject to the applicant completing the following items:
- (1) The Applicant shall address all comments made by the Planning Commission and City staff. Comments and recommendations made by the Planning Commission may result in revisions to the proposed site and related plans.
 - (2) The applicant shall revise the site plan to address all comments made in this report including but not limited to the following:
 - i. Extend wood fence to the south side of the proposed new parking lot area.
 - ii. Add evergreen screening to "triangle" of proposed new south parking lot to block headlights.
 - iii. Increase the height of the proposed wood fence from 6' to 8'.
 - iv. Attempt to save 20" maple near edge of Wyman at entrance to new south parking lot by removing 1st parking space.
 - v. Add 2 more deciduous trees to the south side of the proposed new parking lot.
 - (3) The applicant shall prepare and submit for review a Construction Site Management plan which indicates location of the following:
 - i. Temporary parking for Contractor (not on streets)
 - ii. Dumpsters / Trash Receptacles
 - iii. Temporary Biffy
 - iv. Hazardous materials /Concrete Wash

DECISION

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MAPLE PLAIN, MINNESOTA, based upon the information received and the above Findings, that the City Council of the City of Maple Plain hereby APPROVES the Application for a Conditional Use Permit and Site Plan Review for the Proposed Use at the Property with the following conditions:

- 1. The conditional use permit will be reviewed at least annually by the City to ensure conformance with the conditions set forth in the resolution.

2. All interior and exterior improvements shall be completed and maintained in accordance with the approved site and building plans/elevations attached hereto as Exhibit A. Improvements shall be made prior to final certificate of occupancy issuance.
3. The conditional use permit will allow the applicant to have a maximum of 39 assisted living units and 22 memory care units.
4. The number of semi-trucks permitted to deliver to the property shall be limited to one (1) weekly food delivery truck.
5. No staff or visitor parking shall be permitted on the adjacent public streets.
6. Smoking on the property shall be limited to the designated area which will be internal to the site and located away from all property lines.
7. No signage is approved with the conditional use permit. Any new signage shall comply with all applicable standards of the City's ordinance, will require a sign permit and may require Planning Commission and City Council approval.
8. All existing and proposed site and building lighting shall be brought into compliance and fully meet applicable City lighting standards.
9. The use of the facility will be limited to the prescribed hours of operation as follows:
 - i. Public access (non-staff and visitors) shall be between the hours of 8:00 am – 9:00 pm only (Sunday-Saturday).
 - ii. Deliveries shall be between the hours of 8:00 am and 6:00 pm only (Sunday-Saturday).
 - iii. Use of the grounds (outside of the interior courtyards) shall be between the hours of 8:00 am – 10:00 pm only (Sunday-Saturday).
10. No parking associated with the use of this facility shall be permitted on public roadways. All parking of staff, visitors and clients shall be within the designated off-street parking spaces.
11. No future expansion of the existing principal building, accessory buildings and exterior spaces shall be permitted on the property without the further review and approval by the City through the conditional use permit amendment process.
12. No assemblies, gatherings or similar events that includes more than 50 persons other than staff and current residents (clients) of the facility shall be permitted within the building or on the grounds.

13. The Applicant shall pay for all costs associated with the City's review of the conditional use permit and site plan review.
14. The property and its use shall comply, at all times, with all applicable local, state, and federal rules and regulations, including, but not limited to, Minn. Stat. ch. 144G.
15. The Applicant shall enter into an agreement with the City to memorialize the conditions of approval and service charges for emergency services. The City shall not issue any permits for the development of the property until it is provided with recording information for the agreement. Council authorizes the City Attorney to prepare this agreement and the Mayor and City Administrator to execute the agreement on behalf of the City of Maple Plain.
16. Unless otherwise expressly provided for in the agreement between the Applicant and the City, upon a violation of any of the above conditions, the City shall notify (owner/applicant/permit holder) of the violation and (owner/applicant/permit holder) shall pay a fee to the City, in an amount specified below, within 30 days of the mailing of the notice. Any unpaid fees related to a violation of this permit shall be certified to the City's tax roll in the (November) following the imposition of the fees. Imposition of this fee based on a violation of this permit shall not prohibit the City from taking any other action on the permit, based on the same violation, including, but not limited to, revocation of the permit. Fees for violations of this permit shall be imposed as follows:
 1. First violation: \$300
 2. Second violation: \$400
 3. Third violation: \$500 and automatic revocation hearing by City Council.
 4. Fee amounts for any violations which occur subsequent to the third violation shall be determined by doubling the imposed fee of the most recent violation.

This Resolution was adopted by the City Council of the City of Maple Plain on this 29th day of April 2025, by a roll-call vote of __ ayes and __ nays.

By: _____
Julie Maas-Kusske, Mayor

ATTEST:

Jacob Kolander, City Administrator

EXHIBIT A
(Approved Plans)



City of Maple Plain
5050 Independence St
P.O. Box 97
Maple Plain, MN 55359
Office: (763) 479-0515
Fax: (763) 479-0519

ZONING & LAND USE APPLICATION

APPLICANT INFORMATION

| | |
|--|---|
| Applicant Name <u>JON GLEISNER</u> | Company, if applicable <u>COMFORT HAVEN LLC</u> |
| Address <u>4207 QUAKER TRL NE</u> | Phone Number <u>612-600-6036</u> |
| City, State, Zip <u>PRIOR LAKE, MN, 55372</u> | Email <u>jonnygleis@hotmail.com</u> |
| Are you the owner of the property? <input type="checkbox"/> Yes. <input checked="" type="checkbox"/> No. | (If not, property owner information is required.) |

| | |
|--|--------------------------------------|
| Owner Name <u>Bob Dahl</u> | Company, if applicable <u>Cassia</u> |
| Address <u>7171 Ohms Lane</u> | Phone Number <u>952-855-5155</u> |
| City, State, Zip <u>Edina, MN, 55439</u> | Email <u>Bob.Dahl@cassialife.org</u> |

| | |
|--|------------------------------------|
| Applicant Signature <u>[Signature]</u> | Owner Signature <u>[Signature]</u> |
| Date <u>12-21-24</u> | Date <u>12/31/24</u> |

PROJECT INFORMATION

| |
|---|
| Site Address or Property Identification Number <u>1520 Wyman Avenue</u> |
| Type of Request (Check all that apply.) |

| | Fee | Escrow | | Fee | Escrow |
|---|------------|---------------|--|------------|---------------|
| <input type="checkbox"/> Appeal Administration Decision | \$250 | \$250 | | | |
| <input type="checkbox"/> Concept Plan Review | \$500 | | | | |
| Residential Application | Fee | Escrow | Commercial Application | Fee | Escrow |
| <input type="checkbox"/> Conditional Use Permit | \$500 | \$1500 | <input checked="" type="checkbox"/> Conditional Use Permit | \$1000 | \$3000 |
| <input type="checkbox"/> Interim Use Permit | \$500 | \$1500 | <input type="checkbox"/> Interim Use Permit | \$1000 | \$3000 |
| <input type="checkbox"/> Site Plan | \$500 | \$1500 | <input checked="" type="checkbox"/> Site Plan | \$1000 | \$3000 |
| <input type="checkbox"/> Minor Subdivision | \$500 | \$1500 | <input type="checkbox"/> Minor Subdivision | \$1000 | \$3000 |
| <input type="checkbox"/> Variance | \$500 | \$1500 | <input type="checkbox"/> Variance | \$1000 | \$3000 |
| <input type="checkbox"/> Rezoning | \$500 | \$1500 | <input type="checkbox"/> Rezoning | \$1000 | \$3000 |
| <input type="checkbox"/> Text Amendment | \$500 | \$1500 | <input type="checkbox"/> Text Amendment | \$1000 | \$3000 |
| <input type="checkbox"/> Vacation of Property | \$500 | \$1500 | <input type="checkbox"/> Vacation of Property | \$1000 | \$3000 |
| <input type="checkbox"/> Home Occupation | \$200 | \$1000 | <input type="checkbox"/> Sign Package | \$500 | \$3000 |

| Residential/Commercial Industrial/Office Planning and Zoning Application | Fee | Escrow | Grading and Excavation Park Fees and Signs | Fee | Escrow |
|---|------------|---------------|--|--|---------------|
| <input type="checkbox"/> Preliminary Plat | \$500 | \$3000 | <input type="checkbox"/> <100 Cubic Yards | N/C | |
| <input type="checkbox"/> Subdivision Application | \$500 | \$3000 | <input type="checkbox"/> >100 Cubic Yards | \$500 | |
| <input type="checkbox"/> Rezoning | \$500 | \$3000 | <input type="checkbox"/> >1000 Cubic Yards | \$1000 | *See below |
| <input type="checkbox"/> Comprehensive Plan Amendment | \$500 | \$3000 | <input type="checkbox"/> Right of Way Permit | \$250 | \$1000 |
| <input type="checkbox"/> Planned Unit Development | \$1000 | \$3000 | <input type="checkbox"/> Park Dedication Fee- Residential | 10% of land value of development** | |
| <input type="checkbox"/> Final Plat | \$500 | \$3000 | <input type="checkbox"/> Park Dedication Fee- Other | 10% of land value of development | |
| | | | <input type="checkbox"/> Signage Permanent | \$250 | |
| | | | <input type="checkbox"/> Temporary Sign | \$25 | |

*Escrow or surety bond in amount of 150% of land alteration costs.

** Minimum of 3,750 per unit and maximum of \$8,000 per unit.

Brief Project Narrative / Overview (Use additional paper if necessary. Please be thorough.)

Comfort Haven LLC, an assisted living provider, is seeking to reopen the existing assisted living facility at 1520 Wyman Avenue. The facility requires renovation work, to meet current Minnesota assisted living licensure codes. Specifically, the license sought is for people aged 55 years or older who need some assistance with daily activities and housing, but do not require care in a nursing home.

Renovation will include remodeling the interior and exterior of the building and site. The extent of remodeling the interior will be to meet the current requirements defined in the Minnesota assisted living code. The extent of remodeling the exterior will include, but is not limited to, unifying the facades of the building(s) and updating them to better reflect the neighborhood's current visual qualities, and new landscaping/ground covers. The extent of the site work will include, but is not limited to, removing excessive growth around the building, creating a new access drive around the building, reducing the amount of parking spaces that face neighboring properties to the east, updating site lighting to mitigate light spilling over onto adjacent properties, and re-striping the existing west parking lot. - for more information see attached addendum provided by owner

NOTICE TO APPLICANT

The Maple Plain City Code guides and enables development activities within the City by ensuring proper and well-coordinated projects. The land use application is the mechanism that allows the City to examine proposed land uses to ensure compatibility with the City Codes, design and development standards, and the surrounding land uses and natural environments. The review is intended to ensure positive growth for the community.

All applications are reviewed individually and are evaluated based on their own merit. Each land use request has an associated checklist of required items. Applicants are encouraged to participate in the City's pre-application workshop prior to submitting a formal land use application. The workshop is an opportunity to informally discuss the conceptual idea of the proposed project in an effort to reduce delays. Participation in the pre-application process does not provide approval, or guarantee of approval, of the project. The City shall not accept plans, drawings or other information related to the project except upon submittal of a formal application. The City reserves the right to reject an incomplete application.

APPLICATION FEE STATEMENT

All expenses pertaining to project reviews are the responsibility of the applicant. Planning review deposits and other applicable fees must be paid when submitting land use applications and accompanying materials. All fees, which are set annually by City ordinance, help cover costs incurred by the City to review the application. The City of Maple Plain often uses consulting firms to assist in the review of projects. City staff and consultant review costs are billed hourly; all other costs are billed at cost. Applicants shall be billed directly for incurred expenses upon receipt by the City. The City reserves the right to request an applicant to submit a development escrow in advance of the formal project review.

Please refer to the City's Fee Schedule for information on planning review fees and deposits, and other applicable costs.

By signing this form, the applicant recognizes his/her responsibility for any and all fees associated with the land use application from project review through to construction and release of financial guarantees for an approved project. All fees associated with a project that is denied or withdrawn remain the sole responsibility of the applicant and shall be paid upon receipt of invoice.

I hereby understand the fee statement and responsibilities associated with this land use application:

Applicant Signature



Date 12-21-24

Owner Signature



Date 12/31/24

REVIEW REQUIREMENTS

Minnesota State Statute 15.99 requires local governments to review an application within 15 business days of its submission to determine if an application is complete and/or if additional information is required to complete the review. Once complete, a formal 60-day review period begins. The City has the ability to extend the review period an additional 60 days, if necessary, due to insufficient information or scheduling difficulties.

Please review the corresponding checklist that goes with the request as all materials are required unless waived by the City. All applications must be received by the deadline(s) attached hereto. Failure to submit by the date shown may result in a delay of the review by the Planning Commission and City Council.

DEADLINES

Planning Commissioning meetings are held on the first Thursday of the month at 6:00 P.M.
All applications are due 30 days prior to meeting.

OFFICE USE ONLY

| | |
|--|--|
| Application Type | Review Deadline <input type="checkbox"/> 15 Business Days: _____ <input type="checkbox"/> 60 Day Review: _____ <input type="checkbox"/> 120 Day Review: _____ |
| Fees Collected <input type="checkbox"/> Application Fee Collected: \$ _____ <input type="checkbox"/> Escrow: \$ _____ <input type="checkbox"/> Total Receipt: \$ _____ | Received by <input type="checkbox"/> Name: _____ <input type="checkbox"/> Signature: _____ <input type="checkbox"/> Date: _____ |
| Receipt <input type="checkbox"/> Receipt Number(s) _____ | Application Complete Are there any missing materials? <input type="checkbox"/> Yes. <input type="checkbox"/> No. If yes, was the application accepted? <input type="checkbox"/> Yes. <input type="checkbox"/> No. |



City of Maple Plain
5050 Independence St
P.O. Box 97
Maple Plain, MN 55359
Office: (763) 479-0515
Fax: (763) 479-0519

SITE PLAN CHECKLIST & PROCEDURE

APPLICATION REQUIREMENTS

The following materials are required in order for each application to receive consideration. The City reserves to waive certain requirements. An application that is missing materials may not be accepted.

- | | | |
|-------------------------------------|---|---|
| <input checked="" type="checkbox"/> | Completed Land Use Application and pay all applicable fees. | |
| <input checked="" type="checkbox"/> | All materials as required by City Zoning Code regarding Site Plans. | |
| <input checked="" type="checkbox"/> | Certified survey of property (8 full size, 10 reduced) plus CAD and PDF electronic files. | - 2 PHYSICAL FULL SIZE AND PDF WERE REQUESTED |
| <input checked="" type="checkbox"/> | Written narrative of outlining project and purpose of request. | |
| N/A <input type="checkbox"/> | Wetland report by Certified Wetland Specialist. | |
| <input checked="" type="checkbox"/> | Scaled site plan showing dimensions & distances | <input checked="" type="checkbox"/> Parking plan |
| <input checked="" type="checkbox"/> | Existing & proposed property conditions (page 2) | <input checked="" type="checkbox"/> Lighting plan |
| <input checked="" type="checkbox"/> | Four-sided architectural plans and elevations | <input checked="" type="checkbox"/> Landscape plan |
| <input checked="" type="checkbox"/> | Specifications for exterior finishes | <input checked="" type="checkbox"/> Utility plan |
| <input checked="" type="checkbox"/> | Grading, erosion control & drainage plans (page 2) | N/A <input type="checkbox"/> Tree Preservation plan |
| <input checked="" type="checkbox"/> | Location of fire suppression, if applicable | <input checked="" type="checkbox"/> Signage plan |
| N/A <input type="checkbox"/> | Soil borings, if applicable | <input checked="" type="checkbox"/> Storage & waste enclosure |

APPROVALS & PERMITS

Project applications may require review and comment from the following agencies. Applicants should allow for enough time for agency review. The City encourages applicants to contact each state and county agency and the appropriate watershed district prior to submitting formal application to understand agency requirements.

- | | |
|--|---|
| <input type="checkbox"/> City of Maple Plain | <input type="checkbox"/> MN Pollution Control Agency (NPDES) |
| <input type="checkbox"/> Hennepin County | <input type="checkbox"/> Minnehaha Creek Watershed District |
| <input type="checkbox"/> MN Department of Transportation | <input type="checkbox"/> Pioneer-Sarah Creek Watershed Commission |

Upon completion of the formal review period, the following permits may be required for an approved project. The City, county, state and other jurisdictional agencies each have a review period for all permit requests.

- | | |
|---|--|
| <input type="checkbox"/> Building Permit | <input type="checkbox"/> Hennepin County Right of Way Permit |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> MnDOT Right of Way Permit |
| <input type="checkbox"/> Excavation & Grading Permit | <input type="checkbox"/> Minnehaha Creek Watershed District Permit |
| <input type="checkbox"/> Right of Way Permit | <input type="checkbox"/> Pioneer-Sarah Creek Watershed Commission |
| <input type="checkbox"/> Sewer Availability Charges (SAC) | <input type="checkbox"/> MnPCA Storm Water (NPDES) Construction Permit |
| <input type="checkbox"/> Water Availability Charge (WAC) | <input type="checkbox"/> Wetland Conservation Act requirements |
| <input type="checkbox"/> Sign Permit | |

NOTICE TO APPLICANT

In order to receive consideration, the applicant must complete a number of steps.

1. Meet with City staff to discuss the proposed use, whether permitted or conditional, obtain a land use application packet, and schedule a pre-application meeting.
2. Assemble information outlining the request.
3. Submit a completed application packet, including all materials as required by City Zoning Code related to the type of request, to City Hall by the dates noted on the Land Use Application.
4. Participate in the review process by attending City staff and public meetings.
5. Attend all Public Hearings, and Planning Commission and City Council meetings.

By law, the City of Maple Plain must notify adjacent property owners of proposed projects that may impact their properties. This notification is mailed to property owners within 350 feet of the project area at least 10 days prior to the public hearing. A Certified List of Property Owners will be compiled by the City of Maple Plain.

ADDITIONAL INFORMATION

Drawings of Existing & Proposed Conditions should include:

- gross and net acreages of the proposed development
- location, width and name of all existing streets and highway, public property, railroad, utility rights of way, & easements within the proposed development
- location and size of existing buildings & infrastructure (water, sewer and storm sewer lines)
- wetlands, wooded areas & other natural features
- tree inventory, including trees to be removed & saved
- layout of proposed streets, rights of way and appropriate street information
- layout proposed sidewalks, trails and pedestrian ways
- location and dimension of all easements
- minimum building setback lines.

Grading & Erosion Control & Drainage Plans must show the following:

- existing & proposed topography
- existing natural features, such as trees, wetlands, ponds, swales, drainage channels, etc.
- existing and proposed storm sewer facilities
- proposed storm water improvements
- flood elevations based on a 100-year flood plain
- spot elevations & directional arrows representing drainage patterns
- wetland delineation & mitigation plan at 2:1 ratio

ACKNOWLEDGEMENT

By signing this form, the applicant hereby acknowledges the receipt of the checklist and procedure for the project to be submitted for consideration. It is the responsibility of the applicant to submit all required materials. All permit requests should be submitted in a timely manner so as not to cause project delays.

Applicant Signature

Jan Gibson

Owner Signature

Phil Dell

Date

12-21-24

Date

12/31/24



COMFORT
HAVEN
OF MAPLE PLAIN

PROJECT SUMMARY & CARE MODEL PROPOSAL

Presented by

Jon Gleisner (Primary Contact) • Michael VonBank • Michael Appiah • Barbara Appiah

The Comfort Haven team is committed to the successful redevelopment and operation of the previous owner and operator. The new facility will be named Comfort Haven of Maple Plain.

To become a cornerstone of the community we understand our primary objective must be to meet the needs of the immediate neighborhood and the city. Our team of industry experts will deliver and operate an asset that will integrate with the surrounding neighborhood and the greater community.

SUMMARY OF FACILITY

When completed Comfort Haven of Maple Plain will provide 39 assisted living units and 22 memory care units. *The business model provides accessibility for both private pay and state pay residents.*

7447 Egan Drive, Suite 100
Savage, MN 55378
(612) 298-4872



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Is Our Priority**

www.comforthavenmn.com



COMFORT
HAVEN
OF MAPLE PLAIN

OUR TEAM WILL INVEST NEARLY \$6 MILLION IN YOUR COMMUNITY

We will do this in collaboration with facility neighbors and city staff. We have carefully studied previous attempts at this project. Our approach will focus on alleviating historical challenges and improving the presence of this facility both aesthetically and operationally.

In our discussions with city staff and neighbors we understand the following items are of primary importance, each is followed by our intentional response and planned deliverable.

LIGHTING, PARKING & TRAFFIC FLOW

- East parking lot will be moved away from the property line.
- Cars will NOT be parking facing directly into neighboring properties.
- Adding improved lighting with less overspill by utilizing deflection panels directing light towards our facility not at neighbors.
- Adding a new fence to help eliminate lighting into neighboring properties.
- Adding a road around the building.
- Deliveries (food 2 x per week) and the refuse vehicle (1 x week) will no longer need to reverse out of the parking area.
- Adding additional parking to the south of the building.
 - Alleviate the need for on-street parking.
 - Compliance with the new Minnesota Dept of Health requirement of having a parking space for each resident totaling 61 parking spaces.

STAFF & RESIDENT TRAFFIC FLOW

- The Comfort Haven proposal is for a mix of assisted living (39 units) and memory care (22 units). This will require less staff to operate than the previous full-service skilled nursing facility.
- We expect residents and their visitors to come from within a 5 to 10-mile radius of the facility.
- Managed traffic flow will minimize staff driving in the surrounding neighborhood.

EXTERIOR

- Complete renovation of the exterior and overall site including:
 - New roof
 - New windows
 - New siding
 - New landscaping including a revitalized courtyard and garden area
 - New driveways & parking areas

EMERGENCY CALLS

- Emergency response calls for our other comparable facilities have been well below state averages, typically less than three calls per month.

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RESIDENT SAFETY AND RESPECT FOR NEIGHBORS

The experienced staff and leadership team of Comfort Haven of Maple Plain has developed a comprehensive service delivery model compliant with the State regulatory framework and based on decades of care experience. The plan demonstrates a commitment to safety, quality of life for the residents and respect for neighbors.

Secure Memory Care Units

- Memory care residents will be housed in a secure unit. We will meet and exceed state regulatory framework for residents with impaired memories. Elopement prevention and safety will be paramount to all operational procedures.

Green Environment

- The new landscape package will provide an enhanced, green environment will significantly enhance the living conditions for all residents. Such environments can aid in the mental and emotional well-being of the elderly, especially those with memory issues, by providing calm and visually stimulating surroundings.

Wander Guard System

- Implementing a wander guide system for memory care residents is a proactive approach to monitor and alert staff if a resident strays from a safe area. This technology is crucial to elopement prevention and ensures quick response times, thereby enhancing resident safety.

Freedom for Assisted Living Residents

- Assisted Living residents will have the freedom to move in and out of the facility, reflecting the facility's compliance with state regulations that do not require locking Assisted Living units. A concierge will be employed 24/7 to manage sign-ins and sign-outs to maintain security while respecting residents' independence.

Thorough Admission Assessments

- Success of the assisted living environment is predicated on proper screening. Extensive admission assessments determine if a prospective client is suitable. This ensures that only those capable of moving in and out of the facility unsupervised are allowed to do so. Ongoing assessments will help in continuously evaluating the residents' needs and capabilities, adjusting care levels as needed.

Elopement Policy

- The Comfort Haven elopement policy outlines step-by-step procedures to be taken in the event of an elopement incident. Staff are thoroughly trained on the policy and receive annual updates. The policy details preventive measures, staff responsibilities, and emergency response procedures to effectively manage an incident.

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COMFORT
HAVEN
OF MAPLE PLAIN

CARE MODEL

The Comfort Haven proposal is for a mix of assisted living (39 units) and memory care (22 units). The company currently operates 6 other care facilities and will provide references upon request.

- **Individualized care**
Each resident receives a personalized care plan based on their specific needs and preferences.
- **Activities of daily living (ADLs) support**
Staff assists with tasks like bathing, dressing, toileting, and eating as needed.
- **24/7 supervision**
Trained staff are available around the clock to monitor residents and respond to emergencies.
- **Private living spaces**
Residents typically live in their own apartments or rooms within the facility.
- **Common areas and social activities**
Communal spaces are provided for socializing, dining, and participating in organized activities like games, exercise classes, and outings.
- **On-site healthcare services**
Access to basic medical care, including medication management and coordination with outside healthcare providers.
- **Housekeeping and laundry services**
Assistance with routine household chores like cleaning and laundry.
- **Meal plans**
Three meals per day are provided, often with dietary options to accommodate individual needs.
- **Regulations**
Assisted living facilities are subject to state regulations governing the services we can provide and the qualifications of our staff.

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COMFORT
HAVEN
OF MAPLE PLAIN

RESPONSIVE & EXPERIENCED LEADERSHIP

The Comfort Haven leadership and ownership team combines decades of professional experience in senior care facility construction and service delivery.

Dr. Michael Appiah, MPA, MBA

Founder of 3MB Health Homecare & Assisted Living, Health Helper's Staffing and 3MB Management Consultants. Dr. Appiah is a distinguished leader whose career spans business, finance, healthcare, and ministry. He has devoted his life to integrating faith, professional excellence, and service to his community, particularly focusing on guiding entrepreneurs and organizations in ethical and sustainable growth.

Barbara Appiah, MNA, BSN, RN, CNA

Seasoned healthcare professional in the nursing and healthcare industry. Barbara currently serves as Director of Nursing at The Kenwood in Minneapolis. She leads a dedicated team of nursing professionals committed to delivering quality, patient-centered care.

Michael VonBank

Nearly two decades of assisted living and memory care facility ownership and operation. These properties include Waterville Assisted Living & Memory Care (47 residents), Traditions of Montgomery Assisted Living & Memory Care Facility (39 residents) and Comfort Haven Assisted Living of Prior Lake (5 Bedroom Assisting Living Facility opening soon). Traditions of Montgomery was newly constructed under the leadership of Mr. VonBank.

Jonathan Gleisner

Over three decades of experience in construction and business leadership. Mr. Gleisner has a BS in Accounting from Minnesota State University Mankato. His construction experience includes residential and commercial, new construction and redevelopment. He owns and operates several high-density living facilities.

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COMFORT HAVEN MAPLE PLAIN

1520 WYMAN AVENUE
MAPLE PLAIN, MN 55359

PROJECT TEAM

OWNER

COMFORT HAVEN LLC
7447 EGAN DRIVE
SUITE #100
SAVAGE, MN 55378
JON GLEISNER
612-600-6036
JONNYGLEIS@HOTMAIL.COM

DESIGN/BUILDER

TBD

ARCHITECT OF RECORD

SPERIDES REINERS ARCHITECTS, INC.
6442 CITY WEST PARKWAY
SUITE #300
EDEN PRAIRIE, MN 55344
ERIC REINERS
952-996-9662
ERIC@SRA-MN.COM

MECHANICAL / PLUMBING

TBD

ELECTRICAL

TBD

LANDSCAPE ARCHITECT

CIVIL SITE GROUP
5000 GLENWOOD AVENUE
GOLDEN VALLEY, MN 55422
DAVID KNAEBLE
612-615-0060
DKNAEBLE@CIVILSITEGROUP.COM

STRUCTURAL ENGINEER

TBD

CIVIL ENGINEER

CIVIL SITE GROUP
5000 GLENWOOD AVENUE
GOLDEN VALLEY, MN 55422
DAVID KNAEBLE
612-615-0060
DKNAEBLE@CIVILSITEGROUP.COM

FOOD SERVICE CONSULTANT

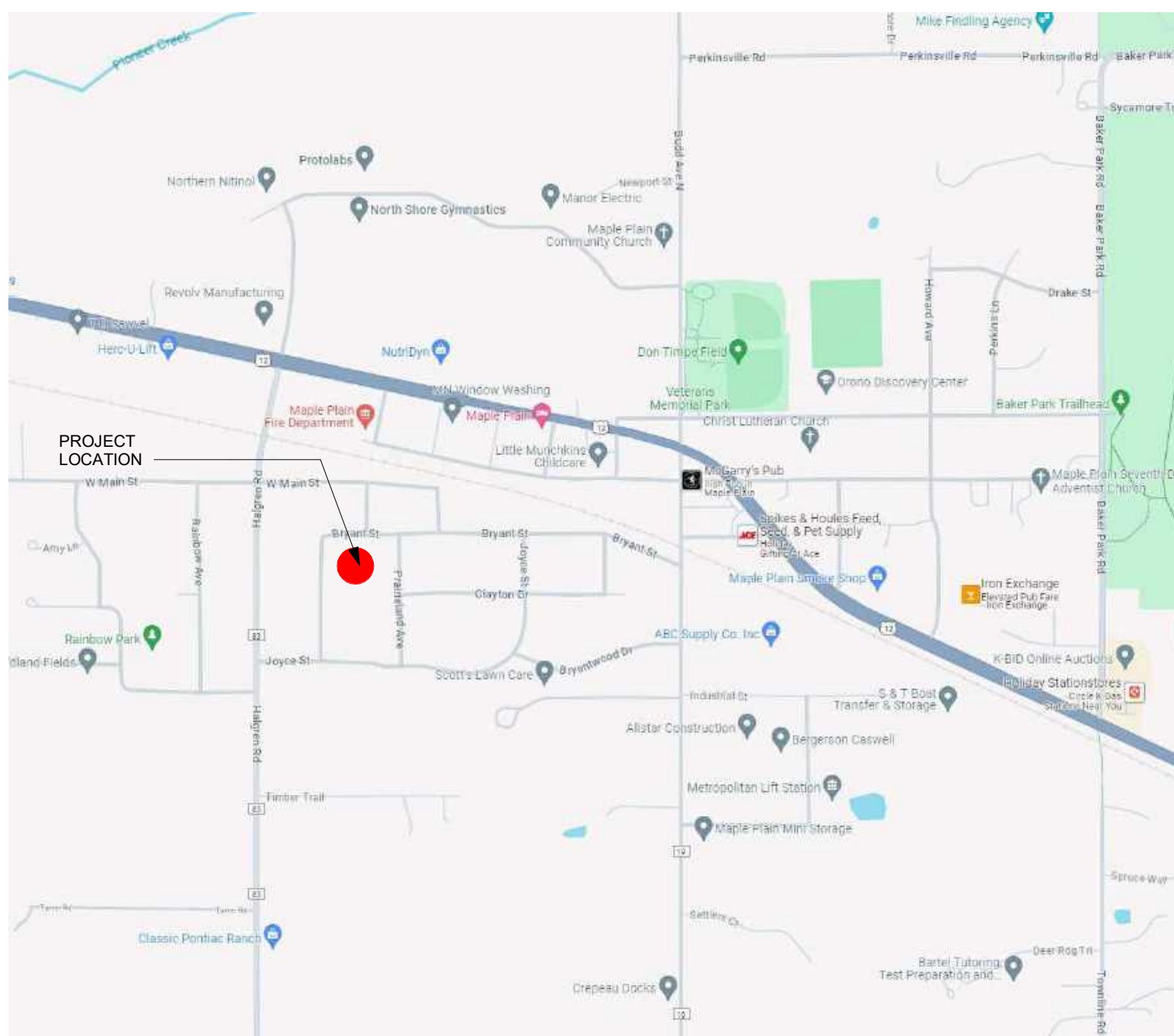
GENERAL NOTES

- A. STUD FRAMING EXTENDED TO STRUCTURE ABOVE SHALL HAVE 3" X 3 5/8" GALVANIZED STUD TRACK AT TOP. STUD FRAMING SHALL BE 3/4" FROM TOP OF TRACK AND HAVE NO MECHANICAL FASTENING TO ALLOW FOR 3/4" DEFLECTION.
- B. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO FABRICATION/ CONSTRUCTION BEGINS.
- C. CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURERS REQUIREMENTS.
- D. HOLD 1/2" CLEARANCE BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH SEALANT. STRIKE SEALANT SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS SEALANT FROM PARTITION AND FLOOR.
- E. CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF THE DOOR LEAF OR AS SHOWN ON THE FLOOR/ FINISH PLAN.
- F. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
- G. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
- H. PROVIDE FIRE TREATED BLOCKING AS REQUIRED TO SUPPORT ALL CABINETS, SHELVES, BUILT-INS, EQUIPMENT OR ACCESSORIES. COORDINATE WITH VENDOR DOCUMENTS WHERE SUCH CONDITIONS APPLY.
- I. DURING CONSTRUCTION, AREA SHALL BE KEPT CLEAN AND ORDERLY.
- J. LIGHTING, EXIT LIGHTING INFORMATION, ELECTRICAL, DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.
- K. CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
- L. PROVIDE GFI ELECTRICAL OUTLETS AT LOCATIONS REQUIRED BY CODE.

PROJECT IMAGE



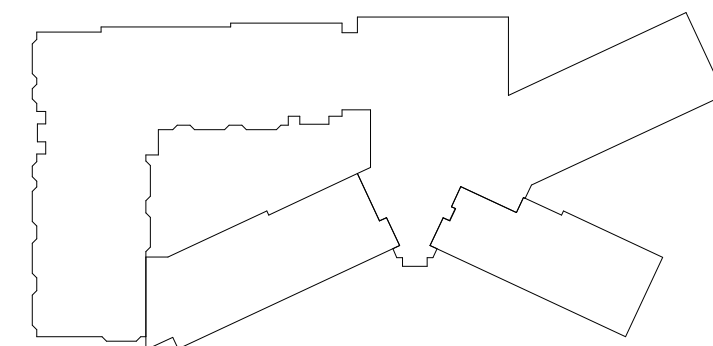
LOCATION MAP



SHEET INDEX

| SHEET | SHEET NAME | CITY SUBMITTAL 01-04-2024 |
|---------------|-----------------------------------|---------------------------|
| GENERAL | | |
| A000 | TITLE SHEET | 0 |
| SURVEY | | |
| V1.0 | ALTA / NSPS LAND TITLE SURVEY | 0 |
| CIVIL | | |
| C0.0 | TITLE SHEET | 0 |
| C1.0 | REMOVALS PLAN | 0 |
| C2.0 | SITE PLAN | 0 |
| C3.0 | GRADING PLAN | 0 |
| C4.0 | UTILITY PLAN | 0 |
| C5.0 | DETAILS | 0 |
| LANDSCAPE | | |
| L1.0 | OVERALL LANDSCAPE PLAN & NOTES | 0 |
| L1.1 | LANDSCAPE PLAN ENLARGEMENT | 0 |
| L1.2 | LANDSCAPE PLAN ENLARGEMENT | 0 |
| L1.3 | LANDSCAPE PLAN ENLARGEMENT | 0 |
| CIVIL | | |
| SW1.0 | ISWPPP - EXISTING CONDITIONS | 0 |
| SW1.1 | ISWPPP - PROPOSED CONDITIONS | 0 |
| SW1.2 | ISWPPP - DETAILS | 0 |
| SW1.3 | ISWPPP - NARRATIVE | 0 |
| ARCHITECTURAL | | |
| A040 | SITE PLAN | 0 |
| A040.1 | CONSTRUCTION SITE MANAGEMENT PLAN | 0 |
| A300 | ELEVATIONS | 0 |
| A301 | EXTERIOR MATERIAL PALETTE | 0 |
| PHOTOMETRICS | | |
| M | SITE PHOTOMETRIC | 0 |

KEY PLAN



COMFORT HAVEN MAPLE
PLAIN ASSISTED LIVING

1520 WYMAN AVENUE
MAPLE PLAIN, MN 55359

TITLE SHEET

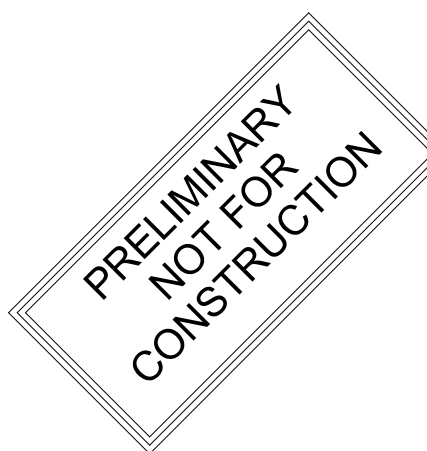
PROJECT 24-141
DRAWN LS, AA
CHECKED ER
BY:

A000

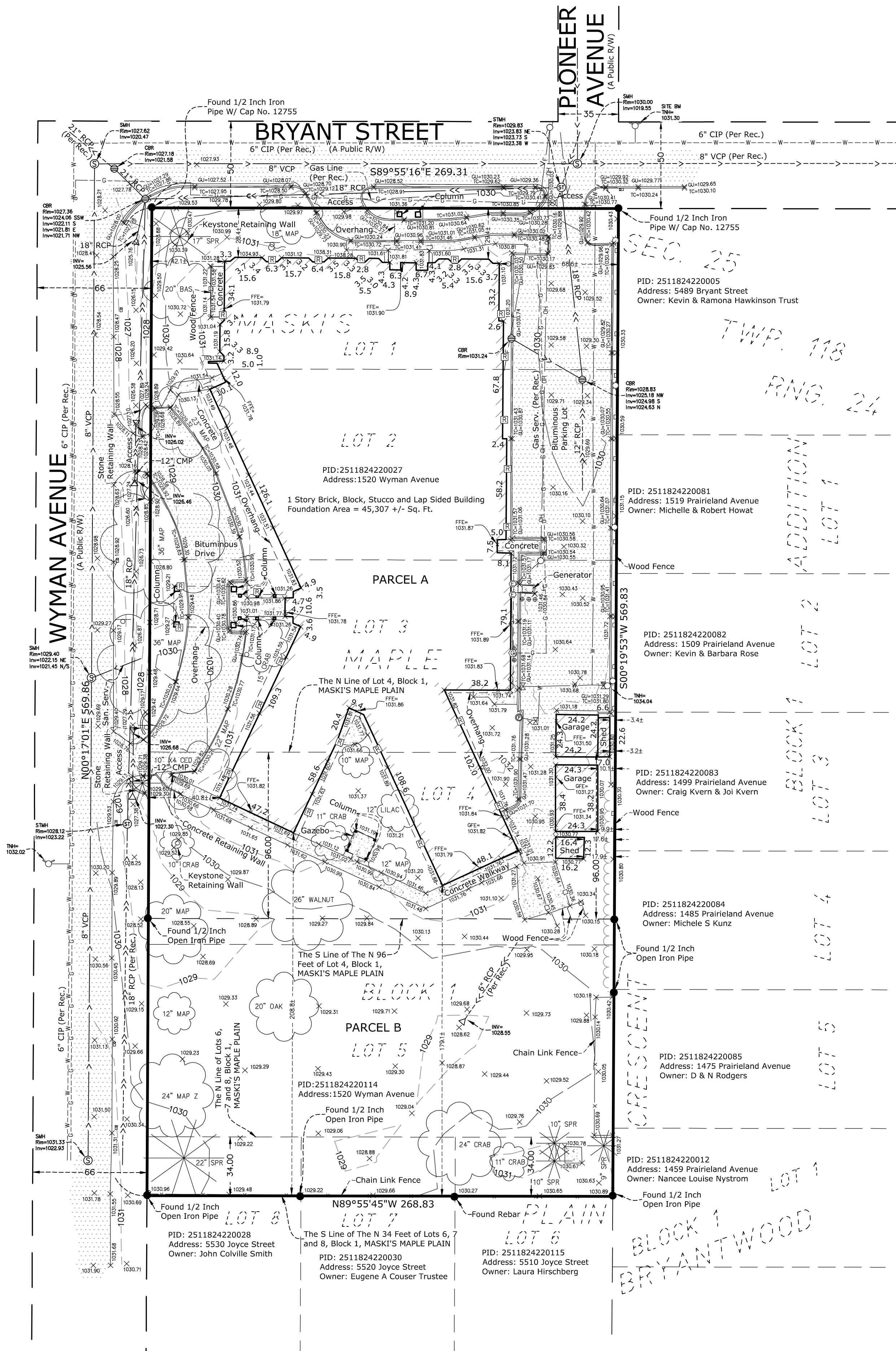
2/12/2025 1:27:48 PM

6442 CITY WEST PARKWAY
SUITE 300
EDEN PRAIRIE, MINNESOTA
55344
PH: 952-996-9662
WWW.SRA-MN.COM

© COPYRIGHT 2020
SPERIDES REINERS
ARCHITECTS, INC



| ISSUE RECORD | DESCRIPTION |
|--------------|----------------|
| ISSUE # | DATE |
| 1 | 1/22/2025 |
| | CITY SUBMITTAL |



DESCRIPTION OF PROPERTY SURVEYED

Parcel A:
Lots 1, 2, 3 and the North 96 feet of Lot 4, Block 1, Maski's Maple Plain, Hennepin County, Minnesota.

Parcel B:
Lot 5 and that part of Lot 4 lying South of the North 96 feet thereof, Block 1; The North 34 feet of Lots 6, 7 and 8, Block 1;
All in Maski's Maple Plain, Hennepin County, Minnesota.

Abstract Property

GENERAL SURVEY NOTES

- Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
- Elevations are based on the NGVD 29 Datum. Site Benchmark is the top nut of the fire hydrant located in the northeast quadrant at the intersection of Bryant Street and Pioneer Avenue, as shown hereon. Elevation = 1031.30
- We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.

ALTA/NSPS LAND TITLE SURVEY NOTES

(numbered per Table A)

- Monuments placed and/or found at all major corners of the boundary of the surveyed property as shown hereon.
- Site Address: 1520 Wyman Avenue, Maple Plain, Minnesota 55359.
- This property is contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0143F, effective date of November 4, 2016.
- The Gross land area is 153,328 +/- square feet or 3.520 +/- acres.
- (a) Exterior dimensions of buildings at ground level as shown hereon.
- Substantial features observed in the process of conducting the fieldwork as shown hereon. Please note that seasonal conditions may inhibit our ability to visibly observe all site features located on the subject property.
- No striped parking stalls were observed on the subject property while conducting the fieldwork.
- The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from the Hennepin County Interactive Property map.

SURVEY REPORT

- This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Land Title, Inc. as agent for Stewart Title Guaranty Company, File No. 685764, dated October 9, 2023. We note the following with regards to Schedule B II Exceptions of the herein referenced Title Commitment:
 - Item no.'s 1-13 are not survey related.

ALTA CERTIFICATION

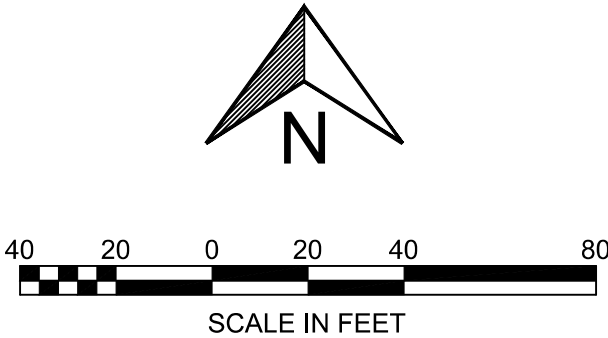
To: Elim Homes, Inc., a Minnesota non-profit corporation; Haven Homes, Inc., a Minnesota non-profit corporation; River Oaks at Maple Plain Real Estate, LLC; Land Title, Inc.; and Stewart Title Guaranty Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9, and 13 of Table A thereof.

The fieldwork was completed on 12-12-2023.

Dated this 22nd day of December, 2023.

Rory L. Synsteli
rory@civilsitegroup.com
Minnesota License No. 44565



Linetype & Symbol Legend

| | | | | | |
|------------|---------------------------|---|----------------------|---|-------------------|
| — E — | ELECTRIC LINE | ⊠ | AIR CONDITIONER | ⊠ | UTILITY VAULT |
| --- E --- | ELECTRIC LINE (RECORD) | ⊠ | CABLE TV BOX | ⊠ | UTILITY MANHOLE |
| — F — | FIBER/COMM. LINE | ⊠ | ELECTRIC MANHOLE | ⊠ | ELECTRICAL OUTLET |
| --- F --- | FIBER/COMM. LINE (RECORD) | ⊠ | ELECTRIC TRANSFORMER | ⊠ | HAND HOLE |
| — G — | GASMAIN | ⊠ | ELECTRICAL METER | ⊠ | BOLLARD |
| --- G --- | GASMAIN (RECORD) | ⊠ | FIBER/COMM. MANHOLE | ⊠ | FLAG POLE |
| — OH — | OVERHEAD UTILITIES | ⊠ | POWER POLE | ⊠ | FUEL TANK |
| — S — | SANITARY SEWER | ⊠ | GUY WIRE | ⊠ | HANDICAP SYMBOL |
| --- S --- | SANITARY SEWER (RECORD) | ⊠ | GAS METER | ⊠ | LIGHT POLE |
| — SS — | STORM SEWER | ⊠ | GAS MANHOLE | ⊠ | MAIL BOX |
| --- SS --- | STORM SEWER (RECORD) | ⊠ | GAS VALVE | ⊠ | SIGN |
| — T — | TELEPHONE LINE | ⊠ | ROOF DRAIN | ⊠ | CONIFEROUS TREE |
| --- T --- | TELEPHONE LINE (RECORD) | ⊠ | SEWER CLEAN OUT | ⊠ | DECIDUOUS TREE |
| — W — | WATERMAIN | ⊠ | SANITARY MANHOLE | ⊠ | |
| --- W --- | WATERMAIN (RECORD) | ⊠ | STORM MANHOLE | ⊠ | |
| — X — | CHAINLINK FENCELINE | ⊠ | CATCH BASIN | ⊠ | |
| — O — | WOODEN FENCELINE | ⊠ | FLARED END SECTION | ⊠ | |
| — Δ — | GUARDRAIL | ⊠ | TELEPHONE BOX | ⊠ | |
| — A — | ACCESS RESTRICTION | ⊠ | TELEPHONE MANHOLE | ⊠ | |
| — C — | CONCRETE SURFACE | ⊠ | TRAFFIC SIGNAL | ⊠ | |
| — P — | PAVER SURFACE | ⊠ | HYDRANT | ⊠ | |
| — B — | BITUMINOUS SURFACE | ⊠ | FIRE CONNECTION | ⊠ | |
| — G — | GRAVEL/LANDSCAPE SURFACE | ⊠ | POST INDICATOR VALVE | ⊠ | |
| | | ⊠ | WATER MANHOLE | ⊠ | |
| | | ⊠ | WATER VALVE | ⊠ | |
| | | ⊠ | WELL | ⊠ | |

1520 Wyman Avenue
Maple Plain, Hennepin County, Minnesota 55359

PROJECT

CLIENT

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

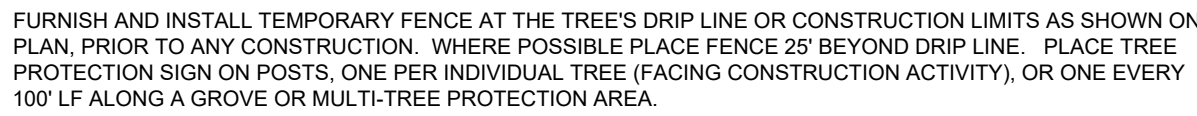
RORY L. SYNSTELIEN
DATE 12-22-2023 LICENSE NO. 44565

| QA/QC |
|----------------|
| FIELD CREW DO |
| DRAWN BY DS |
| REVIEWED BY CJ |
| UPDATED BY |

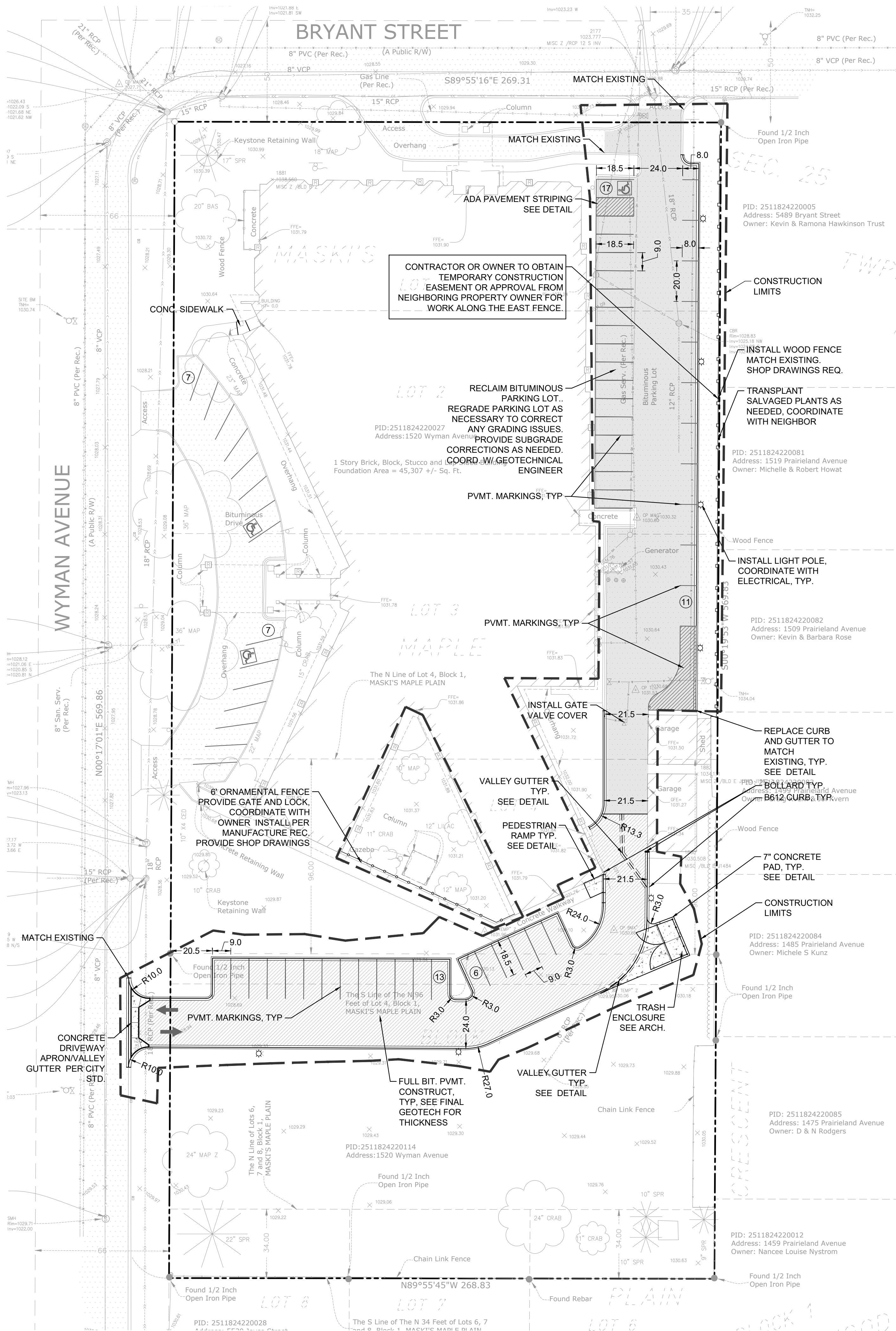
VICINITY MAP

ALTA/NSPS LAND
TITLE SURVEY

V1.0



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SITE LAYOUT NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATIONAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
- ALL PARKING LOT PAINT STRIPING TO BE WHITE, 4" WIDE TYP.
- BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
- ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.
- CONTRACTOR IS RESPONSIBLE TO INSTALL ANY SIDEWALK AND CURBING PER DESIGN PLAN. CONTRACTOR TO VERIFY ALL CURBS AND SIDEWALKS DRAIN PROPERLY IN FIELD CONDITIONS. CONTRACTOR MUST CONTACT THE CIVIL ENGINEER 24-HOURS PRIOR TO ANY CURB AND/OR SIDEWALK INSTALLATION TO REVIEW AND INSPECT CURB STAKES. CONTRACTOR IS RESPONSIBLE FOR ANY CURB OR SIDEWALK REPLACEMENT IF THIS PROCEDURE IS NOT FOLLOWED.

| FENCING SCHEDULE | | | | | | |
|--|----------------------|-----------|-------------------|-----------|-----------|--|
| LOCATION | TYPE | HEIGHT | MAKE | MODEL | FINISH | REMARKS |
| EAST PROPERTY LINE | MATCH EXISTING FENCE | MATCH EX. | MATCH EX. | MATCH EX. | MATCH EX. | TO MATCH EXISTING FENCE IN MATERIAL, HEIGHT, SIZE, LOCATION, COORDINATE WITH OWNER |
| COURTYARD FENCE | ORNAMENTAL METAL | 6' | AMERISTAR FENCING | MONTAGE | BLACK | MAKE, MODEL & COLOR FOR REFERENCE ONLY. PROVIDE GATE AND LOCK |
| NOTE: SEE DETAILS, PROVIDE SHOP DRAWINGS FOR ALL COMPONENTS. MANUF. PROVIDED FOR REFERENCE. CONTRACTOR MAY SUGGEST ALTERNATE, MAKERS & MODELS WHICH ARE EQUIVALENT IN QUALITY & CRAFTSMANSHIP. | | | | | | |

| SITE AREA CALCULATIONS | | EXISTING CONDITION | | PROPOSED CONDITION | |
|---------------------------|-------------------|--------------------|--------|--------------------|--------|
| IMPERVIOUS SURFACES | BUILDING COVERAGE | 47,180 SF | 30.8% | 46,980 SF | 30.6% |
| | PAVEMENT | 31,397 SF | 20.5% | 39,407 SF | 25.7% |
| | TOTAL | 78,577 SF | 51.2% | 86,387 SF | 56.3% |
| PERVIOUS SURFACES | | 1.7 AC | 0.0 AC | 1.7 AC | 0.0 AC |
| | | 66,941 SF | 43.7% | 66,941 SF | 43.7% |
| | TOTAL | 74,751 SF | 48.8% | 74,751 SF | 48.8% |
| TOTAL SITE AREA | | 153,328 SF | 100.0% | 153,328 SF | 100.0% |
| DIFFERENCE (EX. VS PROP.) | | 7,810 SF | 5.1% | | |
| DISTURBED AREA | | 30,000 SF | 0.7 AC | | |

OWNER INFORMATION

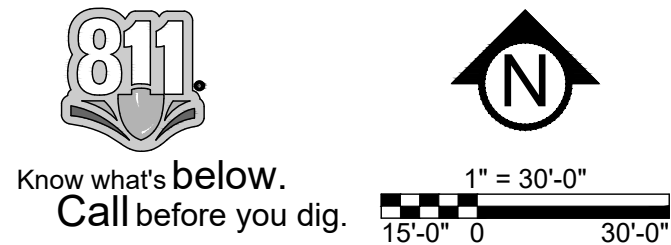
COMFORT HAVEN LLC
4207 QUAKER TRAIL NE
PRIOR LAKE, MN 55372
JON GLEISNER
612-600-6036
JONNYGLEIS@HOTMAIL.COM

CITY OF MAPLE PLAIN SITE SPECIFIC NOTES:

- THE CONDITION OF WYMAN AVENUE AND BRYANT STREET (INCLUDING THE STORM CONVEYANCE SYSTEM) SHOULD BE DOCUMENTED WITH VIDEO PRIOR TO ANY WORK. THESE STREETS HAVE JUST BEEN RECONSTRUCTED AND ARE IN GREAT CONDITION. ANY DAMAGE TO THE STREETS OR SEDIMENT DEPOSITED IN THE STORM SEWER AFTER WORK BEGINS SHOULD BE DEEMED TO BE CAUSED BY THE CONTRACTOR AND THEIR RESPONSIBILITY TO REPAIR OR REMOVE.
- WORK WITHIN PUBLIC RIGHT-OF-WAY MUST BE COORDINATED WITH THE CITY. REMOVAL LIMITS SHALL BE MARKED BY THE CITY PRIOR TO DEMOLITION.
-

SITE PLAN LEGEND:

- SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED.
HC = ACCESSIBLE SIGN
NP = NO PARKING FIRE LANE
ST = STOP
CP = COMPACT CAR PARKING ONLY
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN
- BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH, SEE DETAIL.
- FULL DEPTH RECLAMATION PAVEMENT
- CONCRETE PAD/WALK
- PROPERTY LINE
- CONSTRUCTION LIMITS



CivilSite
Civil Engineering * Surveying * Landscape
Architecture
5000 Glenwood Avenue
Golden Valley, MN 55422
civilsitegroup.com 612-615-0060

PRELIMINARY:
NOT FOR
CONSTRUCTION

COMFORT HAVEN
MAPLE PLAIN, MN
COMFORT HAVEN LLC
4207 QUAKER TRAIL NE, PRIOR LAKE, MN 55372

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
David J. Knaeble
DATE 02/14/25 LICENSE NO. 48776

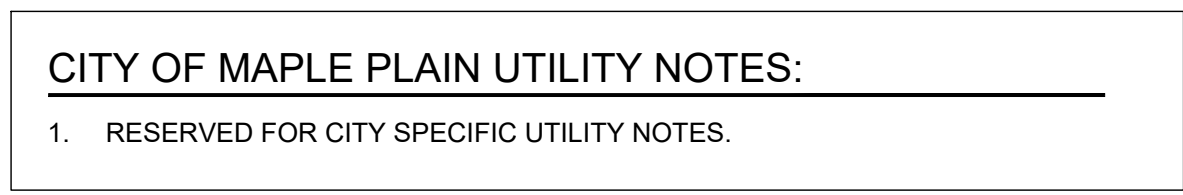
ISSUE/SUBMITTAL SUMMARY
DATE DESCRIPTION
02/14/25 CITY SUBMITTAL

REVISION SUMMARY
DATE DESCRIPTION

SITE PLAN
C2.0
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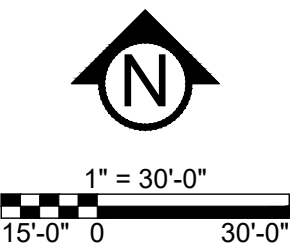
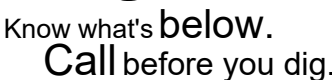
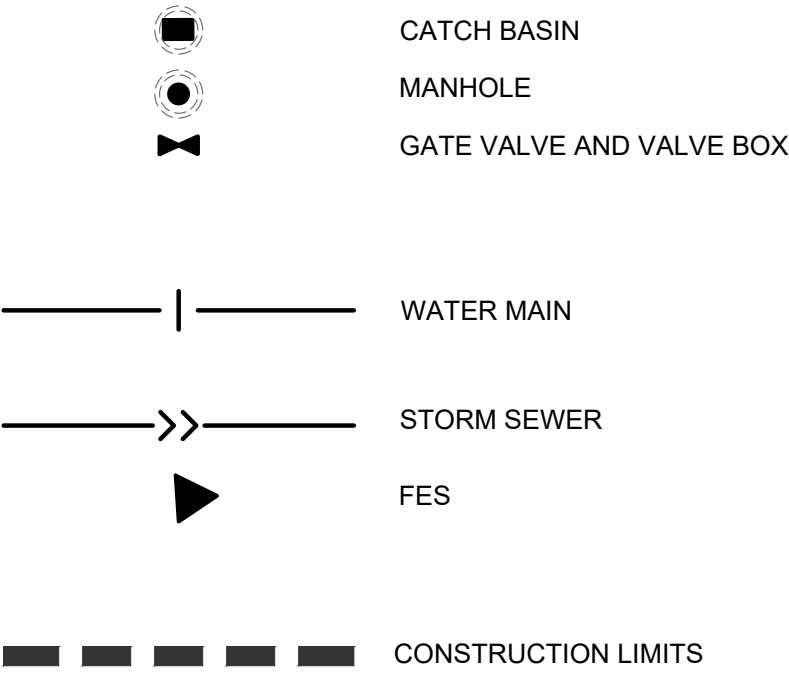


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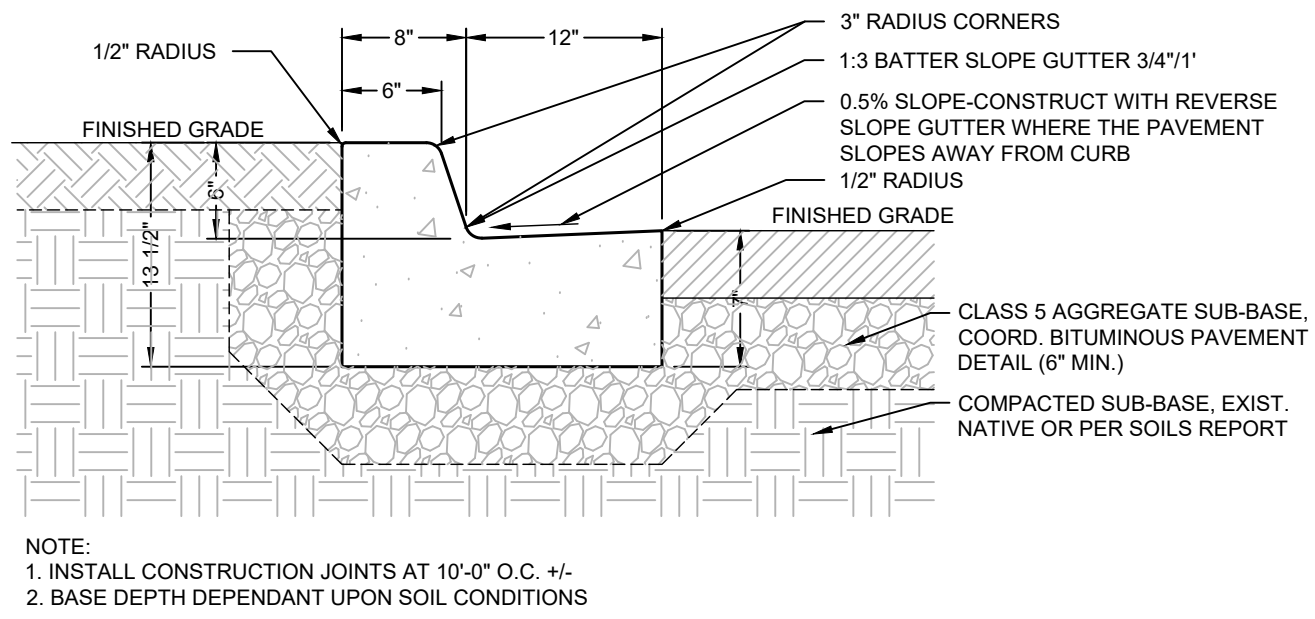


1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
3. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
4. UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS' ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
5. CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
6. ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED.
7. ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) ASTM D3034 & F679, OR SCH 40 ASTM D1785, 2665, ASTM F794, 1866) UNLESS OTHERWISE NOTED.
8. ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714 & F2306 WITH ASTM D3212 SPEC FITTINGS UNLESS OTHERWISE NOTED.
9. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
10. UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
11. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
12. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
13. HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
14. A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
15. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
16. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
17. CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.

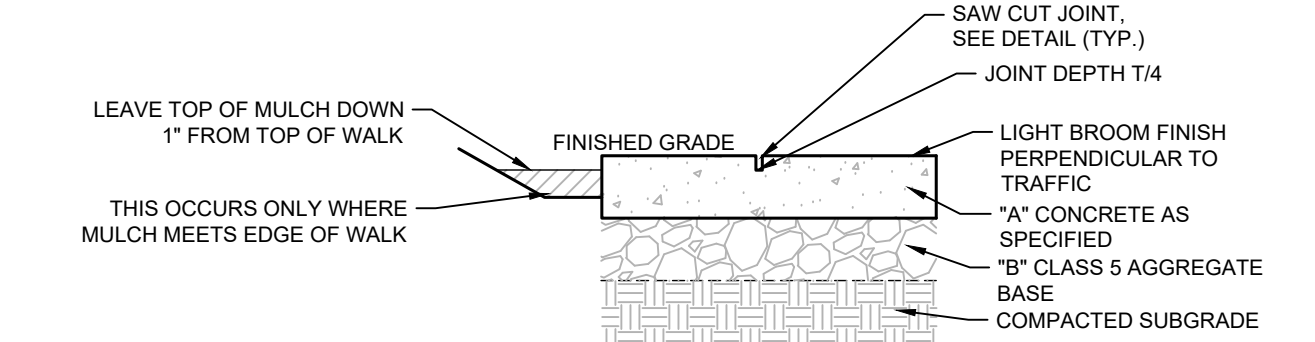
- ### UTILITY LEGEND:



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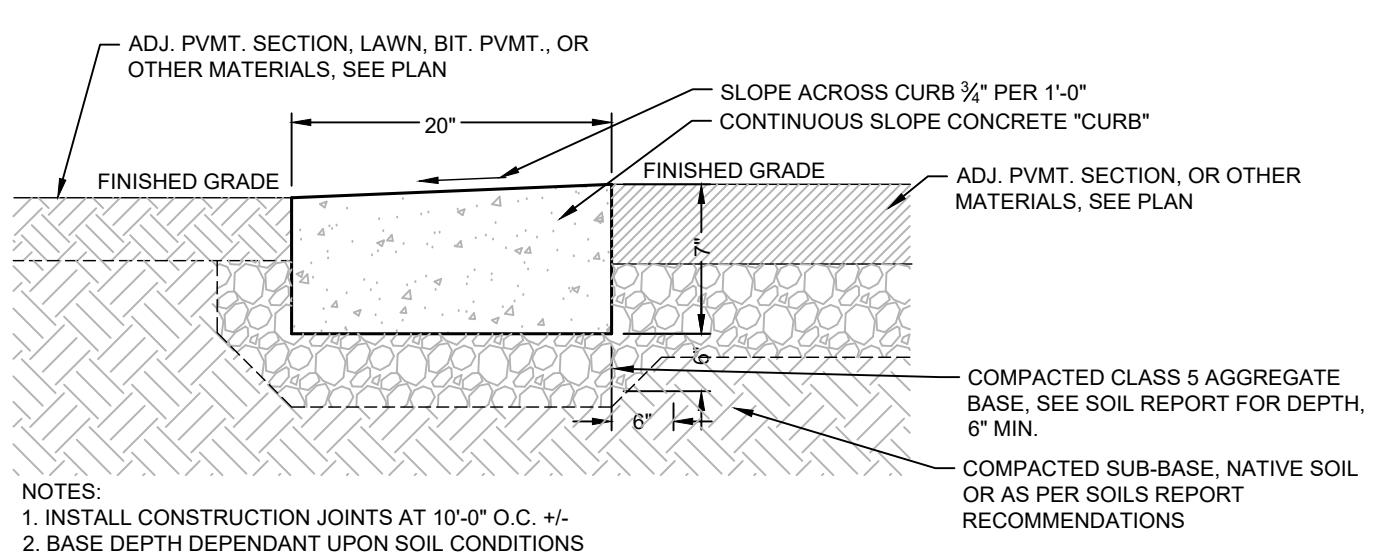
1 B-612 CONCRETE CURB AND GUTTER NTS



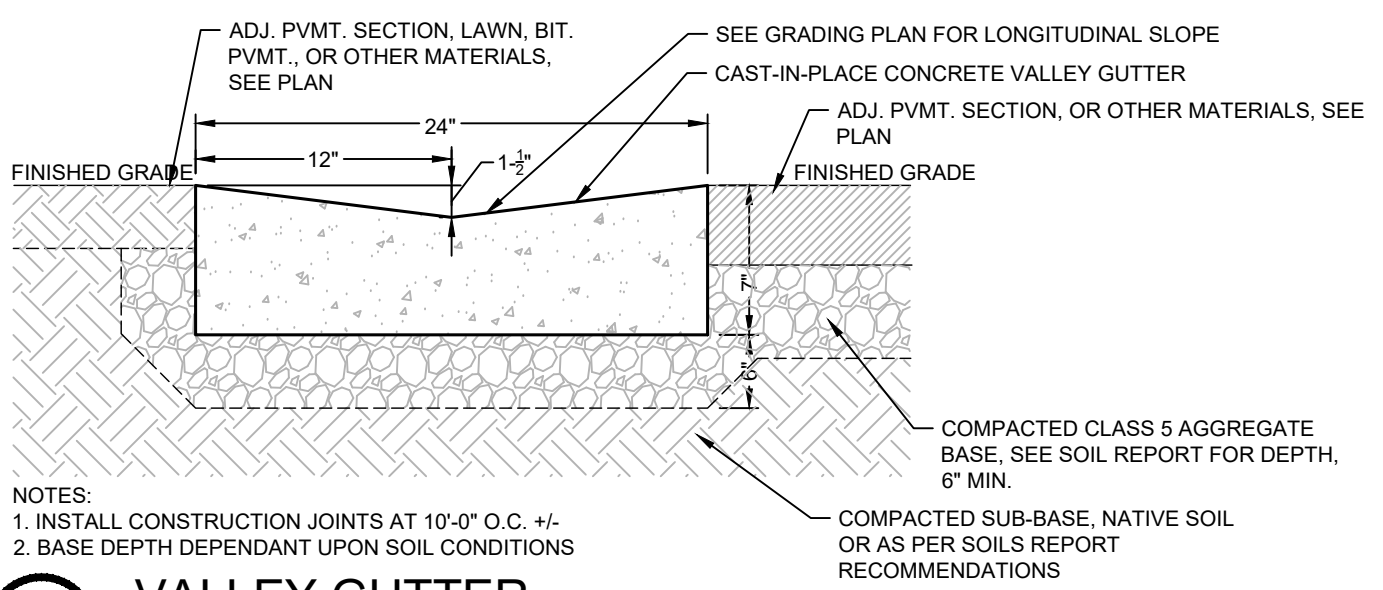
| PAVEMENT DESIGN | | |
|-----------------|-----------|----------|
| TYPE | CONC. (A) | AGG. (B) |
| WALKS | 5" | 6" |
| CONC. P.V.M.T. | 7" | 8" |

- CURING:
1. APPLY CURING COMPOUNDS IMMEDIATELY UPON FINAL FINISHING OF CONC. SURFACE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION AND THE SPECIFICATIONS BELOW
 2. ALL CONC. SURFACES SHALL HAVE CURING COMPOUNDS ALLIED PER ASTM C-1315, AT 200 S.F. PER GAL.
 3. ALL CURING COMPOUNDS SHALL BE TYPE 1 (CLEAR) AND CONTAIN ACRYLIC BASED CLASS B RESTRICTED RESIN SOLIDS.
- NOTES:
1. INSTALLATION SHALL BE CERTIFIED AND IN ACCORDANCE TO AN ON-SITE A.C.I. TECHNICIAN AS SPECIFIED.
 2. SEE GEO-TECHNICAL RECOMMENDATIONS FOR GROSS WEIGHT REQUIREMENTS
 3. IF NO DESIGN IS DEFINED IN CHART, SEE GEOTECH REPORT FOR FINAL PAVEMENT SECTION.
 4. IF DESIGN IS DEFINED IN CHART, IT SHOULD BE CONSIDERED FOR BIDDING PURPOSES ONLY. REFER TO GEOTECH FOR FINAL PAVEMENT SECTION.

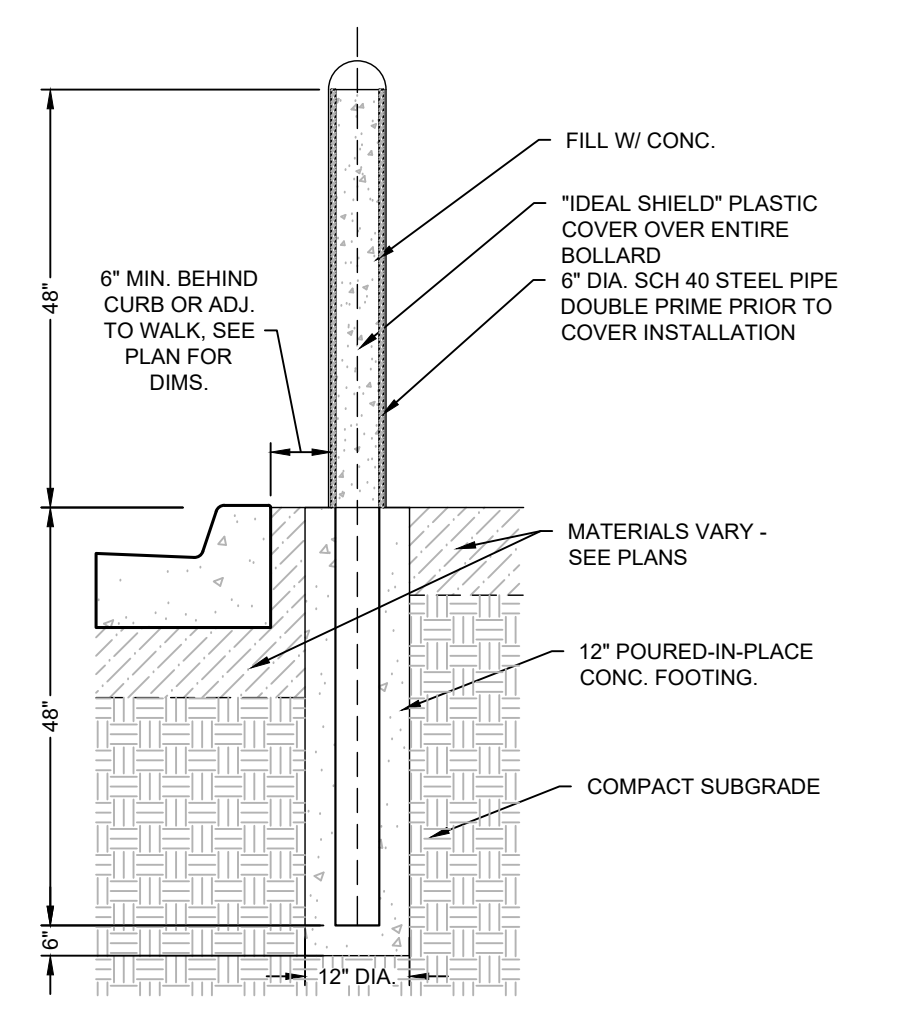
2 CONCRETE P.V.M.T./WALK/PAD- NO FIBER NTS (PRIVATE PROPERTY)



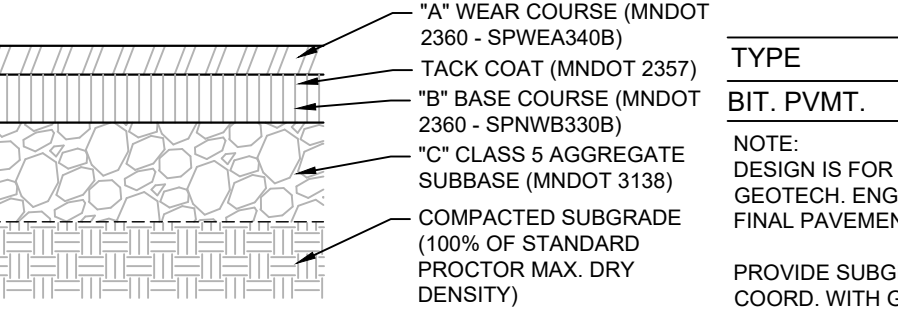
3 RIBBON CURB NTS



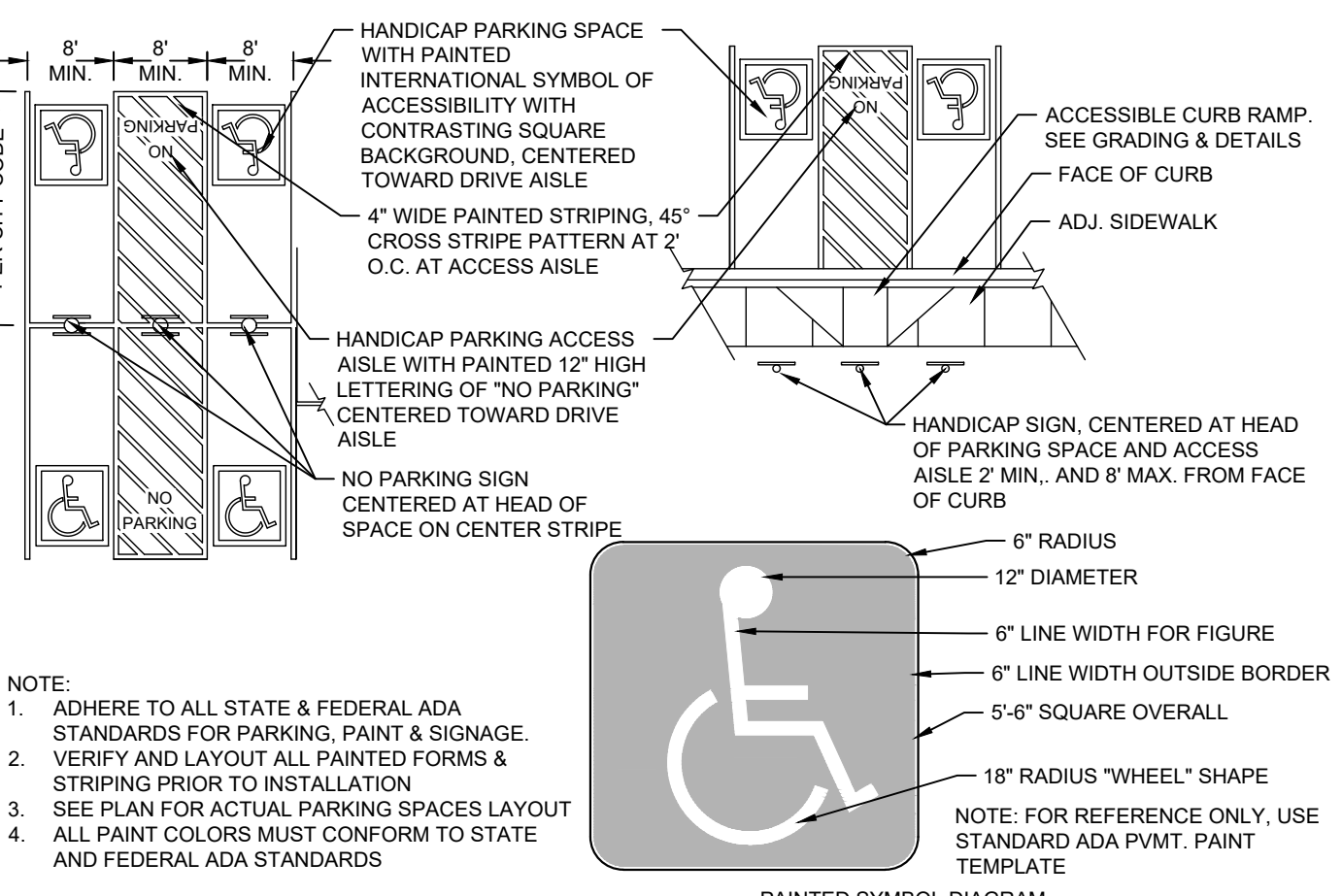
4 VALLEY GUTTER NTS



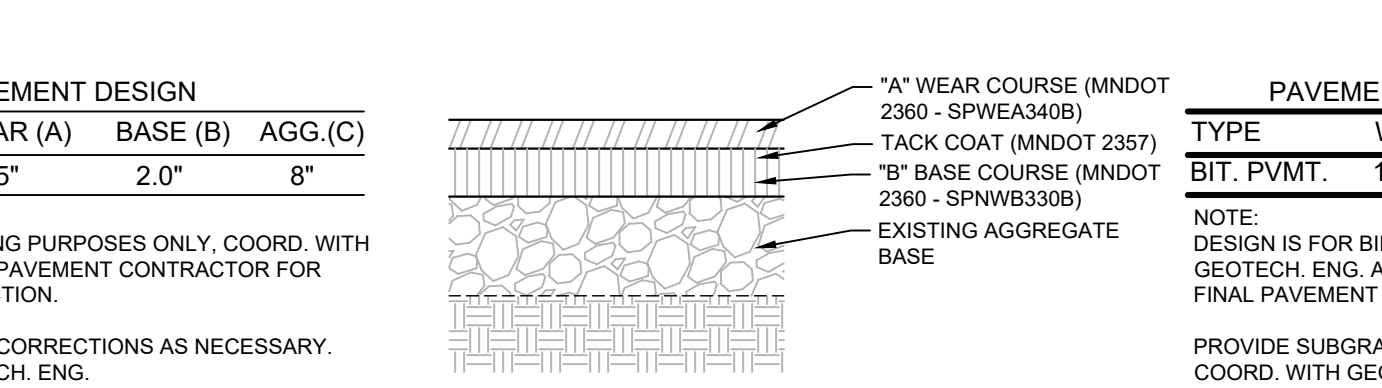
5 PIPE BOLLARD - EMBEDDED NTS



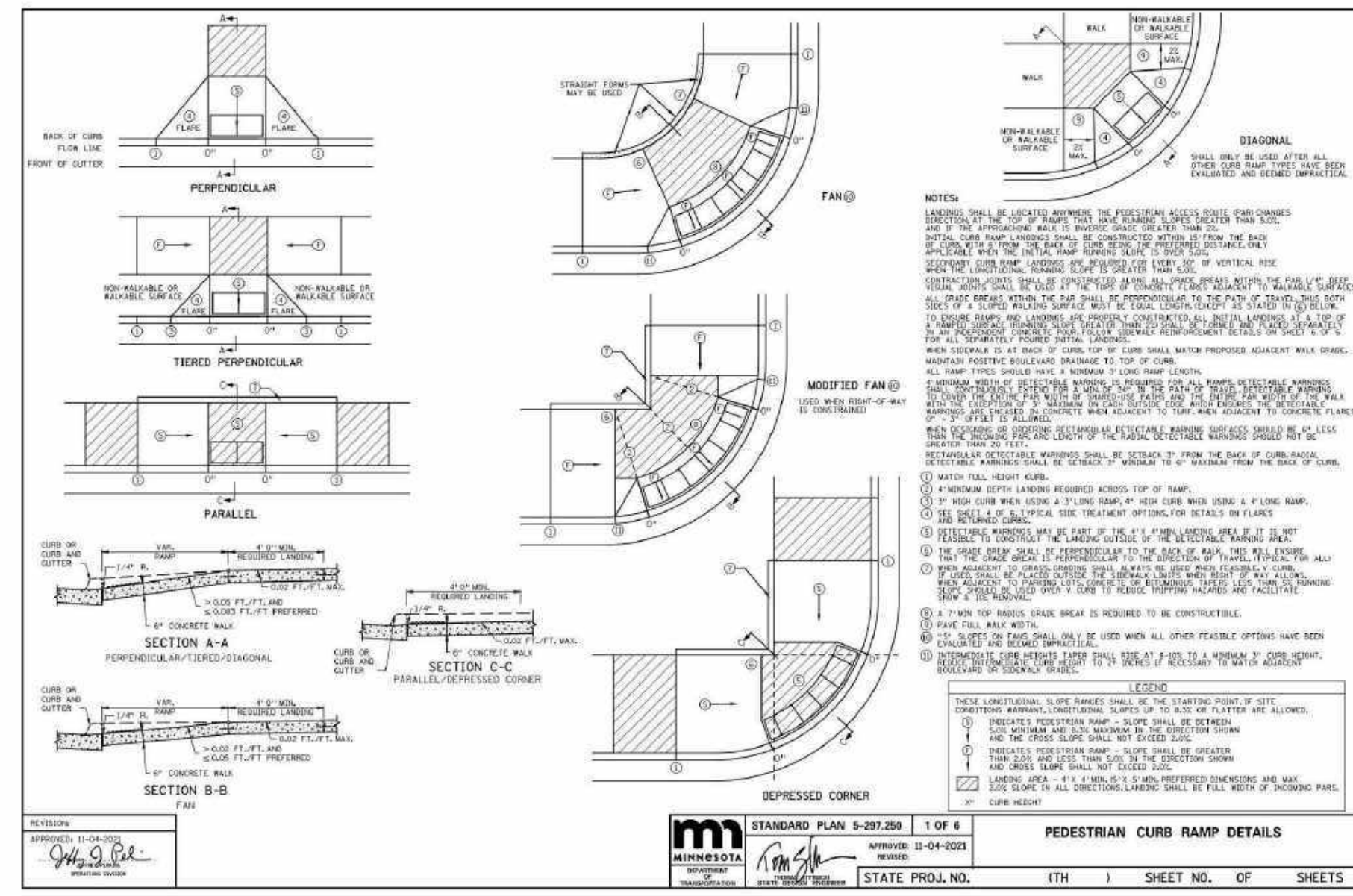
6 BITUMINOUS PAVEMENT - ALL TYPES NTS

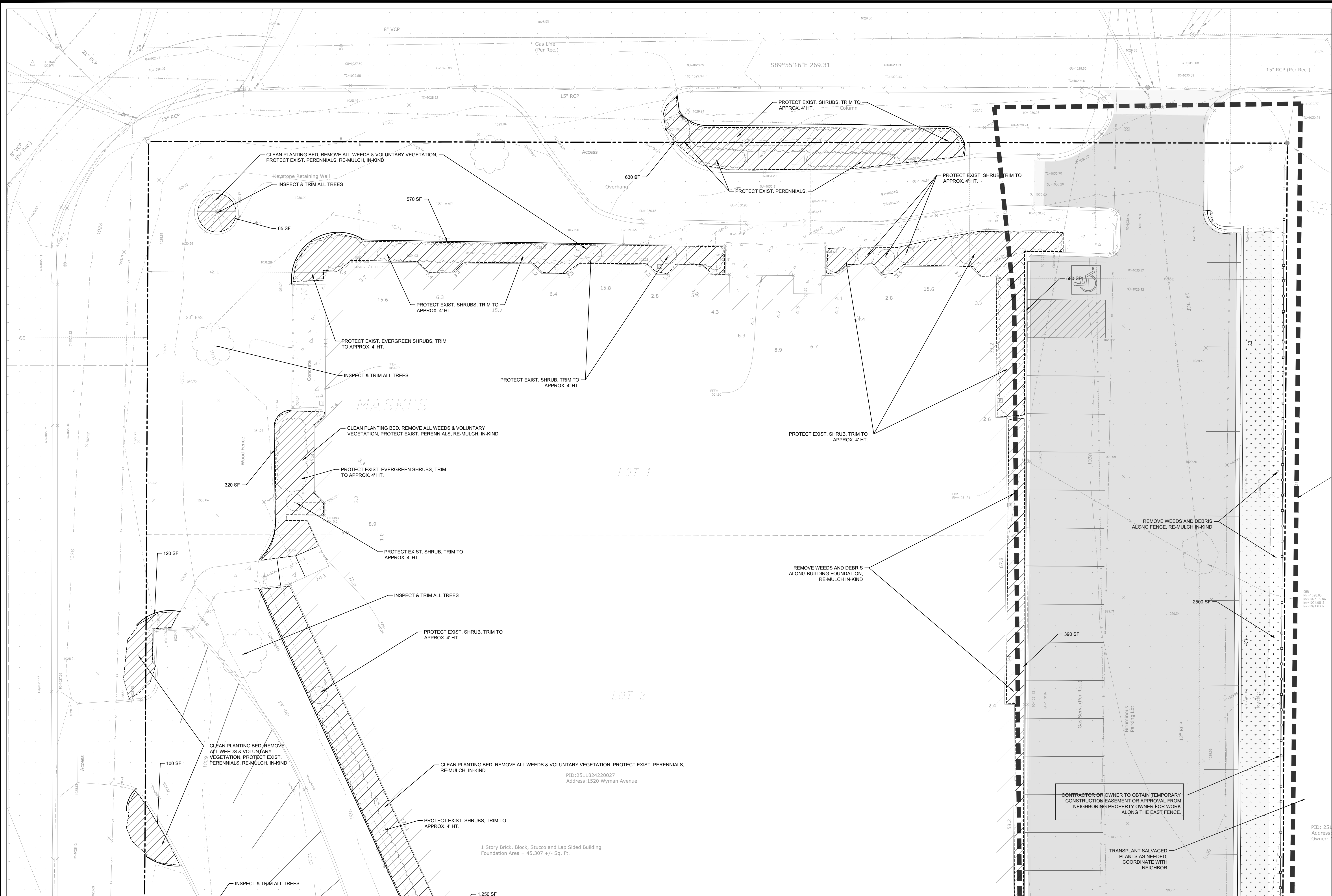


7 ACCESSIBLE PARKING PAVEMENT MARKING NTS



8 BITUMINOUS PAVEMENT - FULL DEPTH RECLAMATION NTS





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5000 Glenwood Avenue
Golden Valley, MN 55422

civilsitegroup.com612-615-0060

PRELIMINARY:
NOT FOR
CONSTRUCTION

PROJECT

OWNER

COMFORT HAVEN
MAPLE PLAIN, MN

COMFORT HAVEN LLC
4207 QUAKER TRAIL NE, PRIOR LAKE, MN 55372

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert L. Binder

DATE: 02/14/25 LICENSE NO. 25821

ISSUE/SUBMITTAL SUMMARY

| DATE | DESCRIPTION |
|----------|----------------|
| 02/14/25 | CITY SUBMITTAL |

REVISION SUMMARY

| DATE | DESCRIPTION |
|------|-------------|
|------|-------------|

LANDSCAPE PLAN
ENLARGEMENT

L1.1

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811
Know what's below.
Call before you dig.

1" = 10'-0"

5'-0" 0 10'-0"

PID: 2511824220027
Address: 1520 Wyman Avenue

CONTRACT NUMBER: 21
DRAWN BY: JH
REVIEWED BY: OK
PROJECT NUMBER: 12443.01


PRELIMINARY:
NOT FOR
CONSTRUCTION

COMFORT HAVEN
MAPLE PLAIN, MN

COMFORT HAVEN LLC
4207 QUAKER TRAIL NE, PRIOR LAKE, MN 55372

PROJECT

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LICENSED LANDSCAPE ARCHITECT UNDER
THE LAWS OF THE STATE OF MINNESOTA.


Robert L. Binder
DATE 02/14/25 LICENSE NO. 25821

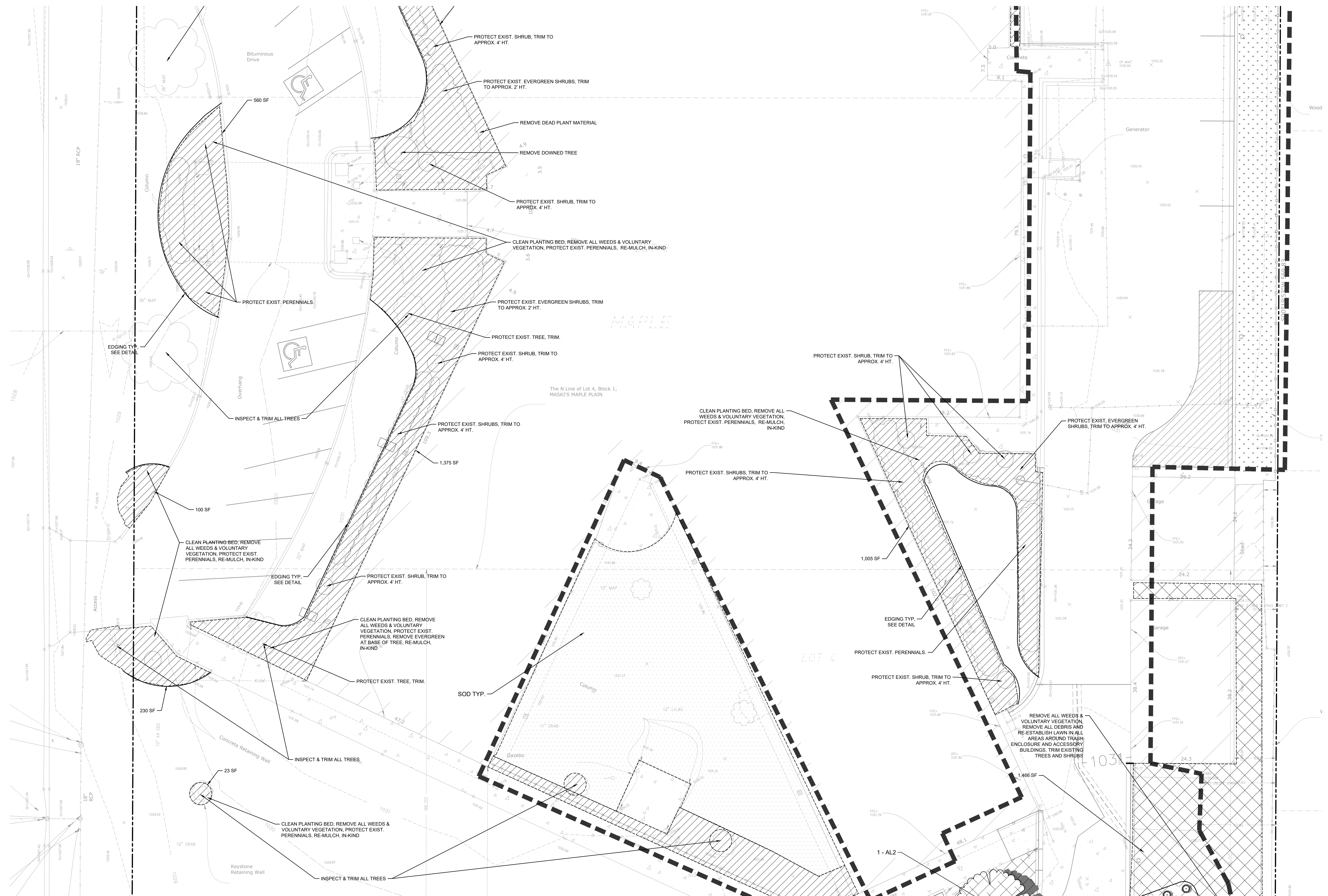
| ISSUE/SUBMITTAL SUMMARY | |
|-------------------------|----------------|
| DATE | DESCRIPTION |
| 02/14/25 | CITY SUBMITTAL |
| | |

[illegible][illegible]

LANDSCAPE PLAN ENLARGEMENT

L1.2

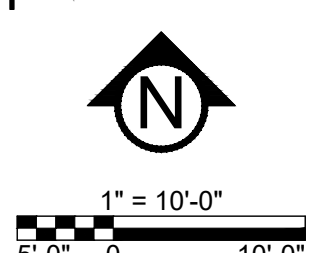
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SEE SHEET L1.0 FOR LANDSCAPE NOTES & LEGEND



Know what's **below**.
Call before you dig.



PRELIMINARY:
NOT FOR
CONSTRUCTION

COMFORT HAVEN

MAPLE PLAIN, MN

COMFORT HAVEN LLC

4207 QUAKER TRAIL NE PRIOR LAKE, MN 55372

PROJECT

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
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Robert L. Binder
DATE 02/14/25 LICENSE NO. 25821

ISSUE/SUBMITTAL SUMMARY
DATE DESCRIPTION
02/14/25 CITY SUBMITTAL

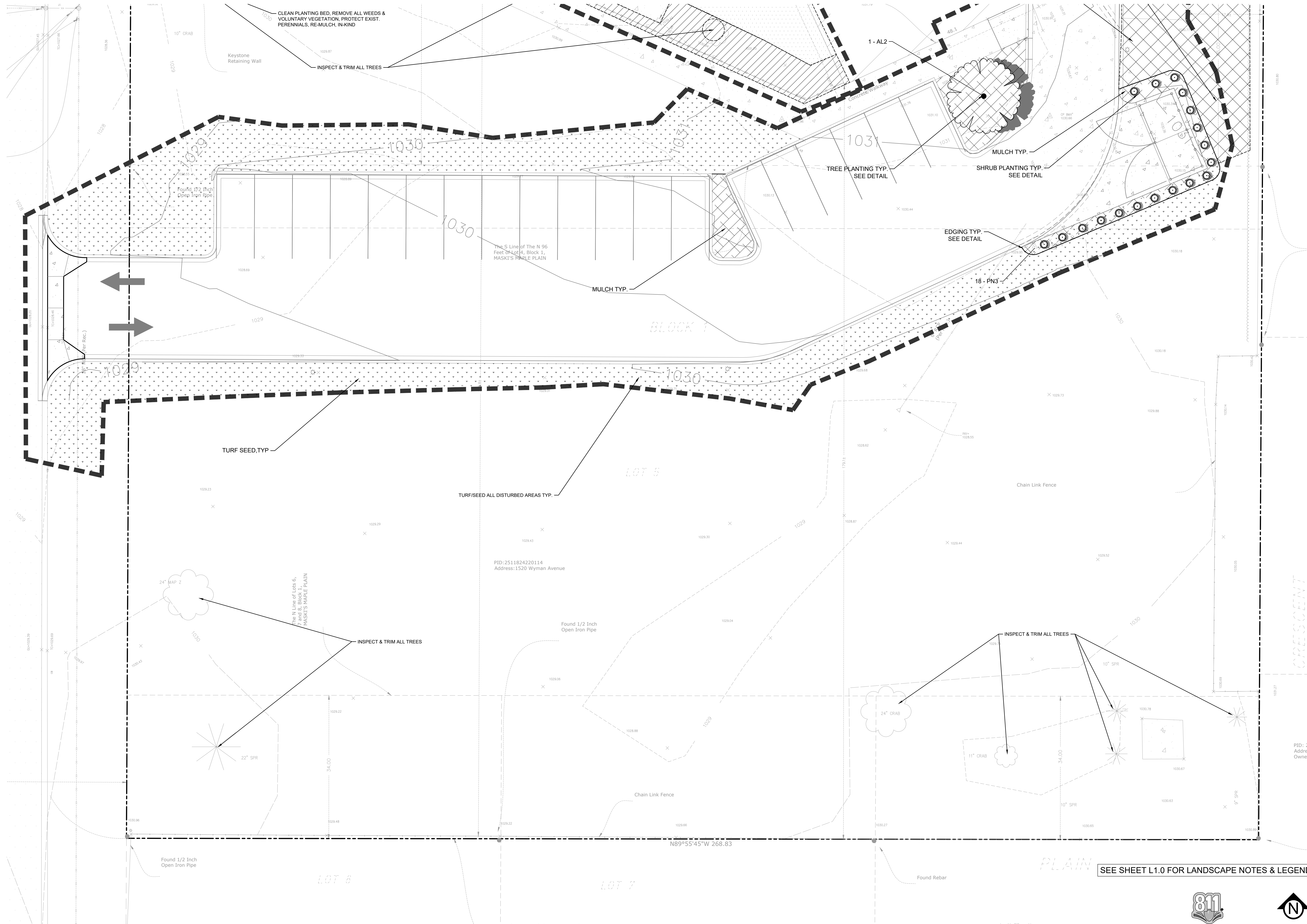
| PROJECT MANAGER | DAVID KNEIBLE |
|-----------------|---------------|
| CONTACT NUMBER | 612-615-0060 |
| DRAWN BY | ZH |
| REVIEWED BY | DK |
| PROJECT NUMBER | 12443.01 |

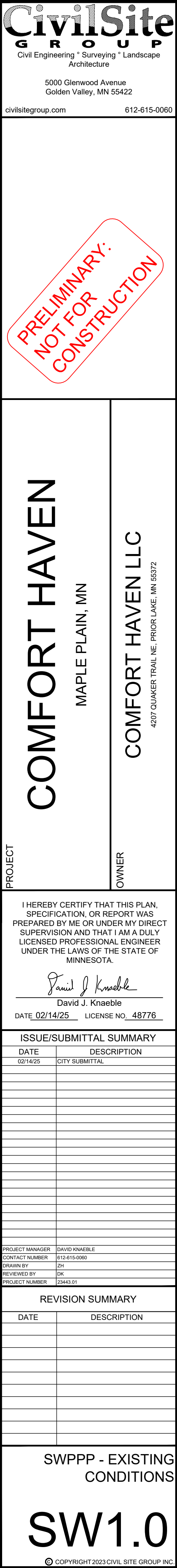
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LANDSCAPE PLAN
ENLARGEMENT

L1.3

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**PRELIMINARY:
NOT FOR
CONSTRUCTION**

COMFORT HAVEN

MAPLE PLAIN, MN

COMFORT HAVEN LLC

| | |
|--|-------|
| PROJECT | OWNER |
| <p>I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.</p> <p><i>David J. Knaeble</i></p> <p>_____ David J. Knaeble</p> <p>DATE 02/14/25 LICENSE NO. 48776</p> | |

[illegible]

| | |
|-----------------|---------------|
| PROJECT MANAGER | DAVID KNAEBLE |
| CONTACT NUMBER | 612-615-0060 |
| DRAWN BY | ZH |
| REVIEWED BY | DK |
| PROJECT NUMBER | 23443.01 |

[illegible]SWPPP - EXISTING
CONDITIONS

SW1.0


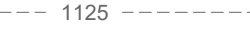
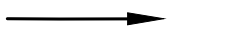
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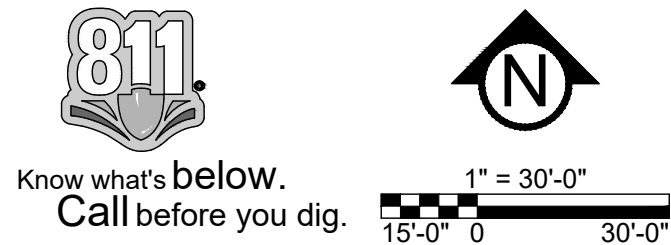
ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES, AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

CITY OF MAPLE PLAIN EROSION CONTROL NOTES:

1. PERIMETER EROSION CONTROL MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY OTHER WORK. THE CONTRACTOR MUST PROVIDE A MINIMUM 24- HOUR NOTICE PRIOR TO INSPECTION.

LEGEND:

| | |
|---|--|
|  | EX. 1' CONTOUR ELEVATION INTERVAL DRAINAGE ARROW |
|  | SILT FENCE / BIOROLL - GRADING LIMIT INLET PROTECTION |
|  | STABILIZED CONSTRUCTION ENTRANCE |



PRELIMINARY:
NOT FOR
CONSTRUCTION

COMFORT HAVEN
MAPLE PLAIN, MN

COMFORT HAVEN LLC
4327 QUAMER TRAIL NE, PRIOR LAKE, MN 55372

OWNER

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PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF
MINNESOTA.

David J. Knaeble
David J. Knaeble
DATE 02/14/25 LICENSE NO. 48776

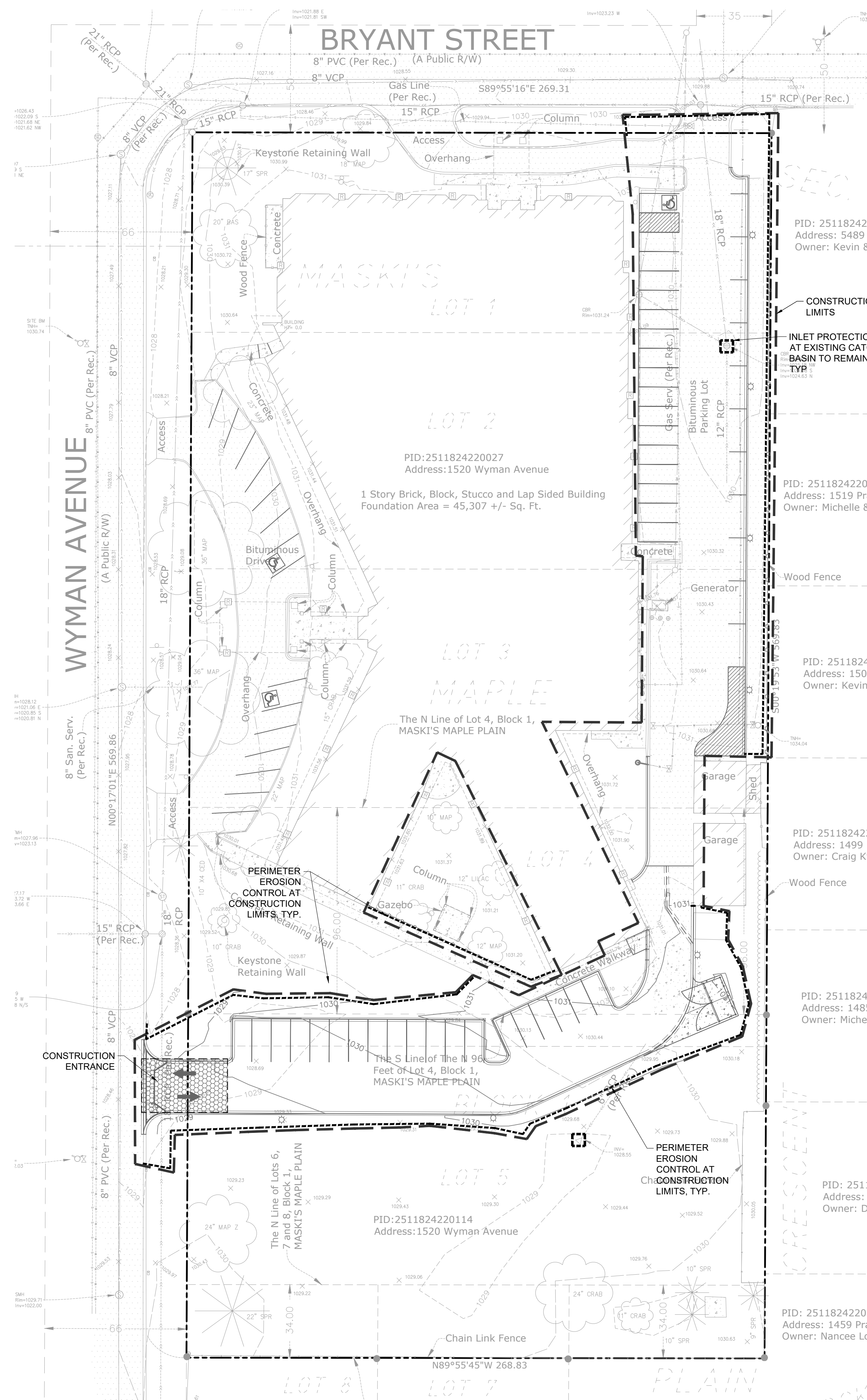
| ISSUE/SUBMITTAL SUMMARY | |
|-------------------------|----------------|
| DATE | DESCRIPTION |
| 02/14/25 | CITY SUBMITTAL |

[illegible]

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|-----------------|---------------|
| PROJECT MANAGER | DAVID KNAEBLE |
| CONTACT NUMBER | 612-615-0060 |
| DRAWN BY | ZH |
| REVIEWED BY | DK |
| PROJECT NUMBER | 23443.01 |

[illegible]SWPPP - PROPOSED
CONDITIONS

SW1.1



1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "Gopher State One Call" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. THIS PROJECT IS LESS THAN ONE ACRE AND WILL NOT REQUIRE AN MPCA NPDES PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
3. SEE SHEETS SW1.0 - SW1.3 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
4. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
5. CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

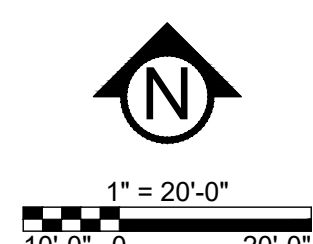
ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES, AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

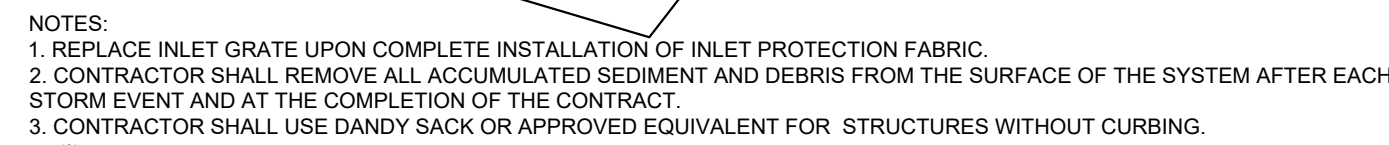
1. PERIMETER EROSION CONTROL MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY OTHER WORK. THE CONTRACTOR MUST PROVIDE A MINIMUM 24- HOUR NOTICE PRIOR TO INSPECTION.

| | |
|--|---|
| | <p>EX. 1' CONTOUR ELEVATION INTERVAL</p> <p>1.0' CONTOUR ELEVATION INTERVAL</p> <p>DRAINAGE ARROW</p> |
| | <p>SILT FENCE / BIOROLL - GRADING LIMIT</p> |
| | <p>INLET PROTECTION</p> |
| | <p>STABILIZED CONSTRUCTION ENTRANCE</p> |
| | <p>EROSION CONTROL BLANKET</p> |



Know what's **below**.
Call before you dig.





The diagram illustrates the steps for installing a silt fence:

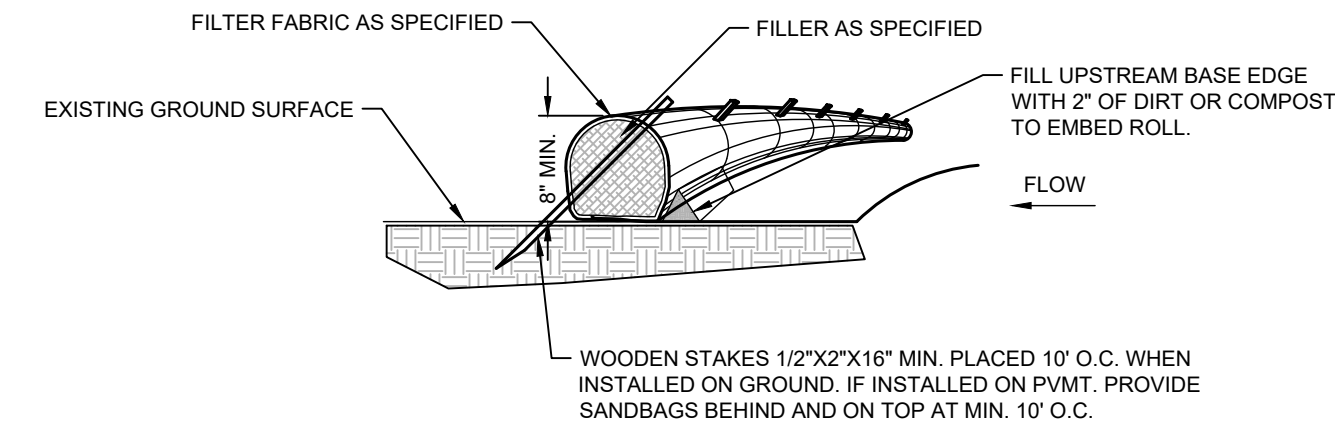
- 'A' BURY THE TOP END OF THE MATTING IN A TRENCH 4" OR MORE IN DEPTH**: Shows a roll of matting being unrolled into a trench.
- 'B' TAMP THE TRENCH FULL OF SOIL, SECURE WITH ROW OF STAPLES, 10" SPACING, 4" DOWN FROM TRENCH**: Shows the trench being filled with soil and secured with a row of staples.
- 'C' OVERLAP: BURY UPPER END OF LOWER STRIP AS IN 'A' AND 'B' OVERLAP END OF TOP STRIP 4" AND STAPLE**: Shows two strips of matting overlapping, with the upper end of the lower strip buried and secured.
- 'D' EROSION STOP: FOLD OF MATTING BURIED IN SILT TRENCH AND TAMPED, DOUBLE ROW OF STAPLES**: Shows the matting being folded back into the trench and secured with a double row of staples.
- 'E' OVERFALL**: Shows the matting extending over the top of the trench.

Additional details include:

- PLACE STAPLES 2 FEET APART TO KEEP MATTING FIRMLY PRESSED TO SOIL.**
- TYPICAL STAPLE #6 GAUGE WIRE** with dimensions: 1 1/2" (width) and 10" (length).

NOTES:

1. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND UNDISTURBED ROADWAY. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO UNDISTURBED ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDING STONE TO THE LENGTH OF THE ENTRANCE.
2. REPAIR AND CLEANOUT MEASURES USED TO TRAP SEDIMENT.
3. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO UNDISTURBED ROADWAY SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.
4. FINAL LOCATION AND INSTALLATION SHALL BE COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
5. CRUSHED STONE SHALL BE 1-1/2" DIA. CLOSE GRADED, AND IN ACCORDANCE TO MNDOT SECTION 2118.



NOTE:

1. COMPOST FILTER LOGS (BIO ROLLS) SHALL BE FILTERXXX EROSION CONTROL SOXXX OR APPROVED EQUAL.
2. COMPOST FILLER TO BE MADE FROM A COMPOST BLEND 30%-40% GRADE 2 (SPEC 3890) AND 60%-70% PARTIALLY DECOMPOSED WOOD CHIPS, PER MNDOT SPEC 3897.
3. FILTER FABRIC SHALL BE GEOTEXTILE KNITTED MATERIAL WITH MAX. OPENINGS OF 3/8".
4. IF MULTIPLE ROLLS NEEDED, OVERLAP BY MIN. 12" AT ENDS AND STAKE.
5. SILT SHALL BE REMOVED ONCE IT REACHES 80% OF THE HEIGHT OF THE ROLL OR AS DEEMED NECESSARY BY SITE CONTRACTOR TO MAINTAIN PROPER FUNCTION.

CivilSite
G R O U P
Civil Engineering * Surveying * Landscape
Architecture

5000 Glenwood Avenue
Golden Valley, MN 55422

civilsitegroup.com 612-615-0060

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CONSTRUCTION**

COMFORT HAVEN

MAPLE PLAIN, MN


COMFORT HAVEN LLC

4207 QUAKER TRAIL NE, PRIOR LAKE, MN 55372

PROJECT

OWNER

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UNDER THE LAWS OF THE STATE OF
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David J. Knaeble
DATE 02/14/25 LICENSE NO. 48776

ISSUE/SUBMITTAL SUMMARY

[illegible]

| | |
|-----------------|---------------|
| PROJECT MANAGER | DAVID KNAEBLE |
| CONTACT NUMBER | 612-615-0060 |
| DRAWN BY | ZH |
| REVIEWED BY | DK |
| PROJECT NUMBER | 23443.01 |

REVISION SUMMARY

[illegible]

SWPPP - DETAILS

SW1.2

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THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPOSE A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2018 # MNR100001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

STORMWATER DISCHARGE DESIGN REQUIREMENTS

SWPPP

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMP'S. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
2. INSTALLATION OF SILT FENCE AROUND SITE
3. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS
4. INSTALL INLET PROTECTION AT ALL ADJACENT AND DOWNSTREAM CATCH BASINS
5. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND/ INSTALL
6. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (SECTION 14)
7. CLEAR AND GRUB REMAINDER OF SITE
8. STRIP AND STOCKPILE TOPSOIL
9. ROUGH GRADING OF SITE
10. STABILIZE DENUDED AREAS AND STOCKPILES
11. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
12. INSTALL SILT FENCE / INLET PROTECTION AROUND CBS
13. INSTALL STREET SECTION
14. INSTALL CURB AND GUTTER
15. BITUMINOUS ON STREETS
16. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH
17. REMOVE ACCUMULATED SEDIMENT FROM BASIN/ POND
18. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.)
19. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOIL/LANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

RECORDS RETENTION:

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN SECTION 4. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

1. THE FINAL SWPPP;
2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT;
3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE SECTION 11, INSPECTIONS AND MAINTENANCE);
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

SWPPP IMPLEMENTATION RESPONSIBILITIES:

1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS.
3. CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMP'S AND IMPLEMENTATION OF THE SWPPP
4. CONTRACTOR SHALL PROVIDE PERSON(S) MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY MPCA. CONTRACTOR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL INCLUDE:
 - 4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER SECTION 21 OF THE PERMIT.
 - 4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
 - 4.3. CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING.
5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

CONSTRUCTION ACTIVITY REQUIREMENTS

SWPPP AMENDMENTS (SECTION 6):

1. ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.
2. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMP'S TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.
3. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMP'S AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

BMP SELECTION AND INSTALLATION (SECTION 7):

1. PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMP'S IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

EROSION PREVENTION (SECTION 8):

1. BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED.
2. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).
3. PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE.
4. FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.
5. PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES.
6. TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES.
7. PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT.
8. PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM.

9. PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11.

SEDIMENT CONTROL (SECTION 9):

1. PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMP'S ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADIENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER.
2. IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMP'S TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
3. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
4. A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
5. PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED, PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE.
6. PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET.
7. PERMITTEES MAY TEMPORARILY INSTALL A PARTICULAR SAFETY CONCERN (E.G., STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER), PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP.
8. PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERIMETER.
9. PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.
10. PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE.
11. PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMP'S ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET.
12. PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14.
13. IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION.
14. PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE.
15. PERMITTEES MUST DIRECT DISCHARGES FROM BMP'S TO VEGETATED AREAS UNLESS INFEASIBLE.
16. PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. STREET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER.
17. PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

DEWATERING AND BASIN DRAINING (SECTION 10):

1. PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND EROSION CONTROL MEASURES (E.G., MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMP'S SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES.
2. IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE.
3. PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR ACOSUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR FLOODING OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
4. IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

INSPECTIONS AND MAINTENANCE (SECTION 11):

1. PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY 7 (SEVEN) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS.
2. PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMP'S.
3. PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMP'S WITH FUNCTIONAL BMP'S BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA.
4. DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURBS AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND REESTABLISH THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS.
5. PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
6. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NON-FUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE.
7. PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME.
8. PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B.
9. PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:
 - a. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR
 - b. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR
 - c. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.
10. PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
 - a. DATE AND TIME OF INSPECTIONS; AND
 - b. NAME OF PERSONS CONDUCTING INSPECTIONS; AND
 - c. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
 - d. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
 - e. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND

1. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL, SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
9. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS.

POLLUTION PREVENTION MANAGEMENT (SECTION 12):

1. PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER.
2. PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
3. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
4. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035.
5. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
6. PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
7. PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS.
8. PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

PERMIT TERMINATION (SECTION 4 AND SECTION 13):

1. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE.
2. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY, THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT.
3. PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER.
4. PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED.
5. PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT.
6. PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMP'S PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMP'S DESIGNED TO DECOMPOSE ON-SITE IN PLACE.
7. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE. THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER.
8. FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT.

SEED NOTES:

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

GENERAL RECOMMENDATIONS:

THE CONTRACTOR IS RESPONSIBLE TO SALVAGE AND PRESERVE EXISTING TOPSOIL NECESSARY FOR FINAL STABILIZATION AND TO ALSO MINIMIZE COMPACTION IN ALL LANDSCAPE AREAS. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

SEED

- TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.

MULCH

- IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)

SLOPES

- 3:1 (HORIZ:VERT.) OR FLATTER MICH SHOULD BE COVERED WITH MULCH
- SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET.
- SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

TRAINING SECTION 21

DESIGN ENGINEER: DAVID J. KNAEBLE P.E.
TRAINING COURSE: DESIGN OF SWPPP
TRAINING ENTITY: UNIVERSITY OF MINNESOTA
INSTRUCTOR: JOHN CHAPMAN
DATES OF TRAINING COURSE: 8/22/2012- 8/23/2012
TOTAL TRAINING HOURS: 12
DATE OF RECERTIFICATION: 4/22/22
EXPIRATION: 5/31/2025

OWNER INFORMATION

COMFORT HAVEN LLC
4207 QUAKER TRAIL NE
PRIOR LAKE, MN 55372
JON GLEISNER
612-600-6036
JONNYGLEIS@HOTMAIL.COM

AREAS AND QUANTITIES:

| SITE AREA CALCULATIONS | | EXISTING CONDITION | | PROPOSED CONDITION | |
|----------------------------|-------------------|--------------------|--------|--------------------|--------|
| IMPERVIOUS SURFACES | BUILDING COVERAGE | 47,180 SF | 30.8% | 46,980 SF | 30.6% |
| | PAVEMENT | 31,397 SF | 20.5% | 39,407 SF | 25.7% |
| | TOTAL | 78,577 SF | 51.2% | 86,387 SF | 56.3% |
| | | | 0.0 AC | | 2.0 AC |
| PERVIOUS SURFACES | TOTAL | 74,751 SF | 48.8% | 66,941 SF | 43.7% |
| | | | 1.7 AC | | 1.5 AC |
| TOTAL SITE AREA | | 153,328 SF | 100.0% | 153,328 SF | 100.0% |
| | | | 3.5 AC | | 3.5 AC |
| DIFFERENCE (EX. VS PROP.) | | 7,810 SF | 5.1% | | |
| DISTURBED AREA | | 30,000 SF | 0.7 AC | | |
| | | | | | |
| EROSION CONTROL QUANTITIES | | | | | |
| DISTURBED AREA | | 30,000 SF | | | |
| SILT FENCE/BIO-ROLL | | ±1100 LF | | | |
| EROSION CONTROL BLANKET | | 0 SF | | | |
| INLET PROTECTION DEVICES | | ±5 EA | | | |

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

SWPPP CONTACT PERSON

CONTRACTOR:

SWPPP INSPECTOR TRAINING:

ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT REQUIREMENTS. THE PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PROPOSED STORMWATER SYSTEM.

SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER):

NA

SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES:

THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

THIS PROJECT IS LESS THAN 1.0 ACRE SO AN NPDES PERMIT IS NOT REQUIRED AND DOESN'T NEED TO BE SUBMITTED TO THE MPCA. THE CONTRACTOR IS REQUIRED TO FOLLOW THE GUIDELINES IN THE NPDES PERMIT THROUGHOUT CONSTRUCTION.

PROJECT NARRATIVE:

PROJECT IS A REMODEL OF AN EXISTINGSENIOR LIVING BUILDING. SITE, GRADING AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

NATIVE BUFFER NARRATIVE:

PRESERVING A 50 FOOT NATURAL BUFFER AROUND WATER BODIES IS NOT REQUIRED OF THIS PROJECT BECAUSE WATER BODIES ARE NOT LOCATED ON SITE.

INFILTRATION NARRATIVE:

INFILTRATION IS NOT PROVIDED AS PART OF THIS PROJECT BECAUSE PERMANENT STORM WATER MANAGEMENT IS NOT REQUIRED.

SOIL CONTAMINATION NARRATIVE:

SOILS ONSITE HAVE NOT BEEN IDENTIFIED AS CONTAMINATED.

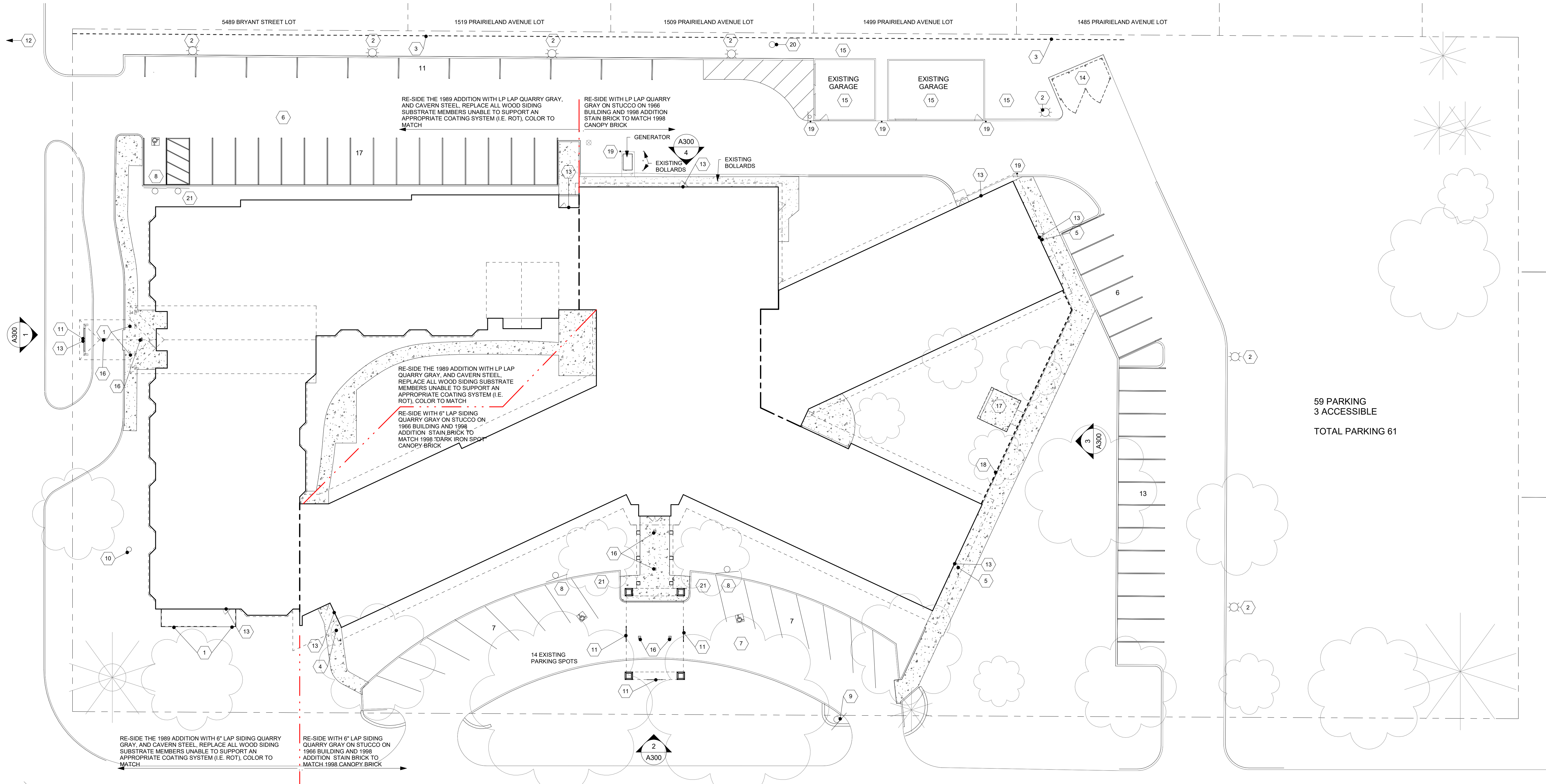
SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED):

NA

PERMANENT STABILIZATION NOTES SITE SPECIFIC:

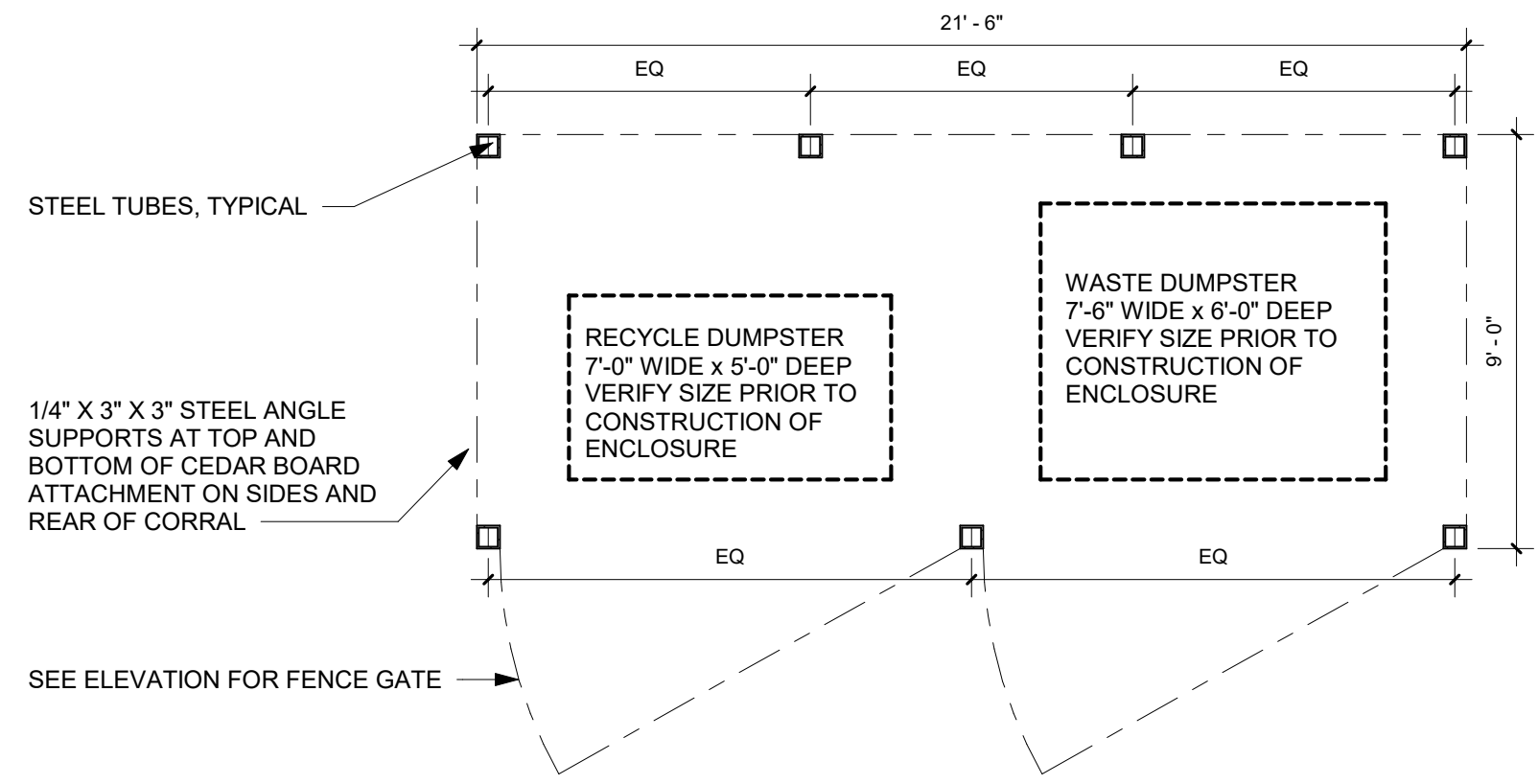
PERMANENT SEED MIX

- FOR THIS PROJECT ALL AREAS THAT ARE NOT TO BE SODDED OR LANDSCAPED SHALL RECEIVE A NATIVE PERMANENT SEED MIX.
 - AREAS IN BUFFERS AND ADJACENT TO OR IN WET AREAS MNDOT SEED MIX 33-261 (STORMWATER SOUTH AND WEST) AT 35 LBS PER ACRE.
 - DRY AREAS MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE.
- MAINTENANCE SHALL BE IN ACCORDANCE TO THE MNDOT SEEDING MANUAL.

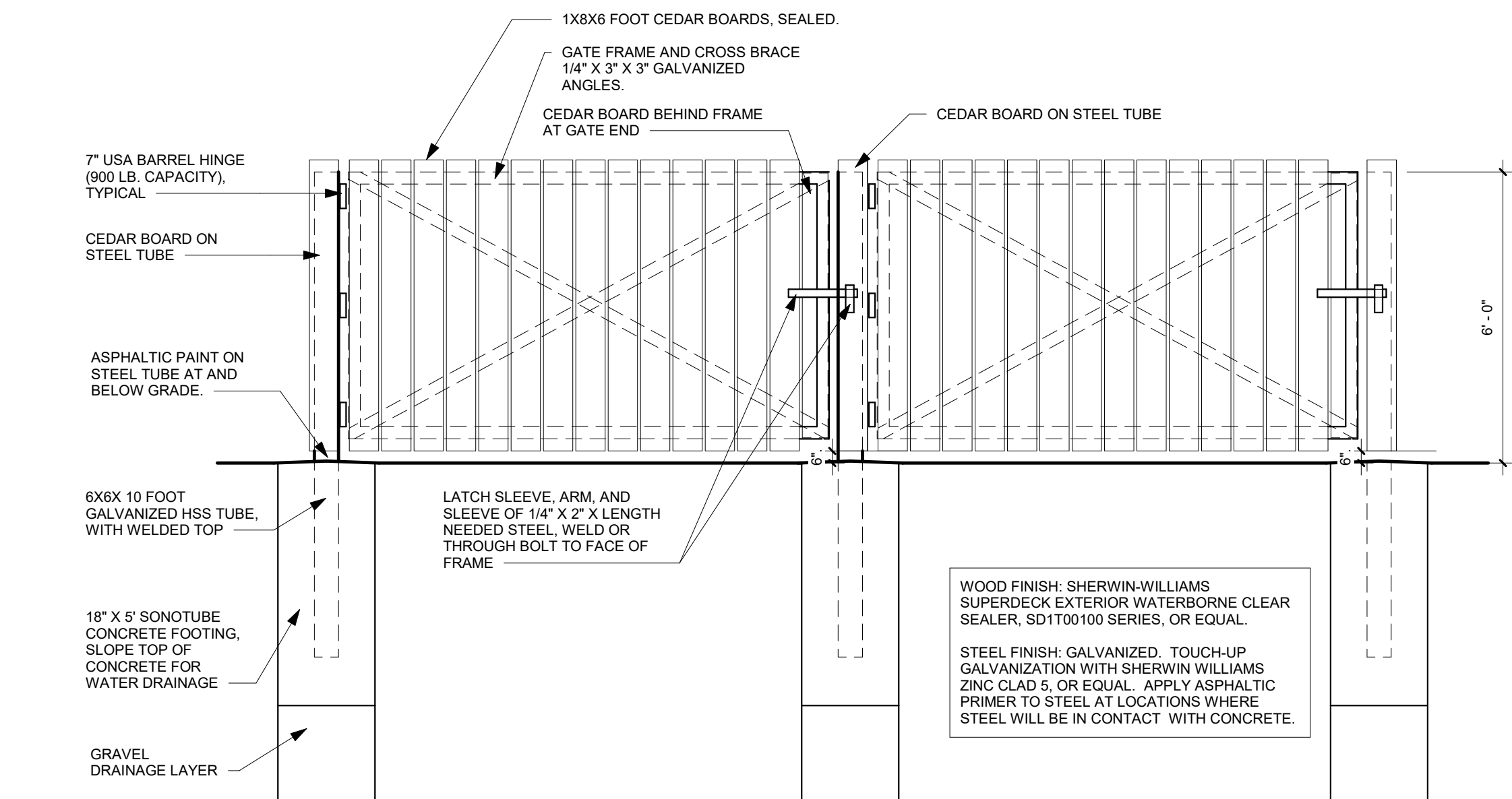


- SITE PLAN KEYNOTES**
- 1 DEMOLISH WOODEN FENCE IN ITS ENTIRETY AND REPLACE, PATCH CONCRETE
 - 2 PARKING LOT LIGHTING, SEE ELECTRICAL
 - 3 REPLACE EXISTING WOODEN FENCE WITH 6' TALL CEDAR PRIVACY FENCE
 - 4 REPAIR ALL SIDEWALK WITH CRACKS THAT ARE UPLIFTING AT OR MORE THAN A 1/4" IN HEIGHT, WHICH REPRESENT A TRIPPING HAZARD
 - 5 REFURBISH OR REPLACE EXISTING RUSTING DOOR AND FRAME
 - 6 NEW BITUMINOUS PARKING LOT AND RESTRIPE
 - 7 RESTRIPE THIS BITUMINOUS PARKING LOT
 - 8 ACCESSIBLE PARKING SPOT WITH EXISTING SIGN
 - 9 REPLACE EXISTING SIGNAGE, VERIFY WITH OWNER ON VERBAGE
 - 10 EXISTING FLAG POLE
 - 11 REPLACE BUILDING NAME SIGNAGE AS DIRECTED BY OWNER, THE NUMBERS ARE REQUIRED TO REMAIN, LETTERING TO MATCH
 - 12 FIRE HYDRANT ON OTHER SIDE OF STREET
 - 13 EXISTING WALL PACK LIGHT FIXTURE BEING REPLACED
 - 14 NEW RUBBISH ENCLOSURE AND CONCRETE PAD
 - 15 RE-SIDE TO MATCH UPDATED MAIN BUILDING EXTERIOR - PATCH AND REPAIR FASCIA OR, DEMOLITION AS REQUIRED BY THE CITY OF MAPLE PLAIN PLANNING AND ZONING DEPARTMENT
 - 16 REPLACE EXISTING CANOPY SOFFIT APPLIED LIGHT FIXTURES
 - 17 EXISTING GAZEBO TO REMAIN - TOUCH UP PAINT
 - 18 6' TALL WOOD COMPOSITE FENCING
 - 19 BOLLARDS
 - 20 EXISTING FIRE HYDRANT
 - 21 NO PARKING SIGN

1
A040 SITE PLAN - SD
SCALE: 1" = 20'-0"



8
A040 TRASH / RECYCLE ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

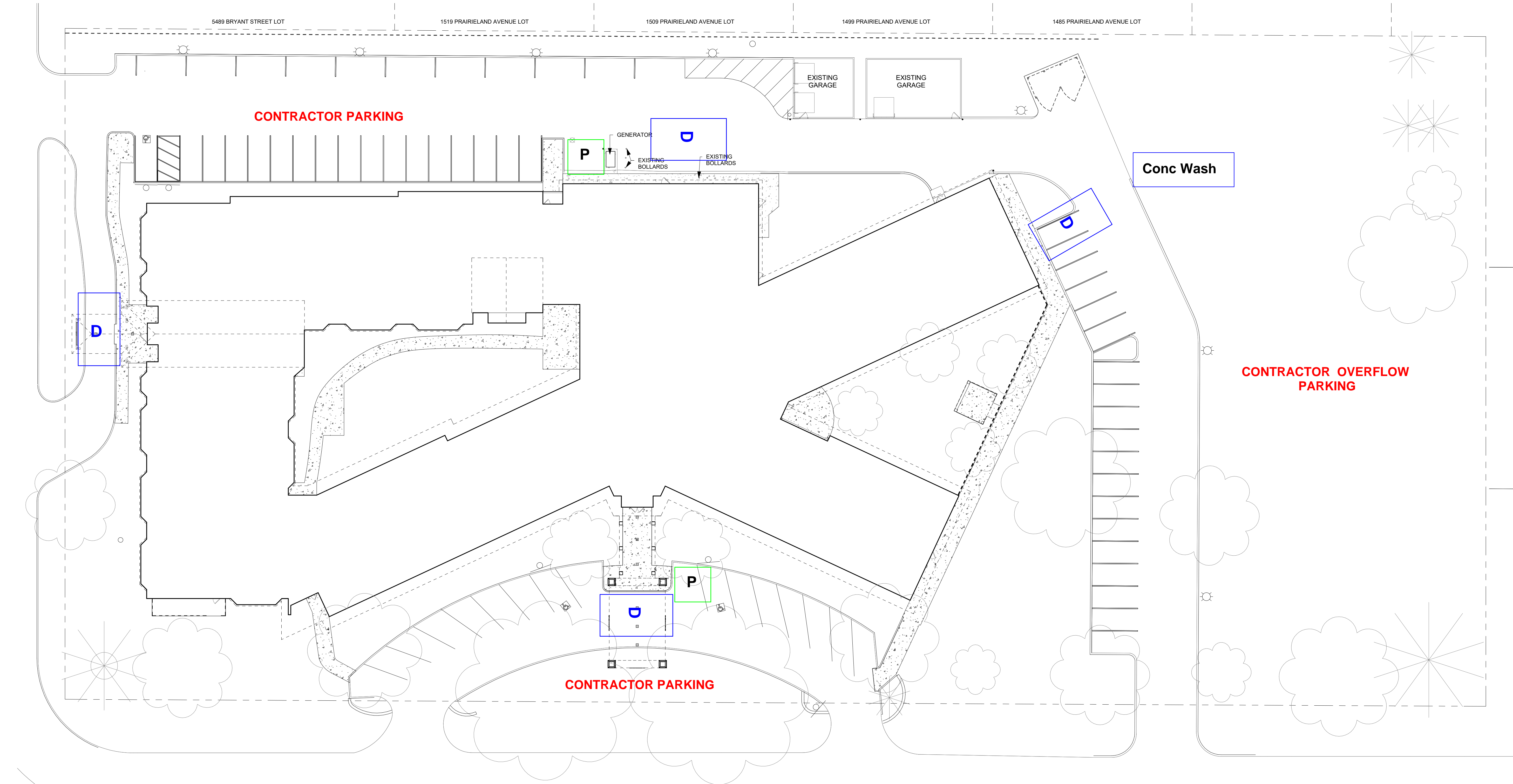


7
A040 TRASH / RECYCLE ENCLOSURE ELEVATION
SCALE: 3/8" = 1'-0"

6
A040 EXISTING 1520 WYMAN AVENUE SIGNAGE - NAME CHANGE WITH LETTERING TO MATCH
SCALE: 1/2" = 1'-0"

1
A040.1

CONSTRUCTION SITE MANAGEMENT PLAN
SCALE: 1" = 20'-0"



| ISSUE RECORD | | | DESCRIPTION |
|--------------|---------|--|----------------|
| ISSUE # | DATE | | CITY SUBMITTAL |
| 1 | 1/22/25 | | |

COMFORT HAVEN MAPLE
PLAIN ASSISTED LIVING

1520 WYMAN AVENUE
MAPLE PLAIN, MN 55359

CONSTRUCTION
SITE
MANAGEMENT
PLAN

PROJECT
DRAWN
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LARSON
BUILDING

2/14/2025 7:39:58 AM

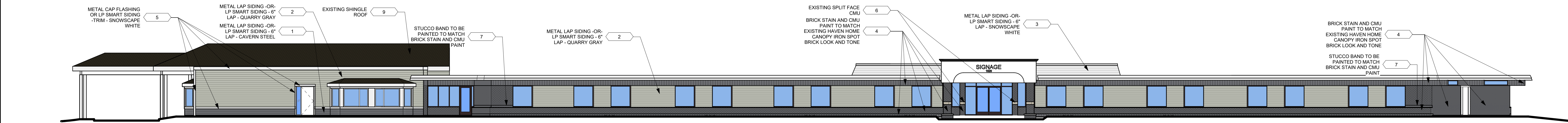
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PRELIMINARY
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CONSTRUCTION

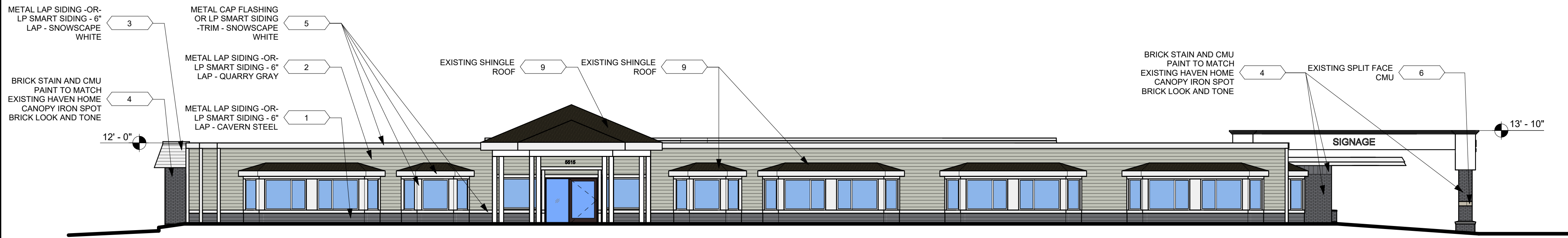
6442 CITY WEST PARKWAY
SUITE 300
EDEN PRAIRIE, MINNESOTA
55344
PH: 952-996-9662
WWW.SRA-MN.COM

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ARCHITECTURE + INTERIORS

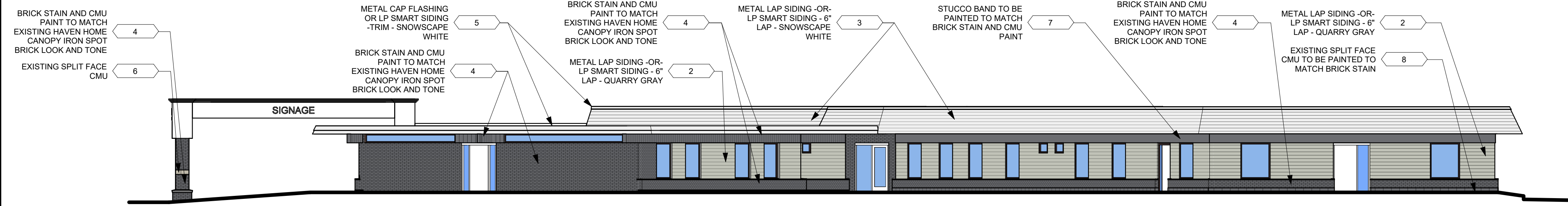
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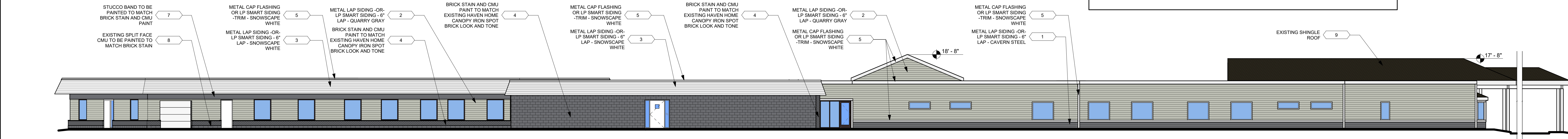
2
A300
SCHEMATIC BASE - WEST ELEVATION
SCALE: 3/32" = 1'-0"



1
A300
SCHEMATIC BASE - NORTH ELEVATION
SCALE: 3/32" = 1'-0"



3
A300
SCHEMATIC BASE - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



4
A300
SCHEMATIC BASE - EAST ELEVATION
SCALE: 3/32" = 1'-0"

| EXTERIOR MATERIAL LEGEND | | | |
|---|---|--|---|
| METAL LAP SIDING -OR- LP SMART SIDING -6" LAP - CAVERN STEEL | 1 | EXISTING SPLIT FACE CMU | 6 |
| METAL LAP SIDING -OR- LP SMART SIDING -6" LAP - QUARRY GRAY | 2 | STUCCO BAND TO BE PAINTED TO MATCH BRICK STAIN AND CMU PAINT | 7 |
| METAL LAP SIDING -OR- LP SMART SIDING -6" LAP - SNOWSCAPE WHITE | 3 | EXISTING SPLIT FACE CMU TO BE PAINTED TO MATCH BRICK STAIN | 8 |
| BRICK STAIN AND CMU PAINT TO MATCH EXISTING HAVEN HOME CANOPY IRON SPOT BRICK LOOK AND TONE | 4 | EXISTING SHINGLE ROOF | 9 |
| METAL CAP FLASHING -OR- LP SMART SIDING -TRIM - SNOWSCAPE WHITE | 5 | | |

| GENERAL NOTES | |
|---|--|
| A. ALL WINDOWS TO BE REPLACED ARE TO MATCH EXISTING | |



5
A300
RENDER - FROM NORTH WEST CORNER
SCALE: 1/2" = 1'-0"



6
A300
1986 BUILDING EXTERIOR EXISTING CONDITION
SCALE: 1/2" = 1'-0"



8
A300
1989 BUILDING EXTERIOR EXISTING CONDITION
SCALE: 1/2" = 1'-0"



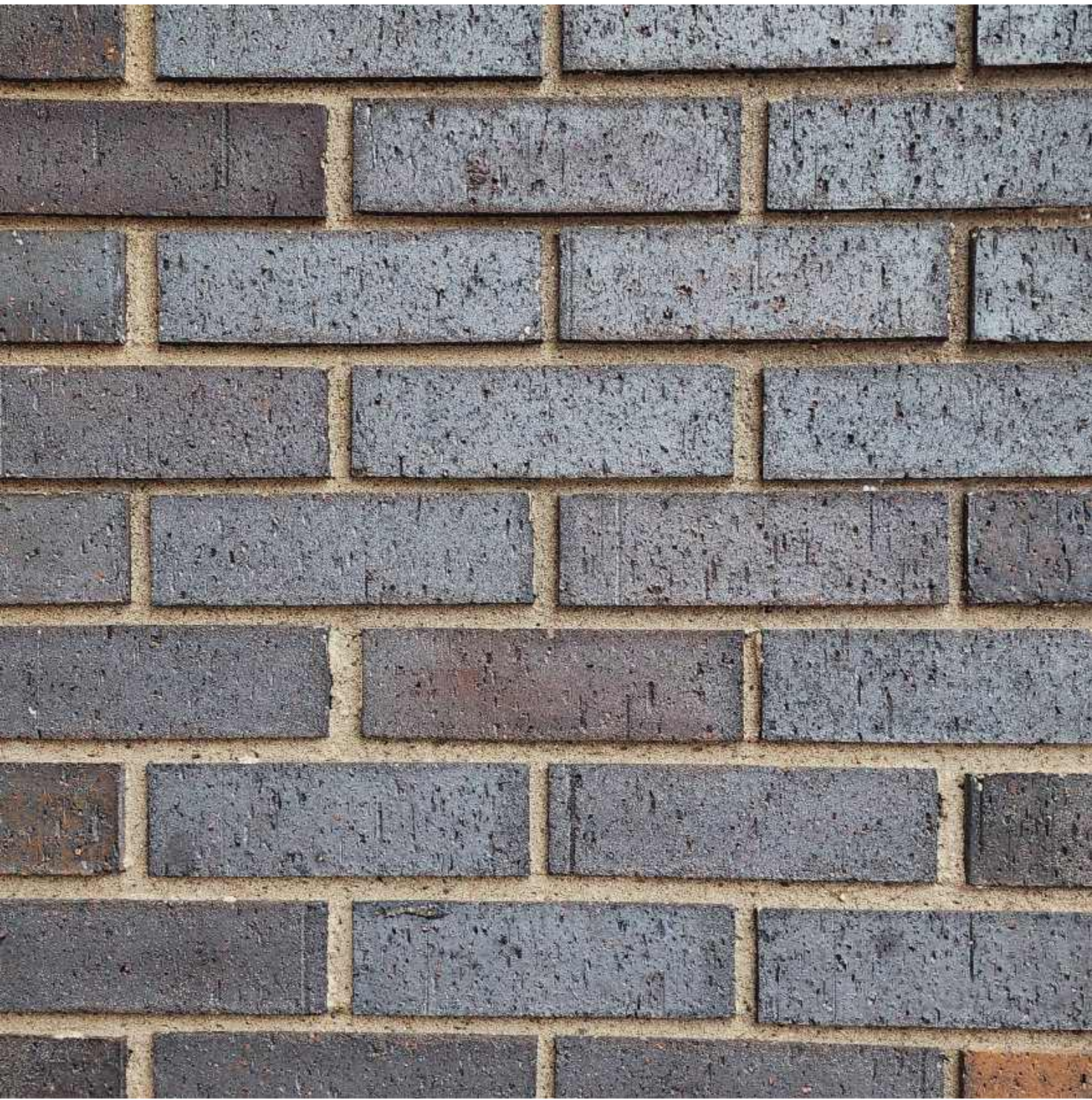
7
A300
1998 BUILDING EXTERIOR EXISTING CONDITION
SCALE: 1/2" = 1'-0"



9
A300
1998 BUILDING EXTERIOR EXISTING CONDITION - 2
SCALE: 1/2" = 1'-0"



METAL LAP - OR- LP SMART SIDING - 6" LAP - CAVERN STEEL



BRICK STAIN AND CMU PAINT TO MATCH EXISTING HAVEN HOME CANOPY IRON SPOT BRICK LOOK AND TONE



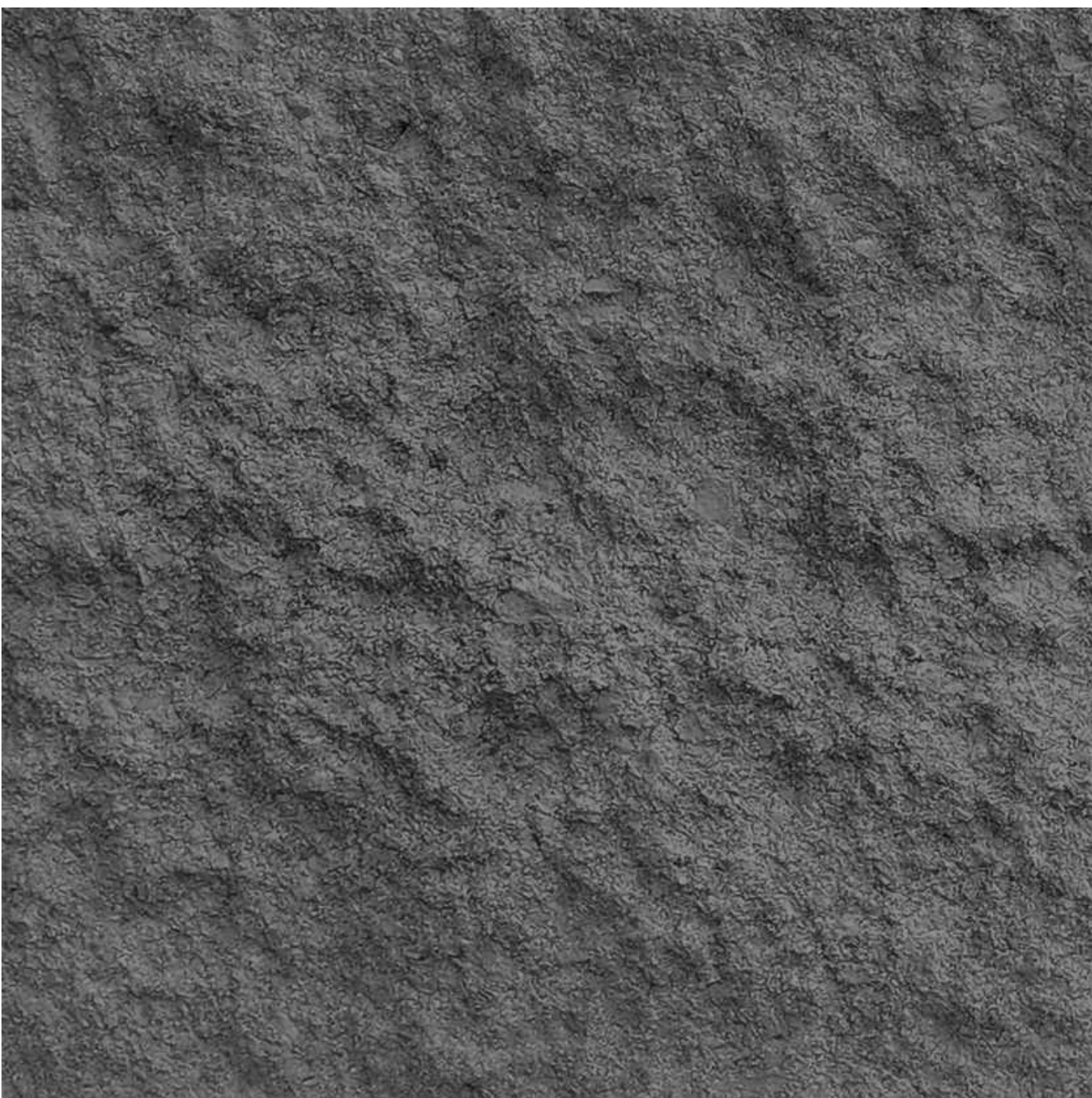
STUCCO BAND TO BE PAINTED TO MATCH BRICK STAIN AND CMU PAINT



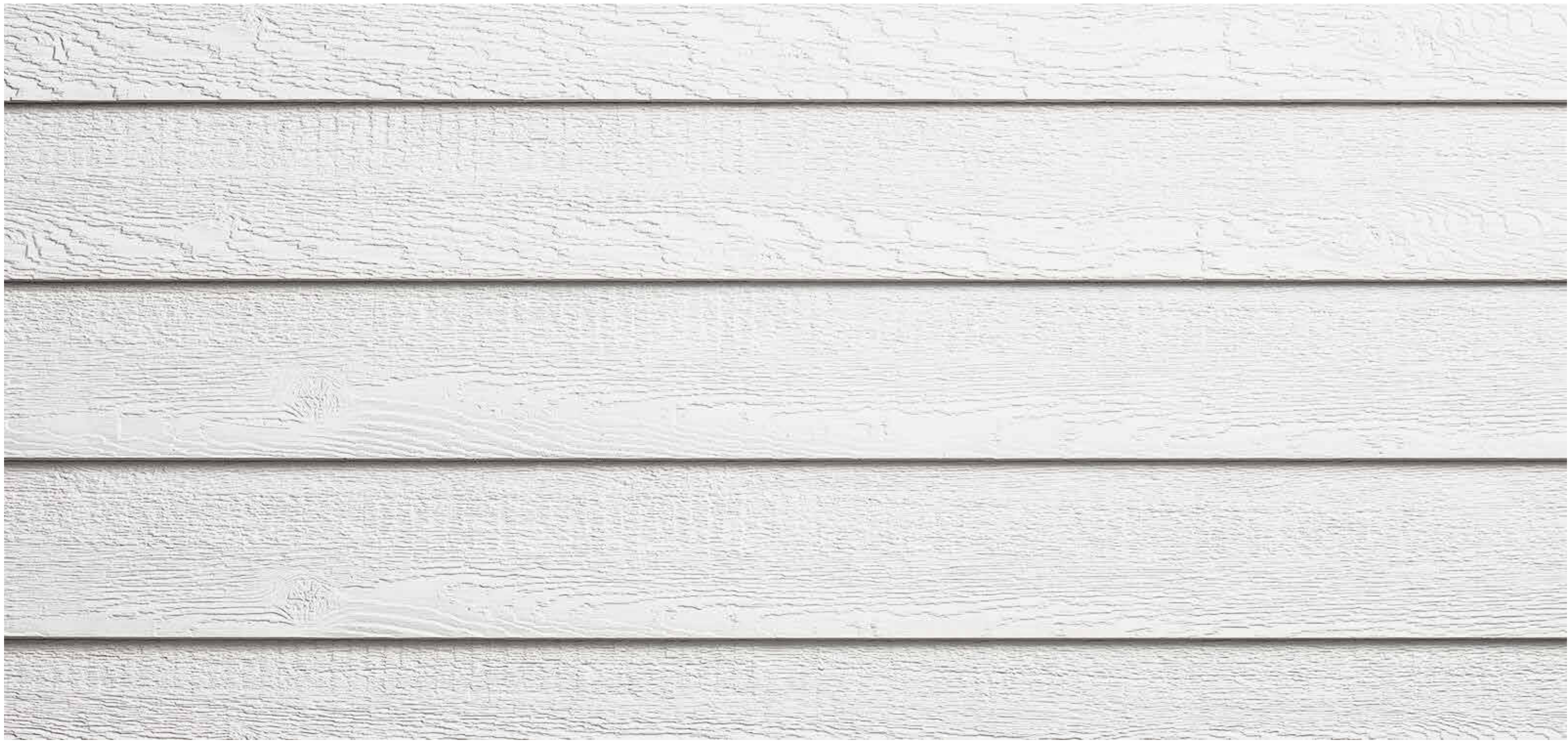
METAL LAP OR LP SMART SIDING - 6" LAP - QUARRY GRAY



EXISTING SPLIT FACE CMU



EXISTING SPLIT FACE CMU TO BE PAINTED TO MACH BRICK STAIN AND STUCCO PAINT



METAL LAP OR LP SMART SIDING - 6" LAP - SNOWSCAPE WHITE



METAL CAP FLASHING OR LP SMART SIDING -TRIM - SNOWSCAPE WHITE



EXISTING SHINGLE ROOF

PRELIMINARY
NO FOR
CONSTRUCTION

| ISSUE RECORD | | |
|--------------|----------|----------------|
| ISSUE # | DATE | DESCRIPTION |
| 1 | 1/2/2025 | CITY SUBMITTAL |

COMFORT HAVEN MAPLE PLAIN
ASSISTED LIVING
1520 WYMAN AVENUE
MAPLE PLAIN, MN 55359

EXTERIOR MATERIAL
PALETTE

PROJECT NO: 24-141
DRAWN BY: LS
CHECKED BY: ER

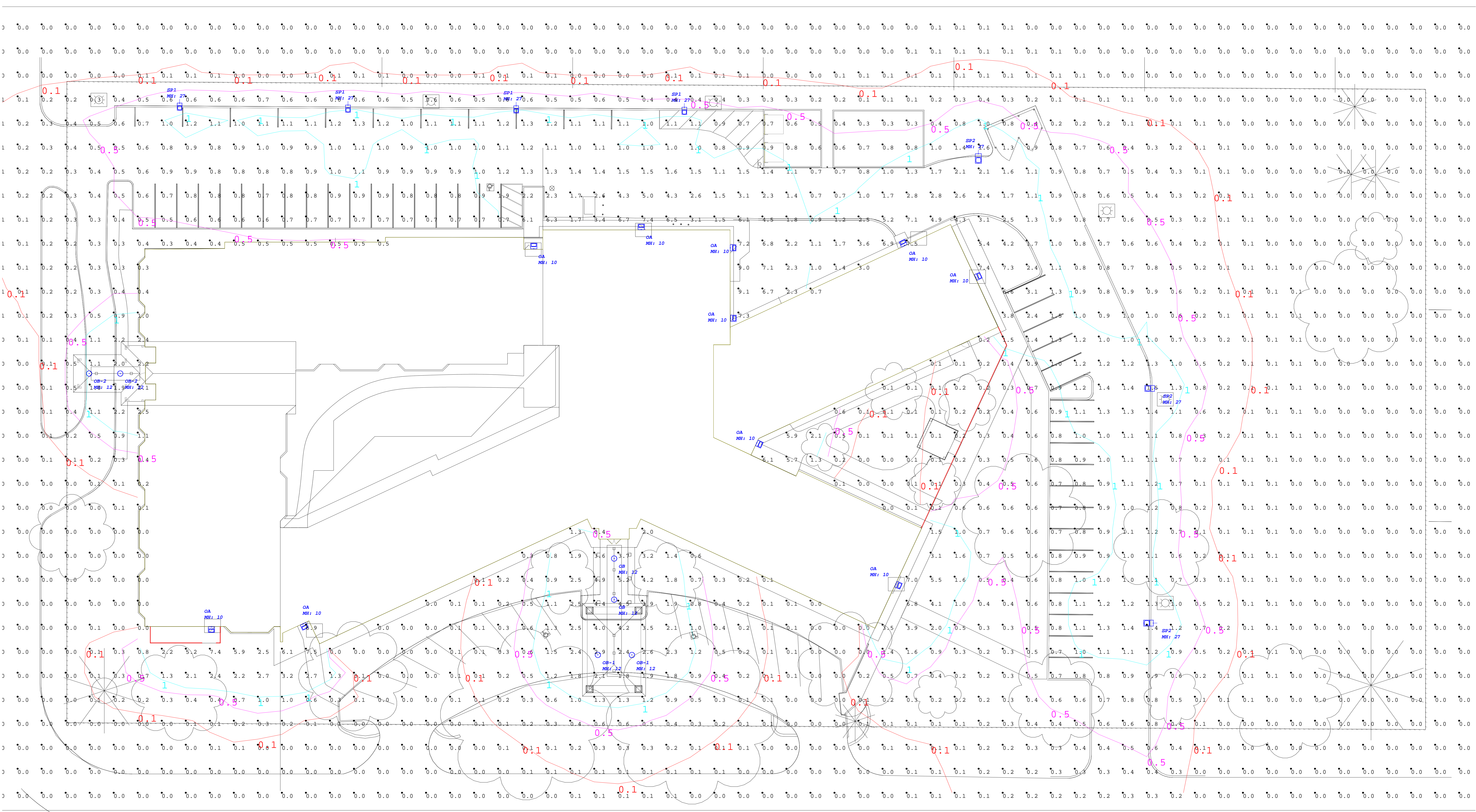
A301

1/2/2025 11:03:46 AM

6442 CITY WEST PARKWAY
SUITE 300
EDEN PRAIRIE, MINNESOTA 55344
PH: 952-996-9668
WWW.SRA-MN.COM

© COPYRIGHT 2020
SERIES DESIGN ARCHITECTS, INC.

SRA
ARCHITECTURE + INTERIORS



- 1. Standard Reflectance of 80/50/20 unless noted otherwise
- 2. Not a Construction Document, for Design purposes only
- 3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise
- 4. Standard outdoor calc points @ Grade unless noted otherwise
- 5. Egress calc points @ 0" A.F.F.
- 6. Mlazar Associates assumes no responsibility for installed light levels due to field conditions, etc.

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| PROPERTY LINE | Illuminance | Fc | 0.12 | 0.7 | 0.0 | N.A. | N.A. |
| SITE | Illuminance | Fc | 0.57 | 9.1 | 0.0 | N.A. | N.A. |

| Luminaire Schedule | | | | | | | | |
|--------------------|-----|-------|--------------|------------------------|-------------|-------------|------------|-------|
| Symbol | Qty | Label | Manufacturer | Description | Arrangement | Lum. Lumens | Lum. Watts | LLF |
| | 10 | OA | | PRV-P-PA18-740-U-T3 | Single | 7261 | 52.8 | 0.900 |
| | 2 | OB | | TT-D2-740-U-WQ | Single | 5273 | 39.2 | 0.900 |
| | 2 | OB-1 | | TT-D1-740-U-RW | Single | 3097 | 28 | 0.900 |
| | 2 | OB-2 | | TT-D1-740-U-DL-HSS | Single | 2930 | 28.8 | 0.900 |
| | 4 | SP1 | | PRV-PA1A-740-U-T4W-HSS | Single | 5420 | 54 | 0.900 |
| | 3 | SP2 | | PRV-PA1B-740-U-T4W | Single | 9738 | 74 | 0.900 |

| | | | | | |
|-------------|--|-----------|--|------|--|
| Project | | Catalog # | | Type | |
| Prepared by | | Notes | | Date | |



Lumark

Prevail Discrete LED

Area / Site Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

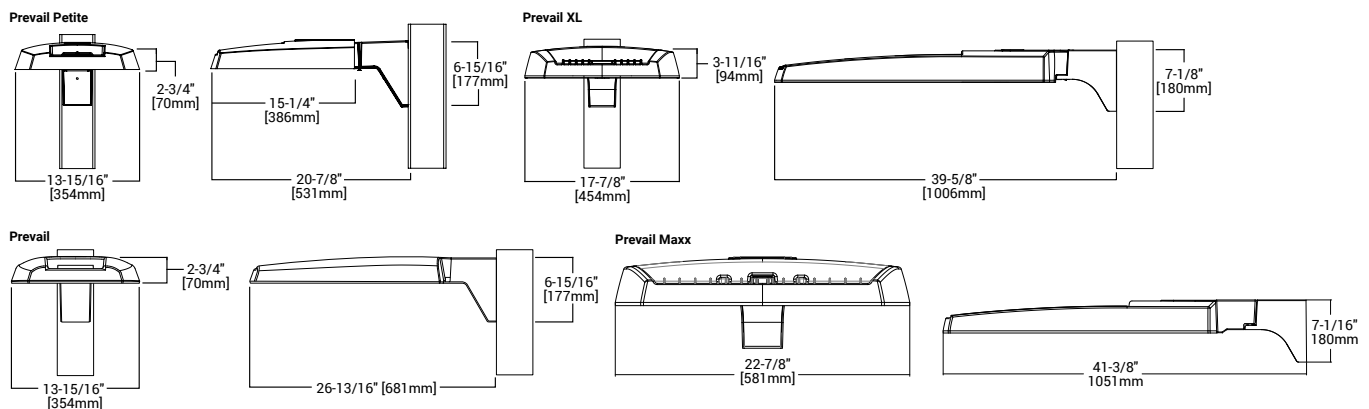
Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinx

Dimensional Details

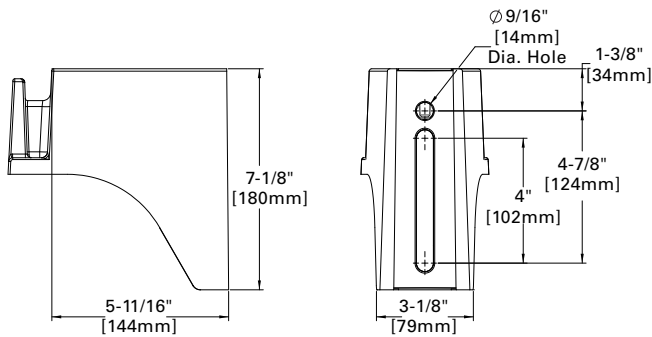


NOTES:

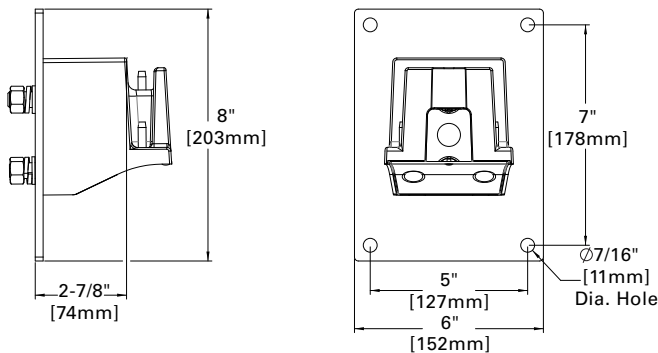
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

Mounting Details

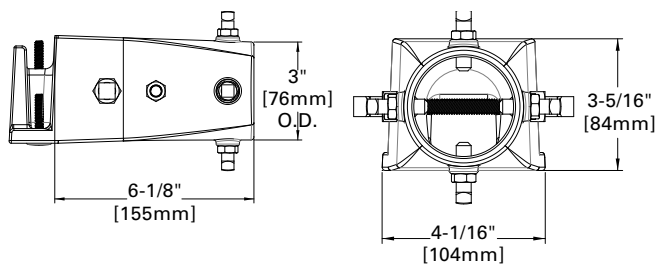
SA=QM Pole Mount Arm (PRV-M)



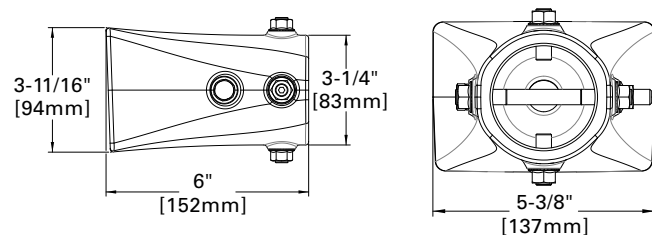
WM=QM Wall Mount Arm (PRV-M)



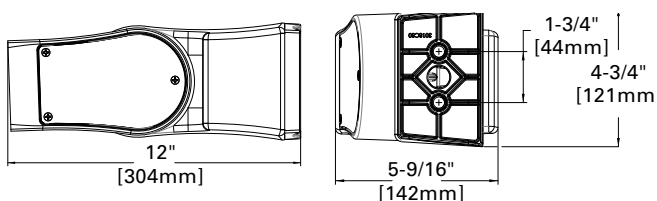
MA=QM Mast Arm (PRV-M)



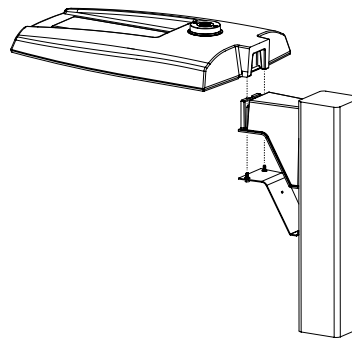
FMA=Fixed Mast Arm (PRV-M)



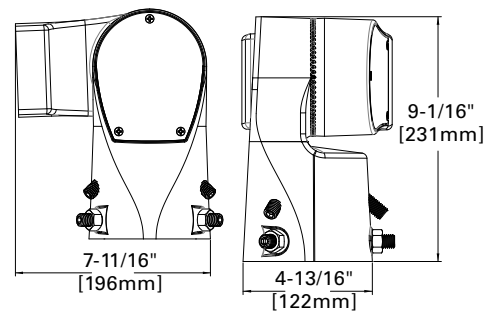
DM=Direct Pole Mount Arm (PRV-M)



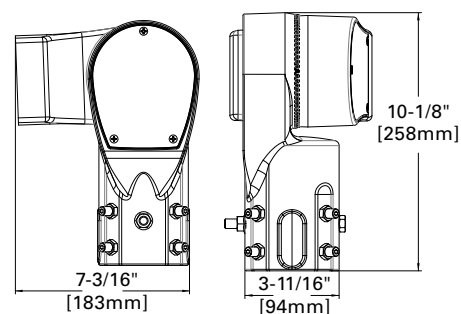
Versatile Mount System



ADJS=Adjustable Slipfitter (PRV-M)




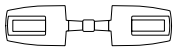
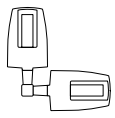
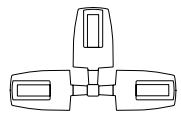
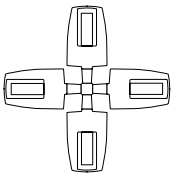
SP2=Adjustable Slipfitter 2-3/8\" (PRV-M)



Mounting Details

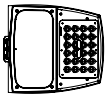
Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications

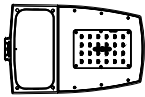
| | |  |  |  |  |  |
|----------------|-----------------------|---|---|--|---|---|
| Housing Size | Tilt Angle (Degrees) | Arm Mount Single | Arm Mount 2 @ 180° | Arm Mount 2 @ 90° | Arm Mount 3 @ 90° | Arm Mount 4 @ 90° |
| Prevail Petite | 0° | 0.54 | 1.08 | 0.84 | 1.38 | 1.38 |
| | 60° | 1.68 | 1.85 | 2.42 | 3.15 | 3.30 |
| Prevail | 0° | 0.92 | 1.35 | 1.42 | 1.63 | 1.63 |
| | 60° | 2.20 | 2.40 | 3.05 | 3.88 | 4.07 |
| | 60° + Full Drop Visor | 2.20 | 2.40 | 3.25 | 4.28 | 4.47 |
| Prevail XL | 0° | 1.12 | 2.25 | 2.13 | 2.52 | 2.52 |
| | 60° | 3.99 | 4.30 | 5.26 | 6.51 | 6.79 |
| | 60° + Full Drop Visor | 3.99 | 4.30 | 5.59 | 7.17 | 7.49 |
| Prevail Maxx | 0° | 1.28 | 2.56 | 1.7 | 2.69 | 2.69 |
| | 60° | 5.09 | 5.52 | 6.34 | 7.49 | 7.81 |

Optical Configurations

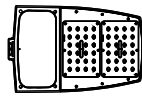
PRV-P-PA1X



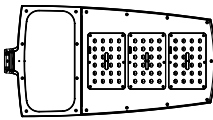
PRV-PA1X



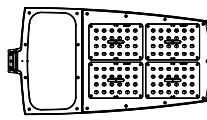
PRV-PA2X



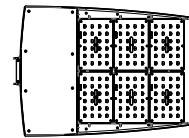
PRV-XL-PA3X



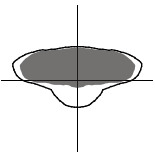
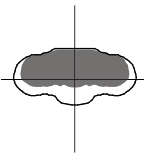
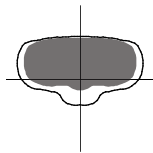
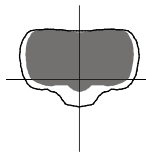
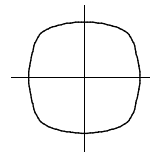
PRV-XL-PA4X





PRV-M-PA6X



Optical Distributions

T2R
(Type II Roadway)T2U
(Type II Urban)T3
(Type III)T4W
(Type IV Wide)5WQ
(Type V Square Wide)

 = Distribution with House Side Shield (HSS)
 = Optical Distribution

Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- 40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal



5050 INDEPENDENCE STREET | P.O. BOX 97 | MAPLE PLAIN, MN 55359
Ph: (763) 479-0515 | Fax: (763) 479-0519 | www.mapleplain.com

January 24, 2025

Attn: Jon Gleisner
4207 Quaker Trail NE
Prior Lake, MN 55372

RE: 1520 Wyman Avenue – Site Plan Review and Conditional Use Permit

Dear Jon:

The City has completed a review of your application submitted on January 6, 2025, for the Site Plan Review and Conditional Use Permit for the property located at 1520 Wyman Ave. The City has identified several items that will require further clarification, additional information and or revised plans prior to consideration for approval. As a formality and in accordance with Minnesota State Statute 15.99, the City is required to notify you that in order to allow sufficient time to fully review the application, the City will be extending the review time to 120 days. It is anticipated that your application will initially be considered by the City's Planning Commission on Thursday, March 6th at 6:00 pm.

The City offers the following comments:

Site Plan and Conditional Use

1. The proposed use of the building is a licensed assisted care living facility with memory care. The proposed use will consist of 39 assisted living units and 22 memory care units. Assisted car living facility is a conditional use in the R-1 zoning district.
2. Please confirm staffing numbers for all shifts and times of day. How many staff will be present at any given time on the property and will staffing shifts overlap? If shifts will overlap and or will have different staffing levels, please provide a more detailed breakdown of the anticipated staffing at all hours of the day. It would also be helpful to understand the types of staff on the premise at any given time throughout the day (i.e., professional, security, aids, food preparation, etc.).
3. The City has established parking standards for assisted living facility with memory care as noted below.

| <u>Number of Units(type)</u> | <u>Required Stalls Per Number of Beds</u> | <u>Total Spaces</u> |
|------------------------------|--|---------------------|
| 22 (Memory Care) | 4 spaces + 1 space per 3 beds | 12 spaces |
| 39 (Assisted Living) | 0.5 spaces per 1 unit | 20 spaces |
| <u>Staff Parking</u> | <u>Actual maximum number for staff overlap</u> | <u>spaces</u> |
| | | <u> </u> spaces |

The proposed plans indicate a total of 61 parking spaces which includes 14 existing parking spaces in front of the building. Once staffing information is confirmed, a final parking total will be calculated. It appears that the proposed parking will meet applicable requirements.

4. It is not clear from the plans if there will be new mechanical equipment installed with this facility. Please confirm if any new mechanical equipment is proposed and where it will be located. Please also confirm if it will be screened from surrounding residential properties? Please note, the current rooftop units are not currently screened from view from the adjacent residential properties. Please provide additional information relating to the proposed mechanical equipment installation.
5. A parking lot lighting plan was submitted with light fixture cut sheets and a photometric plan. It appears that the proposed light fixtures will be cut off type fixtures. The City has the following lighting standards:

(c) *Method of measurement.*

(1) *Maximum footcandles.*

- a. *No light source or combination thereof which casts light on a public street or an adjacent commercial, office or industrial zoned property shall exceed one footcandle as measured from the property line or right-of-way line.*
- b. *No light source or combination thereof which casts light on adjacent residential zoned property shall exceed one-half footcandle as measured at the property line.*

It appears that the proposed plan does not fully comply with the requirements along the north and east property lines (.5 foot candle line extends beyond property line). Please review this condition to determine if the lighting plan can be modified to fully comply with applicable standards.

6. A landscape plan has been submitted. It is noted that no new landscaping is proposed on the plan. There are two areas where new landscaping should be considered by the applicant. Several mature trees are being removed for the purpose of installing the new access drive and parking on the south side of the building. It is recommended that new deciduous trees are planted either within the proposed islands, or along the south side of the proposed parking lot. It is also recommended that some landscaping be planted along the east and south sides of the new refuse enclosure located to the southeast of the building.

7. Building signage will need to be approved by the City. A signage plan submittal is not required as a part of the site plan review but will require City approval.
8. The City will need to evaluate the number of Sewer Access Charges (SAC) for this property and a formal determination will need to be submitted to the Metropolitan Council should the City approve the proposed use.

Architectural Plans/Building Materials

9. Plans have been reviewed and will be presented to the Planning Commission and City Council.

Police/Fire

10. West Hennepin Public Safety and Maple Plain Fire Department are still in the process of reviewing the plans and the proposed use/resource requirements. Police and fire have been gathering information relating to the call volumes associated with your specific facilities. Additional information relating to their review will be provided in separate correspondence. Once their review is complete, the city will want to meet to discuss their findings.

Engineering

11. The proposed improvements disturb less than 1 acre, so an NPDES permit is not required.
12. This site is in Pioneer Sarah Creek Watershed Management Commission's jurisdictional area. Their rules correspond with the NPDES requirements, so no permit should be required from the PSCWMC.
13. The condition of Wyman Avenue and Bryant Street (including the storm conveyance system) should be documented with video prior to any work. These streets have just been reconstructed and are in great condition. Any damage to the streets or sediment deposited in the storm sewer after work begins should be deemed to be caused by the Contractor and their responsibility to repair or remove.
14. Work within public right-of-way must be coordinated with the City. Removal limits shall be marked by the City prior to demolition.
15. The adjacent neighbors have installed landscaping up to the edge of the fence along the eastern property line, and proposed improvements indicate the removal and replacement of this fence. This work would likely disturb the landscaping along the east side of the fence. A temporary construction

easement should be provided for this work, and coordination with the neighbors to preserve / replace the landscaping will also be likely necessary.

16. Perimeter erosion control must be installed by the Contractor and inspected by the City prior to any other work. The Contractor must provide a minimum 24-hour notice prior to inspection.
17. The storm sewer layout at the Wyman Avenue entrance should be revised as the driveway culvert has inadequate cover. Consideration should be given to eliminating the driveway culvert and installing an inlet on the south side of the driveway with a connection to the inlet in the new driveway or some combination of an additional manhole to direct an apron to the south with a connection to the new inlet.
18. A Construction Site Management plan should be provided to indicate location of the following:
 - i. Temporary parking for Contractor (not on streets)
 - ii. Dumpsters / Trash Receptacles
 - iii. Temporary Biffy
 - iv. Hazardous materials / Concrete Wash

Please let me know if you have any questions regarding the comments provided within this letter. Please provide the additional information, respond to comments and or revised plans as requested by Friday, February 14.

Sincerely,



Mark Kaltsas, Planner
City of Maple Plain

CC: Jacob Kolander, City Administrator
Gary Kroells, West Hennepin Public Safety Director
Rick Denneson, Maple Plain Fire Chief
Andrew Altstatt, Sperides Reiners Architects

2/14/2025

Mark Kaltsas, Planner
City of Maple Plain

Re: 1520 Wyman Avenue – Site Plan Review and Conditional Use Permit

Dear Mr. Kaltsas,

This reply to your plan review letter, follows the numbering sequence set up in that letter – which is attached for ease of cross checking. Changes to the documents are attached.

1. Correct.
2. Staffing numbers and types are anticipated to be as follows when the resident census is 100%:

7 AM – 3 PM Day Shift

- 12 CNAs (Certified Nursing Assistants)
- 1 LPN
- 1 RN with periodic hours
- 1 Office Admin / Front Desk
- 15 Total

3PM – 11PM Evening Shift

- 12 CNAs (Certified Nursing Assistants)
- 1 LPN
- 1 Office Admin / Front Desk
- RN is on call
- 14 Total

11PM – 7AM Night Shift

- 4 CNAs (Certified Nursing Assistants)
- 1 Office Admin / Front Desk
- RN is on call
- 5 Total

6 AM – 9 AM Breakfast Shift

- 4 Kitchen Workers (6 AM – 9 AM Breakfast Shift)
- 4 Total

10 AM – 1 PM Lunch Shift

- 4 Kitchen Workers (6 AM – 9 AM Breakfast Shift)
- 4 Total

4 PM – 7 PM Dinner Shift

- 4 Kitchen Workers (6 AM – 9 AM Breakfast Shift)
- 4 Total

3. The shift overlap with the greatest number of workers arriving and leaving is at 3 PM, when the day shift ends and the evening shift begins. 29 workers are involved in that shift change. Note that shift change times will be staggered by 15 minute intervals and that not all staff change at the same time.
4. While we don't know the locations of new RTU's now, they will be screened. The structure that those locations are on will dictate the type and extent of screening. Screening will match the exterior materials, to blend in.
5. Please see the attached revised Photometric Plan.
6. Please see the attached revised Landscaping Plans. The landscape plan has been updated to reflect the additional ornamental tree planted in south parking island, and a 3' wide planting bed has been added for screening around the new proposed trash enclosure.
7. This is understood.
8. This is understood.
9. This is understood.
10. This is excellent to hear, thank you.
11. This is understood.
12. This is understood.
13. This is understood. A note has been added to the civil plans.
14. This is understood. A note has been added to the civil plans.
15. This is understood. Notes have been added to the site and landscape plans addressing this comment. The contractor will coordinate with adjacent property owners on any landscape restoration if needed.
16. This is understood.
17. Please see the attached revised Civil Plans. The storm sewer has been eliminated from this project due to the reconstructed road elevations of Wyman Avenue. The parking lot can now all surface drain to the street without the need for a storm sewer pipe or culvert.
18. Please see the attached Construction Site Management Plan.

Sincerely,

Sperides Reiners Architects, Inc.

A handwritten signature in blue ink, appearing to read 'Andrew Altstatt', with a long horizontal flourish extending to the right.

Andrew Altstatt

Attachments:

- Original plan review letter from city of Maple Plain
- Entire consolidated resubmittal PDF



5050 INDEPENDENCE STREET | P.O. BOX 97 | MAPLE PLAIN, MN 55359
Ph: (763) 479-0515 | Fax: (763) 479-0519 | www.mapleplain.com

January 24, 2025

Attn: Jon Gleisner
4207 Quaker Trail NE
Prior Lake, MN 55372

RE: 1520 Wyman Avenue – Site Plan Review and Conditional Use Permit

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Site Plan and Conditional Use

1. The proposed use of the building is a licensed assisted care living facility with memory care. The proposed use will consist of 39 assisted living units and 22 memory care units. Assisted car living facility is a conditional use in the R-1 zoning district.
2. Please confirm staffing numbers for all shifts and times of day. How many staff will be present at any given time on the property and will staffing shifts overlap? If shifts will overlap and or will have different staffing levels, please provide a more detailed breakdown of the anticipated staffing at all hours of the day. It would also be helpful to understand the types of staff on the premise at any given time throughout the day (i.e., professional, security, aids, food preparation, etc.).
3. The City has established parking standards for assisted living facility with memory care as noted below.

| <u>Number of Units(type)</u> | <u>Required Stalls Per Number of Beds</u> | <u>Total Spaces</u> |
|------------------------------|--|---------------------|
| 22 (Memory Care) | 4 spaces + 1 space per 3 beds | 12 spaces |
| 39 (Assisted Living) | 0.5 spaces per 1 unit | 20 spaces |
| <u>Staff Parking</u> | <u>Actual maximum number for staff overlap</u> | <u>spaces</u> |
| | | <u> spaces</u> |

The proposed plans indicate a total of 61 parking spaces which includes 14 existing parking spaces in front of the building. Once staffing information is confirmed, a final parking total will be calculated. It appears that the proposed parking will meet applicable requirements.

4. It is not clear from the plans if there will be new mechanical equipment installed with this facility. Please confirm if any new mechanical equipment is proposed and where it will be located. Please also confirm if it will be screened from surrounding residential properties? Please note, the current rooftop units are not currently screened from view from the adjacent residential properties. Please provide additional information relating to the proposed mechanical equipment installation.
5. A parking lot lighting plan was submitted with light fixture cut sheets and a photometric plan. It appears that the proposed light fixtures will be cut off type fixtures. The City has the following lighting standards:

(c) *Method of measurement.*

(1) *Maximum footcandles.*

- a. *No light source or combination thereof which casts light on a public street or an adjacent commercial, office or industrial zoned property shall exceed one footcandle as measured from the property line or right-of-way line.*
- b. *No light source or combination thereof which casts light on adjacent residential zoned property shall exceed one-half footcandle as measured at the property line.*

It appears that the proposed plan does not fully comply with the requirements along the north and east property lines (.5 foot candle line extends beyond property line). Please review this condition to determine if the lighting plan can be modified to fully comply with applicable standards.

6. A landscape plan has been submitted. It is noted that no new landscaping is proposed on the plan. There are two areas where new landscaping should be considered by the applicant. Several mature trees are being removed for the purpose of installing the new access drive and parking on the south side of the building. It is recommended that new deciduous trees are planted either within the proposed islands, or along the south side of the proposed parking lot. It is also recommended that some landscaping be planted along the east and south sides of the new refuse enclosure located to the southeast of the building.

7. Building signage will need to be approved by the City. A signage plan submittal is not required as a part of the site plan review but will require City approval.
8. The City will need to evaluate the number of Sewer Access Charges (SAC) for this property and a formal determination will need to be submitted to the Metropolitan Council should the City approve the proposed use.

Architectural Plans/Building Materials

9. Plans have been reviewed and will be presented to the Planning Commission and City Council.

Police/Fire

10. West Hennepin Public Safety and Maple Plain Fire Department are still in the process of reviewing the plans and the proposed use/resource requirements. Police and fire have been gathering information relating to the call volumes associated with your specific facilities. Additional information relating to their review will be provided in separate correspondence. Once their review is complete, the city will want to meet to discuss their findings.

Engineering

11. The proposed improvements disturb less than 1 acre, so an NPDES permit is not required.
12. This site is in Pioneer Sarah Creek Watershed Management Commission's jurisdictional area. Their rules correspond with the NPDES requirements, so no permit should be required from the PSCWMC.
13. The condition of Wyman Avenue and Bryant Street (including the storm conveyance system) should be documented with video prior to any work. These streets have just been reconstructed and are in great condition. Any damage to the streets or sediment deposited in the storm sewer after work begins should be deemed to be caused by the Contractor and their responsibility to repair or remove.
14. Work within public right-of-way must be coordinated with the City. Removal limits shall be marked by the City prior to demolition.
15. The adjacent neighbors have installed landscaping up to the edge of the fence along the eastern property line, and proposed improvements indicate the removal and replacement of this fence. This work would likely disturb the landscaping along the east side of the fence. A temporary construction

easement should be provided for this work, and coordination with the neighbors to preserve / replace the landscaping will also be likely necessary.

16. Perimeter erosion control must be installed by the Contractor and inspected by the City prior to any other work. The Contractor must provide a minimum 24-hour notice prior to inspection.
17. The storm sewer layout at the Wyman Avenue entrance should be revised as the driveway culvert has inadequate cover. Consideration should be given to eliminating the driveway culvert and installing an inlet on the south side of the driveway with a connection to the inlet in the new driveway or some combination of an additional manhole to direct an apron to the south with a connection to the new inlet.
18. A Construction Site Management plan should be provided to indicate location of the following:
 - i. Temporary parking for Contractor (not on streets)
 - ii. Dumpsters / Trash Receptacles
 - iii. Temporary Biffy
 - iv. Hazardous materials / Concrete Wash

Please let me know if you have any questions regarding the comments provided within this letter. Please provide the additional information, respond to comments and or revised plans as requested by Friday, February 14.

Sincerely,



Mark Kaltsas, Planner
City of Maple Plain

CC: Jacob Kolander, City Administrator
Gary Kroells, West Hennepin Public Safety Director
Rick Denneson, Maple Plain Fire Chief
Andrew Altstatt, Sperides Reiners Architects