

CITY OF MAPLE PLAIN

RESOLUTION NO. 2026-0223-05

A RESOLUTION APPROVING PLANNED UNIT DEVELOPMENT, SITE PLAN, PRELIMINARY PLAT, AND FINAL PLAT FOR DEVELOPMENT OF LAND WITH THE PROPERTY IDENTIFICATION NUMBERS 2411824340069, 2411824340028, 2411824340070, 2411824340031, AND 2411824340033

WHEREAS, the City of Maple Plain (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2020 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and

WHEREAS, Maple and Main, LLC (the “Applicant”) submitted an application for planned unit development (“PUD”), site plan approval, preliminary plat, and final plat (collectively, the “Application”) for the property located at Maple and Main in the City’s downtown area with the PID Nos. 2411824340069, 2411824340028, 2411824340070, 2411824340031, and 2411824340033, and shown on attached Exhibit A (the “Property”); and

WHEREAS, the City staff studied the matter, made a report, and provided other information to the Planning Commission and City Council; and

WHEREAS, the City Planning Commission held a public hearing and considered the Application on February 5, 2026 recommending approval of the Application; and

WHEREAS, the City Council consider the Application at its February 23, 2026 meeting receiving the recommendation from the Planning Commission, the report from City staff and other information.

NOW, THEREFORE, the City Council of the City of Maple Plain makes the following:

FINDINGS

- A. The Application is for PUD, site plan, preliminary plat, and final plat to develop the Property with a four-story, 95-unit multifamily residential building (“Proposed Use”).
- B. The Property is owned by the City. The Applicant and the City are parties to that Purchase Agreement, dated August 6, 2025, for the Property (“Purchase Agreement”). The Purchase Agreement requires a project with the construction of minimum improvements. The Proposed Use meets the minimum improvements requirement. The Purchase Agreement contains specific requirements for the development of the Proposed Use and specific remedies for default by the Applicant. The Developer’s Agreement, described

below, shall, among other things, incorporate the requirements and remedies contained within the Purchase Agreement.

C. The Applicant has submitted, for the review and approval of the City Council:

1. (a) Preliminary Plans for Maple & Main, drafted by Measure Group and Weber Architects & Planners, City resubmittal date of January 23, 2026 (“**Preliminary Plans**”), which Preliminary Plans includes:

- i. Sheet C1.0 Cover Sheet
- ii. Sheet C2.0 Demolition Plan
- iii. Sheet C3.0 Site Plan
- iv. Sheet C4.0 Grading Plan
- v. Sheet C5.0 Utility Plan
- vi. Sheet C6.0 Phase 1 Erosion Plan
- vii. Sheet C6.1 Phase 2 Erosion Plan
- viii. Sheet C7.0 SWPPP Narrative
- ix. Sheet C7.1 SWPPP Notes
- x. Sheet C8.0 Civil Details – Suite Details
- xi. Sheet C8.1 Civil Details – Utility Details
- xii. Sheet C8.2 Civil Details – ADA Details
- xiii. Sheet C8.3 Civil Details – ADA Details - Continued
- xiv. Sheet L1.0 Landscape Plan

(b) Preliminary Plans, drafted by Weber Architects & Planners, issue date of April 29, 2025 (“**Elevations**”), which Elevations include:

- i. Sheet A101 Cover Sheet
- ii. Sheet A300 Exterior Elevations
- iii. Sheet A301 Exterior Elevations
- iv. Sheet P100 NE View
- v. Sheet P101 SW View
- vi. Sheet P102 SE View
- vii. Sheet P103 NW View

(c) Lighting Plan (Sheets E1.1 and E1.2, drafted by Berd Electric, dated February 2, 2026 (“**Lighting Plan**”))

(Preliminary Plat, Elevations, and Lighting Plan collectively, the “**Plans**”).

2. The Preliminary Plat of Maple and Main, drafted by Egan, Field & Nowak, Inc., dated January 29, 2025 (“**Preliminary Plat**”).

3. The final plat of the Property entitled *Maple and Main*, drafted by Egan, Field & Nowak, Inc. (the “**Final Plat**”).

D. The Property is zoned Mixed Use – Downtown (MU-D). The Applicant has made application to rezone the Property to Mixed Use – Downtown Planned Unit Development (MU-D PUD) (“**Rezoning Ordinance**”).

- E. At its February 5, 2026 meeting, the City Planning Commission passed Resolution No. 2026-0205-041 that found the Development Program for Development District No. 2 and the TIF Plan for TIF District No. 2-1 consistent with the Comprehensive Plan. The Applicant will be required to enter into an agreement and other documents related TIF financing.
- F. Minnesota Statutes § 462.357 grants to the City, for the purpose of promoting the public health, safety, morals, and general welfare, the authority to regulate use of land within the City through zoning regulations.
- G. City Code § 10-546(a) provides: “[t]he purpose of the planned unit development district (PUD), is to provide a comprehensive procedure intended to allow greater flexibility in the development of neighborhoods or commercial areas that would not be possible under a conventional zoning district. The decision to zone property to PUD is a public policy decision for the City Council to make in its legislative capacity”.
- H. City Code § 10-546(b) states that the objective of the PUD District is:
1. Establish a planned unit development (PUD) zoning district in appropriate settings and situations and to create or maintain a development pattern that complies with the City's comprehensive plan;
 2. Allow for the mixing of land uses within a development when the mixing of land uses could not otherwise be accomplished under this article;
 3. Allow for variations to the strict application of the land use regulations in this article in order to improve site design and operation, while at the same time incorporating design elements (e.g., construction materials, landscaping, lighting, and the like) that exceed the City's standards to offset the effect of any variations;
 4. Promote a more creative and efficient approach to land use within the City, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the City;
 5. Preserve and enhance natural features and open spaces;
 6. Maintain or improve the efficiency of public streets and utilities; and
 7. Establish appropriate transitions between differing land uses.
- (“PUD Objectives”).
- I. City Code 10-479 establishes a formal site plan review procedure and provide regulations pertaining to the enforcement of site design standards consistent with the requirements of City Code Chapter 10, Article 4 (“**Site Plan Procedure**”).
- J. The Applicant, pursuant to City Code Chapter 10, Article 4, Parts 2 and 4, has submitted the Plans for the City’s review and approval.

- K. The Proposed Use and the Plans meet the PUD Objectives and is consistent the surrounding properties and the Mixed Use – Downtown District, and will not be detrimental to surrounding properties, existing roads and traffic, and to the general health, safety and welfare of the public, provided it is subject to and meets, to the satisfaction of the City, the conditions set forth in this Resolution. The Plans are also part of the Site Plan Procedure.
- L. The proposed subdivision of the Property is governed by City Code Chapter 10, Article 3.
- M. City Code § 10-414 provides that the City subdivision regulations are enacted pursuant to Minn. Stat. § 462.358 and has the following objectives:
 - 1. Ensure that new additions will harmonize with overall development objectives of the community;
 - 2. Encourage well planned subdivisions by establishing optimum development standards;
 - 3. Secure the rights of the general public with respect to public land and water;
 - 4. Improve land records by establishing standards for surveys and plats;
 - 5. Place the cost of improvements against those benefitting therefrom;
 - 6. Ensure that public improvements such as streets, utilities, and drainage are constructed to satisfactory standards; and
 - 7. Provide common grounds of understanding between prospective subdividers and City officials.

(“Subdivision Objectives”).

- N. The Applicant, pursuant to City Code Chapter 10, Article 3, has submitted the Preliminary Plat and Final Plat for the City’s review and approval.
- O. The Preliminary Plat and Final Plat meet the City Code requirements and the Subdivision Objectives provided they are subject to and meet, to the satisfaction of the City, the conditions set forth in this Resolution.

DECISION

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Maple Plain and based upon the information received and the above Findings:

- 1. The City Council does hereby conditionally approve the PUD and the Plans to develop the Property with the Proposed Use, subject to the conditions set forth in Paragraph 3 below that must be met, to the satisfaction of the City, prior to the release of the Final Plat, unless otherwise expressly stated.
- 2. The City Council does hereby conditionally approve the Preliminary Plat and Final Plat and the Mayor and City Administrator are hereby authorized to execute the Final Plat, subject to

the conditions set forth in Paragraph 3 below that must be met, to the satisfaction of the City, prior to release of the Final Plat, unless otherwise expressly stated.

3. The following conditions must be met to the satisfaction of the City prior to release of the Final Plat, unless otherwise expressly stated:
 - a. This Resolution and the approvals granted herein shall not become effective until such time that the Rezoning Ordinance is enacted by the City Council and published as required by law.
 - b. The Final Plat shall not be released until the Property is conveyed to the Applicant or its affiliate as provided for in the Purchase Agreement.
 - c. City Council TIF financing approval is required for release of the Final Plat. All conditions of the TIF financing approval, including, but not limited to, entering into a Redevelopment Agreement shall be met, to the satisfaction of the City Planner, as a condition of Final Plat release.
 - d. The approvals granted herein are subject to the Applicant receiving all applicable approvals from non-City governmental agencies with authority over the Property and the Proposed Use, including, but not limited to the Minnehaha Creek Watershed District, Minnesota Department of Transportation, and the Metropolitan Council. The Plans, Preliminary Plat, and Final Plat shall be modified as recommended by said agencies and directed by the City Engineer and/or City Planner.
 - e. The Applicant shall revise the Plans, as required by all current comments and conditions made by the City, including those comments and conditions from the Fire Department, engineering, Planning Commission, and staff. The Plans, Preliminary Plat, and Final Plat are subject to additional staff and consultant comments and conditions upon updates being submitted.
 - f. The Applicant shall execute a Developer's Agreement, drafted by the City, ensuring, among other things, the construction of any payment for public improvements and private improvements, the payment of special assessments, and the establishment of sureties required by the City.
 - g. The Applicant shall enter into a PUD Agreement with the City, drafted by the City, memorializing the approvals granted herein and shall include, but is not limited to, a guarantee that the Property shall be in compliance, at all times, with this Resolution and City Code.
 - h. Pursuant to State Statute and City Code, the Final Plat requires park dedication of land dedication or a cash equivalent based on the rate approved by the City Council when the Final Plat is released for recording. The current park dedication rate for the City is \$3,750 per unit. The City is providing a \$100,000 park dedication credit for on-site park improvements. Assuming the Final Plat is released prior to the City Council adjusting the park dedication rate, the park dedication amount to be paid for the Final Plat shall be \$256,250.00 (95 units times \$3,750 minus \$100,000). If the Final Plat is not released prior to the City Council adjusting the park dedication rate, the above-referenced payment shall be adjusted based upon the formula approved by

City for the year in which the Final Plat is actually released for filing. The park dedication fee, as set forth above, shall be paid prior to the Final Plat being released for filing at the Hennepin County Government Center.

- i. The Applicant shall pay SAC, WAC, and Stormwater Connection fees, that are estimated as follows:

| | Per Unit Fee | Units | Total |
|-------------|--------------|-------|-----------|
| SAC | \$800 | 95 | \$76,000 |
| WAC | \$3,000 | 95 | \$285,000 |
| Storm Water | \$2,000 | 95 | \$190,000 |

- j. The Applicant shall pay the Metropolitan Council SAC fees as determined by the same in the estimated amount of \$111,825 (\$236,075 minus credits from City totaling \$124,500).
- k. The Applicant shall provide a platting title commitment as required by Minn. Stat. § 505.03. The above-mentioned evidence of title shall be subject to the review and approval of the City Attorney to determine the entities must execute the Final Plat and other documents to be recorded against the Property. Further, Applicant shall provide the City with evidence, which sufficiency shall be determined by the City, that all documents required to be recorded pursuant to this Resolution and by the City Attorney are recorded and all conditions for release of the Final Plat have been met prior to the City processing or approving any building permits or other permits applicable to the development of the Property.
- l. Construction on the Property shall comply, at all times, with the Plans, this Resolution, previous and subsequent approvals, and local, state, and federal rules and regulations.
- m. Maintenance of the Property shall, at all times, comply with the Plans, this Resolution, previous and subsequent approvals, and local, state, and federal rules and regulations.
- n. The Applicant shall pay upon demand all expenses, determined by the City, that the City incurs in relation to this development and Resolution, and shall provide an escrow deposit in an amount to be determined by the City. Said expenses shall include, but are not limited to, staff time, including but not limited to, hourly wage, overhead and benefits, engineering, legal and other consulting fees incurred in relation to this Resolution.
- o. The Applicant shall make application for and receive (on the condition that the Applicant complies with the requirements of this Resolution and City Code) a building permit and construction activities on the Property shall commence, pursuant to the Plans, this Resolution, and City Code, within one (1) year from the date of this Resolution, unless extended by the City Council. Failure to timely meet the above requirement shall result in the approvals granted herein for PUD to become null and void.

- p. The Final Plat must be filed and recorded with Hennepin County within six (6) months from the date of this Resolution, unless extended by the City Council. If the Final Plat is not timely filed or recorded, this Resolution and all approvals herein for subdivision shall be void with no further action required by the City Council.

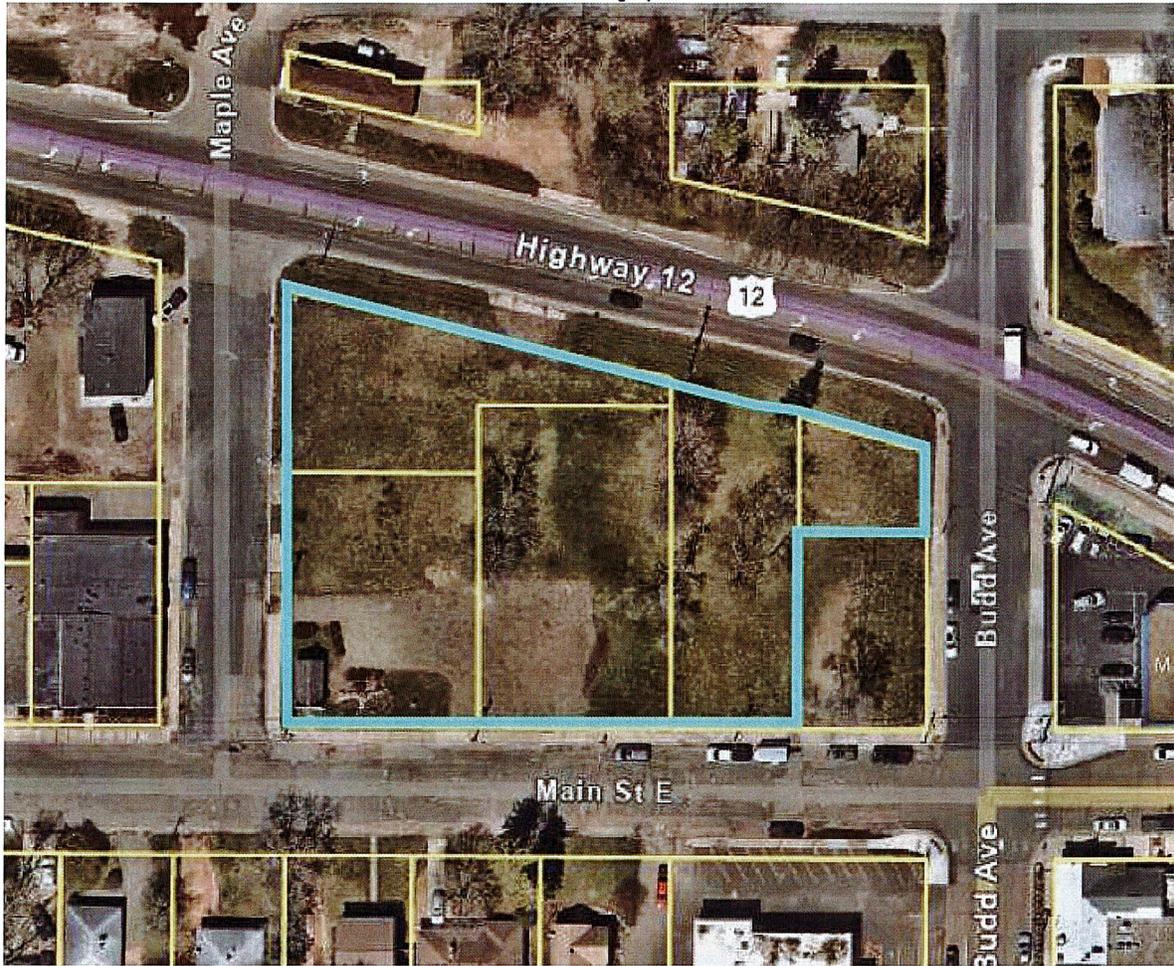
This Resolution was adopted by the City Council of the City of Maple Plain on this 23rd day of February 2026, by a vote of ____ ayes and ____ nays.

Julie M. Maas-Kusske, Mayor

ATTEST:

Jacob Shillander, City Administrator

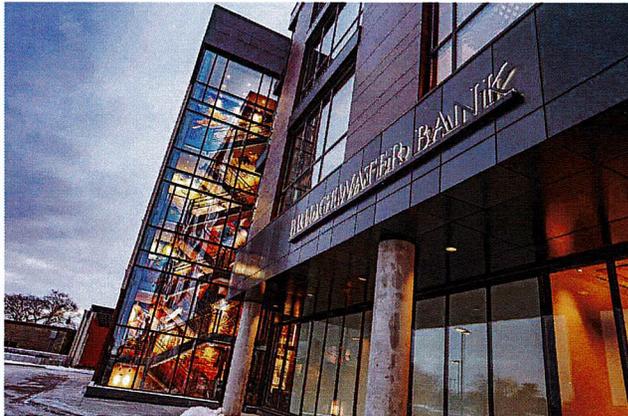
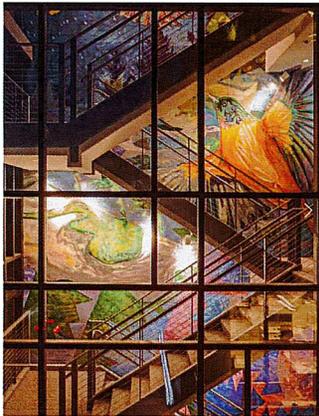
EXHIBIT A





Maple @ Main

The title "Maple @ Main" is rendered in a large, elegant, dark brown script font. It is set against a background of soft, autumnal trees. Several small, square images are overlaid on the background, including a white house, a circular logo with a dog and the text "GREAT HORNDOG BRAND", a group of people, a red fire truck, and a portrait of a man.



January 12, 2026

City of Maple Plain
Attn: Mark Kaltsas, AICP
5050 Independence Street
P.O. Box 97
Maple Plain, MN 55359

RE: MAPLE & MAIN Apartments – PUD and Final Plat Application

Dear Mr. Kaltsas,

On behalf of North Shore Development, I am pleased to submit our application for a Planned Unit Development (PUD) and Preliminary/Final Plat for the property located at 5230 Main Street East.

This letter, along with the enclosed documentation, provides all supporting materials as outlined in the City's published application checklist. We believe this project will contribute meaningfully to the revitalization of the downtown area by promoting a walkable streetscape and bringing new residents to support local businesses.

We look forward to working collaboratively with the City of Maple Plain throughout the review and approval process.

Sincerely,

Matt Alexander
Principal
North Shore Development Partners

Project Narrative:

MAPLE & MAIN

Planned Unit Development Proposal

Rezoning Request

We respectfully request rezoning of the subject site from **Mixed Use – Downtown** to a **Planned Unit Development (PUD)** in order to facilitate a high-quality multifamily residential project in the heart of Downtown Maple Plain.

Project Overview

The proposed development, **MAPLE & MAIN**, will include **95 market-rate multifamily units** on **1.25 acres** located at the intersection of Maple Street and Main Street. This project is designed to bring much-needed residential density to the downtown core, fostering a vibrant pedestrian-friendly environment while supporting local businesses and encouraging redevelopment of surrounding parcels.

Design & Architecture

The building will be a **four-story structure** designed with sensitivity to the surrounding context and consistent with the intent of the **Maple Plain Downtown Design Guidelines**. The ground level will feature **two levels of indoor parking** and primary building entrances. The second floor will include community amenities such as a **lobby, fitness center, and lounge space**, while the fourth-floor **Sky Lounge** at the southeast corner will offer gathering areas and grilling stations overlooking Main Street.

Unit Mix:

- 27 Studios (avg. 600 sq ft)
- 47 One-Bedroom Units (avg. 800 sq ft)
- 21 Two-Bedroom Units (avg. 1,050 sq ft)

Total: 95 Units

The project's architect, **Neil Weber**, brings unique value to this development, having served as a member of the Design Team that helped establish the city's original Downtown Design Guidelines.

Alignment with Downtown Design Guidelines

1. Establish a rich and vibrant small-town downtown

This project will bring over 95 new residents to downtown, providing an immediate customer base for existing and future businesses.

2. Maintain an appropriate scale for downtown

The proposed building respects existing scale with a five-story profile, classic streetscape integration, and use of high-quality, durable materials that blend with the downtown character.

3. Develop structures with architectural quality and consistency

The exterior design includes a mix of hardy plank panels, concrete-based lap and board-and-batten siding, and pedestrian-focused landscaping—balancing visual interest with subtlety so that existing downtown buildings remain the focal point.

4. Use vegetation, street furniture, lighting, and signage to define character

Our streetscape design prioritizes pedestrian comfort and connectivity. Thoughtful placement of benches, tree grates, and landscaping enhances walkability and supports a welcoming downtown environment.

Resident Amenities

MAPLE & MAIN will offer a suite of amenities to meet the expectations of today's renters, including:

- Sky Lounge with grill stations
- Club room and coffee bar
- Fitness and wellness center
- Pet spa and dog run
- Outdoor recreation space
- Enclosed garage parking
- Bike storage and package room
- Elevator, controlled access, and high-speed internet

Proposed Deviations from Zoning Ordinance (PUD Justification)

We are requesting a Planned Unit Development designation to allow for flexibility in the following areas, which are necessary for the viability and success of the project on this uniquely situated site:

- **Use:** The building does not include a commercial component, as contemplated in the Mixed Use Downtown district. However, the added residential density provides critical support for existing businesses.

- **Height:** The PUD proposes a building height of 54.5', exceeding the 35' limit, in order to accommodate indoor parking and rooftop amenities while maintaining architectural harmony.
- **Setbacks:** The required 50-foot setback from US Highway 12 would prevent efficient development. Instead, the building is oriented toward Main Street, supporting a walkable urban form.
- **Density:** The 2040 Comprehensive Plan suggests a minimum of 20 units per acre; the proposed 95 units equate to 76 units per acre, which aligns with the city's goal to increase downtown residency.
- **Streetscape:** The project proposes a modified streetscape with strategic landscaping, seating, and tree placement to ensure a high-quality pedestrian experience.

Site & Utilities

The site is adequately served by municipal water and sanitary sewer, with no anticipated impacts to broader infrastructure systems per coordination with city staff.

Stormwater management will be coordinated with the City of Maple Plain through a separate city-led project. Our plans accommodate a flexible connection to the storm system along Main Street.

Conclusion

MAPLE & MAIN represents a thoughtful response to evolving market conditions, offering a dynamic residential project that supports the city's long-term vision for downtown Maple Plain. By increasing the resident base, enhancing the streetscape, and adhering to the design spirit of the Downtown Guidelines, this PUD will serve as a catalyst for continued investment and revitalization in the area.

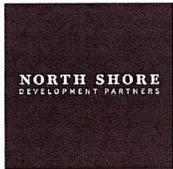
We appreciate your consideration and look forward to working collaboratively with the City to bring this project to life.

PRELIMINARY PLANS

FOR:

MAPLE & MAIN

CLIENT:



NORTH SHORE DEVELOPMENT PARTNERS
 235 LAKE STREET, SUITE #300
 WAYZATA, MN
 PH: 952-324-0535
 EMAIL: MALEXANDER@NORTHSHOREDP.COM

ENGINEER/LANDSCAPE ARCHITECT:



MEASURE GROUP - PETE MOREAU, PE (MN)
 PO BOX 10
 WAYZATA, MN 55391
 PH: 612-440-0934
 EMAIL: PMOREAU@MEASUREGRP.COM

MEASURE GROUP - JOSH MCKINNEY, PLA (MN)
 PO BOX 10
 WAYZATA, MN 55391
 PH: 612-440-0934
 EMAIL: JMCKINNEY@MEASUREGRP.COM

ARCHITECT:



WEBER ARCHITECTS & PLANNERS- NEIL WEBER, AIA
 PO BOX 437
 WAVERLY, MN 55390
 PH: 952-476-4434
 EMAIL: NEILWEBER@ICLOUD.COM



VICINITY MAP- NOT TO SCALE

SHEET INDEX:

| SHEET # | SHEET NAME |
|---------|-----------------------------------------|
| C1.0 | COVER SHEET |
| C2.0 | DEMOLITION PLAN |
| C3.0 | SITE PLAN |
| C4.0 | GRADING PLAN |
| C5.0 | UTILITY PLAN |
| C6.0 | PHASE 1 EROSION CONTROL |
| C6.1 | PHASE 2 EROSION CONTROL |
| C7.0 | SWPPP NARRATIVE |
| C7.1 | SWPPP NOTES |
| C8.0 | CIVIL DETAILS - SITE DETAILS |
| C8.1 | CIVIL DETAILS - UTILITY DETAILS |
| C8.2 | CIVIL DETAILS - ADA DETAILS |
| C8.3 | CIVIL DETAILS - ADA DETAILS - CONTINUED |
| L1.0 | LANDSCAPE PLAN |



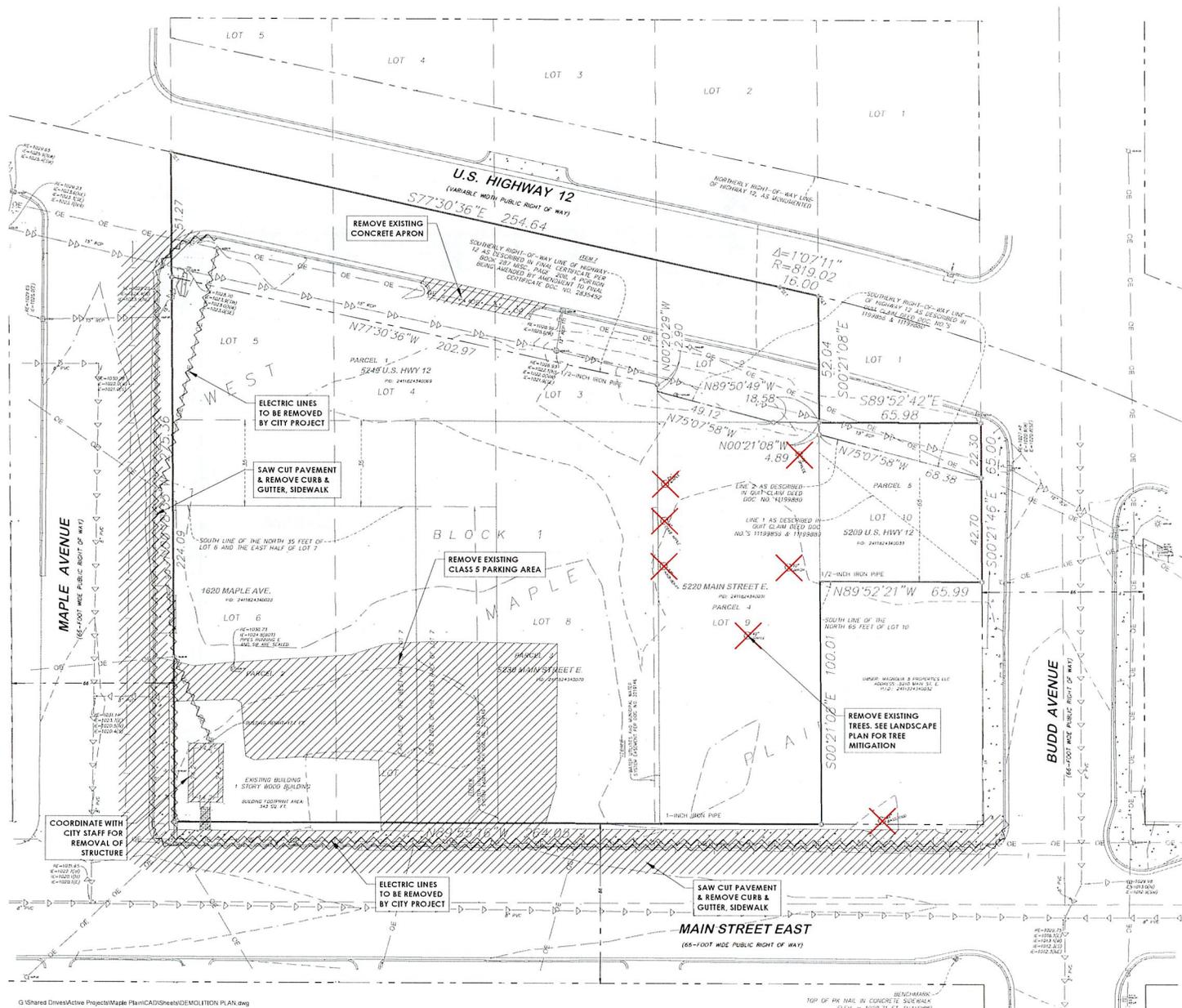
NORTH SHORE
 DEVELOPMENT PARTNERS
 235 LAKE ST. E #300
 WAYZATA, MN

MAPLE & MAIN
 MAPLE PLAIN, MINNESOTA

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Project: 10117
 Date: 10/17/2025
 Title: COVER SHEET

Project # 25-117
 Drawn by JHM
 Checked by JHM
 Issue Date 10/17/2025
 Sheet Title

COVER SHEET
 Sheet
C1.0



LEGEND

| EXISTING | PROPOSED | |
|----------|----------|--------------------------|
| --- | --- | PROPERTY BOUNDARY |
| --- | --- | LOT LINE |
| --- | --- | SETBACK LINE |
| --- | --- | RIGHT OF WAY LINE |
| --- | --- | EASEMENT |
| --- | --- | STANDARD CURB AND GUTTER |
| --- | --- | FENCE |
| --- | --- | RETAINING WALL |

DEMOLITION NOTES

- DEMOLITION NOTES ARE NOT COMPREHENSIVE. CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- THE DESIGN SHOWN IS BASED ON ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON Aerial AND TOPOGRAPHIC MAPPING PREPARED BY ENR DATED 9/5/25. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, CONTRACTOR SHALL HAVE MADE AT OWNERS RISK A FIELD SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN ACCORDANCE APPROVED BY ALL GOVERNING AUTHORITIES AND IN ACCORDANCE WITH APPLICABLE CODES OF ALL STRUCTURES, PARTS, WALLS, FRAMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT FOR SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT AND/OR GEOTECHNICAL ENGINEER.
- CLEARING AND GRUBBING CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
- CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MARKING ACCURACY. PRIOR TO START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION OR ON-GOING LOCATIONS OF EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA Gopher STATE ONE CALL AT 800-252-1668 OR 688-454-0002.
- THE MAPPING LOCATION OF ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERFERED AS THE EXACT LOCATION, OR AS THE ONLY UTILITIES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY UNIDENTIFIED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DISTURBANCE AND REMOVAL OF ALL SURFACE LINES AND GAS LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED UNDER THE BUILDING INCLUDING UP BEYOND FOUNDATIONS.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES (RETURNING TO BE REMOVED OR RELOCATED) SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICES. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED BY THE LOCAL AUTHORITY.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IT IS DAMAGED INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPAIRED AT CONTRACTORS EXPENSE.
- ABANDON OR REMOVE ALL SANITARY, WATER AND STORM SERVICES PER CITY STANDARDS. COORDINATE ALL WORK WITH CITY. ALL STREET RESTORATION SHALL BE COMPLETED IN CONFORMANCE WITH LOCAL STANDARDS.
- CONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNING AUTHORITY A TRAFFIC AND/OR PEDESTRIAN TRAFFIC PLAN PER CITY/COUNTY/STATE STANDARDS TO BE APPROVED BY THE LOCAL GOVERNING AUTHORITY.

measure

NORTH SHORE DEVELOPMENT PARTNERS
235 LAKE ST. #300
WAYZATA, MN

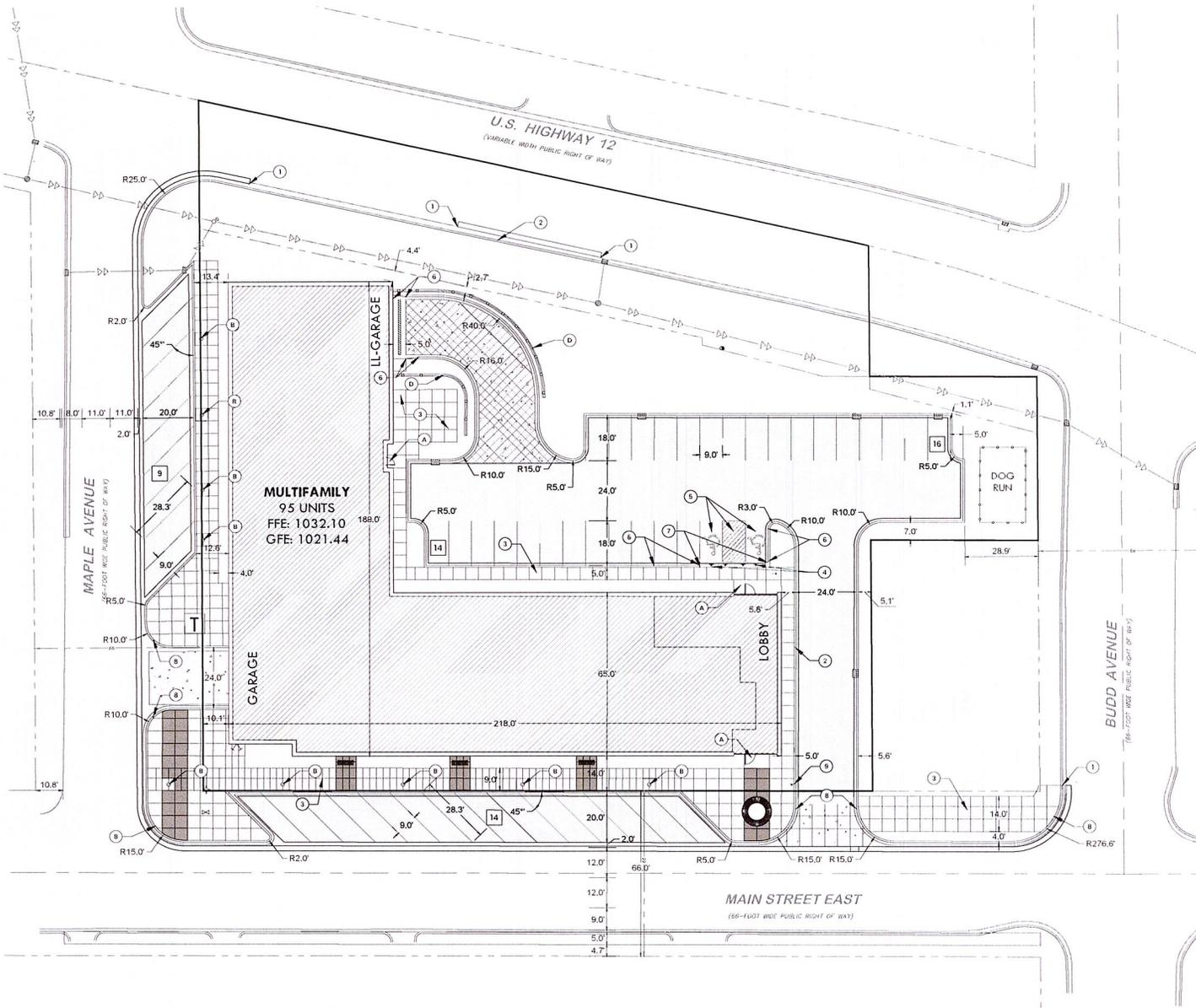
MAPLE & MAIN
MAPLE PLAIN, MINNESOTA

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
NOT FOR CONSTRUCTION

| Rev. | Date | Description |
|------------|------------|------------------|
| 16.17.2025 | 16.17.2025 | PHILLIP BURNETT |
| 1.23.2026 | 1.23.2026 | CITY RESUBMITTAL |

DEMOLITION PLAN

Sheet: **C2.0**



LEGEND

- PROPOSED**
- PROPERTY BOUNDARY
 - SETBACK LINE
 - RIGHT OF WAY LINE
 - - - EASEMENT
 - ▬ STANDARD CURB AND GUTTER
 - ▬ HEAVY DUTY BITUMINOUS PAVEMENT
 - ▬ LIGHT DUTY BITUMINOUS PAVEMENT
 - ▬ CONCRETE SIDEWALK
 - ▬ HEAVY DUTY CONCRETE PAVEMENT
 - ▬ HEATED CONCRETE RAMP
 - FENCE
 - RETAINING WALL (BY OTHERS)
 - TRAFFIC SIGN
 - LIGHT POLE

DEVELOPMENT SUMMARY

| ZONING INFORMATION | | |
|------------------------------------|-----------------------------|-----------------------------|
| CURRENT SITE ZONING: | MU-D | |
| PROPOSED SITE ZONING: | PUD | |
| SITE DATA | | |
| TOTAL SHEL AREA: | 1.25 ACRES | |
| | REQUIRED | PROPOSED |
| DENSITY | | |
| TOTAL UNITS: | | 71 UNITS |
| DENSITY: | 15 UPA | 56.6 UPA |
| BUILDING SETBACKS | | |
| FRONT: | 5' | 14' |
| SIDE: | 0' | 10.1' |
| REAR: | 10' | 4.4' |
| PARKING SETBACKS | | |
| HWY 12: | 50' | 11' |
| ELSI W/ HWY: | 10' | 5.0'+ |
| PARKING | | |
| ENCLOSED: | 95 STALLS | 122 STALLS |
| EXTERIOR: | 95 STALLS | 30 STALLS |
| STREET: | | 23 STALLS |
| TOTAL | 190 STALLS | 175 STALLS |
| SITE PARKING RATIO | 2.00 STALLS PER UNIT | 1.84 STALLS PER UNIT |
| EXISTING IMPERVIOUS SURFACE | | 0.20 AC |
| PROPOSED IMPERVIOUS SURFACE | | 1.00 AC |

KEYNOTES

- 1 MATCH EXISTING
- 2 B6-18 CURB & GUTTER
- 3 CONCRETE SIDEWALK
- 4 ADA SIGNAGE & BOLLARDS - SEE CIVIL DETAILS
- 5 ADA PARKING STRIPING - SEE CIVIL DETAILS
- 6 CURB TAPER
- 7 FLUSH CURB
- 8 PLDI STRAIN RAMP - SEE CIVIL DETAILS
- 9 STOP SIGN

DESIGN BY OTHERS

- A ARCHITECTURAL STOOP - COORDINATE WITH STRUCTURAL
- B IRRL GRATE
- C LIGHT POLE WITH FOUNDATION
- D RETAINING WALL WITH GUARDRAIL



measure

NORTH SHORE DEVELOPMENT PARTNERS
235 LAKE ST. E #300
WAYZATA, MN

MAPLE & MAIN
MAPLE PLAIN, MINNESOTA

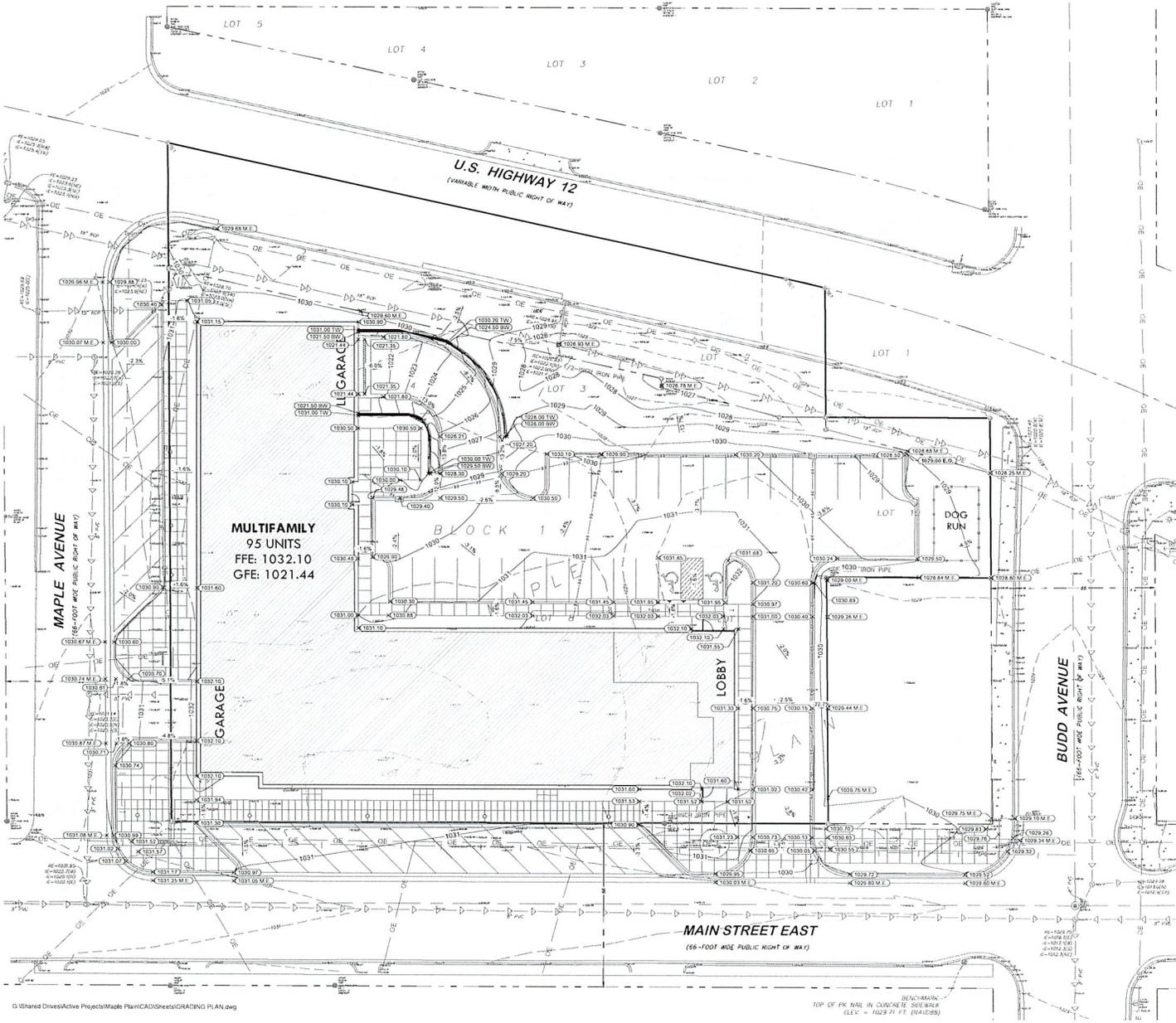
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Project: 20-117
Date: 10/17/2025
Drawn by: JHM
Checked by: JHM
Issue Date: 10/17/2025
Sheet Title: **SITE PLAN**

Rev. Issue Description
10/17/2025 PHILIPPOVSKY
1/23/2026 CHY HIL SUWIT TAI

SITE PLAN

Sheet
C3.0



LEGEND

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SETBACK LINE
- RIGHT OF WAY LINE
- FASTENED
- STANDARD CURB AND GUTTER
- STORM SEWER
- HARD END SECTION
- MILL FINISH WAH
- DRAINAGE
- GRADING LIMITS
- SPOT ELEVATION
- FLOW DIRECTION
- E.O. EMERGENCY OVERFLOW

SPOT ELEV. LABELS
 ME = MATCH EXISTING
 TW = TOP OF WALL
 BW = BOTTOM OF WALL
 TC = TOP OF CURB

- GRADING NOTES**
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITIES LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VISIBLE, SLOPED PAVEMENT, EXH PONCHES, WALKS, TRUCK BACKS, BRICKS, BUILDING DRAPINGS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
 - ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF STANDARD SPECIFICATIONS FOR HIGHWAY EXCAVATION AND BACKFILL/SURFACE RESTORATION AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
 - ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PAINTING AND TUM ESTABLISHMENT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
 - ALL SLOPES SHALL BE GRADED TO 3% OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
 - CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH A PROPER SLOPE. POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
 - SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED.** PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
 - SEE SOILS REPORT FOR PAVEMENT THICKNESS AND HOLD DOWNS.
 - CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AT THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETE. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
 - CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
 - ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
 - PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH HEAVY-GAUGED TANKER-TYPE DRUM TRUCK OR APPROVED EQUIVALENT IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
 - EMBANKMENT MATERIAL PLACED BETWEEN BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2605.3H AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
 - EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2605.3I.2.
 - ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSATISFACTORY OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

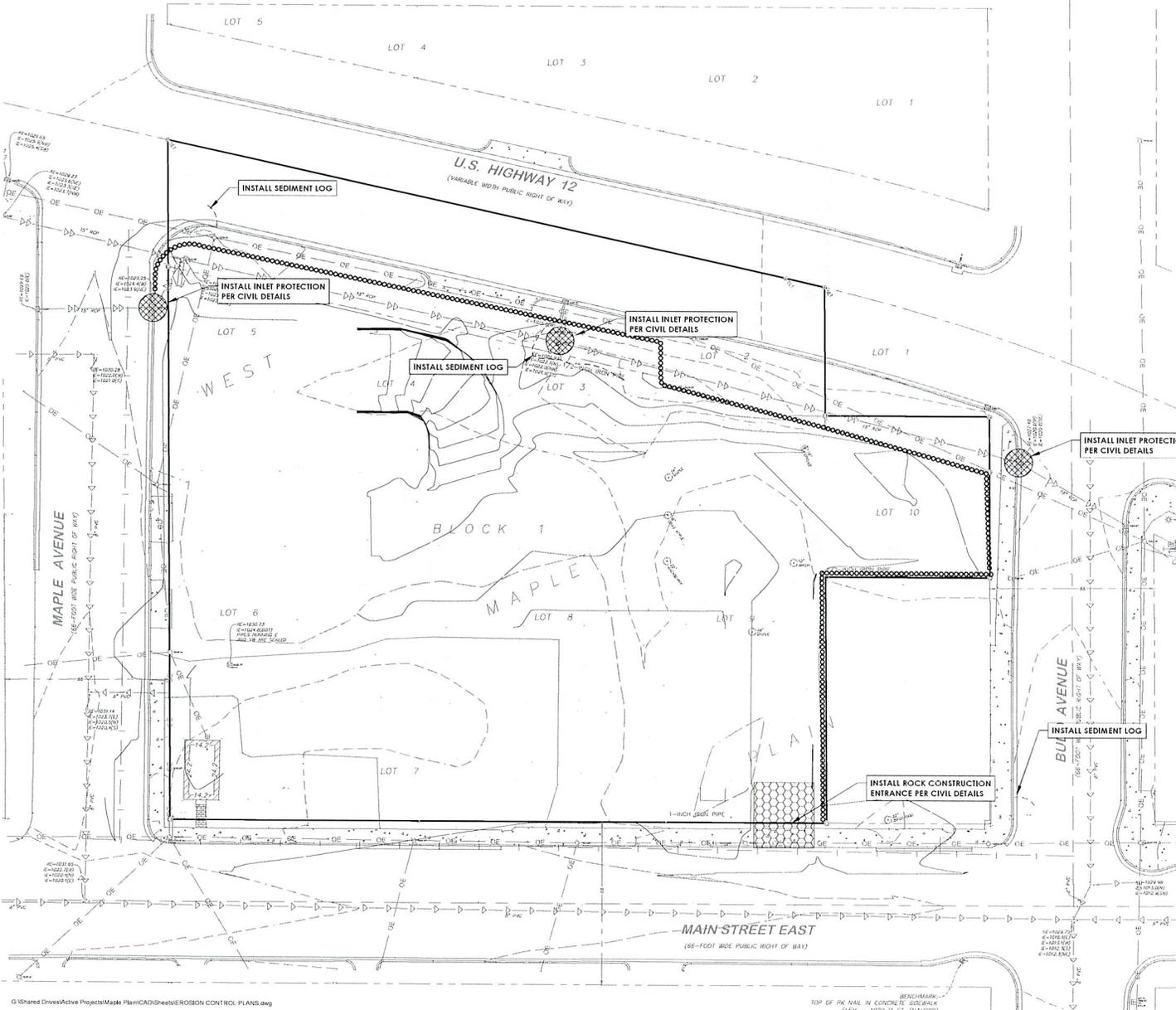
measure
 DEVELOPMENT PARTNERS
 235 LAKE ST. E #300
 WAYzata, MN

MAPLE & MAIN
 MAPLE PLAIN, MINNESOTA

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed professional Engineer under the laws of the State of Minnesota.
 Not for construction
 Paul Morand, PE
 Date: XXXX-XX-XX Lic No: 53735

| Rev. | Date | Description |
|------------|------------|------------------|
| 10.17.2025 | 10.17.2025 | PHLEMMINARY |
| 1.23.2026 | 1.23.2026 | CITY RESUBMITTAL |

Project #: 25-117
 Drawn by: JH
 Checked by: JM
 Issue Date: 10/17/2025
 Sheet Title:
GRADING PLAN
 Sheet:
C4.0



LEGEND

- PROPERTY BOUNDARY
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- - - SETBACK LINE
- - - RIGHT OF WAY LINE
- - - EASTMENT
- - - STANDARD CURB AND GUTTER
- STORM SILEVER
- FLARED END SECTION
- REINFORCED WALL
- DRAIN TILE
- GRADING LIMITS
- SPOT ELEVATION
- FLOW DIRECTION
- E.O.
- EMERGENCY OVERTFLOW
- ROCK CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- SILT FENCE
- BIOROLL

EROSION CONTROL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL STABLE SOIL OR GRASS COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND/OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT CONDITIONS WITH RESPECT TO EROSION CONTROL, TEMPORARY PONDING, DIPS, HAYSTACKS, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
3. EROSION AND SEDIMENT CONTROL (ESC) THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SEDIMENT AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SEDIMENT INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKETS, AND SILT FENCES. SILT FENCES SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE EXPORTING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AT THE EACH MAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER. AT THE EXPENSE OF THE CONTRACTOR, ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
4. ALL SITES TO BE UNBURIED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
5. PROPOSED PONDS SHALL BE EXCAVATED FIRST AND USED AS TEMPORARY PONDING DURING CONSTRUCTION.
6. WHEN INSTALLING END-OF-THE-PIPE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH HRP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
7. ALL UNPAVED AREAS AT THE END OF CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH SOIL. EROSION CONTROL BLANKET OR HRP SURFACED WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
8. THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT AND CITY.
 - A. TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-II AT 30.5-POUNDS PER ACRE
 - B. TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-1/2 (FALL) OR 21-II (SPRING/SUMMER) AT 100-POUNDS PER ACRE
 - C. INFILTRATION/BASIN BASIN SHALL BE MNDOT SEED MIX 34-262 AT 10.5-POUNDS PER ACRE
 - D. POOR SLOPES SHALL BE MNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE
 - E. GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE
 - F. MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE
 - G. FOR AREAS WITH SLOPES OF 3:1 OR GREATER, RESTORATION WITH SOIL OR EROSION CONTROL BLANKET IS REQUIRED.
9. ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
10. ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREDGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED BOTTOM ELEVATION.
11. ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
12. THE SITE MUST BE LEFT IN A WEATHERED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING, OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PATHS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.

measure
 NORTH SHORE DEVELOPMENT PARTNERS
 235 LAKE ST. E #300
 WAYZATA, MN

MAPLE & MAIN
 MAPLE PLAIN, MINNESOTA

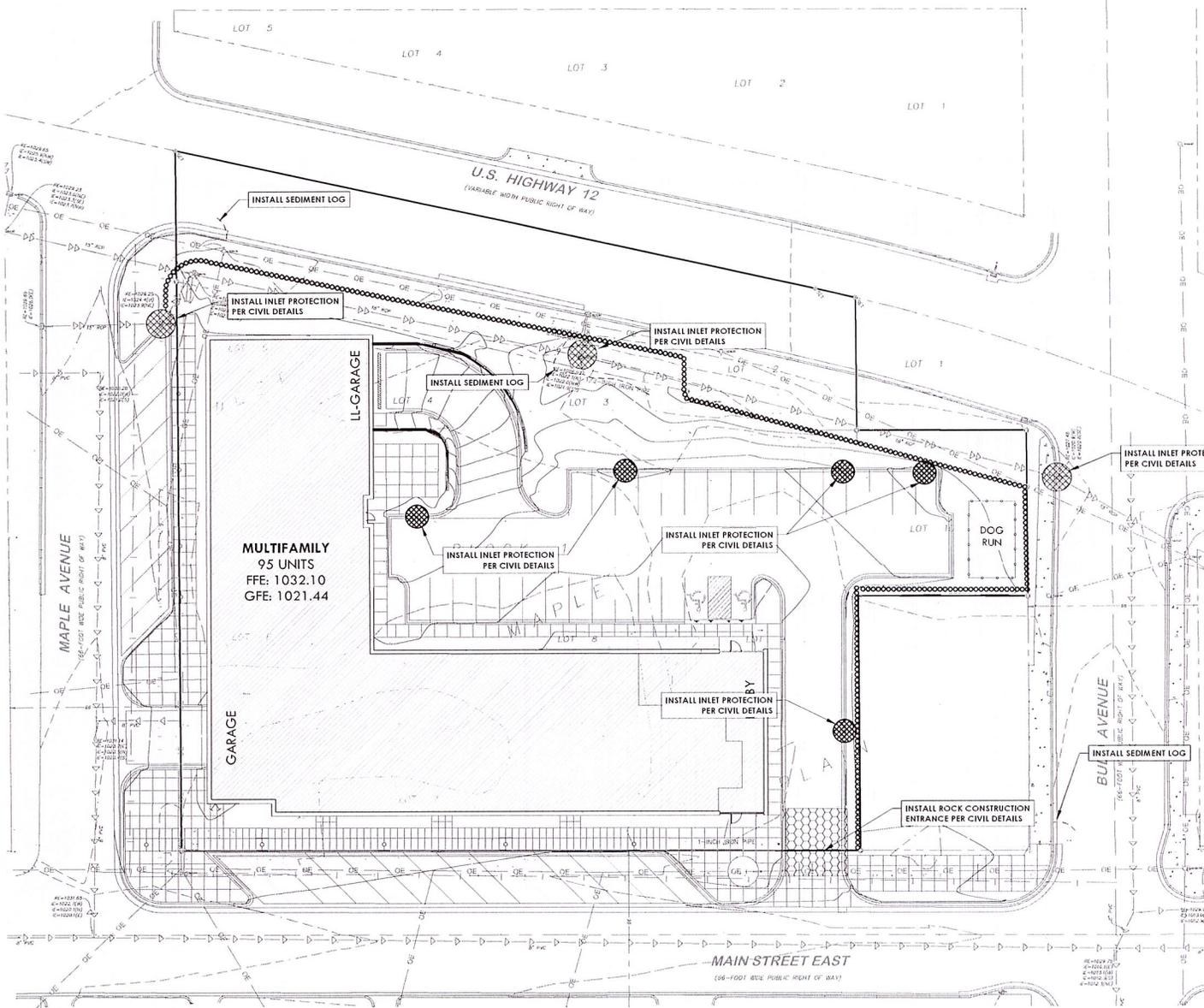
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Not for construction
 Date: XXXX-XX-XX File No: 53/35

| Rev | Date | Description |
|-----|------------|----------------|
| 1.0 | 10.17.2025 | PRELIMINARY |
| 1.1 | 1.23.2026 | CITY SUBMITTAL |

Project # 25-117
 Drawn by JPM
 Checked by JM
 Issue Date 10/17/2025
 Sheet Title

PHASE I
EROSION CONTROL
 Sheet
C6.0





LEGEND

- PROPERTY BOUNDARY
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- S/TRACK LINE
- RIGHT OF WAY LINE
- - - STANDARD CURB AND GUTTER
- STORM SEWER
- FLARED END SECTION
- RAINFALL WALL
- DRAINAGE
- GRADING LIMITS
- SPOT ELEVATION
- FLOW DIRECTION
- E.O. EMERGENCY OVERFLOW
- ROCK CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- SILT FENCE
- BIOROLL

EROSION CONTROL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE REPLIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL WORK IS COMPLETED OR HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENT TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DRES, HAYMAKS, ETC., REQUIRED BY THE CITY SHALL BE INCIDENT TO THE GRADING CONTRACT.
3. EROSION AND SILTATION CONTROL (ESC) THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL INITIATE WHATEVER MEASURES NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASINS/PITS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK IN THE OWNER'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DISPOSING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY EROSION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER. ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE JOB IS ESTABLISHED.
4. ALL STREETS IS OBTAINED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
5. PROPOSED PONDS SHALL BE EXCAVATED FIRST AND USED AS TEMPORARY PONDING DURING CONSTRUCTION.
6. WHEN INSTALLING END-OF-THE-FLARED END SECTIONS, BRING THE SILT FENCE UP & COVER THE FLARED END SECTIONS & COVER UNLINED AREAS WITH 4" HP. THE UPPER END OF FLARED END SECTIONS SHALL HAVE 200# BIR BIR BLANKET INSTALLED ON THE DISTURBED SOILS.
7. ALL UNPAVED AREAS AFFECTED DUE TO CONSTRUCTION ACTIVITIES MUST BE HARD SURFACED WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION. THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MINNDOT, AND CITY.
 - A. TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MINNDOT SEED MIX 22-111 AT 35-POUNDS PER ACRE.
 - B. TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MINNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE.
 - C. INFILTRATION/FILTRATION BASIN SHALL BE MINNDOT SEED MIX 34-262 AT 145-POUNDS PER ACRE.
 - D. POND SLOPES SHALL BE MINNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE.
 - E. GENERAL SLOPING SHALL BE MINNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - F. MARCH SHALL BE MINNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
8. FOR AREAS WITH SLOPES OF 3% OR GREATER RESTORATION WITH SOIL OR EROSION CONTROL BLANKET IS REQUIRED.
9. ALL TEMPORARY SICKLES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
10. ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREDGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED CONSTRUCTION COMPLETION.
11. ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
12. THE SITE MUST BE KEPT IN A WELL-DRAINING CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING, OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.



measure

NORTH SHORE DEVELOPMENT PARTNERS
235 LAKE ST. E #300
WAYZATA, MN

MAPLE & MAIN
MAPLE PLAIN, MINNESOTA

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Project No. 23-117
Date: 10/17/2025
City: Wayzata, MN

| Rev. | Date | Description |
|------|------------|-------------------------|
| 01 | 10/17/2025 | PHASE 2 EROSION CONTROL |
| 02 | 11/23/2025 | CITY RESUBMITTAL |

Project # 25-117
Drawn By: JHM
Checked By: JHM
Issue Date: 10/17/2025
Sheet Title:

PHASE 2 EROSION CONTROL

Sheet: **C6.1**

SWPPP NARRATIVE

The SWPPP is prepared in accordance with the national pollutant discharge elimination system (NPDES) regulations as established by the clean water act. The Minnesota Pollution Control Agency's construction general permit MR 80000 (CSGP) (EXPIRATION DATE JULY 31, 2023) PROVIDES A FRAME WORK OF REQUIREMENTS FOR COMPLIANCE TO DISCHARGE STORMWATER FROM A CONSTRUCTION SITE.

The SWPPP is for IMPLEMENTATION BY THE OWNER AND OPERATOR, AS LISTED BELOW, AT MAIN AND MAPLE APARTMENTS. THIS REPORT SHALL BE ON THE SITE AT ALL TIMES DURING CONSTRUCTION. THE OWNER MUST ALSO KEEP THIS SWPPP ON THE FOR THREE YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION. THE FOLLOWING ARE OUTLINED IN THIS SWPPP:

- CONTROL MEASURES FOR STORM WATER POLLUTION PREVENTION PRIOR TO AND DURING CONSTRUCTION
- CONTROL MEASURES FOR STORM WATER POLLUTION PREVENTION AFTER CONSTRUCTION
- SOURCES OF STORMWATER AND NON-STORMWATER POLLUTION
- INSPECTION AND MAINTENANCE PROCEDURES

THE GRADING AND EROSION CONTROL PLAN PREPARED FOR MAPLE & MAIN APARTMENTS SHALL BE CONSIDERED PART OF THE SWPPP.

PROJECT LOCATION
THIS DOCUMENT PRESENTS A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR MAPLE & MAIN APARTMENTS IN MAPLE PLAIN, MINNESOTA. THE SITE IS LOCATED ON 1.25 ACRES NEAR THE INTERSECTION OF US HWY 12 & MAPLE AVENUE.

PROJECT CONTACT INFORMATION
OWNER/DEVELOPER: NORTH SHORE DEVELOPMENT
OWNER ADDRESS:
235 LAKE STREET E #300
WAZATA, MN
OWNER EMAIL: MAT1@NORTHSHOREDEVELOPMENT.COM
CONTRACTOR: NORTH SHORE CONTRACTORS

IDENTIFY PERSONNEL INVOLVED WITH THE PROJECT AND THEIR RELATED NECESSARY TRAINING COMMENSURATE WITH THEIR TASK PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SWPPP DESIGNER: MEASURE GROUP, LLC

PETER MOREAU
PO BOX 10
WAZATA, MN 55391
612-440-0034
PMOREAU@MEASUREGRP.COM



DESIGN OF CONSTRUCTION SWPPP, U OF M, 05/31/20

SWPPP INSPECTION:

TBD

BMP INSTALLER:

TBD

OWNER/OPERATOR RESPONSIBILITIES

- OWNER
 - DEVELOPMENT OF SWPPP PRIOR TO APPLICATION SUBMITTAL
 - SUBMIT A COMPLETE AND ACCURATE APPLICATION FORM (NOI)
 - COMPLIANCE WITH ALL TERMS AND CONDITIONS OF CONSTRUCTION GENERAL STORMWATER PERMIT
 - SWPPP SUBMITTAL FOR 30 DAY REVIEW FOR PROJECT GREATER THAN 50 ACRES & DISCHARGING TO SPECIAL/IMPAIRED WATERS WITHIN 15 DAYS OF THE SUBMITTAL DATE
 - KEEPING PERMIT COVERAGE UP-TO-DATE (TRANSFER/SUBDIVISION)
 - SUBMIT NOTICE OF TERMINATION (NOT) WITHIN 30 DAYS AFTER ALL PERMIT TERMINATION CONDITIONS AS LISTED IN SECTION 13 ARE COMPLETE
 - SUBMIT NOTICE OF TERMINATION (NOT) WITHIN 30 DAYS OF MEETING REQUIREMENTS OF FINAL STABILIZATION
 - IDENTIFY WHO HAS LONG TERM OPERATION AND MAINTENANCE RESPONSIBILITY OF THE PERMANENT STORMWATER SYSTEM
 - DEVELOP CHART OF RESPONSIBILITY WITH ALL OPERATORS TO ENSURE NPDES COMPLIANCE
 - IDENTIFY TRAINED PERSONNEL TO DEVELOP THE SWPPP, INSTALL AND MAINTAIN BEST MANAGEMENT PRACTICES, AND OVERSEE THE SWPPP AND CONDUCT INSPECTIONS

OPERATOR

- COMPLETION OF AN ACCURATE NOI WITH THE OWNER
- COMPLIANCE WITH CSGP SECTIONS 3, 4, 6-22, 25 AND ANY APPLICABLE REQUIREMENTS FOR CONSTRUCTION ACTIVITY IN SECTION 23 (MINN. R. 7090)
- KEEPING THE PERMIT UP-TO-DATE WITH THE OWNER (PARTIAL, WHOLE, CONTRACTOR, BUILDER, ETC)
- COMPLETE AND SIGN APPLICATIONS FOR PERMIT TRANSFER AND MODIFICATION AND NOTICE OF TERMINATION WITH OWNER AS NEEDED.

PROJECT DESCRIPTION

THE SITE IS APPROXIMATELY 1.25 ACRES. CONSTRUCTION WILL CONSIST OF, BUT NOT LIMITED TO GRADING, THE PROPOSED PHASE OF THE DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF A MULTIFAMILY HOUSING DEVELOPMENT WITH ASSOCIATED BUILDING, PARKING LOT AND UTILITY INFRASTRUCTURE.

PROJECT AREA = 1.25 AC
DISTURBED AREA = 1.67 AC
EXISTING IMPERVIOUS AREA = 0.20 AC
PROPOSED IMPERVIOUS AREA = 1.00 AC

PRE-DEVELOPMENT SITE CONDITIONS

SITE IS GENERALLY CONSISTENT WITH HSG TYPE "D" SOILS. THE EXISTING SITE GENERALLY DRAINS FROM SOUTHWEST TO THE NORTHEAST.

REFER TO GEOTECHNICAL REPORT DATED XX/XX/XXXX COMPLETED BY BRAUN INTERTEC.

POST-DEVELOPMENT SITE CONDITIONS

THE PROPOSED SITE MAINTAINS THE OVERALL EXISTING DRAINAGE PATTERNS. MOST OF THE SITE DRAINS FROM SOUTHWEST TO NORTHEAST. THE RUNOFF FROM MOST OF THE SITE WILL BE DIRECTED THROUGH STORM SEWER TO THE CITY DRAINAGE FACILITY TO BE IDENTIFIED AT A LATER DATE.

STORM WATER MANAGEMENT PLAN

THE TEMPORARY STORMWATER MANAGEMENT PLAN WILL CONSIST OF GUIDELINES SET FORTH IN ITEMS 7 AND 8 OF THE SWPPP NOTES SECTION.

- THE PERMANENT STORM WATER MANAGEMENT PLAN WILL CONSIST OF SURFACE DRAINAGE BY CURB AND GUTTER, SWALES AND STORM SEWER PIPE.
- THE SITE DRAINAGE WILL BE ROUTED TO PROPOSED STORM SEWER WHICH WILL DISCHARGE TO THE PUBLIC TREATMENT SYSTEM.
- REFER TO THE PROJECT STORMWATER MANAGEMENT REPORT FOR MORE INFORMATION REGARDING THE PRE-DEVELOPMENT SITE CONDITIONS, POST-DEVELOPMENT SITE CONDITIONS, AND STORM WATER MANAGEMENT CALCULATIONS.
- THE SITE STORM WATER FACILITY WILL BE CONSTRUCTED TO MEET OR EXCEED LOCAL, STATE AND FEDERAL REQUIREMENTS.

- TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S ALONG WITH THE PROCEDURES TO BE USED TO ESTABLISH AND MAINTAIN TEMPORARY BMP'S AS NECESSARY FOR SITE CONDITIONS DURING CONSTRUCTION, ARE DESCRIBED ON THE SITE GRADING AND EROSION CONTROL PLAN PREPARED FOR THE DEVELOPMENT OF THIS PROJECT, AND WITHIN THE PROJECT STORM WATER POLLUTION PREVENTION PLAN.

POTENTIAL STORM WATER POLLUTANTS

POTENTIAL POLLUTANT SOURCES INCLUDING CONSTRUCTION AND WASTE MATERIALS THAT ARE USED OR STORED AT THE SITE ARE DESCRIBED IN THE SECTION. BY IMPLEMENTATION OF THESE BMP'S, THE POTENTIAL POLLUTANT SOURCES ARE NOT REASONABLY EXPECTED TO AFFECT THE STORM WATER DISCHARGES FROM THE SITE.

CONSTRUCTION MATERIALS, CHEMICALS AND WASTE MATERIALS THAT WILL BE USED OR STORED AT THE SITE:

| POTENTIAL POLLUTANT | LOCATION | CONTROL MEASURE |
|---------------------|------------------------|-----------------------------------------------|
| ANTI-FREEZE | VARIOUS | SECONDARY CONTAINMENT/DIRP PAN |
| DIESEL FUEL | VARIOUS | SECONDARY CONTAINMENT/DIRP PAN |
| FERTILIZER | LANDSCAPE CONTRACTOR | SECONDARY CONTAINMENT |
| GASOLINE | EQUIPMENT/FUELING AREA | SECONDARY CONTAINMENT/DIRP PAN |
| GULF/ADHESIVES | CONTRACTOR | SECONDARY CONTAINMENT |
| HYDRAULIC OIL | CONTRACTOR | SECONDARY CONTAINMENT |
| PAINTS | CONTRACTOR | SECONDARY CONTAINMENT |
| GREASE | CONTRACTOR | SECONDARY CONTAINMENT/DIRP PAN |
| SANITARY WASTE | PORTABLE BATHROOMS | SERVICE PROVIDER TO SECURE UNITS FROM LIPPING |
| SOIL AMENDMENTS | LANDSCAPE CONTRACTOR | SECONDARY CONTAINMENT |
| CONCRETE | TRUCK WASHOUT AREA | WASHOUT AREA |
| CONCRETE/MORTAR | MOBILE MIXER | S / WASHOUT AREA |

CONSTRUCTION SEQUENCING

THE INTENDED SEQUENCING OF MAJOR SITE CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

- INSTALL PERIMETER CONTROL DEVICES (SILT FENCE, BIO-LOGS, ETC.) AND INLET PROTECTION TO EXISTING STRUCTURES AS SHOWN ON PLAN
- INSTALL TREE PROTECTION FENCE AS SHOWN ON PLAN
- INSTALL STABILIZED BIODOCK CONSTRUCTION ENTRANCE.
- CLEAR AND GRUB SITE.
- STRIP AND STOCKPILE TOPSOIL.
- ROCK/GRAD/OF SITE.
- STABILIZE DISTURBED AREAS AND STOCKPILES
- INSTALL SANITARY SEWER, WATERMAIN, STORM SEWER AND SERVICES.
- INSTALL INLET PROTECTION AROUND CATCH BASINS
- INSTALL STREET SECTION.
- INSTALL CURB AND GUTTER
- INSTALL PAVEMENT
- INSTALL SMALL UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.)
- FINE GRADE BOULEVARD, LANDSCAPE AREAS, SEED AND MULCH.
- REMOVE ACCUMULATED SEDIMENT.
- FINAL GRADE.
- WHEN ALL CONSTRUCTION ACTIVITIES COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOIL AND LANDSCAPING, REMOVE SILT FENCE, AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

CONSTRUCTION NOTES

IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCKPILE OF EROSION CONTROL DEVICES AND SEDIMENT CONTROL BMP'S ON SITE AT ALL TIMES FOR IMMEDIATE USE. IN THE EVENT OF AN ACCIDENTAL SEDIMENT DISCHARGE TO WATERS OF THE STATE OR ANY DISCHARGE OF HAZARDOUS MATERIAL OR PROPRIETARY QUANTITY, CONTACT THE MPCA STATE DUTY OFFICER AT 1-800-422-0788.

TIMING OF BMP INSTALLATION

THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED TO MINIMIZE EROSION FROM DISTURBED SURFACES AND CAPTURE SEDIMENT ON SITE. THE FOLLOWING LIST DEFINES THE TIMING OF EROSION PREVENTION AND SEDIMENT CONTROL MEASURES AT SPECIFIC AREAS.

PRIOR TO START OF CONSTRUCTION

- THE FOLLOWING EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE SHOWN IN THE PLANS AND SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION
- INSTALL SILT FENCE OR OTHER SEDIMENT CONTROL AROUND THE PERIMETER OF AREAS TO BE GRADED AND ALL AREAS WHICH ARE NOT TO BE DISTURBED AS SHOWN ON THE GRADING AND EROSION CONTROL PLAN
- CONSTRUCT GRAVEL CONSTRUCTION ENTRANCES AT FIELD ENTRANCES TO THE SITE AS SHOWN ON THE CONSTRUCTION PLANS
- INLET PROTECTION IS TO BE INSTALLED AT ALL STORM WATER INLETS WHICH HAVE THE POTENTIAL TO RECEIVE STORM WATER RUNOFF FROM THE CONSTRUCTION SITE WITHIN 200 FEET OF AREAS OF CONSTRUCTION
- INSTALL SILT FENCE OR OTHER SEDIMENT CONTROL AROUND ALL TEMPORARY INSTALL STOCKPILES. ALL SILT FENCES FOR STOCKPILES SHALL BE INCIDENTALS TO GRADING CONTRACT IF STOCKPILES ARE PLACED OUTSIDE OF SILT FENCES AS SHOWN ON THE PLAN.

DURING CONSTRUCTION

- THE FOLLOWING EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE SHOWN IN THE PLANS AND SHALL BE IMPLEMENTED DURING CONSTRUCTION
- PHASE GRADING WORK TO MINIMIZE THE DURATION THAT ANY DISTURBED SOIL IS EXPOSED.
- ALL DISTURBED AREAS SHALL HAVE TEMPORARY PROTECTION OR PERMANENT COVER OVER EXPOSED SOIL AREAS IF NOT BEING ACTIVELY GRADED AND/OR NOT AT FINAL GRADE WITHIN 7 DAYS OF DISTURBANCE ACTIVITY TEMPORARILY OR PERMANENTLY CLEARING. TEMPORARY SEED MIX 22-10L APPLIED AT A RATE OF 305 LBS/ACRE, SHALL BE USED PRIOR TO WINTER, IF SITE NOT SOODED.
- STRIP AND STOCKPILE TOPSOIL FOR REPLACEMENT OF 6 INCHES OF TOPSOIL OVER TURF AREAS WHEN GRADING IS COMPLETE
- PLACE A MINIMUM OF 2 TONS/ACRE OF STRAW ON ALL AREAS AFTER REFINISHING FINAL GRADE WITH TOPSOIL AND ARCH RO STRAW WITH EITHER A STRAIGHT DISK, HYDROMULCH OR POLYMER
- STABILIZATION OF TEMPORARY OR PERMANENT DRAINAGE DITCHES THAT DRAIN WATER FROM THE CONSTRUCTION SITE MUST BE INITIATED WITHIN 24 HOURS OF CONNECTING THE DRAINAGE DITCH TO ANY CONVEYANCE SYSTEM THAT DISCHARGES TO SURFACE WATERS. THE FIRST 200 LINEAR FEET MUST BE STABILIZED WITHIN 24 HOURS. THE REMAINING DITCH SHALL BE STABILIZED WITHIN 7 DAYS.
- INSTALL SILT FENCE AROUND ALL TEMPORARY INACTIVE STOCKPILES WHICH ARE NOT PLACED WITHIN EXISTING SILT FENCES OR OTHER PERIMETER CONTROLS
- TEMPORARY OR PERMANENT ENERGY DISSIPATION AT PIPE EXPOSURE OUTLETS WILL BE PLACED PRIOR TO BUT NO SOONER THAN 7 DAYS BEFORE APPROX IS INSTALLED. BRAPAP SHALL BE INSTALLED UNDER APPROX BY ACCORDING TO THE STANDARD TAB
- SUFFICIENT PERSONNEL, EQUIPMENT, AND MATERIALS SHALL BE MOBILIZED WITHIN 24 HOURS OF A WRITTEN ORDER BY THE OWNER OR OWNER'S REPRESENTATIVE TO CONDUCT CORRECTIVE WORK AND INSTALL TEMPORARY EROSION CONTROL WORK IN THE CASE OF AN EMERGENCY.
- REMOVE ANY SEDIMENT THAT HAS BEEN TRANSPORTED TO PUBLIC STREETS AT THE END OF THE DAY OR WITHIN 24 HOURS OF DETECTION, OR MORE FREQUENTLY AS REQUIRED.
- COLLECT ALL CONSTRUCTION DEBRIS IN DUMPSTERS AND ROOF-OFF BOXES, EMPHY WHEN DEBRIS REACHES TOP OF DUMPSTER 13. INSPECT POLLUTION CONTROL MEASURES AS SPECIFIED WITHIN SECTION 13 OF THE GENERAL PERMIT.

INLET SEDIMENT CONTROL BMP REMOVAL

IF INLET SEDIMENT CONTROLS (WIMCO TYPE OR EQUAL) BMP'S ARE REMOVED FOR FLOODING / FREEZING CONCERNS UPON REQUEST OF THE MUNICIPALITY, WATERBODIES DISTRICT OR OTHER AGENCY, DOCUMENTATION SHALL BE ATTACHED TO THE INSPECTION REPORTS AND THIS SWPPP OR BE AVAILABLE WITHIN 72 HOURS OF REQUEST. DOCUMENTATION SHALL BE A WRITTEN FORM OF CORRESPONDENCE VERIFYING THE NEED FOR REMOVAL.

UPON COMPLETION OF CONSTRUCTION ACTIVITIES

PERMIT TERMINATION CONDITIONS ARE ACHIEVED FOR THE PROJECT WHEN PERMANENT EROSION CONTROL BMP'S ARE APPLIED TO THE SITE. THE PERMANENT EROSION CONTROL BMP'S MAY BE A COMBINATION OF VEGETATIVE AND NON-VEGETATIVE COVER TYPES.

- ADDITIONAL REQUIREMENTS TO ACHIEVING FINAL STABILIZATION PERMIT TERMINATION CONDITIONS INCLUDE:
 - ALL SOIL DISTURBED ACTIVELY BE COMPLETED. ALL DISTURBED AREA WITHOUT PERMANENT VEGETABLE SURFACES ARE VEGETATED FOR FINAL STABILIZATION.
 - PERMANENT STORMWATER TREATMENT SYSTEM (IF REQUIRED) IS CONSTRUCTED AND ACCUMULATED SEDIMENT HAS BEEN REMOVED FROM CONSTRUCTION ACTIVITY CLEAR CUT. ALL SEDIMENT FROM CONVEYANCES AND FROM TEMPORARY SEDIMENT BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS, THE CLEAR OUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
 - THE VEGETATIVE COVER FOR THE SITE IS AT DENSITY, WITH UNIFORM PERENNIAL COVER OF 70% OF THE EXPECTED FINAL GROWTH DENSITY.
 - ALL TEMPORARY SYNTHETIC BMP'S HAVE BEEN REMOVED.

PERMANENT VEGETATION ESTABLISHMENT

PERMANENT TURF SHALL FOLLOW THE RECOMMENDATIONS PER NOTES AND SPECIFICATIONS IN THE GRADING AND/OR LANDSCAPE PLAN. SEED THAT IS TO OCCUR AFTER OCTOBER 20TH SHALL CONFORM TO THE MINDOT SPECIFICATIONS FOR DOMESTIC SEEDING.

SWPPP INSPECTIONS AND MAINTENANCE EROSION AND SEDIMENT CONTROL INSPECTIONS

CONSTRUCTION ACTIVITY AND ALL SUPPORT ACTIVITIES MUST BE INSPECTED (USING MPCA CONSTRUCTION STORMWATER INSPECTION CHECKLIST OR AN ALTERNATIVE FORM) WITHIN THE PARAMETERS OF THE SCHEDULE BELOW. THE INSPECTOR SHALL BE A PERSON HOBLED AND FAMILIAR WITH THE REQUIREMENTS OF THIS SWPPP AND THE MPCA NON-ROGUE PERMIT. ALL INDIVIDUALS WILL INCLUDE INDIVIDUALS TO BE DESIGNATED BY THE OWNER AND MAY INCLUDE CONTRACTOR PERSONNEL OR OTHER QUALIFIED INDIVIDUALS AND SHALL BE LISTED IN THE PROJECT CONTACT INFORMATION SECTION OF THIS PLAN.

INSPECTION SCHEDULE:

- THE SITE IS ACTIVE. INSPECTION NEEDED EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES.
- INACTIVE AND STABILIZED AREAS. INSPECTION NEEDED ONCE EVERY 30 CALENDAR DAYS.
- INACTIVE AREAS WITH FINAL STABILIZATION. INSPECTION NEEDED ONCE EVERY MONTH FOR 12 MONTHS (NOT INCLUDING FROZEN CONDITIONS)
- SUBJECT TO WINTER/ROZEN CONDITIONS, NOT APPLICABLE/NOT NEEDED IF NO CONSTRUCTION ACTIVITY IS OCCURRING.

SCOPE OF INSPECTION SHALL INCLUDE:

- RECORD DATE AND TIME OF INSPECTION
- NAME OF PERSON(S) CONDUCTING INSPECTION
- REASONS OF THE INSPECTION
- LOCATION AND CORRECTIVE ACTIONS NEEDED
- CORRECTIVE ACTIONS TAKEN (DATE, TIME, BY WHOM)
- DATE AND AMOUNT OF RAINFALL (GRAVIMETRIC AMOUNTS TO BE TAKEN FROM AN ONSITE RAIN GAUGE)
- OBSERVED DISCHARGES (LOCATIONS)
- DESCRIBE DISCHARGE (COLOR, ODOR, FOAMING, SETTLED SOLIDS, FOAM, OIL SHEEN)
- THE SITE INSPECTOR WILL VISUALLY CHECK A DISCHARGE FROM A TEMPORARY OR PERMANENT SEDIMENTATION BASIN TO INSURE ADEQUATE TREATMENT IS OBTAINED AND DISCHARGES WATER WILL NOT CONTAIN EXCESSIVE SEDIMENT OR OTHER NUISANCE CONDITIONS.
- RECORD CHANGES MADE TO THE SWPPP. AMENDMENTS FROM INSPECTIONS NEED TO BE COMPLETED WITHIN 7 DAYS.
- ALL CHANGES SHALL BE DOCUMENTED WITHIN 24 HOURS AFTER COMPLETING THE FIELD INSPECTION AND AVAILABLE IN PAPER OR ELECTRONIC FORM ON SITE.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES

THE OWNER/CONTRACTOR IS RESPONSIBLE FOR THE OPERATION, MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMP'S AS WELL AS EROSION PREVENTION AND SEDIMENT CONTROL BMP'S FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE CONTRACTOR MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S AND POLLUTION PREVENTION MANAGEMENT MEASURES TO INSURE PROPER AND EFFECTIVENESS DURING ALL RAINFALL AND POST RAINFALL EVENTS. ALL NON-FUNCTIONAL BMP'S MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS UNLESS ANOTHER TIME FRAME IS SPECIFIED BELOW.

THE FOLLOWING GUIDELINES WILL BE USED TO DETERMINE IF THE EROSION AND SEDIMENT CONTROL DEVICES REQUIRE MAINTENANCE, REPAIR, OR REPLACEMENT.

1. ALL NON-FUNCTIONAL BMP'S - OBSERVED CONDITION: SEDIMENT COVER (SPRINGS, UNDER WATER, SCOURED ENDS, UNDERMINED, DESTROYED, NON-FUNCTION AS DESIGNED, ETC.) - SHALL BE MAINTAINED OR REPLACED BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY OR NOTIFICATION, OR AS SOON AS FIELD CONDITIONS ALLOW.
2. PERIMETER SEDIMENT CONTROL (SILT FENCE, BIODOCKS, BIODOCKS, ETC.) - OBSERVED CONDITION TO BE 1/2 FULL OF SEDIMENT, FATTENED TO 1/2 HEIGHT, DRYER OVER UNDEVELOPED, SCOURED, SHOVED, OR ACCESS, ETC. - SHALL BE MAINTAINED, REPAIRED OR SUPPLEMENTATION OF PERIMETER SEDIMENT CONTROL SHOULD BE DONE BY THE END OF NEXT BUSINESS DAY OR AD FIELD CONDITIONS ALLOW.
3. INLET PROTECTION BMP'S, CONVEYANCES, SURFACE WATERS - OBSERVED CONDITION: SEDIMENT DEPOSITION, SEDIMENT DELTAS AN ACCUMULATION OF SEDIMENT MATERIAL, DEVICES APPEAR PLUGGED WITH SEDIMENT - REMOVE/CLAN OUT OF ACCUMULATED SEDIMENT AND DELTAS TO BE REMOVED WITHIN 7 DAYS, STABILIZE AS NEEDED IF SOILS ARE EXPOSED DURING REMOVAL/CLEAN OUT.
4. TEMPORARY SEDIMENT BASINS AND TRAPS/PERMANENT SEDIMENT BASINS - OBSERVED TO HAVE SEDIMENT DEPOSITION AND ACCUMULATION TO 1/2 OF THE STORAGE VOLUME - CLEAN OUT, REMOVE ACCUMULATED SEDIMENT WITHIN 7 DAYS OF OBSERVATION, OR AS FIELD CONDITIONS ALLOW ACCESS.
5. SITE ERIE LOCATIONS, ROCK EXPOSED, OTHER ANTI-TRACKING PRACTICES - OBSERVED TO HAVE ACCUMULATED SEDIMENT IN ROCK OR OTHER ANTI-TRACKING BMP, TRACKING OF SEDIMENT FROM THE SITE ONTO PAVED SURFACES - TOP DRESS ROCK, MAINTAIN ROCK EXPOSED OR OTHER ANTI-TRACKING CONTROL, SCRAP PAVED SURFACES, SWEEP PAVED SURFACES WITHIN 1 CALENDAR DAY OF DISCOVERY.
6. PAVED SURFACES AND ADJACENT STREETS - OBSERVED TO BE TRACKED WITH SEDIMENT AND SOIL MATERIAL FROM THE SITE HANDING OR ACCESS - SWEEP WITHIN 1 CALENDAR DAY OF DISCOVERY, ADDITIONAL AND/OR MORE FREQUENT SWEEPING MAY BE NEEDED TO MAINTAIN PUBLIC SAFETY.
- OR PREVENT WASHING FROM FORECASTED RAINS.
7. STREET SWEEPING IS REQUIRED ON TIME PER WEEK AND AFTER RAINFALL OR MORE FREQUENTLY IF DIRECTED BY CITY ENGINEER.

TERMINATION OF COVERAGE

- THE PROJECT PERMIT MAY BE TERMINATED IN ONE OF THE FOLLOWING SCENARIOS:
 - ALL CONSTRUCTION ACTIVITY IS COMPLETE, TEMPORARY SYNTHETIC BMP'S ARE REMOVED, ACCUMULATED SEDIMENT FROM CONSTRUCTION IS REMOVED, AND PERMANENT COVER HAS BEEN ACQUIRED WITH VEGETATIVE AND/OR NATIVE AND/OR NON-VEGETATIVE COVER. THE NOTICE OF TERMINATION FORM FROM THE MPCA SHOULD BE COMPLETED WITHIN 30 DAYS OF MEETING THE CONDITIONS ABOVE UPON MINIMUM OF THE POST MARKED DATE, THE PERMIT COVERAGE IS TERMINATED UNLESS OTHERWISE NOTIFIED BY THE MPCA OR
 - WITHIN 30 DAYS OF SELLING OR OTHERWISE LEGALLY TRANSFERRING OWNERSHIP OF THE SITE, THE ENTIRETY (INCLUDING STREET SWEEPING AND STORMWATER INFRASTRUCTURE) FROM THE ORIGINAL OWNER TO ANOTHER PARTY TAKING RESPONSIBILITY OF OWNERSHIP. THE TERMINATION IS EFFECTIVE UPON MIDDAY OF THE SUBMISSION DATE OF THE NOI. IF A PORTION OF THE SITE IS MANAGED BY (IE. OUT-OF-STATE/BLOCKS) THAT PORTION OF THE SITE IS TERMINATED FROM THE ORIGINAL PERMIT COVERAGE AT MIDDAY OF THE SUBMISSION DATE.
 - PERMIT COVERAGE CAN BE TERMINATED IF ALL OF THE FOLLOWING ARE MET:
 - CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED, AND
 - AT LEAST 90% OF THE AREA OF THE ORIGINALLY PROPOSED ACTIVITY HAS BEEN COMPLETED AND PERMANENTLY ESTABLISHED WITH VEGETATION OR NON-VEGETATIVE COVER, AND
 - WHEN CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED, AND
 - THE SITE IS COMPLIANT WITH PERMIT SECTIONS 13.3 THROUGH 13.7.
 - WHERE THE PROJECT OBTAINED PERMIT COVERAGE BUT NEVER STARTED CONSTRUCTION ACTIVITY DUE TO CANCELLATION OR OTHER REASONS, DOCUMENTATION SHOULD BE SENT TO THE MPCA WITH THE NOI FORM AND IS SUBJECT TO MPCA APPROVAL.

SWPPP BMP QUANTITIES

| | | | |
|----------------------------|---------|----------------------------|---------|
| SILT FENCE | XXXX FT | SOIL | XXXX SF |
| BIO-ROLL | XX LF | EROSION CONTROL BASKET | XXXX SF |
| INLET PROTECTION | X EACH | ROCK CONSTRUCTION ENTRANCE | 1 EACH |
| CURVEY/LES PROTECTION | X EACH | STREET SWEEPING | 1 EACH |
| TEMPORARY SEED MIX (22-10) | XXXX SF | | |
| PERMANENT SEED MIX | XXXX SF | | |

NORTH SHORE DEVELOPMENT PARTNERS

MAPLE & MAIN MAPLE PLAIN, MINNESOTA

235 LAKE ST. E #300 WAZATA, MN

Client:

Project Title:

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed professional Engineer under the State of Minnesota.

Peter S. Moreau, PE
 Date: XX/XX/XX Lic. No.: 53735

| Rev. | Date | Description |
|------|------------|----------------|
| 1 | 10/12/2025 | PRELIMINARY |
| 2 | 1/23/2026 | CITY SUBMITTAL |

Project # 25-117
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 Checked by: JM
 Issue Date: 10/17/2025
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SWPPP NARRATIVE

 C7.0

LISTED BELOW ARE ADDITIONAL BMPs THAT MAY BE CONSIDERED FOR USE IF THE BMPs IDENTIFIED IN THE EROSION CONTROL PLANS PROVE TO BE INSUFFICIENT. PAYMENT FOR THESE BMPs MAY ONLY BE MADE IF PRIOR APPROVAL FROM AN OWNER HAS BEEN GIVEN.

1. IMPORTANT VEGETATION

- SAFETY FENCE OR A SIMILAR METHOD OF PROTECTION SHALL BE INSTALLED TO PROTECT IMPORTANT VEGETATION AND PROHIBIT VEHICULAR TRAFFIC.
- A SECONDARY SILT FENCE SHALL BE INSTALLED AT FIELD OFFICES, STORAGE EQUIPMENT (INCLUDING VEHICLE PARKING), CONSTRUCTION MATERIAL LOCATIONS, AND TOPSOIL OR FILL STOCKPILES INSTALLED WITHIN A 25-FOOT MINIMUM BUFFER OUTSIDE THE DRIP LINE OF TREES.

2. DITCH PROTECTION (TEMPORARY OR PERMANENT)

- THE LAST 200 FEET OF ANY DITCH CONNECTING TO A SURFACE WATER SHALL HAVE TEMPORARY OR PERMANENT STABILIZATION MEASURES IN PLACE WITHIN 24 HOURS OF DIRECT CONNECTION TO A SURFACE WATER. DITCHES MAY BE KEPT IN A SMOOTH, ROUGH GRADED CONDITION IN ORDER TO PROPERLY INSTALL EROSION CONTROL SEEDING, MULCH, MATS AND BLANKETS.
- STABILIZATION METHODS FOR DITCH BOTTOM WETTED PERIMETER MAY INCLUDE ONE OF THE FOLLOWING OR COMBINATIONS OF EROSION CONTROL BLANKET, MATS, RIP-RAP, BIO-ROLLS OR ROCK CHECK DAMS. THE METHOD CHOSEN WILL BE BASED ON AN ANALYSIS OF THE SLOPE AND VELOCITY OF THE RUNOFF. THESE ARE ADDITIONAL BMPs WHICH MAY BE CONSIDERED FOR USE IF THE BMPs IDENTIFIED IN THE EROSION CONTROL PLANS PROVE TO BE INSUFFICIENT. PAYMENT FOR THESE BMPs MAY ONLY BE MADE IF PRIOR APPROVAL FROM AN OWNER HAS BEEN GIVEN.
- WHERE DITCH GRADES EXCEED 5%, ROCK CHECK DAMS OR EQUIVALENT BMP SHALL BE INSTALLED CHECK DAMS TO BE SPACED SO THAT THE CREST OF THE DOWNSTREAM DAM IS AT THE ELEVATION OF THE TOE OF THE UPSTREAM DAM. TEMPORARY EROSION CONTROL DEVICES REQUIRED DUE TO CONTRACTORS METHOD OF SEQUENCING THEIR CONSTRUCTION WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- ABOVE THE WETTED PERIMETER, THE DITCH WILL BE STABILIZED BY SEEDING AND MULCH AND/OR EROSION CONTROL BLANKETS DEPENDING ON SLOPE STEEPNESS AND LENGTH.
- ALL DITCHES WILL BE STABILIZED WITHIN 14 DAYS.

3. WORK NEXT TO WETLANDS

- PRESERVE A 100' FROM SPECIAL WATERS' NATURAL BUFFER, OR IF A BUFFER IS INFEASIBLE, PROVIDE REDUNDANT SEDIMENT CONTROLS PRIOR TO DISTURBANCE OF UP-GRADIENT AREAS.
- FILL SLOPES ADJACENT TO WETLANDS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF COMPLETION OF WORK. INSTALL EROSION CONTROL BLANKET AS INDICATED ON THE EROSION CONTROL / GRADING PLAN.

4. LONG-STEEP CUT/ HILL SLOPES

- THERE WILL BE NO UNBROKEN SURFACE SLOPE LENGTHS OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 3:1 OR STEEPER WITHIN 200 FEET OF SURFACE WATERS. ALL EXPOSED AREAS WITH A CONTINUOUS POSITIVE SLOPE WITHIN 200 FEET OF A SURFACE WATER WILL HAVE A TEMPORARY OR PERMANENT COVER YEAR ROUND. THE EXPOSED SOILS SHALL BE STABILIZED WITHIN 14 DAYS.
- PLANNED SLOPES OF 3:1 (H:V) OR STEEPER AND GREATER THAN 75 FT IN LENGTH WILL BE TEMPORARILY OR PERMANENTLY STABILIZED IN INCREMENTS NOT TO EXCEED 75 FT, PRIOR TO CONSTRUCTION OR DISTURBING A NEW INCREMENT.
- LONG SLOPES SHOULD BE BROKEN INTO SHORTER LENGTHS BY INSTALLING STRAW BIOROLLS IN INTERLOCKING HERRINGBONES AS SHOWN ON THE GRADING PLAN. IF TEMPORARY SEEDING AND MULCH CAN NOT BE USED ON SLOPES STEEPER THAN 3:1, THEN THE SLOPE MAY BE COVERED WITH TARPS OR PLASTIC SHEETING. TEMPORARY EROSION CONTROL DEVICES REQUIRED DUE TO CONTRACTORS METHOD OF SEQUENCING THEIR CONSTRUCTION WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- THE SOIL SURFACE ON RE-VEGETATED SLOPES WILL BE ROUGHENED USING ANY APPROPRIATE IMPLEMENT THAT CAN BE SAFELY OPERATED ON THE SLOPE, SUCH AS BULLDOZERS OR DISKS. THE GROOVES SHALL BE CREATED PERPENDICULAR TO THE SLOPE TO HELP ESTABLISH VEGETATIVE COVER, REDUCE RUNOFF VELOCITY, INCREASE INFILTRATION, AND PROVIDE FOR SEDIMENT TRAPPING.

5. CULVERT INLET/OUTLET PROTECTION

- SOD MAY BE PLACED AND ANCHORED AT CULVERT INLETS AS SHOWN ON THE GRADING PLAN, UNLESS VELOCITIES REQUIRE RIPRAP.
- AT LEAST ONE 2-FOOT WIDE STRIP OF SOD OR FIBER BLANKET SHALL BE PLACED ALONG THE EDGES OF CULVERT HEADWALLS AND WINGWALLS AS SHOWN ON THE GRADING AND/OR UTILITY PLANS.
- RIPRAP AT PIPE APRON OUTLETS WILL BE PLACED PRIOR TO BUT NO SOONER THAN 7 DAYS BEFORE APRON IS INSTALLED. RIPRAP SHALL BE INSTALLED UNDER APRON IF ACCORDING TO THE STANDARD DETAIL.

6. STORM SEWER INLET PROTECTION

- STORM DRAIN INLETS SHALL BE PROTECTED UNTIL THE DISTURBED AREAS THAT COULD DISCHARGE TO AN INLET HAVE BEEN STABILIZED.
- IMPASSIBLE SEDIMENT CONTROL BARRIERS OR APPROVED EQUAL SHALL BE USED WHEN CASTINGS ARE NOT IN PLACE AS INDICATED ON THE UTILITY PLAN AND AS APPROVED BY THE OWNER.
- IMPASSIBLE DEBRIS COLLECTION DEVICE OR APPROVED EQUIVALENT SHALL BE USED WHEN CASTINGS ARE IN PLACE AS INDICATED ON THE UTILITY PLAN AND AS APPROVED BY THE OWNER.
- DOCUMENTATION IS NEEDED WITHIN 72 HOURS IF REMOVAL OF PROTECTION BMPs IS NEEDED DUE TO WINTER CONDITIONS OR FLOODING CONCERNS.

7. STORM WATER POND OUTLETS

- TEMPORARY OR PERMANENT ENERGY DISSIPATION MEASURES SHALL BE IN PLACE AT THE STORM WATER POND OUTLETS WITHIN 24 HOURS OF DIRECT CONNECTION TO A SURFACE WATER.
- RIPRAP AT PIPE APRON OUTLETS WILL BE PLACED PRIOR TO APRON INSTALLATION AND SHALL BE INSTALLED UNDER THE APRON IF.
- POND EMERGENCY SPILLWAYS SHALL BE USED BASED ON THE DESIGN DISCHARGE FLOW VELOCITY AND AS INDICATED ON GRADING AND/OR UTILITY PLANS.

8. TEMPORARY SEDIMENT BASINS

- TEMPORARY SEDIMENT BASINS WILL BE PROVIDED WHERE TO OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION. THE BASIN SIZE IS BASED ON RUNOFF FROM A 2-YEAR, 24 HOUR STORM FOR EACH ACRE DRAINED TO THE BASIN. AT A MINIMUM, THE BASIN WILL PROVIDE 1800 CUBIC FEET OF STORAGE FOR EACH ACRE DRAINED TO THE BASIN.
- SEDIMENT BASINS WILL DETRAIN WATER LONG ENOUGH TO SETTLE OUT AT LEAST 75 PERCENT OF THE SEDIMENT. THE USE OF FLOCS MAY BE NECESSARY. THE DISCHARGE QUALITY SHALL BE EQUAL TO OR BETTER THAN THE RECEIVING WATER. THE TEMPORARY BASIN MAY BE DRAIN DOWN WITH A PUMP TO INCREASE CAPACITY FOR THE NEXT RAIN EVENT. TEMPORARY EROSION CONTROL DEVICES REQUIRED DUE TO CONTRACTORS METHOD OF SEQUENCING THEIR CONSTRUCTION WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- THE SEDIMENT PONDS WILL BE EXCAVATED TO MAINTAIN THE NECESSARY SEDIMENT CAPACITY AND CONTAINMENT.
- TEMPORARY SEDIMENT FOREBAYS WILL BE CONSTRUCTED TO CAPTURE SEDIMENT BEFORE IT ENTERS THE POND, IF NECESSARY.
- THE SEDIMENT PONDS WILL BE MONITORED BY THE CONTRACTOR TO DETERMINE THE SEDIMENT LEVEL IN THE POND.

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- WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE TEMPORARY BASIN REACHES ½ FULL (50% OF THE STORAGE VOLUME) THE BASIN SHALL BE DRAINED USING PUMPS AND ENERGY DISSIPATION AND SEDIMENT REMOVAL SHALL BE COMPLETED WITHIN 72 HOURS OF DISCOVERY OF THE BASIN BEING 1/2 FULL OF SEDIMENT, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS. TEMPORARY EROSION CONTROL DEVICES REQUIRED DUE TO CONTRACTORS METHOD OF SEQUENCING THEIR CONSTRUCTION WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- TEMPORARY SEDIMENT BASINS WILL HAVE A STABILIZED EMERGENCY OVERFLOW AND CONTAIN ENERGY DISSIPATION AT BASIN OUTLET.

9. DEEP UTILITIES: WATER AND SANITARY/GAS LINE

- SILT FENCE OR A SIMILAR TYPE OF PERIMETER CONTROL SHALL BE PLACED DOWN GRADIENT OF THE EXCAVATED SOIL IF WORK IS DONE WITHIN 200 FEET OF WETLANDS OR STREAMS.
- DISTURBANCE OF CHANNEL BANKS, WETLANDS, AND IMPORTANT VEGETATION AREAS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE.
- THE UTILITY CONSTRUCTION SITE SHALL BE SEEDDED WITH A TEMPORARY
- SEED MIX AND MULCH AFTER INSTALLATION IF THE SITE WILL BE IDLE FOR 7, 14, OR 21 DAYS DEPENDING UPON SLOPES OF STEEPER THAN 3:1, 3:1 TO 10:1 AND FLATTER THAN 10:1 RESPECTIVELY.

10. STOCKPILES (TEMPORARY AND PERMANENT)

- LOCATE STOCKPILES A MINIMUM OF 100 FEET FROM CATCH BASIN INLETS, PONDS, AND SITE DRAINAGE ROUTES PERIMETER CONTROLS SUCH AS SILT FENCE SHALL BE INSTALLED AROUND ALL STOCKPILES IF NOT PLACED WITHIN EXISTING SILT FENCES OR OTHER SEDIMENT CONTROL.
- TEMPORARY SEED AND MULCH SHALL BE USED TO STABILIZE THE STOCKPILES AND THE STOCKPILES SHALL BE SHARED TO FACILITATE SEEDING AND MINIMIZE EROSION AND SHALL BE SEEDDED WITHIN 7 DAYS. TEMPORARY EROSION CONTROL DEVICES REQUIRED DUE TO CONTRACTORS METHOD OF SEQUENCING THEIR CONSTRUCTION WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- IF TEMPORARY SEED AND MULCH CANNOT BE USED, THEN THE STOCKPILES SHALL BE COVERED WITH HYDROMULCH, TARPS OR PLASTIC SHEETING AS APPROVED BY THE OWNER.
- STOCKPILES MUST BE PLACED WITHIN A CONVEYANCE A TEMPORARY BYPASS SHALL BE INSTALLED (I.E. PVC PIPE) TO ADEQUATELY CONVEY RUNOFF. TEMPORARY BYPASS BMPs SHALL BE INCIDENTAL TO THE CONTRACT UNLESS PREVIOUSLY APPROVED BY THE OWNER / ENGINEER

11. CONSTRUCTION DEWATERING

- DURING DEWATERING ACTIVITIES, THE SEDIMENT LADEN WATER CANNOT BE DIRECTLY DISCHARGED TO SURFACE WATERS. OPTIONS FOR REDUCING THE TURBIDITY OF THE WATER INCLUDE:
 - (TEMPORARY EROSION CONTROL DEVICES REQUIRED DUE TO CONTRACTORS METHOD OF SEQUENCING THEIR CONSTRUCTION WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT):
 - CONSTRUCT A TEMPORARY SEDIMENT TRAP FOR TURBID WATER DISCHARGE.
 - USE A PORTABLE SEDIMENT TRAP SYSTEM.
 - APPLY NATURAL BASED FLOCCULANT TECHNOLOGY SUCH AS CHITOSAN IN SEDIMENT TRAPS OR A SERIES OF DITCH CHECK DAMS.
 - DISCHARGE THROUGH FIBERLOSS OR A ROCK WEEPER INTO A LARGE VEGETATIVE BUFFER AREA.
 - PUMP TO A TEMPORARY SEDIMENT BASIN.
 - ENERGY DISSIPATION WILL BE PROVIDED AT ALL DISCHARGE POINTS.
 - DEWATERING OR BASIN DRAINING ACTIVITIES WILL NOT CAUSE EROSION IN RECEIVING CHANNELS OR ADVERSELY IMPACT WETLANDS.
- ALL EROSION CONTROL OR SEDIMENT TRAPS REQUIRED FOR CONSTRUCTION DEWATERING SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION ACTIVITY REQUIRING DEWATERING.

12. CONSTRUCTION ENTRANCES

- A TEMPORARY CRUSHED ROCK OR WOOD CHIP PAD SHALL BE LOCATED WHERE VEHICLES LEAVE THE CONSTRUCTION SITE.
- THE CONSTRUCTION ENTRANCE PAD SHALL BE AT LEAST 50 FEET IN LENGTH.
- GEOTEXTILE FABRIC MAY BE PLACED UNDER THE CRUSHED ROCK OR WOOD CHIPS TO PREVENT MIGRATION OF MUD FROM UNDERLYING SOIL INTO THE CONSTRUCTION ENTRANCE MATERIAL.
- ROCK PADS SHALL BE CONSTRUCTED OF ROCK 1 TO 3 INCHES IN SIZE AND PLACED IN 6 INCH LAYERS.
- CONSTRUCTION ENTRANCES SHALL BE INSPECTED AT LEAST EVERY 7 DAYS AND MAINTAINED AS NEEDED.
- TRACKED SEDIMENTS SHALL BE REMOVED FROM PAVED SURFACES AT THE END OF EACH DAY USING PICK-UP TYPE STREET SWEEPER.
- IF TRACKING INTO ROADWAY BECOMES PROBLEMATIC THE ENTRANCE PADS SHALL BE LENGTHENED OR ANOTHER TECHNIQUE APPLIED. TEMPORARY EROSION CONTROL DEVICES REQUIRED DUE TO CONTRACTORS METHOD OF SEQUENCING THEIR CONSTRUCTION WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- THE CONSTRUCTION ENTRANCE SHALL BE MONITORED CLOSELY DURING WET CONDITIONS. IF TRACKING INTO ADJACENT ROADWAYS OCCURS, THE FREQUENCY OF STREET SWEEPING SHALL BE INCREASED.

13. CONCRETE TRUCK WASHOUT

- CONCRETE TRUCKS SHALL UTILIZE THE CONCRETE WASHOUT AREA SHOWN ON THE PLANS TO WASH AND RINSE THEIR EQUIPMENT PRIOR TO LEAVING THE SITE.
- WASHOUT OF CONCRETE MIXER TRUCKS WILL BE PERFORMED IN THE DESIGNATED AREAS ONLY.
- WASHOUTS WILL BE CONSTRUCTED AND MAINTAINED TO PROVIDE SUFFICIENT CONTAINMENT FOR ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
- WASHOUTS SHALL BE CLEARLY MARKED ON SITE WITH SIGNAGE BY THE UTILITY CONTRACTOR WITH APPROVAL FROM OWNER.
- WASHOUTS SHALL BE LOCATED A MINIMUM OF 50 FEET FROM DRAINAGE FACILITIES AND WATERCOURSES.
- CONCRETE WASHOUT AREAS WILL HAVE AN IMPERMEABLE LINER TO PREVENT CONCRETE WASHOUT WATER FROM INFILTRATING/CONTACTING WITH SOIL.
- IMPERMEABLE LINERS INCLUDES TO ALL POLYMER OR COMPACTED CLAY LINER.
- WASHOUT SYSTEMS CAN BE USED AS ALTERNATE WASHOUT AREAS.

14. VEHICLE MAINTENANCE

- ROUTINE MAINTENANCE OF VEHICLES AND EQUIPMENT SHALL OCCUR IN STAGING AREAS ONLY.
- VEHICLE WASHING SHOULD BE AVOIDED. IF WASHING IS NECESSARY, RUNOFF FROM THE WASHING WILL BE CONTAINED AND LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF.
- ENGINE DEGREASING SHALL BE AVOIDED. IF DEGREASING IS NECESSARY, RUNOFF FROM THE OPERATION WILL BE CONTAINED IN A LINED SEDIMENT TRAP AND PROPERLY DISPOSED OF AT A TREATMENT FACILITY.
- ALL REQUIRED SEDIMENT TRAPS AND CONTAINMENT FACILITIES AND PROPER DISPOSAL OF WASH WATER/DEGREASING AT A TREATMENT FACILITY SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.

15. FUELING

- ANY FUEL TANK OR TRUCK STORED ON THE PROJECT SITE SHALL BE PROTECTED BY A SECONDARY CONTAINMENT SYSTEM.
- FUELING AREAS SHALL NOT BE WASHED OR RINSED WITH WATER SINCE THIS COULD CAUSE FUEL SPILLS TO BE DISCHARGED INTO STORM DRAINAGE SYSTEMS.
- ABSORBENT MATERIALS SHALL BE AVAILABLE ON SITE FOR USE IN CLEANING UP SMALL SPILLS.
- ALL REQUIRED FUEL CONTAINMENT AND CLEAN-UP MATERIALS AND THE PROPER DISPOSAL OF THE MATERIALS SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.

16. HAZARDOUS MATERIALS

- HAZARDOUS MATERIALS SHALL BE PROPERLY STORED TO PREVENT VANDALISM OR UNAUTHORIZED ACCESS.
- CONTAINMENT UNITS SHALL BE INSTALLED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- IF STORING AND DISPOSAL IN QUORRENTS SHALL BE FOLLOWED FOR ALL HAZARDOUS WASTE.
- NO HAZARDOUS MATERIAL SHOULD BE STORED WITHIN 200 FEET OF AN IDENTIFIED CRITICAL AREA.
- ABSORBENT MATERIALS SHALL BE AVAILABLE FROM THE CONTRACTOR ON SITE FOR USE IN CLEANING UP SMALL SPILLS.
- IF BUILDING MATERIALS, CHEMICALS, OR GENERAL REFUSE IS BEING USED, STORED, DISPOSED OF, OR OTHERWISE MANAGED INAPPROPRIATELY, THE CONTRACTOR SHALL CORRECT SUCH DEFECTS WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.
- ALL REQUIRED CONTAINMENT / STORAGE UNITS / ABSORBENT MATERIAL AND REQUIRED DISPOSAL SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.

17. CHEMICAL CONTAINMENT

- GASOLINE, OIL, PAINT, SOLVENTS, AND OTHER CHEMICALS NECESSARY FOR CONSTRUCTION ARE NOT ALLOWED TO CONTACT THE GROUND SURFACE. BE EXPOSED TO GROUNDWATER OR BE RELEASED TO A SURFACE OR GROUNDWATER EXCEPT IN DE MINIMIS QUANTITIES.
- ALL PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINER, WITH ORIGINAL LABELS STILL ATTACHED, UNLESS THE CONTAINER IS NOT REUSABLE.
- HAZARDOUS MATERIALS SHALL BE RETURNED TO THE HAZARDOUS MATERIAL STORAGE AREA AT THE END OF EACH DAY.
- AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCTS TO DO THE REQUIRED JOB.
- THE CONTRACTOR SHALL PROVIDE TANKS OR BARRELS TO COLLECT LIQUID BYPRODUCTS THAT POSE A POLLUTION HAZARD.
- THE POLLUTANTS SHALL BE REMOVED FROM THE SITE ON A WEEKLY BASIS AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY, IN ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDED METHODS.
- ALL REQUIRED CONTAINMENT / STORAGE UNITS / ABSORBENT MATERIAL AND REQUIRED DISPOSAL SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.
- ALL STORAGE AREAS SHALL BE SECURED TO PREVENT UNAUTHORIZED ACCESS.

18. SOLID WASTE

- SOLID WASTE SHALL BE STORED IN APPROPRIATE CONTAINERS AND PROPERLY DISPOSED OF ON A REGULAR BASIS.
- CONTAINERS SHALL BE COVERED TO PREVENT WIND BLOWING THE WASTE AROUND THE SITE.
- MPCA DISPOSAL REQUIREMENTS WILL BE FOLLOWED FOR ALL SOLID WASTE.
- SOLID WASTE STORED IN CONTAINERS AND PROPER DISPOSAL SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION CONTRACT.

19. DUST CONTROL

- THE CONTRACTOR SHALL USE A VARIETY OF DUST CONTROL INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - RAPID STABILIZATION METHODS ON SLOPES.
 - WATER ON ROADWAYS AND GRADED AREAS.
 - ALTERNATIVES IN THE FORM OF VEGETABLE POLYMERS, WATER AND CALCIUM CHLORIDE PETROLEUM EMULSION RESINS, OR ACRYLIC COPOLYMERS MAY ALSO BE USED.
- ALL REQUIRED DUST CONTROL SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT AS PER SPECIFICATIONS.

20. WINTER STABILIZATION

- COVER EXPOSED SOILS ON OR AROUND NOV. 15TH AND/OR PRIOR TO TERMINATION OF CONSTRUCTION ACTIVITIES FOR WINTER.
- ALL EXPOSED SOILS TO BE COVERED WITH 2 TONS TYPE 1 MURCH.
- ALL EXPOSED SOILS TO BE SEEDDED WITH MNDOT SEED MIX 150.
- ALL LOW POINTS IN ROADS TO BE ADEQUATELY DRAINED IN ACCORDANCE WITH MPDES DEWATERING REQUIREMENTS PART IV. CONSTRUCTION ACTIVITY REQUIREMENTS, SECTION D. DEWATERING AND BASIN DRAINING.
- PERIMETER SILT FENCE OR OTHER CONTROLS TO BE INSTALLED 3-5 FEET FROM THE BACK OF THE CURB AND OUT OF THE PLOWED SNOW AREA.
- PERIMETER CONTROLS AROUND PERMANENT STORMWATER BASINS TO BE INSTALLED AND MAINTAINED.
- INLET CONTROLS TO BE REMOVED ACCORDING TO LEGAL REQUIREMENTS WITH DOCUMENTATION WITHIN 72 HOURS FROM LEGAL AUTHORITY.
- IF WORK HAS OCCURRED NEAR OR IN STREAMS OR OTHER SURFACE WATERS, THE EXPOSED SOILS SHALL BE STABILIZED TO PROTECT AGAINST FLOODING AND SPRING RUNOFF TO THE 100-YR FLOOD ELEVATION.
- ALL TEMPORARY AND PERMANENT STORMWATER BASINS AND SEDIMENT BASINS SHOULD HAVE OUTLETS AND STABILIZED EMERGENCY OVERFLOWS INSTALLED AS PER THE GRADING AND/OR UTILITY PLAN AND AT THE APPROVAL OF THE OWNER.

21. NON-STORMWATER DEWATERING

- HYDRANT FLUSHING. FLUSHINGS OF HYDRANTS WILL BE DISCHARGED
- THROUGH TEMPORARY PIPES AS NECESSARY, ONTO IMPERVIOUS SURFACES OR TO STABILIZED AREAS WITH ENERGY DISSIPATION AT THE DISCHARGE POINT. THE DISCHARGE SHOULD BE COLLECTED BY THE STORM WATER BASIN AND STORM SEWER SYSTEM.
- POTABLE WATER DISCHARGE: ALL WATER LINES WILL BE FLUSHED USING HOSES AND DISCHARGED ONTO AN IMPERVIOUS SURFACE AND DIRECTED TO THE STORM SEWER INFRASTRUCTURE BY NON-DROPSIE MEANS.

22. WORK NEAR OR IN IMPAIRED WATERS

- EXPOSED SOILS MUST BE STABILIZED WITHIN 7 DAYS OF ACTIVITY TEMPORARILY OR PERMANENTLY CEASED.
- TEMPORARY SEDIMENT BASIN NEEDED WITHIN AREAS 5 ACRE DISTURBANCE WITH COMMON POINT OF DISCHARGE.
- IF WORK IS IN AN SPECIAL WATERS REFER TO APPENDIX A OF THE NPDES PERMIT FOR ADDITIONAL NOTES AND REQUIREMENTS.
- NO UNTREATED DEWATERING WILL TAKE PLACE AND DISCHARGE TO IMPAIRED WATERS.
- SEE PERMIT FOR ADDITIONAL NOTES AND REQUIREMENTS.

23. INFILTRATION/FILTRATION AREAS

- FENCE OFF AREA PRIOR TO BEGINNING CONSTRUCTION.
- EXCAVATION AREA SHALL TAKE PLACE AFTER CONTRIBUTING AREAS ARE AT FINAL GRADE AND STABILIZED.
- DO NOT USE HEAVY/WHEELED EQUIPMENT IN FILTRATION AREA.
- DIVERSIONS, REDUNDANT SEDIMENT AND EROSION CONTROLS MUST BE USED TO PROTECT AREA.
- ENSURE 8 FT MAINTENANCE ACCESS IS ADEQUATE FOR AREA.
- IF GRADING MUST OCCUR IN FILTRATION AREA, LEAVE GRADE 3 FT HIGH TEMPORARILY UNTIL AREA CAN BE FINAL GRADED AND STABILIZED.

measure

NORTH SHORE DEVELOPMENT PARTNERS

235 LAKE ST. E #300
WAZATA, MN

Client:

MAPLE & MAIN
MAPLE PLAIN, MINNESOTA

Project #:

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Project Location: Maple Plain, MN
Estate, XXX-XXX-XX Lic. No.: 53735

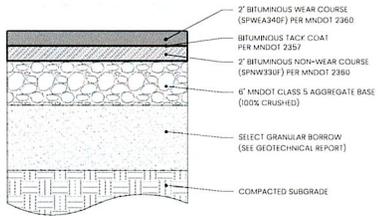
Rev. Date Description
10/17/2020 HML/ERW/MSA
1/23/2026 CITY RESUBMITTAL

Project # 25-117
Drawn by HML
Checked by JH
Issue Date 04/14/2025
Sheet Title

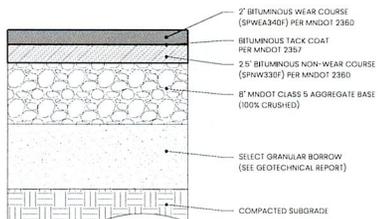
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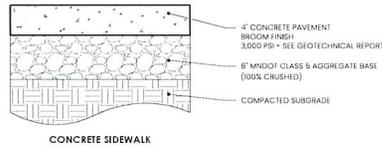
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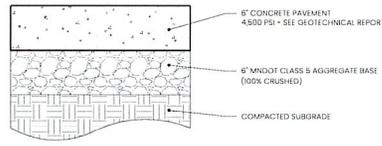
LIGHT DUTY BITUMINOUS PAVEMENT



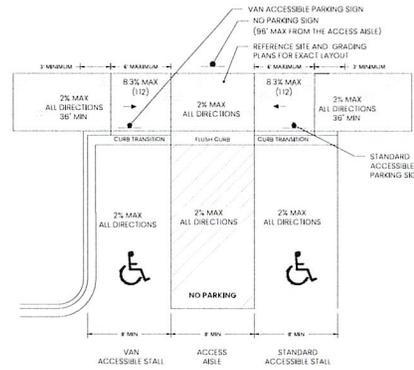
HEAVY DUTY BITUMINOUS PAVEMENT



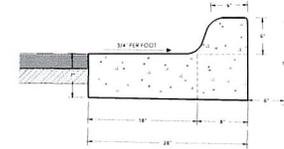
CONCRETE SIDEWALK



CONCRETE PAVEMENT



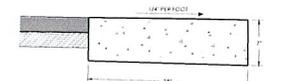
3 ACCESSIBLE PARKING STALLS
NOT TO SCALE



B618 - TIP IN GUTTER



B618 - TIP OUT GUTTER

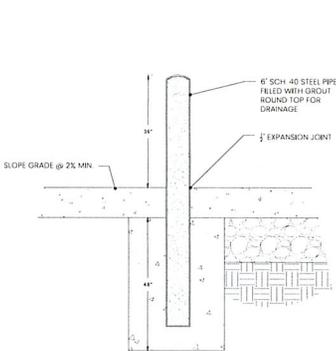


B618 - FLUSH CURB

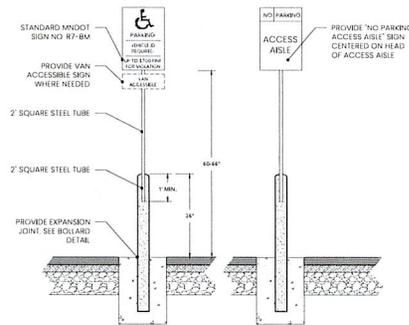
4 B618 CURB DETAILS
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1 BITUMINOUS PAVEMENT SECTIONS
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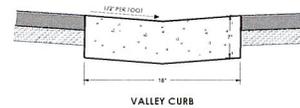
2 CONCRETE PAVEMENT SECTIONS
NOT TO SCALE



5 BOLLARD DETAIL - PAVEMENT ADJACENT
NOT TO SCALE



6 ACCESSIBLE SIGNAGE DETAIL
NOT TO SCALE



7 VALLEY CURB DETAIL
NOT TO SCALE

measure

NORTH SHORE
DEVELOPMENT PARTNERS
235 LAKE ST. E #300
WAYZATA, MN

MAPLE & MAIN
MAPLE PLAIN, MINNESOTA

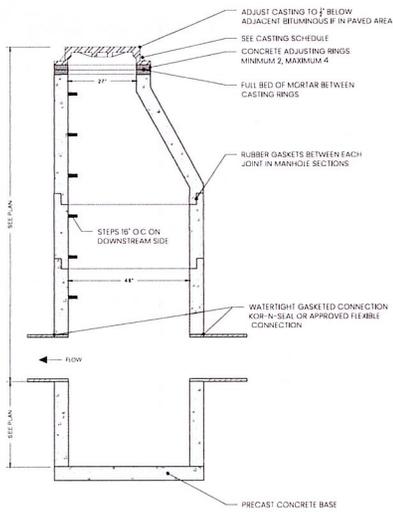
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Mordecai, PE
Date: XX-XXX-XX Lic. No: 53735

| Rev. | Date | Description |
|------|------------|------------------|
| 1 | 10/17/2025 | PRELIMINARY |
| 2 | 12/3/2025 | CITY RESUBMITTAL |
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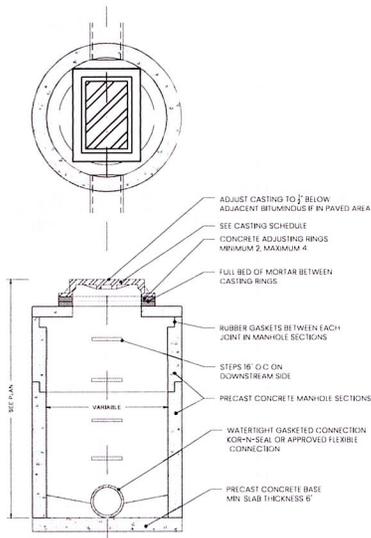
Project # 25-117
Drawn by JM
Checked by JM
Issue Date 10/17/2025
Sheet Title

CIVIL DETAILS - SITE DETAILS

Sheet
C8.0



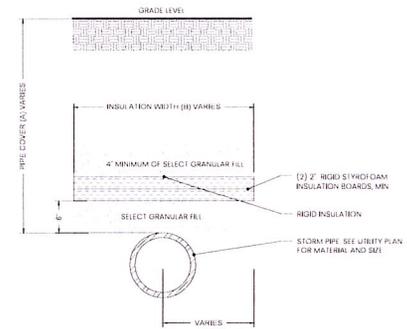
1 **CB.1** **STORM SEWER SUMP MANHOLE**
NOT TO SCALE



2 **CB.1** **CATCH BASIN MANHOLE**
NOT TO SCALE

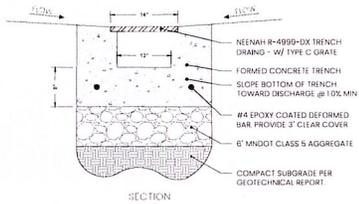
| MANHOLE CASTING SCHEDULE | | | |
|--------------------------|------|-----------|-------------------------|
| MH/ CB NAME | TYPE | CASTING | NOTES |
| CB- 101 | 48 | R-3067-V | 2' SUMP |
| CBMH - 102 | 48 | R-3067-V | |
| CB - 103 | 48 | R-3067-V | 2' SUMP |
| CB - 104 | 48 | R-3067-V | 2' SUMP |
| CB - 105 | 48 | R-3067-V | |
| TD-1 | 48 | R-4999-DX | SEE TRENCH DRAIN DETAIL |

3 **CB.1** **MANHOLE CASTING SCHEDULE**

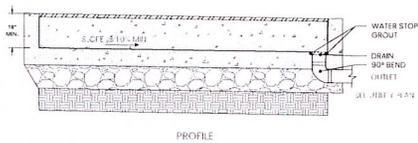


| PIPE COVER (A) | INSULATION BOARD WIDTH (B) |
|----------------|----------------------------|
| 2' | 11' |
| 3' | 9' |
| 4' | 7' |
| 5' | 5' |

4 **CB.1** **STORM SEWER INSULATION**
NOT TO SCALE



SECTION



PROFILE

5 **CB.1** **CONCRETE TRENCH DRAIN**
NOT TO SCALE

G:\Shared\Drawings\Active Projects\Maple Plain\CADD\Sheets\CIVIL DETAILS.dwg

measure

NORTH SHORE
DEVELOPMENT PARTNERS
235 LAKE ST. E #300
WATZATA, MN

MAPLE & MAIN
MAPLE PLAIN, MINNESOTA

Project: 206

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Not for Construction
Date: XXXXXX, H: No. 53725

| Rev. | Date | Description |
|------|------------|----------------|
| | 10.14.2025 | PRELIMINARY |
| | 1.23.2026 | CITY SUBMITTAL |

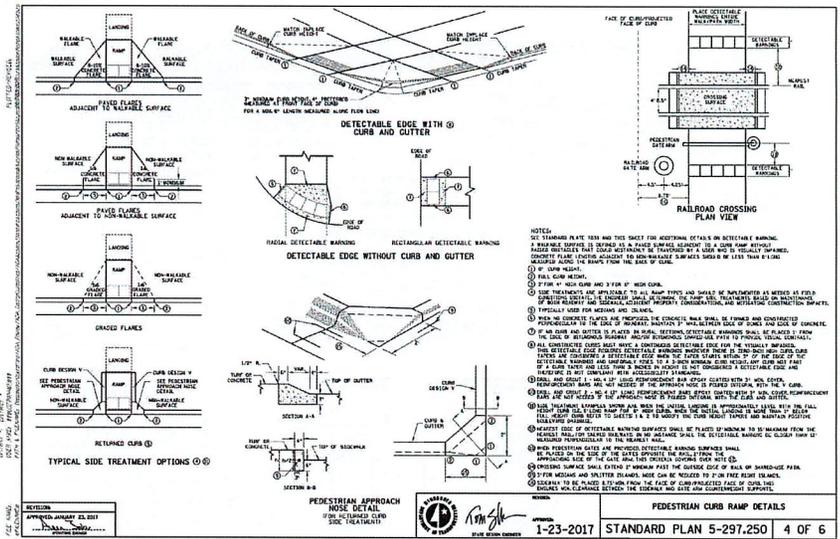
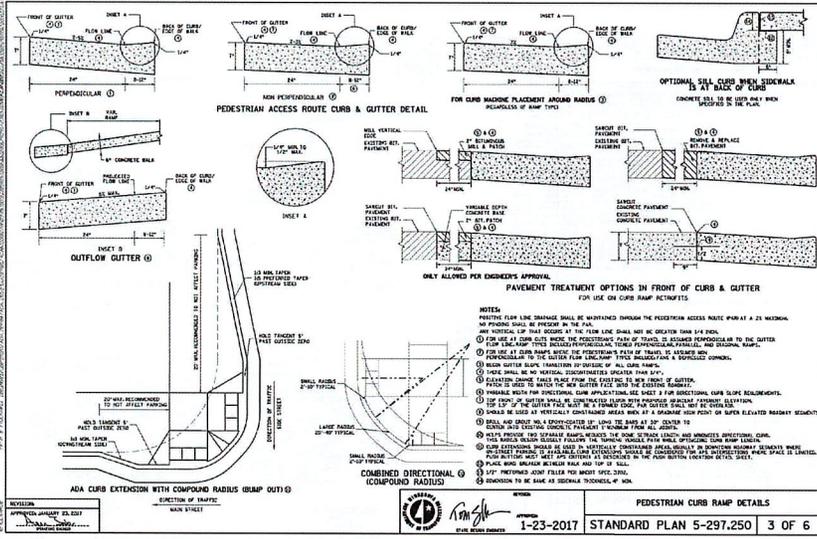
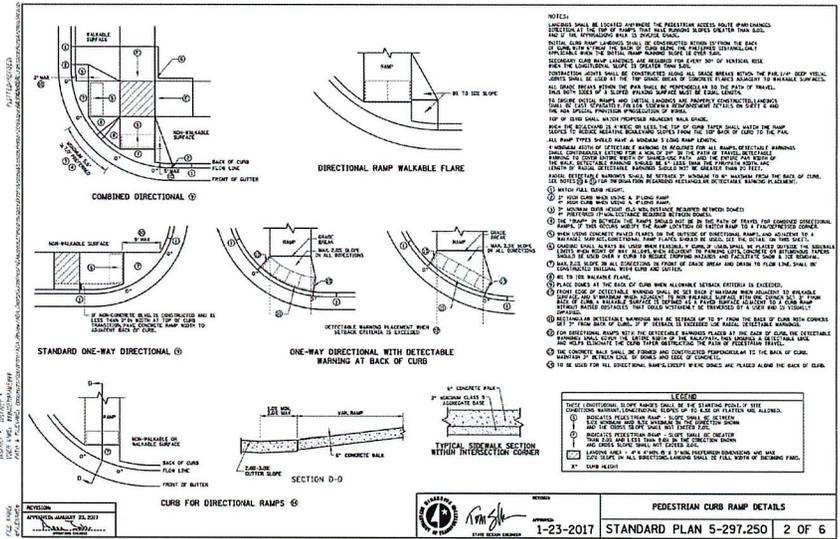
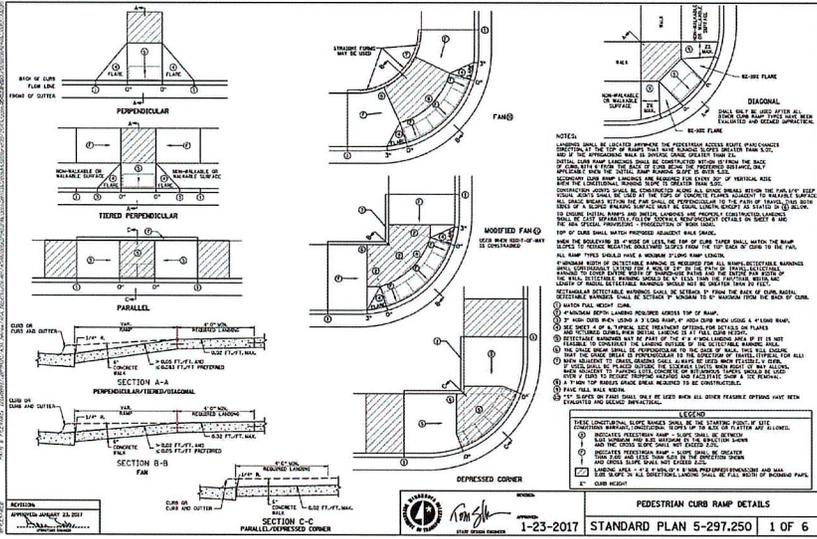
Project # 25-117
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Sheet Title

**CIVIL DETAILS -
UTILITY DETAILS**

Sheet

C8.1



1
C8.2

2
C8.2

3
C8.2

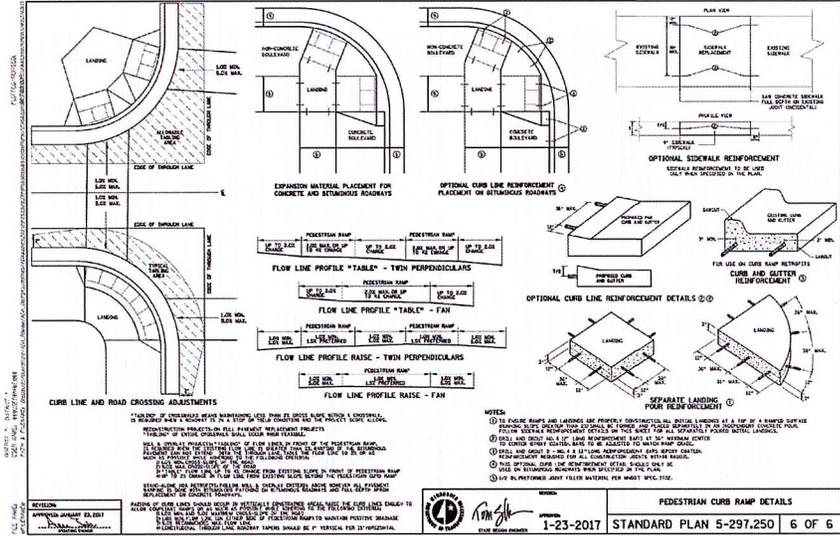
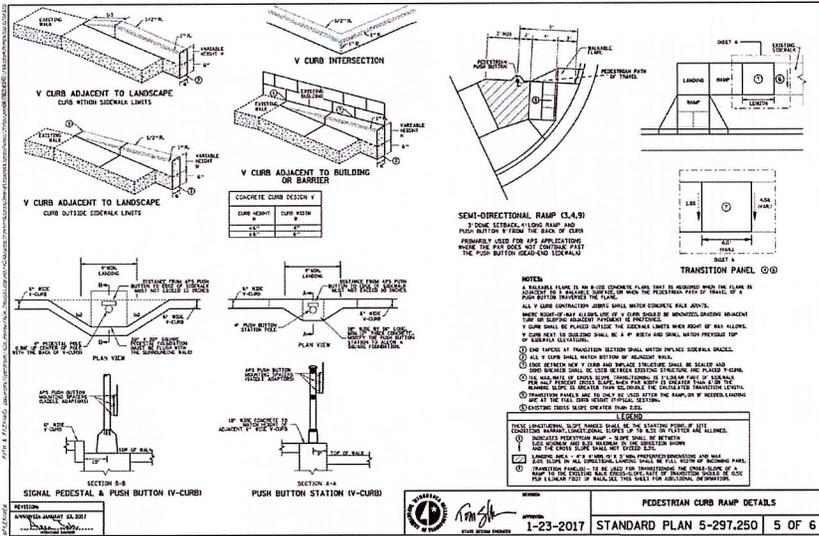
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C8.2

measure
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 235 LAKE ST. E #300
 WAYZATA, MN

NORTH SHORE
 DEVELOPMENT PARTNERS
 235 LAKE ST. E #300
 WAYZATA, MN

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 MAPLE PLAIN, MINNESOTA

Project No: 15-117
 Date: 10/17/2025
 Drawn By: JSM
 Checked By: JSM
 Issue Date: 10/17/2025
 Sheet Title: CIVIL DETAILS - ADA DETAILS
 Sheet No: 4



1
C8.3

2
C8.3

measure

NORTH SHORE DEVELOPMENT PARTNERS
 235 LAKE ST. E #300
 WAZATA, MN

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 MAPLE PLAIN, MINNESOTA

Project: 306

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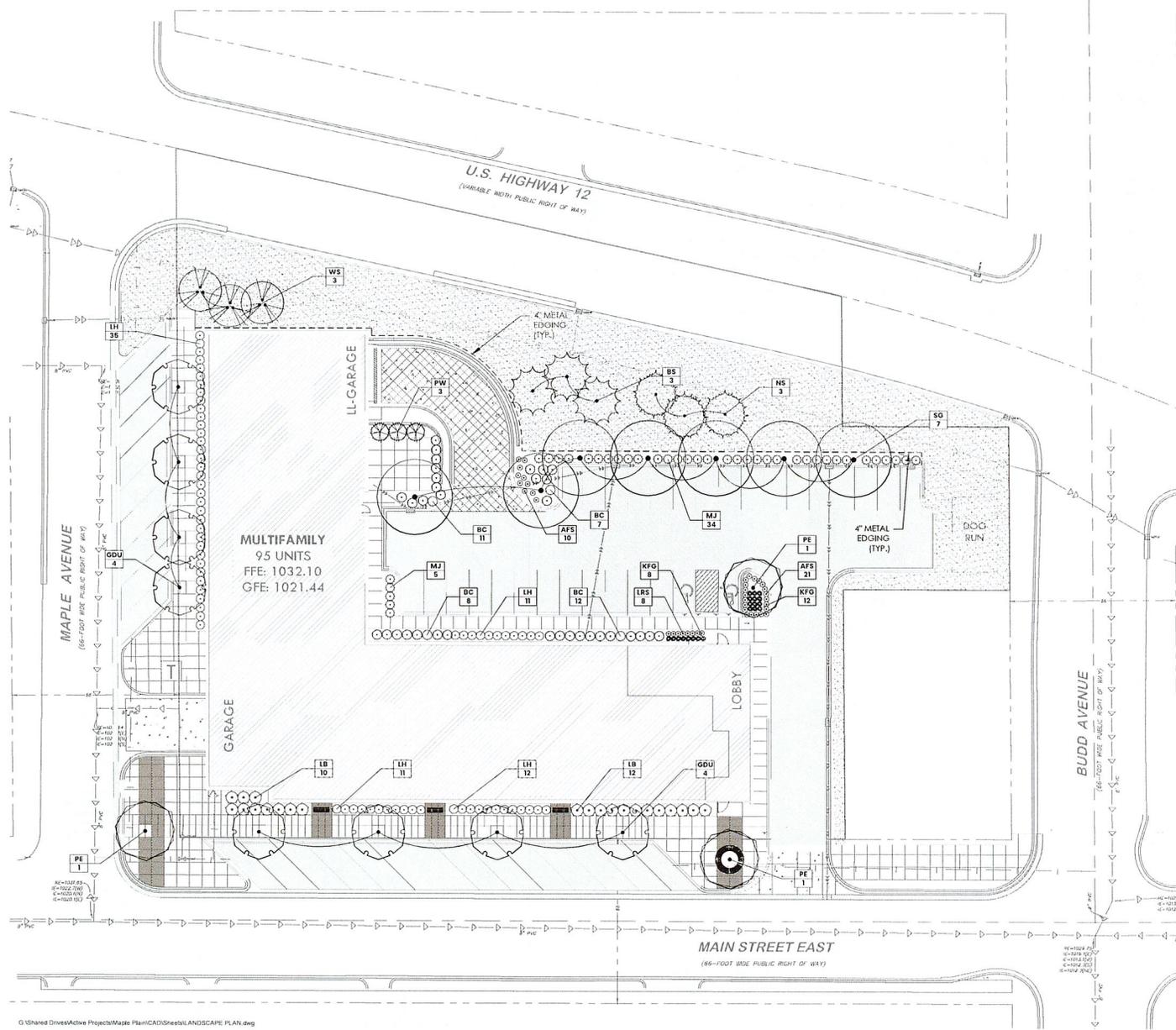
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 Date: XXXXXX 1st No. 03/35

| Rev. | Date | Description |
|------|------------|----------------------|
| 1 | 10.17.2025 | PHASE 1B ONLY |
| 2 | 1.23.2026 | CITY REVIEW COMMENTS |
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 Drawn By JM
 Checked By JM
 Issue Date 10/17/2025

Sheet Title
CIVIL DETAILS - ADA DETAILS - CONTINUED

Sheet
C8.3



LANDSCAPE REQUIREMENTS

- LANDSCAPING REQUIRED:**
- TREE PRESERVATION ORDINANCE:
 - 30% REMOVAL IS ALLOWED WITHOUT PENALTY
 - 50% OF SIGNIFICANT TREE DIAMETER IS REQUIRED TO BE REPLACED.

EXISTING SIGNIFICANT TREES

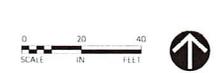
| | |
|--------------------------------------------|-------------|
| SPRUCE | 18" |
| MAPLE | 24" |
| CRAWAPPLE | 8" |
| BIRCH | 10" |
| HACKBERRY | 22" |
| MAPLE | 45" |
| BASSWOOD | 22" |
| TOTAL DIAMETER OF SIGNIFICANT TREES | 152" |
| TOTAL REPLACEMENT INCHES REQUIRED | 76" |
| TOTAL REPLACEMENT INCHES PROVIDED | 85" |

PLANT SCHEDULE

| SYMBOL | CODE | COMMON / BOTANICAL NAME | SIZE | TYPE | QTY |
|----------------------|------|--------------------------------------------------------------------|---------|--------|-----|
| TREES | | | | | |
| (Symbol) | PK | AMERICAN LINDAUS AMERICANA PINEFERT | 8.6.8 | 25'CAL | 3 |
| (Symbol) | SG | SERENA GEMMAPLE / ACER FRATERNUM BRUNNIGEN | 8.6.8 | 25'CAL | 7 |
| (Symbol) | GDU | TRIE NORTH AMERICAN CORNICE / QUERCUS LAEVIS LAMINIFOLIA | 8.6.8 | 25'CAL | 8 |
| (Symbol) | WS | WHITEPINE BIRCH / BETULA PAPPYRUS TRIVERTSIS | 8.6.8 | 25'CAL | 3 |
| CONIFERS | | | | | |
| (Symbol) | BS | BLACK TREESPRUCE / PICEA GLAUBA GENSATA | 8.6.8 | 3 | 3 |
| (Symbol) | NS | NORWAY SPRUCE / PICEA ABIES | 8.6.8 | 3 | 3 |
| (Symbol) | PW | PINNACULAR WHITE PINE / PINUS STROBUS TASCIGATA | 8.6.8 | 3 | 3 |
| SHRUBS | | | | | |
| (Symbol) | BC | AUTUMN MAGIC BLACK CHERRYBERRY / PRUNUS MELANOCARPA ALTIMA MAGIC | 5.5.GAL | 12 | 28 |
| (Symbol) | TH | THORNAC BURNING BUSH | 5.5.GAL | 12 | 28 |
| (Symbol) | LH | LITTLE LEAF HYDRANGEA / HYDRANGEA PUNCICATA 'JANE' | 5.5.GAL | 12 | 48 |
| (Symbol) | MJ | MIST MAID JASMINE / JAPANESE CHERRYBERRY 'MIST MAID' | 5.5.GAL | 12 | 28 |
| GRASSES | | | | | |
| (Symbol) | MD | HEATHER REED GRASS / CALAMAGROPIS X ACUTIFLORA KILB FORTSITH | 1.GAL | 12 | 28 |
| PERENNIALS | | | | | |
| (Symbol) | AS | AUTUMN FIRE BLOSSOM / SEDUM AUTUMNUM | 1.GAL | 12 | 28 |
| (Symbol) | DS | DELTA SPICE BURNING BUSH / PEROVSKIA AHSCHROTTII LITTLE SPICE 'TM' | 1.GAL | 12 | 28 |
| GROUND COVERS | | | | | |
| (Symbol) | TR | TRIFOLIUM HYDRICUM | 1.5.GAL | 12 | 28 |

LANDSCAPE NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.



measure

NORTH SHORE DEVELOPMENT PARTNERS

235 LAKE ST. E #300
WAYZATA, MN

MAPLE & MAIN
MAPLE PLAIN, MINNESOTA

Project Title

NOT FOR CONSTRUCTION

John J. McKinney, P.E.
Date: XX/XX/XX Lic. No. 53234

| Rev. | Date | Description |
|------|------------|------------------|
| 10 | 10/17/2025 | FINAL REVISION |
| 1 | 1/23/2024 | CITY RESUBMITTAL |

Project # 25-117

Drawn by JM

Checked by JM

Issue Date 10/17/2025

Sheet Title

LANDSCAPE PLAN

Sheet

L1.0

POWER & COMMUNICATION LEGEND

| | |
|------------------------------------|----------------------------------------------------|
| ○ 120V DUPLEX GLEET | ⚡ MOTOR EQUIPMENT CONNECTION |
| ○ 120V QUAD OUTLET | ⚡ ELECTRICAL DISCONNECT |
| ○ 208 OR 240 VOLT RECEPTACLE | ⚡ ELECTRICAL CONNECTION W/DISCONNECT |
| ○ 120V CEILING RECEPTACLE | ⚡ ELECTRICAL CONNECTION W/WEATHER PROOF DISCONNECT |
| ○ DATA/COMMUNICATION OUTLET | ⚡ ELECTRICAL PANEL |
| ○ TELEPHONE OUTLET | ⚡ THERMOSTAT MOUNTED AT 48" AFF |
| ○ TV OUTLET | ⚡ SMOKE/CO ALARM |
| ○ DATA/TV COMBO OUTLET | ⚡ SMOKE ALARM |
| ○ FLOOR BOY | ⚡ NITROGEN DIOXIDE DETECTOR |
| ○ ANCHOR BOLT | ⚡ CARBON MONOXIDE DETECTOR |
| ○ 1" STUD FOR GRILL ON THE HIT | |
| ○ RAKE FOR FRILL OR LINE HIT | |
| ○ BELOW COUNTER OUTLET | |
| ○ ANCHOR COUNTER OUTLET | |
| ○ OCCUPIED RECEPTACLE | |
| ○ GROUND FAULT CIRCUIT INTERRUPTER | |
| ○ WEATHER PROOF COVER WITH GFI | |

LIGHTING LEGEND

| | |
|--------------------------------------------|------------------------------------------------|
| ☐ RECESSED 2X4 FEATURE | ⚡ SINGLE POLE SWITCH |
| ☐ RECESSED 2X2 FEATURE | ⚡ THREE WAY SWITCH |
| ☐ SURFACE MOUNT 1X4 FEATURE | ⚡ FOUR WAY SWITCH |
| ☐ SURFACE MOUNT 2X4 FEATURE | ⚡ OCCUPANCY SENSORS |
| ☐ WALL MOUNTED FEATURE | ⚡ VACANCY SENSORS |
| ☐ CEILING MOUNTED STRIP FEATURE | ⚡ CEILING OCCUPANCY SENSORS |
| ○ RECESSED OR DISC FEATURE | ⚡ LIGHTING CONTROL TIME CLOCK |
| ○ WALL MOUNTED FEATURE | ⚡ INDICATES NIGHT LIGHT FEATURE |
| ○ SURFACE CEILING MOUNTED FEATURE | ⚡ INDICATES LIGHT FIXTURE SWITCH LEG |
| ○ PENDANT MOUNTED FEATURE | ⚡ INDICATES PANEL AND CIRCUIT NUMBER |
| ○ EXTERIOR POLE MOUNTED FEATURE | ⚡ INDICATES LIGHT FIXTURE TYPE |
| ○ ISLAND OR GROUND MOUNTED FEATURE | ⚡ INDICATES EXISTING FEATURE |
| ⚡ EMERGENCY LIGHTING FEATURE | ⚡ INDICATES RELOCATED FEATURE |
| ⚡ EMERGENCY EXIT SIGN | ⚡ INDICATES TIME CLOCK CONTROLLED FEATURE |
| ⚡ EMERGENCY EXIT SIGN WITH EMERGENCY HEADS | ⚡ INDICATES FEATURE EMERGENCY OR STANDBY POWER |
| ⚡ EXTERIOR EMERGENCY EXIST LIGHT | |

SITE NOTES

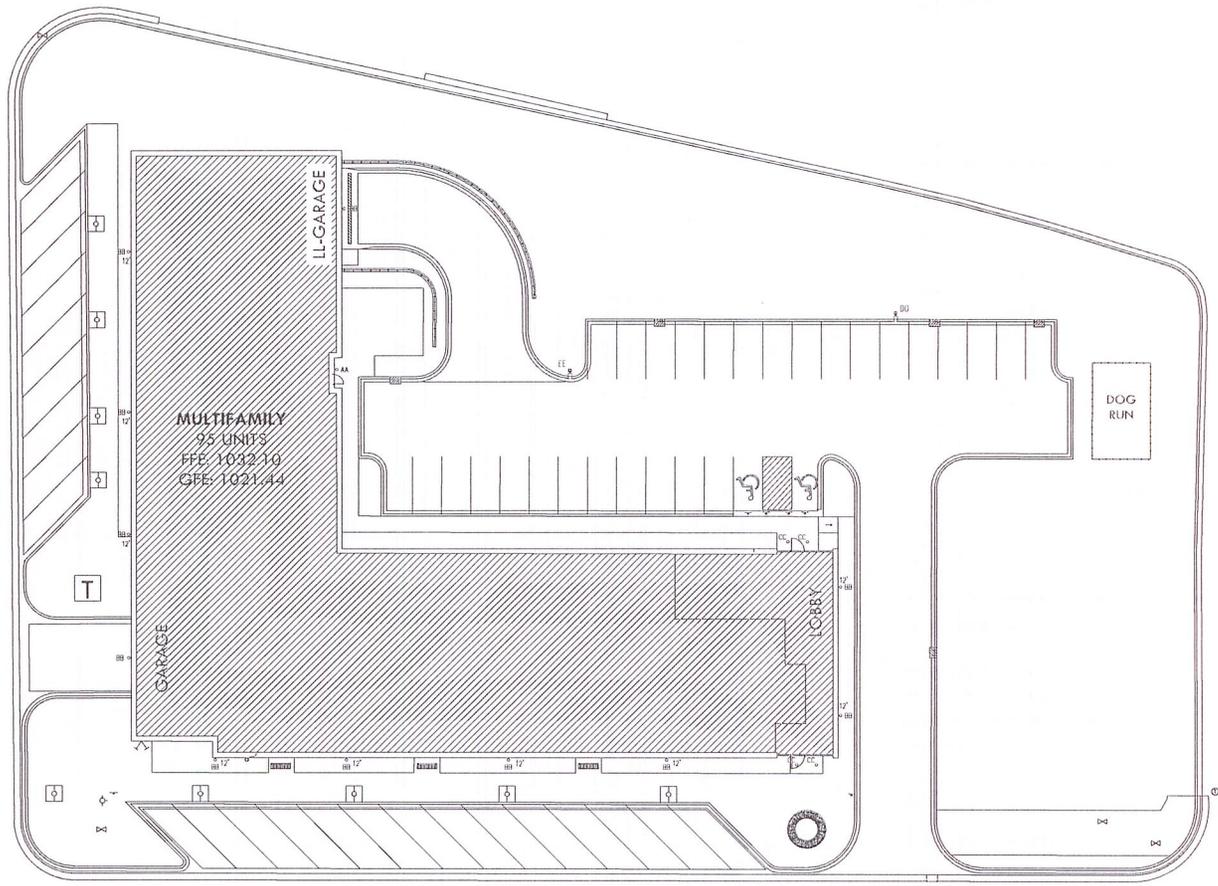
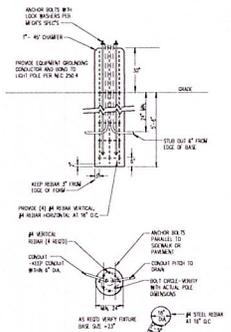
- PRIOR TO ANY DIGGING, TRENCHING, ETC. CONTACT ALL LOCAL UTILITY COMPANIES AND MUNICIPALITIES AND OBTAIN EXACT LOCATIONS OF ALL EXISTING UTILITIES.
- MATERIALS AND EQUIPMENT SHALL BE LISTED AND/OR LABELED BY U. OF ANOTHER MANUFACTURER RELEVANT TO THE PROJECT.
- ALL MATERIAL, EQUIPMENT, WIRING DEVICES, ETC. SHALL BE NEW UNLESS SPECIFICALLY NOTED AS EXISTING TO BE REUSED.
- ALL MATERIALS AND EQUIPMENT SHALL BE STORED, HANDLED, ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, COMMISSIONED AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ALL POLE FEATURES TO BE LOCATED 4' AWAY FROM EDGE OF CURB.
- ALL EXTERIOR LIGHT FEATURES TO BE CONNECTED TO A COMMON EQUIPMENT GROUND USE #8 THIN.
- THE CONTROLLING LIGHTING CONTROLS SHALL BE MOUNTED INSIDE THE BUILDING WITH THE TIME CLOCK CONTROL IN A WEATHER PROTECTED LOCATION ON THE EXTERIOR SIDE OF THE BUILDING WALL. INSTALL PHOTOCELLS AT LOCATIONS WHERE BUILDING OR OTHER OBSTRUCTIONS WILL NOT INTERFERE WITH THEIR PROPER OPERATION. FINAL BRANCH CIRCUIT SUPPLY CONNECTIONS WILL BE PROVIDED BY THE BUILDING ELECTRICAL CONTRACTOR.
- MIN. BURIAL DEPTH FOR THE LIGHTING CIRCUIT SHALL BE 24" A SLIGHT DECREASE IN DEPTH IS ALLOWED WITHIN 12" OF THE PIPES.
- VERIFY CONSTRUCTION AREAS ON OTHER SITE PLANS FOR POTENTIAL OBSTACLES AND CONSTRUCTION LIMITS.

ELECTRICAL GENERAL NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL ELECTRICAL & BUILDING CODES.
- COORDINATE WORK WITH ALL OTHER TRADES.
- EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL EQUIPMENT GROUNDING CONDUCTORS SHALL BE INSTALLED AT ALL LOCATIONS.
- ALL MEASUREMENTS TO TOP OF BOX.
- OF PROTECT ALL RECEPTABLES WITHIN 6' OF EVERY SIGN.
- DRAWINGS ONLY REPRESENT AN APPROXIMATE LOCATION OF ALL RECEPTABLES, SWITCHES, LIGHTS, TYPICAL ADJ. ELECTRICAL EQUIPMENT, ETC. FINAL LOCATIONS WILL BE DETERMINED IN THE FIELD AND MAY VARY FROM DRAWINGS DUE TO UNFORESEEN CHANGES.
- PROVIDE GFCI PROTECTION FOR ALL AREAS LISTED UNDER NEC 210.8.
- PROVIDE TAMPER RESISTANT RECEPTABLES IN ALL AREAS LISTED UNDER NEC 406.12.

LIGHTING FIXTURE SCHEDULE - EXTERIOR

| TYPE | LAMPS | WATTAGE | DESCRIPTION | NOTES |
|------|-------|---------|----------------------------------------------|-------|
| AA | LED | 16 | EXTERIOR WALL PAD | W/PTO |
| BB | LED | 40 | EXTERIOR WALL PAD | W/PTO |
| CC | LED | 15 | EXTERIOR RECESSED DOWNLIGHT | |
| DD | LED | 100 | POLE MOUNT FEATURE, TYPE 2 OPTICAL, 25' POLE | W/LOB |
| EE | LED | 100 | POLE MOUNT FEATURE, TYPE V OPTICAL, 25' POLE | W/LOB |



1115 ELECTRICAL SITE PLAN
SCALE: 1" = 10'-0"

PRELIMINARY SET

MAPLE & VAN
MAPLE PLAIN, VA
ELECTRICAL SITE PLAN

| DATE | REVISION | DESCRIPTION | BY |
|----------|----------|------------------|----|
| 11/14/24 | 1 | ISSUE FOR PERMIT | AV |
| 11/14/24 | 2 | REVISION | AV |
| 11/14/24 | 3 | REVISION | AV |
| 11/14/24 | 4 | REVISION | AV |
| 11/14/24 | 5 | REVISION | AV |



DRAWING NO. 1-1.1

MAPLE & MAIN APARTMENTS

1620 MAPLE AVENUE
MAPLE PLAIN MN 55359



PROJECT TEAM

OWNER
NORTH SHORE
DEVELOPMENT PARTNERS
235 Lake St. E. #300
Wayzata, MN

ARCHITECT
Weber Architects & Planners
P.O. Box 437
Wayzata, MN 55390
Email: neilweber@icloud.com
Phone: 952 476 4434

STRUCTURAL ENGINEER
William A. Becklin, P.E.
139 1st. Ave. E. Suite 200
Cambridge, MN 55308
Phone: 763 689 5631, 612 598 4994

1628 County Highway 10., Suite 17
Minneapolis, MN 55412

CIVIL ENGINEER
MEASURE
P.O. Box 437
Wayzata, MN 55391
Phone: 605 310 9766

CONTRACTOR

GEOTECHNICAL ENGINEER

OWNER:

**NORTH
SHORE**
DEVELOPMENT
PARTNERS

235 Lake St. E. #300
Wayzata, MN

Preliminary
Plans

MAPLE & MAIN
MAPLE PLAIN, MN

Project Status

ISSUE DATE: 04/29/2025

REVISION DATE

NEIL WEBER, AIA



PO Box 437, Wayzata, MN 55390
952-476-4434 neilweber@icloud.com

COVER SHEET

A101



1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

OWNER:

NORTH SHORE
DEVELOPMENT PARTNERS

235 Lake St. E. #300
Wayzata, MN

Preliminary
Plans

MAPLE & MAIN
MAPLE PLAIN, MN

Project Status

ISSUE DATE 04/29/2025

REVISION DATE

NEIL WEBER, AIA



PO Box 437, Waverly, MN 55390
952-478-4434 neilweber@cloud.com

EXTERIOR ELEVATIONS
A301

MAPLE & MAIN APARTMENTS



VIEW FROM NORTHEAST

1620 MAPLE AVENUE
MAPLE PLAIN MN 55359

OWNER:

NORTH SHORE
DEVELOPMENT PARTNERS

235 Lake St. E. #300
Wayzata, MN

Preliminary
Plans

MAPLE & MAIN
MAPLE PLAIN, MN

Project Status

ISSUE DATE: 04/29/2025

REVISION DATE

NEIL WEBER, AIA
WEBER
architects & planners
PO Box 437, Wayzata, MN 55390
952-476-4434 neilweber@stout.com

NE VIEW
P100

MAPLE & MAIN APARTMENTS



VIEW FROM SOUTHEAST

**1620 MAPLE AVENUE
MAPLE PLAIN MN 55359**

OWNER:

**NORTH
SHORE**
DEVELOPMENT
PARTNERS

235 Lake St. E. #300
Wayzata, MN

Preliminary
Plans

MAPLE & MAIN
MAPLE PLAIN, MN

Project Status

ISSUE DATE: 04/29/2025

REVISION: DATE

NEIL WEBER, AIA

WEBER
architects & planners

PO Box 437, Wayzata, MN 55390
952-476-4434 neilweber@stout.com

SEE VIEW

P102

MAPLE & MAIN APARTMENTS



VIEW FROM NORTHWEST

1620 MAPLE AVENUE
MAPLE PLAIN MN 55359

OWNER:

**NORTH
SHORE**
DEVELOPMENT
PARTNERS

235 Lake St. E. #300
Wayzata, MN

Preliminary
Plans

MAPLE & MAIN
MAPLE PLAIN, MN

Project Status

ISSUE DATE 04/29/2025

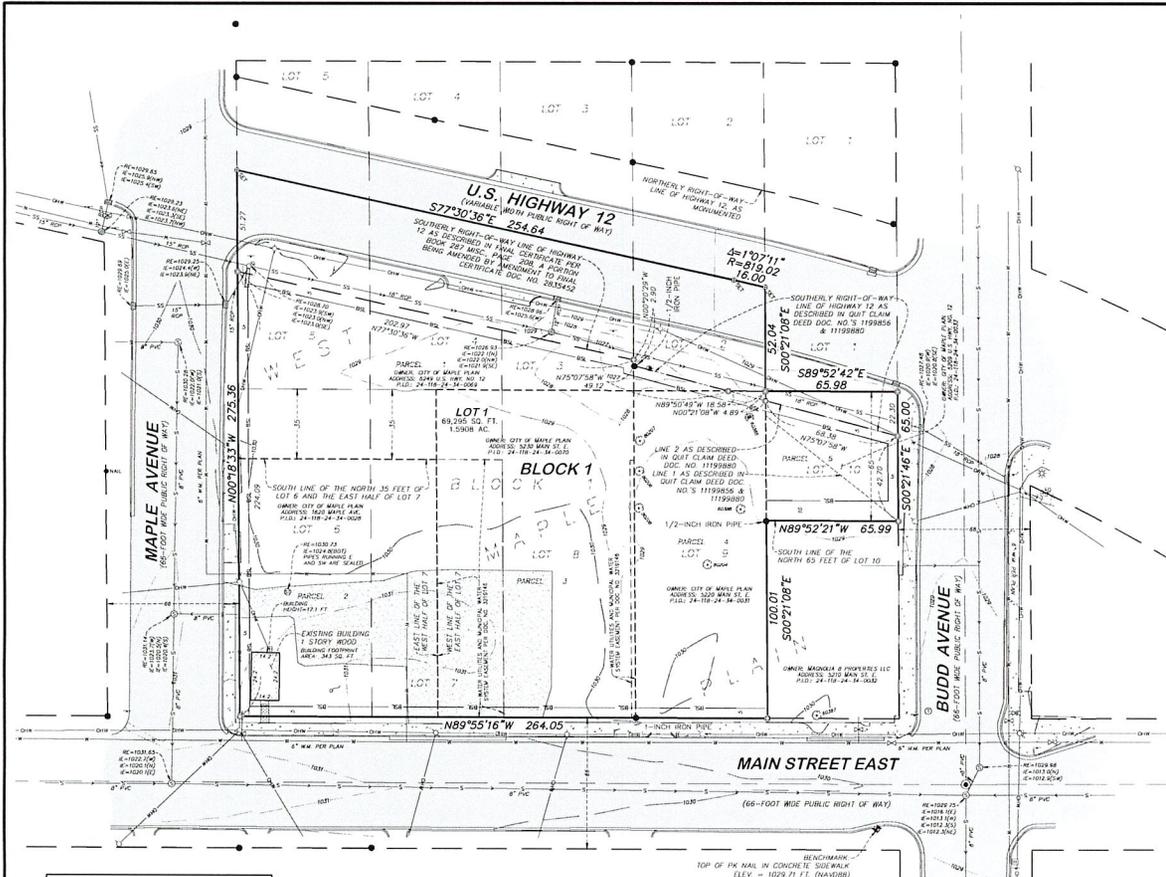
REVISION DATE

NEIL WEBER, AIA
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NW VIEW

P103

PRELIMINARY PLAT FOR: NORTH SHORE DEVELOPMENT PARTNERS



- LEGEND:**
- FOUND CAST IRON MONUMENT
 - FOUND IRON MONUMENT
 - FOUND NAIL
 - SET IRON MONUMENT MARKED WITH LICENSE NUMBER 5353M
 - SET MASONRY NAIL
 - BENCHMARK
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CATCH BASIN
 - DRINK (NET)
 - GATE VALVE
 - HYDRANT
 - ELECTRIC METER
 - GUY POLE
 - UTILITY POLE
 - POWER POLE WITH LIGHT
 - TELEPHONE MANHOLE
 - GAS SIGN
 - SIGN
 - FLAGPOLE
 - SANITARY SEWER
 - STORM SEWER
 - OVERHEAD WIRE
 - BUILDING SETBACK LINE

EXISTING LEGAL DESCRIPTION:

Parcel 1: That part of Lots 3, 4, and 5 lying South of the center line of U.S. Highway No. 12, the North 35 feet of Lot 6, the North 35 feet of the West 1/2 of Lot 7, Block 1, "West Maple Plan", Hennepin County, Minnesota, being Registered land as is evidenced by Certificate of Title No. 141415.

Parcel 2: All of Lot 6 and the West Half of Lot 7, Block 1, West Maple Plan, except the North 35 feet thereof, all according to the map or plat thereof on file or record in the Office of the Registrar of Deeds within and for said Hennepin County, Minnesota.

Parcel 3: The East Half of Lot 7 and Lot 8, Block 1, West Maple Plan, in the City of Maple Plain, County of Hennepin, State of Minnesota.

Parcel 4: Lot 5, Block 1, West Maple Plan, Hennepin County, Minnesota.

Parcel 5: That part of the north 65 feet of Lot 10, Block 1, West Maple Plan, according to the plat thereof on file and record in the office of the County Recorder in and for Hennepin County, Minnesota, lying south of Truck Highway No. 12, as now located and established.

- EXISTING CONTOUR LINE**
- 5 —
 - 10 —
 - 15 —
 - 20 —
 - 25 —
 - 30 —
 - 35 —
 - 40 —
 - 45 —
 - 50 —
 - 55 —
 - 60 —
 - 65 —
 - 70 —
 - 75 —
 - 80 —
 - 85 —
 - 90 —
 - 95 —
 - 100 —
- TREE INVENTORY:**
- | Tag # | Species | Diameter | Trunks |
|-------|-----------|----------|--------|
| 0085 | Silver | 18" | 1 |
| 0088 | Oak | 10" | 3 |
| 0087 | Blackwood | 22" | 1 |
| 0024 | Maple | 48" | 1 |
| 0025 | Hawthorn | 22" | 1 |
| 0026 | Old Apple | 8" | 1 |
| 0027 | Maple | 24" | 1 |

PROPOSED LEGAL DESCRIPTION:

Lot 1, Block 1, MAPLE AND MAIN, Hennepin County, Minnesota.

PROPOSED PARCEL INFORMATION:

Proposed Lot 1, Block 1: 69,295 square feet 1.5908 acres
 (Less Right of Way of Hwy 12): 74,626 square feet 1.7240 acres
 (Within Right of Way of Hwy 12): 14,669 square feet 0.3368 acres

GENERAL SURVEY NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-2011 Adj.).
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by Guaranty Commercial Title Inc. issued agent for Old Republic National Title Insurance Company, Commitment No. 70011 dated July 27, 2025 at 59:00 PM.
- The surveyer property has direct access to Main Street East, Budd Avenue, Maple Avenue, and U.S. Highway 12, all public rights of way.
- No evidence of cemeteries, burial grounds or graveyards was observed in the process of conducting the fieldwork.
- The address of the properties described herein are 5209 & 5249 U.S. Highway 12, 1620 Maple Avenue, and 5220 & 5230 Main Street East, Maple Plain, MN 55355.
- The properties described herein lies within Flood Zone X (Area determined to be outside the 0.2% annual chance floodway) per Federal Insurance Rate Map No. 2 70032004P & 2 70032004M, both dated November 4, 2016.
- The total area of the properties described herein is 69,295 square feet or 1.5908 acres, the area of the property herein described less areas used for right of way purposes is 54,626 square feet or 1.2540 acres, and is broken down as follows:
 Parcel 1: 20,860 square feet or 0.4803 acres Parcel 1 less ROW: 10,613 square feet or 0.2482 acres
 Parcel 2: 12,880 square feet or 0.2953 acres
 Parcel 3: 16,144 square feet or 0.3702 acres
 Parcel 4: 10,892 square feet or 0.2503 acres
 Parcel 5: 4,989 square feet or 0.0988 acres Parcel 5 less ROW: 3,392 square feet or 0.0779 acres
 Lot 2: 3,921 square feet or 0.0903 acres
 Lot 2 less ROW: 299 square feet or 0.0068 acres
- The contours depicted herein are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.
- PROJECT BENCHMARK:** Top of Minnesota Department of Transportation Geodetic Monument W117 H12 NS&T Elevation = 1013.67 feet (NAVD83).
- SITE BENCHMARK:** Top of PK Nail in concrete sidewalk in the SW corner of Main Street and Budd Ave Elevation = 1029.71 feet (NAVD83).
- Existing utilities, services and underground structures shown herein were located either physically from existing records made available to us, by resident testimony, or by locations provided by Duffer State Line Cur, per ticket No. 220715023. However, existing encroachments, the exact location of underground features cannot be accurately, completely and readily detected. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The names of adjoining owners according to current tax records are depicted herein.
- No zoning report or letter was provided. See zoning information notes.

This document is a reference in the title commitment under the information Note and in analyzing this document, the portion of Lot 2, Block 1, WEST MAPLE PLAN is missing from the current title commitment. The area of said Lot 2 is shown herein only to change to convey the area described. This document also describes the right of way. MNDOT conveyed more particularly, and clearly defines the right of way easement line in lots 2 and 10. This parcel use is represented as a portion of Parcel 4 on the Hennepin County GIS, for reference.

GOPHER STATE ONE CALL NOTE:
 List of utilities notified per Gopher State One Call Ticket No. 252173553

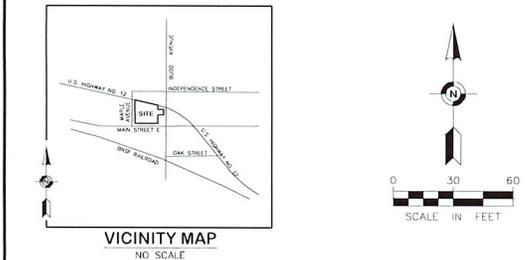
ARJIS CENTER POINT ENERGY
 CITY OF MAPLE PLAIN FRONTIER COMMUNICATIONS
 HENNEPIN COUNTY PUBLIC WORKS HENNEPIN COUNTY SHERIFF
 MIDCONTINENT COMMUNICATIONS XCEL ENERGY
 ZAYO BANDWIDTH

ZONING INFORMATION:
 For the City of Maple Plain zoning map dated 11/21/2012, the subject property is zoned MU - Mixed Use District (Overlaid). For the City of Maple Plain city code, building setback requirements for said zoning district are as follows:

Front Yard Building Setback: 5 feet
 Side Yard Building Setback (interior): 0 feet
 Side Yard Building Setback (corner): 5 feet
 Rear Yard Building Setback: 10 feet

CERTIFICATION:
 I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Date of Survey: August 29, 2024.
 Date of signature: January 29, 2026.

Christopher A. Terwea
 Christopher A. Terwea
 Minnesota License No. 3,356
 cterwea@efnsurvey.com



NO SCALE

| FIELD BOOK | PAGE | FIELDWORK CHIEF: | NO. | DATE | REVISIONS DESCRIPTION |
|----------------------------------------|------|------------------|-----------------|------|-----------------------|
| | | IV_JV | | | |
| DRAWING NAME: CADD Preparation of Plat | | | DRAWN BY: CAT | | |
| JOB NO. 42855 | | | CHECKED BY: CAT | | |
| FILE NO. | | | CAT | | |

PRELIMINARY PLAT OF MAPLE AND MAIN

SURVEY FOR:
**NORTH SHORE
DEVELOPMENT PARTNERS**

PROPERTY ADDRESS:
 5209 & 5249 U.S. HIGHWAY 12
 5220 & 5230 MAIN STREET EAST
 1620 MAPLE AVENUE
 MAPLE PLAIN, MN 55359

EFNS
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 New Brighton, Minnesota 55112
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