City of Maple Plain

Request by Comfort Haven LLC for a Conditional Use Permit and Site Plan Review to Allow the Re-use of the Existing Building as Assissted Living Care Facility on the Property Located at 1520 Wyman Ave.

To: | Planning Commission

From: | Mark Kaltsas, City Planner

Meeting Date: | March 7, 2024

Applicant: | Jon Gleisner (Applicant on behalf of Comfort Haven LLC)

Owner: Cassia

Location: 1520 Wyman Ave.

Request:

Jon Gleisner (Applicant on behalf of Comfort Haven LLC) and Cassia (Owner) requests that the City consider the following actions for the property located at 1520 Wyman Ave. (PID No's. 25-118-24-22-0027 and 25-118-24-22-0114):

- A conditional use permit to allow an assisted living facility to be located within the existing building on the subject property.
- b. Site plan review to consider renovation of the existing building and grounds to accommodate the proposed use of the facility.

Property/Site Information:

The property is located at 1520 Wyman Ave. There are two parcels, the north parcel with a vacant building previously used for assisted and independent living and the south parcel which is vacant. The property has the following characteristics:

Property Information: 1520 Wyman Ave. - (PID No.s 25-118-24-22-0027 and 25-118-24-22-0114)

Zoning: R-1, Single-Family Residential

Comprehensive Plan: Low Density Residential

Acreage: 2.53 acres (north parcel), .99 (south parcel)

Site Aerial



Discussion:

The applicant is seeking consideration of a conditional use permit and site plan review to allow the reuse of the existing building and site located at 1520 Wyman Ave. The applicant is proposing to redevelop the existing building into a "Assisted Living Facility" that would have 39 assisted living units and 22 memory care units. The subject property is currently zoned R-1, Single-Family Residential. In 2024, the city adopted an ordinance amendment which established assisted living facility as a conditional use within the R-1 Single-Family Residential zoning district (see ordinance standards below).

153.007 DEFINITIONS.

Assisted Living Facility. A facility that provides sleeping accommodations and assisted living services to one or more adults. Assisted living facility does not include emergency shelters, nursing homes, hospitals, adult foster care and all other exemptions listed in MN Statute 144G.08 Subd 7.

153.025 R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT. Sec. 10-539. "R-1" Single-Family Residential District.

(2) Assisted Living Facility.

- a Minimum lot size 2.5 acres.
- b. Maximum assembly size within the facility or outdoors shall not be more than 50 non-residents and employees. Large assemblies (greater than 50 people), open houses and or public events and gatherings shall be individually considered and approved by the City Council. Application for these events shall be made a minimum of 45 days prior to the event.
- c. Site plan in compliance with Section 153.04 is required. All improvements must be constructed and maintained in compliance with the approved site plan, the approved City resolution, and all applicable local, state, and federal rules and regulations.
- <u>d.</u> The facility and its operation must be current, at all times, with any required local, state, and federal permits and licenses.
 - e. Use of the facility shall not be injurious or create a nuisance to adjoining neighborhoods.
- f. Assisted living facilities which include dementia care can be approved by the City Council as a part of the initial conditional use permit or by a conditional use permit addendum.
 - g. City Council may impose additional conditions.

The former use of the property as an assisted and independent care facility was considered a legal, non-conforming use. The former use and its legal non-conforming status are no longer applicable as a result of the property not being used for approximately 3 years. In order for the City to consider the reuse of the facility it would need to consider and approve a conditional use permit allowing an assisted living facility in conformance with applicable standards. All commercial conditional use permits are also required to receive site plan review approval.

The existing property had historically been used as an assisted and independent care facility. The historic facility had 69 bed spaces in four different wings of the building along with a reception area, office space a chapel and kitchen area. The overall building is comprised of approximately 45,000 SF on one story. The applicant is proposing to reuse the existing space by making interior and exterior renovations. The proposed use of the building will be a licensed assisted care living facility with some memory care. The proposed use will consist of 39 assisted living units and 22 memory care units. Interior renovations will

include the reconfiguration of some of the interior rooms, security upgrades, HVAC modifications and upgrades, and interior cosmetic changes. The proposed exterior renovations include painting and tuckpointing the exterior of the building, parking lot resurfacing and striping, the addition of a new ingress/egress and looped drive off of Wyman, reduction of parking lot width off of Bryant, general landscape maintenance and some additional plantings and signage.

The City consider will need to consider a conditional use permit and site plan review to allow the propsoed reuse of the existing building and subject site. The City has reviewed the propsoed reuse and provided a detailed analysis of the plans submitted. The applicant has responded to the initial review of the application by the City (review letter and applicant repsonse included as an attachment to this report). The City has reviewed the repsonses and revised plans for Planning Commission and City Council consideration. The City also has established criteria relating to the consideration of a conditional use permit as follows:

Applicable Standards for Considering Granting a Conditional Use Permit

- (F) Conditional use permit criteria. The Planning Commission shall review the conditional use permit for its conformance with the City Code and shall not recommend approval unless all the following conditions are met:
- That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted,
- (2) That the establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for predominant uses in the area;
- (3) That adequate utilities, access roads, drainage, and other necessary facilities have been or are being provided;
- (4) That adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use;
- (5) That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise, and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result;
- (6) That proper facilities are provided which would eliminate any traffic congestion or traffic hazard which may result from the proposed use, and
 - (7) The proposed use is in compliance with this chapter and Comprehensive Plan of the city.
- (G) Planning Commission consideration. The Planning Commission shall consider the request for a conditional use permit and hold a public hearing. The Planning Commission shall consider possible adverse effects of the proposed conditional use following the review criteria outlined in this section and create findings of fact based on its review of the conditional use.
- (H) City Council consideration. The City Council shall consider the conditional use and recommendations of the Planning Commission and staff. The Council shall have the option of receiving additional testimony on the matter if they so choose. The Council shall either approve or deny the application, for which approval shall require passage by a 2/3 vote of the full City Council. If the conditional use is denied by the City Council, the reasons for the action shall be recorded in the Council proceedings and transmitted to the applicant.
- (1) Revocation. The Planning Commission may recommend, and the City Council may direct, the revocation of any conditional use permit for cause upon determination that the authorized conditional use is not in conformance with the conditions of the permit or is in continued violation of City Codes, or other applicable regulations. The City Council or Planning Commission shall initiate an application and

In addition to the conditional use permit criteria, the City has a requirement that all commercial development be reviewed and evaluated for compliance with the Comprehensive Plan, applicable codes and standards and other established design criteria.

153.045 INTENT AND PROCEDURE

(I) Evaluation criteria. The Planning Commission and City Council shall evaluate the effects of the proposed site plan. This review shall be based upon, but not be limited to, compliance with the City Comprehensive Plan, provisions of this chapter (Design Guidelines and City Engineering Requirements).

Staff has completed a detailed review of the proposed site and building plans. There are several comments that should be noted and further considered by the City during review of the application. Considerations are as follows:

Building and Architecture:

The applicant is proposing to use the existing facility but would like to make interior, exterior and site renovations. These include painting/siding and tuckpointing the exterior of the building, renovating the interior of the building to accommodate the proposed assisted living and memory care and site improvements further described below. The applicant has prepared a full set of plans relating to all proposed improvements.

Site Design:

The existing facility includes two paved parking areas, landscaping, lighting several detached accessory buildings and a trash enclosure. The applicant is proposing to construct a new ingress/egress off of Wyman Avenue (see area highlighted in red below). This area will add new parking spaces as well as allow for access around the entire building permitter. As a result of the new parking area, the applicant is proposing to reduce the width of the existing parking lot which will pull it away from the residential properties to the east. The proposed reduction in pavement will establish an approximate 10' buffer and setback to the adjacent residential properties to the east.



The City has generally established parking requirements for this type of use based on parking requirements for similar uses (i.e., Cassia). Staff reviewed various standards of practice relating to parking requirements for similar facilities as well as reviewed the more detailed staffing numbers provided by the applicant. Parking is generally recommended to be required and provided as follows:

Number of Units(type)	Required Stalls Per Number of Beds	Total Spaces
22 (Memory Care)	4 spaces + 1 space per 3 beds	11.33 spaces
39 (Assisted Living)	0.5 spaces per 1 unit	19.50 spaces
Staff Parking	Actual maximum number for staff overlap	29 spaces
-		60 spaces

The proposed plans indicate a total of 61 parking spaces which includes 14 existing parking spaces in front of the building. It appears that the proposed parking will meet applicable requirements.

The existing parking lot is paved; however, the pavement is in poor condition and the striping is no longer visible or highly worn. The applicant is proposing to mill and overlay and restripe the parking spaces in accordance with the proposed site plan.

Site Lighting:

There is existing building and parking lot lighting in place. The City has noted that all parking should be brought into compliance with applicable standards. The applicant has prepared a photometric plan and provided the City with lighting cut-sheets for the proposed light fixtures. The City has reviewed the information and found that it is fully compliant with applicable standards. The maximum number of footcandles permitted at the property line is 0.5 footcandles. The applicant has been able to reduce the spill over of the proposed lighting to meeting this requirement.

Landscaping/Screening/Fencing:

The applicant is not proposing to make significant changes to the existing landscape outside of general maintenance and minor enhancements. There are two areas where new landscaping should be considered by the applicant. Several mature trees are being removed for the purpose of installing the new access drive and parking on the south side of the building. It was recommended that new deciduous trees be planted within the proposed islands or along the south side of the proposed parking lot. The applicant has added an ornamental tree to one of the proposed parking islands located along the south side of the building. It is also recommended that some landscaping be planted along the east and south sides of the new refuse enclosure located to the southeast of the building. The applicant has revised the plans to propose ornamental grasses around the perimeter of the enclosure. Staff would recommend a combination of the grasses with some larger evergreen trees/shrubs to more adequately screen the perimeter. Staff will be seeking additional direction from Planning Commission relating to the proposed landscaping. The City has reviewed the site and generally finds the existing landscape to be in keeping with the intent of the City's ordinances.

The City noted that the existing board on board fence located along the east property line is in poor condition. The applicant has noted that the fence will be replaced with a new board on board fence. Staff is seeking additional direction from the Planning Commission and City Council relating to the existing landscaping.

Trash Enclosure:

There is an existing dumpster enclosure located at the far south end of the drive aisle on the east side of the building. The City noted that the enclosure is not fully enclosed and that there were concerns presented to the City relating to the "beeping" associated with waste haulers backing up to the dumpster. The applicant is proposing to replace the existing trash enclosure with a new enclosure that meets applicable standards. Backing of a vehicle removing trash will be limited as a result of the new driveway connecting to the existing driveway and allowing movement around the entire building permitter.

Signage:

The applicant has reached out to the City relating to the signage but has not made an application relating to signage at this point. Any change in signage would need to be reviewed by the City and comply with all applicable standards. The City's sign ordinance addresses signage in the R-1 zoning district.

Fire/Public Safety:

Both Maple Plain Fire and West Hennepin Public Safety have been working on comments and have met with the applicants. The city has noted several key issues relating to the comments provided.

• The city's public safety and fire departments have been working on the establishment of base service levels associated with assisted living and memory care. The city is working to establish what those levels are for various types of calls for service. Once established, the city anticipates that it will enter into an agreement relating to the types of services provided and costs associated with each type of service above the base levels established. A condition has been added to the approval that addresses this issue. It

should be noted that this issue will be discussed with Council as its realm is generally outside of the Planning Commission's responsibility.

- Public Safety has noted that they will need to review the security system with the applicant as a condition of the approval.
- Fire is reviewing the location of the fire department connection and fire lanes and will provide additional feedback.

Stormwater/Engineering:

The city's engineer has reviewed the plans and provided comments. The applicant has provided the city with revised plans addressing all comments provided by the city engineer (see attached review letter and response).

There are several additional considerations that should be noted by the Planning Commission and City Council:

- The applicant is proposing to fence the existing courtyard with a 6' ornamental metal fence that will have a gate and lock to secure the area for residents.
- The applicant is proposing to replace the existing 6' tall wood fence located along the east property line with a new 6' tall wood fence.
- The applicant has noted that they have not located all mechanical equipment on the proposed plans as they have not gotten to that level of detail. They have noted that they will screen all mechanical equipment in accordance with the city's requirements. All new units are required to be screened using a 5' tall solid equipment surround constructed of materials similar to the existing building.
- No assemblies or gatherings will occur that include persons outside of the residents/clients of the facility.
- The City has prepared conditions of approval should the Planning Commission and City Council recommend/approve the requested applications. Staff would also be seeking any additional conditions/requirements/changes based on the discussion and direction of the Planning Commission and City Council.

The Planning Commission and City Council will need to find that the proposed use of the existing facility and associated property and site is consistent and compatible with the surrounding properties and the R-1 zoning district. In addition, the Planning Commission and City Council will need to find that the criteria established in the zoning ordinance (and included in this report) relating to granting a conditional use permit have been satisfied by the applicant. Staff is seeking direction relating to the requested applications which could include additional conditions, mitigation measures and revisions to the required plans and proposed conditions.

Neighbor Comments:

The City has not received and verbal or written comments regarding the proposed applications. \

Recommendation:

Staff is seeking a recommendation from the Planning Commission for the requested Text Amendment, Conditional Use Permit and Site Plan Review. Should the Planning Commission make a positive recommendation to the City Council, it is recommended that the following findings and conditions be included:

- 1. The proposed conditional use permit and site plan review meets all applicable conditions, criteria and restrictions stated in the City of Maple Plain Zoning and Subdivision Ordinance.
- 2. Prior to the City Council's review of the text amendment, conditional use permit and site plan review, the applicant shall complete the following items:
 - a. The Applicant shall address all comments made by the Planning Commission and City staff. Comments and recommendations made by the Planning Commission may result in revisions to the proposed site and related plans.
 - b. The applicant shall revise the site plan to address all comments made in this report.
 - c. The applicant shall prepare and submit for review a Construction Site Management plan which indicates location of the following:
 - i. Temporary parking for Contractor (not on streets)
 - ii. Dumpsters / Trash Receptacles
 - iii. Temporary Biffy
 - iv. Hazardous materials / Concrete Wash
- 3. The conditional use permit will include the following conditions:
 - a. The conditional use permit will be reviewed at least annually by the City to ensure conformance with the conditions set forth in the resolution.
 - b. All interior and exterior improvements shall be completed and maintained in accordance with the approved site and building plans/elevations attached hereto as **Exhibit B**. Improvements shall be made prior to final certificate of occupancy issuance.

- c. The conditional use permit will allow the applicant to have a maximum of 39 assisted living units and 22 memory care units.
- d. No signage is approved with the conditional use permit. Any new signage shall comply with all applicable standards of the City's ordinance, will require a sign permit and may require Planning Commission and City Council approval.
- e. All existing and proposed site and building lighting shall be brought into compliance and fully meet applicable City lighting standards.
- f. The use of the facility will be limited to the prescribed hours of operation as follows:
 - i. Public access (non-staff and visitors) shall be between the hours of 8:00 am 9:00 pm only (Sunday-Saturday).
 - ii. Deliveries shall be between the hours of 8:00 am and 6:00 pm only (Sunday-Saturday).
 - iii. Use of the grounds (outside of the interior courtyards) shall be between the hours of 8:00 am 10:00 pm only (Sunday-Saturday).
- g. No parking associated with the use of this facility shall be permitted on public roadways. All parking of staff, visitors and clients shall be within the designated off-street parking spaces.
- h. No future expansion of the existing principal building, accessory buildings and exterior spaces shall be permitted on the property without the further review and approval by the City through the conditional use permit amendment process.
- i. No assemblies, gatherings or similar events that includes more than 50 persons other than staff and current residents (clients) of the facility shall be permitted within the building or on the grounds.
- 4. The Applicant shall pay for all costs associated with the City's review of the conditional use permit and site plan review.
- 5. The property and its use shall comply, at all times, with all applicable local, state, and federal rules and regulations, including, but not limited to, Minn. Stat. ch. 144G.
- 6. The Applicant shall enter into an agreement with the City to memorialize the conditions of approval and service charges for emergency services. The City shall not issue any permits for the development of the property until it is provided with recording information for the agreement.
- 7. Unless otherwise expressly provided for in the agreement between the Applicant and the City, upon a violation of any of the above conditions, the City shall notify (owner/applicant/permit holder) of the violation and (owner/applicant/permit holder) shall pay a fee to the City, in an amount specified below, within 30 days of the mailing of the notice. Any unpaid fees related to a violation of this permit shall be certified to the City's tax roll in the (November) following the imposition of the fees. Imposition of this fee based on a violation of this permit shall not prohibit the City from taking any other action on the permit,

based on the same violation, including, but not limited to, revocation of the permit. Fees for violations of this permit shall be imposed as follows:

First violation: \$300
 Second violation: \$400

- 3. Third violation: \$500 and automatic revocation hearing by City Council.
- 4. Fee amounts for any violations which occur subsequent to the third violation shall be determined by doubling the imposed fee of the most recent violation.

Attachments:

- 1. Application
- 2. Narrative
- 3. Staff Review Letter with Applicant Response
- 4. Existing Site Survey, Landscape Plan, Grading Plan and Site Plans
- 5. Proposed Site Plans and Exterior Plans (Exhibit B)
- 6. Proposed Lighting /Photometric Plan and Cut Sheets



City of Maple Plain 5050 Independence St P.O. Box 97 Maple Plain, MN 55359 Office: (763) 479-0515 Fax: (763) 479-0519

*Escrow or surety bond in amount of 150% of land alteration costs
** Minimum of 3,750 per unit and maximum of \$8,000 per unit

ZONING & LAND USE APPLICATION

	APPL	ICANT II	NFORMATION		
Applicant Name JON GLEISH	60	70,731,071	Company, if applicable Con	AFORT HAL	EN LLC
Address 4207 QUAKER TR	INF		Phone Number 6/2-6	00-6036	
City, State, Zip PRIOR LAKE, N	N . 5	5372			Com
Are you the owner of the property?	Yes.	X No.	(If not, property owner informa	tion is required.)	
Owner Name Bob Dahl			Company, if applicable Cas		
Address 7171 Ohms Lane				855-5155	
City, State, Zip Edina, MN,55439			Email Bob.Dahl@cassial	ile.org	
Applicant Signature In Clev-	_		Owner Signature	h) lil	
Date 12 - 21 - 24			Date 12/31/24	N N	
Milary Stranger and Stranger	PRO.	IECT IN	FORMATION	以如何集合并	
Cita Address or Drawarty Identification b				HZOLEH SZILISZTIA ESKIRIKOWA	ENWENNIA POLICE
Site Address or Property Identification It Type of Request (Check all that apply.)	number	152	O Wyman Avenue		
Type of Request (Check all that apply.)	Fee	Escrow			
Appeal Administration Decision	\$250	\$250			
Concept Plan Review	\$500	Ψ200			
	9000				
Residential Application	Fee	Escrow	Commercial Application	Fee	Escrow
	2000	Materia	Water Cost Water State 125 125	720000	12/2/2/2/2/
Conditional Use Permit	\$500	\$1500	Conditional Use Permit	\$1000	\$3000
☐ Interim Use Permit ☐ Site Plan ☐ Minor Subdivision ☐ Variance ☐ Rezoning ☐ Text Amendment ☐ Vacation of Property ☐ Home Occupation	\$500	\$1500	Interim Use Permit	\$1000	\$3000
Site Plan	\$500	\$1500	Site Plan	\$1000	\$3000
Minor Subdivision	\$500	\$1500	Minor Subdivision	\$1000	\$3000
□ Variance	\$500	\$1500	☐ Variance	\$1000	\$3000
Rezoning	\$500	\$1500	Rezoning	\$1000	\$3000
Text Amendment	\$500	\$1500	Text Amendment	\$1000	\$3000
☐ Vacation of Property	\$500	\$1500	 Vacation of Property 	\$1000	\$3000
☐ Home Occupation	\$200	\$1000	Sign Package	\$500	\$3000
Residential/Commercial			94 8400 20000 2000		
Industrial/Office	Fee	Escrow	Grading and Excavation	Fee	Escrow
Planning and Zoning Application	ree	Escrow	Park Fees and Signs	ree	Escrow
☐ Proliminary Plot	\$500	\$3000	<100 Cubic Yards	N/C	
Cubdivision Application			>100 Cubic Yards	\$500	
Subdivision Application	\$500	\$3000			*See below
Rezoning	\$500	\$3000	>1000 Cubic Yards	\$1000	\$1000
☐ Preliminary Plat ☐ Subdivision Application ☐ Rezoning ☐ Comprehensive Plan Amendment ☐ Planned Unit Development ☐ Final Plat	\$500	\$3000	Right of Way Permit	\$250	φισσο
Planned Unit Development	\$1000	\$3000	Day Daylerting Co.	400/ of land	
☐ Final Plat	\$500	\$3000	Park Dedication Fee-	10% of land	
			Residential	value of	
12				development**	
2			Park Dedication Fee-	10% of land	1 10
			Other	value of	
			Other	development	
				development	
			☐ Signage Permanent	\$250	
			Temporary Sign	\$25	

Brief Project Narrative / Overview (Use additional paper if necessary. Please be thorough.)

Comfort Haven LLC, an assisted living provider, is seeking to reopen the existing assisted living facility at 1520 Wyman Avenue. The facility requires renovation work, to meet current Minnesota assisted living licensure codes. Specifically, the license sought is for people aged 55 years or older who need some assistance with daily activities and housing, but do not require care in a nursing home.

Renovation will include remodeling the interior and exterior of the building and site. The extent of remodeling the interior will be to meet the current requirements defined in the Minnesota assisted living code. The extent of remodeling the exterior will include, but is not limited to, unifying the facades of the building(s) and updating them to better reflect the neighborhood s current visual qualities, and new landscaping/ground covers. The extent of the site work will include, but is not limited to, removing excessive growth around the building, creating a new access drive around the building, reducing the amount of parking spaces that face neighboring properties to the east, updating site lighting to mitigate light spilling over onto adjacent properties, and re-striping the existing west parking lot. - for more information see attached addendum provided by owner

NOTICE TO APPLICANT

The Maple Plain City Code guides and enables development activities within the City by ensuring proper and wellcoordinated projects. The land use application is the mechanism that allows the City to examine proposed land uses to ensure compatibility with the City Codes, design and development standards, and the surrounding land uses and natural environments. The review is intended to ensure positive growth for the community.

All applications are reviewed individually and are evaluated based on their own merit. Each land use request has an associated checklist of required items. Applicants are encouraged to participate in the City's pre-application workshop prior to submitting a formal land use application. The workshop is an opportunity to informally discuss the conceptual idea of the proposed project in an effort to reduce delays. Participation in the pre-application process does not provide approval, or guarantee of approval, of the project. The City shall not accept plans, drawings or other information related to the project except upon submittal of a formal application. The City reserves the right to reject an incomplete application.

APPLICATION FEE STATEMENT

All expenses pertaining to project reviews are the responsibility of the applicant. Planning review deposits and other applicable fees must be paid when submitting land use applications and accompanying materials. All fees, which are set annually by City ordinance, help cover costs incurred by the City to review the application. The City of Maple Plain often uses consulting firms to assist in the review of projects. City staff and consultant review costs are billed hourly; all other costs are billed at cost. Applicants shall be billed directly for incurred expenses upon receipt by the City. The City reserves the right to request an applicant to submit a development escrow in advance of the formal project review.

Please refer to the City's Fee Schedule for information on planning review fees and deposits, and other applicable costs.

By signing this form, the applicant recognizes his/her responsibility for any and all fees associated with the land use application from project review through to construction and release of financial guarantees for an approved project. All fees associated with a project that is denied or withdrawn remain the sole responsibility of the applicant and shall be paid upon receipt of invoice.

I hereby understand the fee statement and responsibilities associated with this land use application:

Applicant Signature Date 12-21-24

Owner Signature

12/31/24

REVIEW REQUIREMENTS

Minnesota State Statute 15.99 requires local governments to review an application within 15 business days of its submission to determine if an application is complete and/or if additional information is required to complete the review. Once complete, a formal 60-day review period begins. The City has the ability to extend the review period an additional 60 days, if necessary, due to insufficient information or scheduling difficulties.

Please review the corresponding checklist that goes with the request as all materials are required unless waived by the City. All applications must be received by the deadline(s) attached hereto. Failure to submit by the date shown may result in a delay of the review by the Planning Commission and City Council.

DEADLINES

Planning Commissioning meetings are held on the first Thursday of the month at 6:00 P.M. All applications are due 30 days prior to meeting.

OFFICE	ISE ONLY
Application Type	Review Deadline
	15 Business Days:
	60 Day Review:
	120 Day Review:
Fees Collected	Received by
Application Fee Collected: \$	□ Name:
Escrow: \$	Signature:
☐ Total Receipt: \$	Date:
Receipt	Application Complete
☐ Receipt Number(s)	Are there any missing materials? ☐ Yes. ☐ No.
	If yes, was the application accepted? ☐ Yes. ☐ No.
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City of Maple Plain 5050 Independence St P.O. Box 97 Maple Plain, MN 55359 Office: (763) 479-0515 Fax: (763) 479-0519

SITE PLAN CHECKLIST & PROCEDURE

APPLICATION REQUIREMENTS

The foll certain req	owing materials are required in order for each application to receive consideration. The City reserves to waive uirements. An application that is missing materials may not be accepted.
N/A	Completed Land Use Application and pay all applicable fees. All materials as required by City Zoning Code regarding Site Plans. Certified survey of property (8 full size, 10 reduced) plus CAD and PDF electronic files. Written narrative of outlining project and purpose of request. Wetland report by Certified Wetland Specialist.
	Scaled site plan showing dimensions & distances Existing & proposed property conditions (page 2) Four-sided architectural plans and elevations Specifications for exterior finishes Grading, erosion control & drainage plans (page 2) Location of fire suppression, if applicable Soil borings, if applicable Parking plan Lighting plan Landscape plan Utility plan Tree Preservation plan Signage plan Storage & waste enclosure
	APPROVALS & PERMITS
ime for ag watershed	applications may require review and comment from the following agencies. Applicants should allow for enough ency review. The City encourages applicants to contact each state and county agency and the appropriate district prior to submitting formal application to understand agency requirements. City of Maple Plain MN Pollution Control Agency (NPDES) Hennepin County Minnehaha Creek Watershed District MN Department of Transportation Pioneer-Sarah Creek Watershed Commission
Upon o county, sta	ompletion of the formal review period, the following permits may be required for an approved project. The City, ite and other jurisdictional agencies each have a review period for all permit requests.
,,,	Building Permit Demolition Permit Excavation & Grading Permit Right of Way Permit Right of Way Permit Pioneer-Sarah Creek Watershed District Permit Pioneer-Sarah Creek Watershed Commission MnPCA Storm Water (NPDES) Construction Permit Water Availability Charge (WAC) Sign Permit Hennepin County Right of Way Permit MnDOT Right of Way Permit Minnehaha Creek Watershed District Permit Pioneer-Sarah Creek Watershed Commission MnPCA Storm Water (NPDES) Construction Permit Wetland Conservation Act requirements
	NOTICE TO APPLICANT
1. M pa 2. As 3. Si of	r to receive consideration, the applicant must complete a number of steps. eet with City staff to discuss the proposed use, whether permitted or conditional, obtain a land use application locket, and schedule a pre-application meeting. esemble information outlining the request. Indicate the completed application packet, including all materials as required by City Zoning Code related to the type request, to City Hall by the dates noted on the Land Use Application. Carticipate in the review process by attending City staff and public meetings.
E 0.4	tend all Dublic Haggings, and Diagning Commission and City Council meetings

Attend all Public Hearings, and Planning Commission and City Council meetings.

By law, the City of Maple Plain must notify adjacent property owners of proposed projects that may impact their properties. This notification is mailed to property owners within 350 feet of the project area at least 10 days prior to the public hearing. A Certified List of Property Owners will be compiled by the City of Maple Plain.

ADDITIONAL INFORMATION

Drawings of Existing & Proposed Conditions should include:

- gross and net acreages of the proposed development
- location, width and name of all existing streets and highway, public property, railroad, utility rights of way, & easements within the proposed development
- location and size of existing buildings & infrastructure (water, sewer and storm sewer lines)
- wetlands, wooded areas & other natural features
- tree inventory, including trees to be removed & saved
- · layout of proposed streets, rights of way and appropriate street information
- · layout proposed sidewalks, trails and pedestrian ways
- location and dimension of all easements
- minimum building setback lines.

Grading & Erosion Control & Drainage Plans must show the following:

- existing & proposed topography
- existing natural features, such as trees, wetlands, ponds, swales, drainage channels, etc.
- existing and proposed storm sewer facilities
- proposed storm water improvements
- flood elevations based on a 100-year flood plain
- spot elevations & directional arrows representing drainage patterns
- wetland delineation & mitigation plan at 2:1 ratio

ACKNOWLEDGEMENT

By signing this form, the applicant hereby acknowledges the receipt of the checklist and procedure for the project to be submitted for consideration. It is the responsibility of the applicant to submit all required materials. All permit requests should be submitted in a timely manner so as not to cause project delays.

Applicant Signature

for Cluga

Owner Signature

Date /2-21-24

Date 12/31/24



PROJECT SUMMARY & CARE MODEL PROPOSAL

Presented by

Jon Gleisner (Primary Contact) • Michael VonBank • Michael Appiah • Barbara Appiah

The Comfort Haven team is committed to the successful redevelopment and operation of the previous owner and operator. The new facility will be named Comfort Haven of Maple Plain.

To become a cornerstone of the community we understand our primary objective must be to meet the needs of the immediate neighborhood and the city. Our team of industry experts will deliver and operate an asset that will integrate with the surrounding neighborhood and the greater community.

SUMMARY OF FACILITY

When completed Comfort Haven of Maple Plain will provide 39 assisted living units and 22 memory care units. The business model provides accessibility for both private pay and state pay residents.





OUR TEAM WILL INVEST NEARLY \$6 MILLION IN YOUR COMMUNITY

We will do this in collaboration with facility neighbors and city staff. We have carefully studied previous attempts at this project. Our approach will focus on alleviating historical challenges and improving the presence of this facility both aesthetically and operationally.

In our discussions with city staff and neighbors we understand the following items are of primary importance, each is followed by our intentional response and planned deliverable.

LIGHTING, PARKING & TRAFFIC FLOW

- · East parking lot will be moved away from the property line.
- Cars will NOT be parking facing directly into neighboring properties.
- Adding improved lighting with less overspill by utilizing deflection panels directing light towards our facility not at neighbors.
- Adding a new fence to help eliminate lighting into neighboring properties.
- Adding a road around the building.
- Deliveries (food 2 x per week) and the refuse vehicle (1 x week) will no longer need to reverse out of the parking area.
- Adding additional parking to the south of the building.
 - Alleviate the need for on-street parking.
 - Compliance with the new Minnesota Dept of Health requirement of having a parking space for each resident totaling 61 parking spaces.

STAFF & RESIDENT TRAFFIC FLOW

- The Comfort Haven proposal is for a mix of assisted living (39 units) and memory care (22 units). This will require less staff to operate than the previous full-service skilled nursing facility.
- We expect residents and their visitors to come from within a 5 to 10-mile radius of the facility.
- Managed traffic flow will minimize staff driving in the surrounding neighborhood.

EXTERIOR

- · Complete renovation of the exterior and overall site including:
 - New roof
 - New windows
 - New siding
 - New landscaping including a revitalized courtyard and garden area
 - New driveways & parking areas

EMERGENCY CALLS

 Emergency response calls for our other comparable facilities have been well below state averages, typically less than three calls per month.





RESIDENT SAFETY AND RESPECT FOR NEIGHBORS

The experienced staff and leadership team of Comfort Haven of Maple Plain has developed a comprehensive service delivery model compliant with the State regulatory framework and based on decades of care experience. The plan demonstrates a commitment to safety, quality of life for the residents and respect for neighbors.

Secure Memory Care Units

Memory care residents will be housed in a secure unit. We will meet and exceed state
regulatory framework for residents with impaired memories. Elopement prevention and
safety will be paramount to all operational procedures.

Green Environment

 The new landscape package will provide an enhanced, green environment will significantly enhance the living conditions for all residents. Such environments can aid in the mental and emotional well-being of the elderly, especially those with memory issues, by providing calm and visually stimulating surroundings.

Wander Guard System

Implementing a wander guide system for memory care residents is a proactive approach
to monitor and alert staff if a resident strays from a safe area. This technology is crucial
to elopement prevention and ensures quick response times, thereby enhancing resident
safety.

Freedom for Assisted Living Residents

 Assisted Living residents will have the freedom to move in and out of the facility, reflecting the facility's compliance with state regulations that do not require locking Assisted Living units. A concierge will be employed 24/7 to manage sign-ins and signouts to maintain security while respecting residents' independence.

Thorough Admission Assessments

Success of the assisted living environment is predicated on proper screening. Extensive
admission assessments determine if a prospective client is suitable. This ensures that
only those capable of moving in and out of the facility unsupervised are allowed to do so.
Ongoing assessments will help in continuously evaluating the residents' needs and
capabilities, adjusting care levels as needed.

Elopement Policy

The Comfort Haven elopement policy outlines step-by-step procedures to be taken in the
event of an elopement incident. Staff are thoroughly trained on the policy and receive
annual updates. The policy details preventive measures, staff responsibilities, and
emergency response procedures to effectively manage an incident.





CARE MODEL

The Comfort Haven proposal is for a mix of assisted living (39 units) and memory care (22 units). The company currently operates 6 other care facilities and will provide references upon request.

Individualized care

Each resident receives a personalized care plan based on their specific needs and preferences.

Activities of daily living (ADLs) support

Staff assists with tasks like bathing, dressing, toileting, and eating as needed.

24/7 supervision

Trained staff are available around the clock to monitor residents and respond to emergencies.

Private living spaces

Residents typically live in their own apartments or rooms within the facility.

Common areas and social activities

Communal spaces are provided for socializing, dining, and participating in organized activities like games, exercise classes, and outings.

· On-site healthcare services

Access to basic medical care, including medication management and coordination with outside healthcare providers.

Housekeeping and laundry services

Assistance with routine household chores like cleaning and laundry.

Meal plans

Three meals per day are provided, often with dietary options to accommodate individual needs.

Regulations

Assisted living facilities are subject to state regulations governing the services we can provide and the qualifications of our staff.





RESPONSIVE & EXPERIENCED LEADERSHIP

The Comfort Haven leadership and ownership team combines decades of professional experience in senior care facility construction and service delivery.

Dr. Michael Appiah, MPA, MBA

Founder of 3MB Health Homecare & Assisted Living, Health Helper's Staffing and 3MB Management Consultants. Dr. Appiah is a distinguished leader whose career spans business, finance, healthcare, and ministry. He has devoted his life to integrating faith, professional excellence, and service to his community, particularly focusing on guiding entrepreneurs and organizations in ethical and sustainable growth.

Barbara Appiah, MNA, BSN, RN, CNA

Seasoned healthcare professional in the nursing and healthcare industry. Barbara currently serves as Director of Nursing at The Kenwood in Minneapolis. She leads a dedicated team of nursing professionals committed to delivering quality, patient-centered care.

Michael VonBank

Nearly two decades of assisted living and memory care facility ownership and operation. These properties include Waterville Assisted Living & Memory Care (47 residents), Traditions of Montgomery Assisted Living & Memory Care Facility (39 residents) and Comfort Haven Assisted Living of Prior Lake (5 Bedroom Assisting Living Facility opening soon). Traditions of Montgomery was newly constructed under the leadership of Mr. VonBank.

Jonathan Gleisner

Over three decades of experience in construction and business leadership. Mr. Gleisner has a BS in Accounting from Minnesota State University Mankato. His construction experience includes residential and commercial, new construction and redevelopment. He owns and operates several high-density living facilities.



COMFORT HAVEN MAPLE PLAIN

1520 WYMAN AVENUE MAPLE PLAIN, MN 55359

PROJECT TEAM

612-600-6036 JONNYGLEIS@HOTMAIL.COM

DESIGN/BUILDER

ARCHITECT OF RECORD

SPERIDES REINERS ARCHITECTS, INC. 6442 CITY WEST PARKWAY SUITE #300 EDEN PRAIRIE, MN 55344 **ERIC REINERS** 952-996-9662

MECHANICAL / PLUMBING

ERIC@SRA-MN.COM

ELECTRICAL

LANDSCAPE ARCHITECT

CIVIL SITE GROUP 5000 GLENWOOD AVENUE GOLDEN VALLEY,MN 55422 DAVID KNAEBLE 612-615-0060 DKNAEBLE@CIVILSITEGROUP.COM

STRUCTURAL ENGINEER

CIVIL ENGINEER

CIVIL SITE GROUP 5000 GLENWOOD AVENUE GOLDEN VALLEY, MN 55422 DAVID KNAEBLE 612-615-0060 DKNAEBLE@CIVILSITEGROUP.COM

FOOD SERVICE CONSULTANT

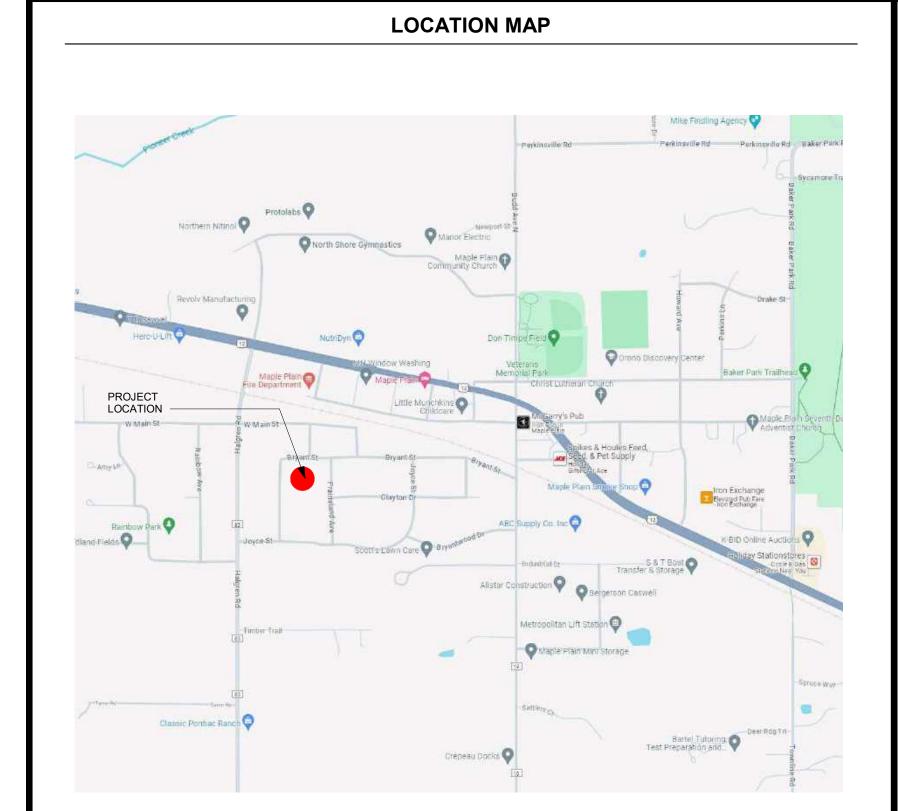
GENERAL NOTES

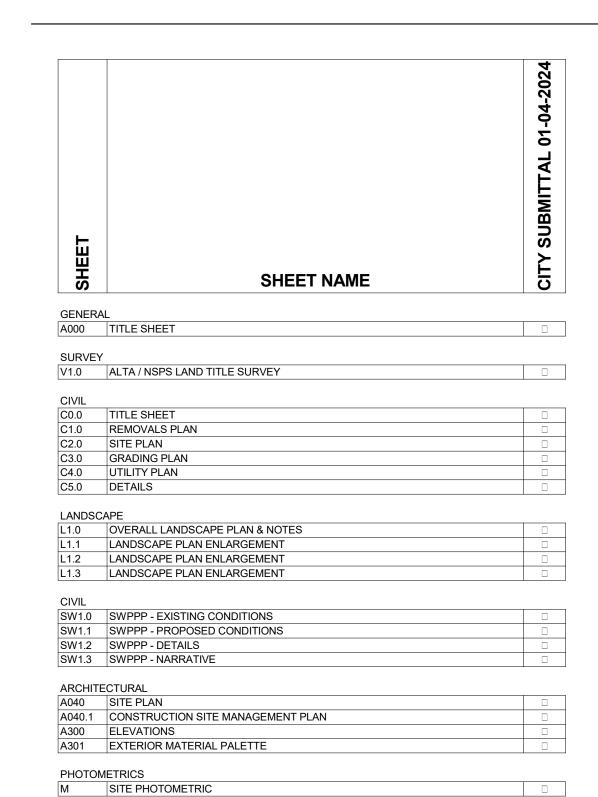
- . STUD FRAMING EXTENDED TO STRUCTURE ABOVE SHALL HAVE 3" X 3 5/8"
 GALVANIZED STUD TRACK AT TOP. STUD FRAMING SHALL BE 3/4" FROM TOP OF TRACK AND HAVE NO MECHANICAL FASTENING TO ALLOW FOR 3/4"
- 8. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO FABRICATION/ CONSTRUCTION BEGINS.
- PER MANUFACTURER'S REQUIREMENTS.). HOLD 1/2" CLEARANCE BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH SEALANT. STRIKE SEALANT SMOOTH AND FLUSH WITH FACE OF
- . CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF THE DOOR LEAF OR AS SHOWN ON THE FLOOR/
- VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL
- . SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
- H. PROVIDE FIRE TREATED BLOCKING AS REQUIRED TO SUPPORT ALL CABINETS SHELVES, BUILT-INS, EQUIPMENT OR ACCESSORIES. COORDINATE WITH VENDOR DOCUMENTS WHERE SUCH
- DURING CONSTRUCTION, AREA SHALL BE KEPT CLEAN AND ORDERLY.
- LIGHTING, EXIT LIGHTING INFORMATION, ELECTRICAL, DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS
 WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.

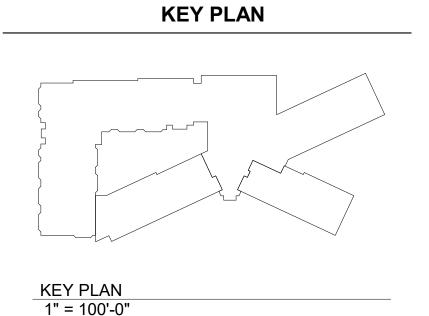
PROJECT IMAGE



SHEET INDEX







TITLE SHEET

PROJECT 24-141 DRAWN LS, AA CHECKED ER

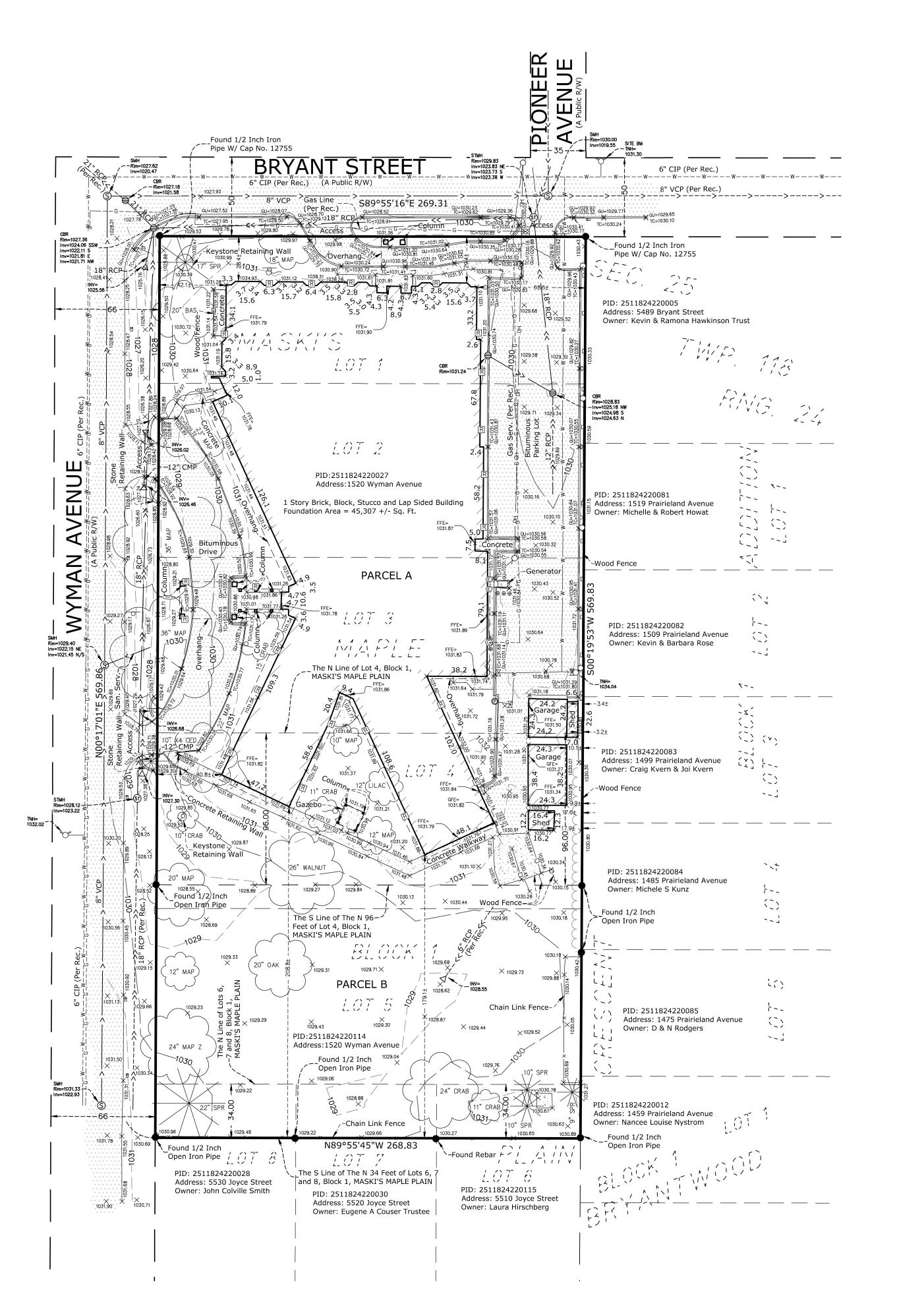
2/12/2025 1:27:48 PM

OWNER

COMFORT HAVEN LLC 7447 EGAN DRIVE SUITE #100 SAVAGE, MN 55378 JON GLEISNER

CONTRACTOR TO INSTALL EQUIPMENT

- PARTITION. REMOVE EXCESS SEALANT FROM PARTITION AND FLOOR.
- DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
- CONDITIONS APPLY.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL
- PROVIDE GFI ELECTRICAL OUTLETS AT LOCATIONS REQUIRED BY CODE.



DESCRIPTION OF PROPERTY SURVEYED

Parcel A:

Lots 1, 2, 3 and the North 96 feet of Lot 4, Block 1, Maski's Maple Plain, Hennepin County, Minnesota.

Parcel B:

Lot 5 and that part of Lot 4 lying South of the North 96 feet thereof, Block 1; The North 34 feet of Lots 6, 7 and 8, Block 1;

All in Maski's Maple Plain, Hennepin County, Minnesota.

GENERAL SURVEY NOTES

Abstract Property

- 1. Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
- 2. Elevations are based on the NGVD 29 Datum. Site Benchmark is the top nut of the fire hydrant located in the northeast quadrant at the intersection of
- Bryant Street and Pioneer Avenue, as shown hereon. Elevation = 1031.30

 3. We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also,

please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.

ALTA/NSPS LAND TITLE SURVEY NOTES

(numbered per Table A)

- 1. Monuments placed and/or found at all major corners of the boundary of the surveyed property as shown hereon.
- 2. Site Address: 1520 Wyman Avenue, Maple Plain, Minnesota 55359.
- 3. This property is contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0143F, effective date of November 4, 2016.
- 4. The Gross land area is 153,328 \pm square feet or 3.520 \pm acres.
- 7. (a) Exterior dimensions of buildings at ground level as shown hereon.
- 8. Substantial features observed in the process of conducting the fieldwork as shown hereon. Please note that seasonal conditions may inhibit our ability to visibly observed all site features located on the subject property.
- 9. No striped parking stalls were observed on the subject property while conducting the fieldwork.
- 13. The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from the Hennepin County Interactive Property map.

SURVEY REPORT

- 1. This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Land Title, Inc. as agent for Stewart Title Guaranty Company, File No. 685764, dated October 9, 2023. We note the following with regards to Schedule B II Exceptions of the herein referenced Title Commitment:
- a. Item no.'s 1-13 are not survey related.

ALTA CERTIFICATION

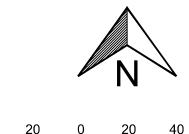
To: Elim Homes, Inc., a Minnesota non-profit corporation; Haven Homes, Inc., a Minnesota non-profit corporation; River Oaks at Maple Plain Real Estate, LLC; Land Title, Inc.; and Stewart Title Guaranty Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9, and 13 of Table A thereof.

The fieldwork was completed on 12-12-2023.

Dated this 22nd day of December, 2023.

Rory L. Synstellen Minnesota License No. 44565 rory@civilsitegroup.com



Linetype & Symbol Legend

SCALE IN FEET

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——————————————————————————————————————	STORM SEWER (RECORD) TELEPHONE LINE TELEPHONE LINE (RECORD) WATERMAIN WATERMAIN (RECORD) CHAINLINK FENCELINE WOODEN FENCELINE GUARDRAIL ACCESS RESTRICTION CONCRETE SURFACE PAVER SURFACE BITUMINOUS SURFACE		AIR CONDITIONER CABLE TV BOX ELECTRIC MANHOLE ELECTRIC TRANSFORMER ELECTRICAL METER FIBER/COMM. MANHOLE POWER POLE GUY WIRE GAS METER GAS MANHOLE GAS VALVE ROOF DRAIN SEWER CLEAN OUT SANITARY MANHOLE STORM MANHOLE CATCH BASIN FLARED END SECTION TELEPHONE BOX TELEPHONE MANHOLE TRAFFIC SIGNAL HYDRANT FIRE CONNECTION POST INDICATOR VALVE WATER MANHOLE WATER VALVE WELL	UTILITY VAULT UTILITY MANHOLE ELECTRICAL OUTLET HAND HOLE BOLLARD FLAG POLE FUEL TANK HANDICAP SYMBOL LIGHT POLE MAIL BOX SIGN CONIFEROUS TREE DECIDUOUS TREE SOIL BORING FOUND IRON MONUMENT SET OR TO BE SET IRON MONUME CAST IRON MONUMENT
	GRAVEL/LANDSCAPE SURFACE	(()	WELL	

Civil Engineering • Surveying • Landscape Architecture

5000 Glenwood Avenue
Golden Valley, MN 55422

civilsitegroup.com

612-615-0060

nan Avenue
n County, Minnesota 55359

1520 Wyl

I HEREBY CERTIFY THAT THIS SURVEY,
PLAN, OR REPORT WAS PREPARED BY ME
OR UNDER MY DIRECT SUPERVISION AND
THAT I AM A DULY LICENSED LAND
SURVEYOR UNDER THE LAWS OF THE
STATE OF MINNESOTA.

RORY L. SYNSTELIEN

DATE 12-22-2023 LICENSE NO. 44565

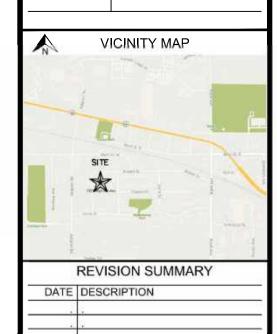
QA/QC

FIELD CREW DO

DRAWN BY DS

REVIEWED BY CJ

UPDATED BY .



NO.: 23443.00

ALTA/NSPS LAND

\/1 0

TITLE SURVEY

©COPYRIGHT 2023 CIVIL SITE GROUP

COMFORT HAVEN

MAPLE PLAIN, MINNESOTA
ISSUED FOR: PERMIT SUBMITTAL



PROJECT CONTACTS			
	NAME & ADDRESS	CONTACT	
CIVIL ENGINEER	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422	DAVE KNAEBLE 612-615-0060 DKNAEBLE@CIVILSITEGROUP.COM	
LANDSCAPE ARCHITECT	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422	ROB BINDER 612-615-0060 RBINDER@CIVILSITEGROUP.COM	
PROPERTY OWNER/DEVELOPER	COMFORT HAVEN LLC 4207 QUAKER TRAIL NE PRIOR LAKE, MN 55372	JON GLEISNER 612-600-6036 JONNYGLEIS@HOTMAIL.COM	
ARCHITECT	SPERIDES REINERS ARCHITECTS 6442 CITY WEST PARKWAY #300 EDEN PRAIRIE, MN 55344	ANDREW ALTSTATT 952-996-9662 ANDREWA@SRA-MN.COM	
SURVEYOR	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422	RORY SYNSTELIEN 612-615-0060 RORY@CIVILSITEGROUP.COM	

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



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PROJECT		OWNER
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SHEET INDEX

L1.0 OVERALL LANDSCAPE PLAN

L1.1 LANDSCAPE ENLARGEMENT

L1.2 LANDSCAPE ENLARGEMENT

L1.3 LANDSCAPE ENLARGEMENT

SW1.0 SWPPP - EXISTING CONDITIONS

SW1.1 SWPPP - PROPOSED CONDITIONS

L1.4 LANDSCAPE DETAILS

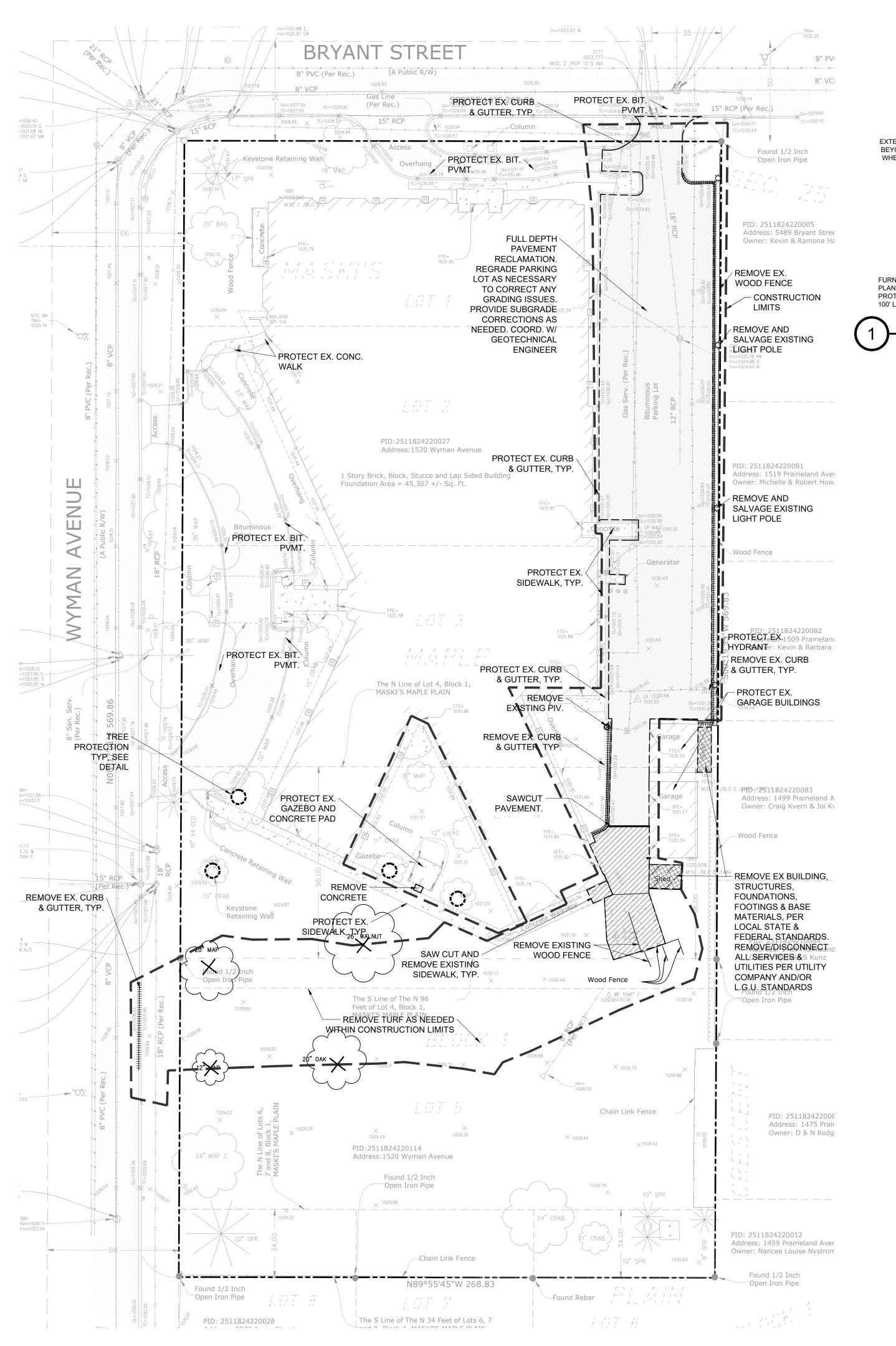
SW1.2 SWPPP - DETAILS SW1.3 SWPPP - NARRATIVE

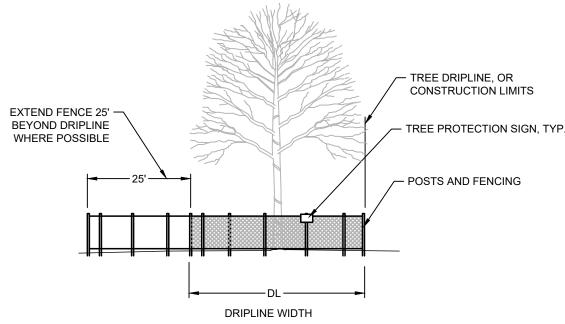
SHEET NUMBER SHEET TITLE

C0.0 TITLE SHEET

C2.0 SITE PLAN
C3.0 GRADING PLAN
C4.0 UTILITY PLAN
C5.0 DETAILS

C1.0 REMOVALS PLAN





FURNISH AND INSTALL TEMPORARY FENCE AT THE TREE'S DRIP LINE OR CONSTRUCTION LIMITS AS SHOWN ON PLAN, PRIOR TO ANY CONSTRUCTION. WHERE POSSIBLE PLACE FENCE 25' BEYOND DRIP LINE. PLACE TREE PROTECTION SIGN ON POSTS, ONE PER INDIVIDUAL TREE (FACING CONSTRUCTION ACTIVITY), OR ONE EVERY 100' LE ALONG A GROVE OR MULTI-TREE PROTECTION AREA

TREE PROTECTION

CITY OF MAPLE PLAIN REMOVAL NOTES:

- 1. THE CONDITION OF WYMAN AVENUE AND BRYANT STREET (INCLUDING THE STORM CONVEYANCE SYSTEM) SHOULD BE DOCUMENTED WITH VIDEO PRIOR TO ANY WORK. THESE STREETS HAVE JUST BEEN RECONSTRUCTED AND ARE IN GREAT CONDITION. ANY DAMAGE TO THE STREETS OR SEDIMENT DEPOSITED IN THE STORM SEWER AFTER WORK BEGINS SHOULD BE DEEMED TO BE CAUSED BY THE CONTRACTOR AND THEIR RESPONSIBILITY TO REPAIR OR REMOVE.
- 2. WORK WITHIN PUBLIC RIGHT-OF-WAY MUST BE COORDINATED WITH THE CITY. REMOVAL LIMITS SHALL BE MARKED BY THE CITY PRIOR TO DEMOLITION.

REMOVAL NOTES:

- 1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 2. SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT
- 3. REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- 4. REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
- 5. EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- 6. REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- 7. ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
- 8. EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- 9. PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND

WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER PRIOR TO ANY WORK.

- CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS. 10. MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS. FOR ANY WORK ON ADJACENT PRIVATE PROPERTY, THE CONTRACTOR SHALL OBTAIN
- 11. DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- 12. PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- 13. SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
- 14. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- 15. ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- 16. SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- 17. STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.
- 18. ALL EXISTING SITE TRAFFIC/REGULATORY SIGNAGE TO BE INVENTORIED AND IF REMOVED FOR CONSTRUCTION SHALL BE RETURNED TO LGU.
- 19. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

OWNER INFORMATION

COMFORT HAVEN LLC 4207 QUAKER TRAIL NE PRIOR LAKE, MN 55372 JON GLEISNER 612-600-6036 JONNYGLEIS@HOTMAIL.COM

REMOVALS LEGEND:

______ FULL DEPTH PAVEMENT RECLAMATION

REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.

CONSTRUCTION LIMITS

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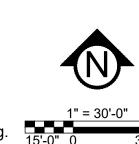
PROPERTY LINE REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL

GOVERNING UNIT.



TREE PROTECTION TREE REMOVAL - INCLUDING ROOTS AND STUMPS







vilsitearoup.com

612-615-00

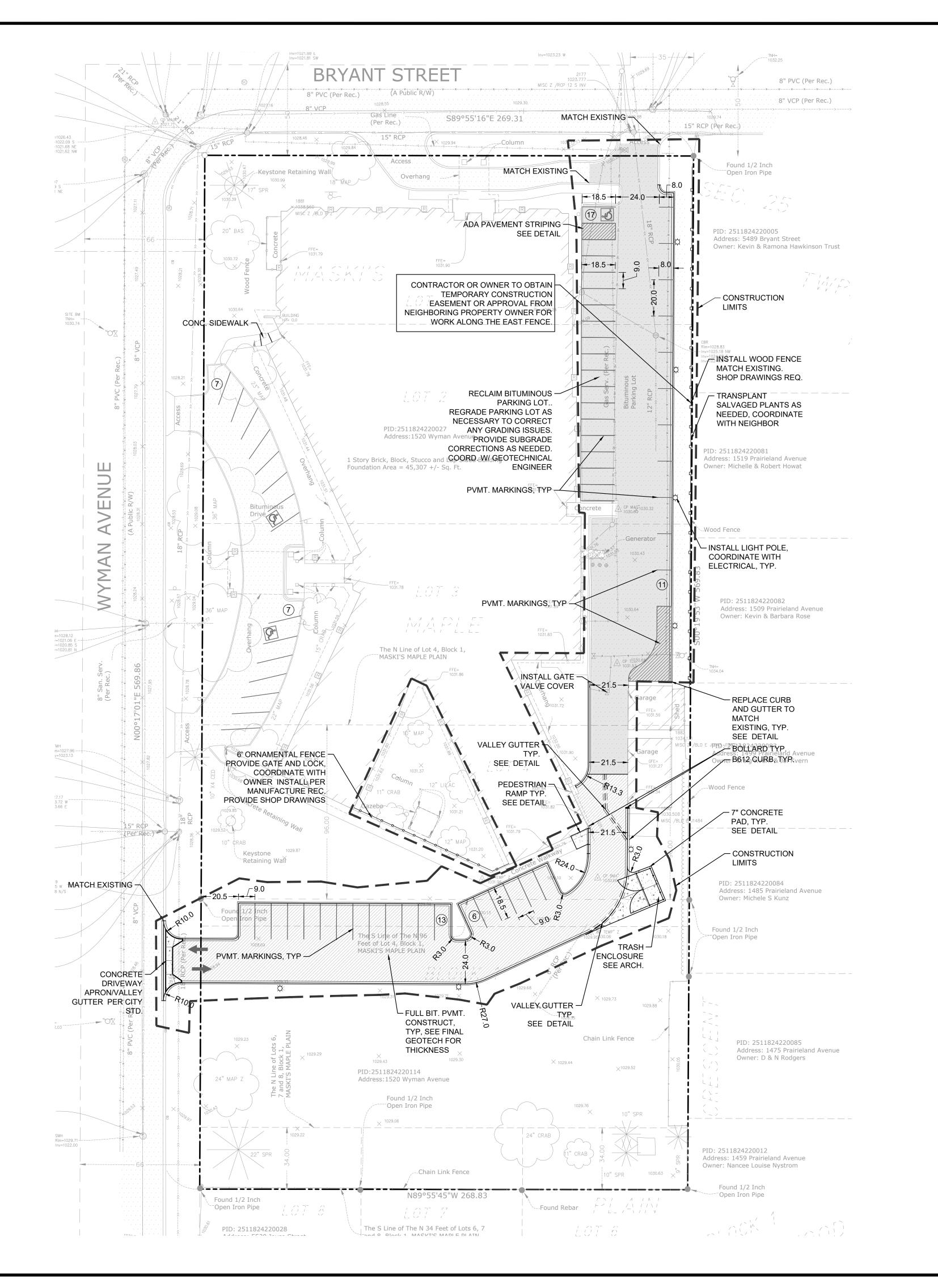
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIREC SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF

MINNESOTA.

DATE 02/14/25 LICENSE NO. 48776 ISSUE/SUBMITTAL SUMMARY

NTACT NUMBER REVISION SUMMARY DATE DESCRIPTION ADDENDUM #1

REMOVALS PLAN



SITE LAYOUT NOTES:

- 1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATIONAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- 3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- 4. THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- 5. LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- 6. CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE
- 7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- 8. FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- 9. PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
- 10. ALL PARKING LOT PAINT STRIPING TO BE WHITE, 4" WIDE TYP.
- 11. BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT
- 12. ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.
- 13. CONTRACTOR IS RESPONSIBLE TO INSTALL ANY SIDEWALK AND CURBING PER DESIGN PLAN. CONTRACTOR TO VERIFY ALL CURBS AND SIDEWALKS WILL DRAIN PROPERLY IN FIELD CONDITIONS. CONTRACTOR MUST CONTACT THE CIVIL ENGINEER 24-HOURS PRIOR TO ANY CURB AND/OR SIDEWALK INSTALLATION TO REVIEW AND INSPECT CURB STAKES. CONTRACTOR IS RESPONSIBLE FOR ANY CURB OR SIDEWALK REPLACEMENT IF THIS PROCEDURE IS NOT FOLLOWED.

FENCING SCHEDULE						
LOCATION	TYPE	HEIGHT	MAKE	MODEL	FINISH	REMARKS
EAST PROPERTY LINE	MATCH EXISTING FENCE	MATCH EX.	MATCH EX.	MATCH EX.	MATCH EX	TO MATCH EXISTING FENCE IN MATERIAL, HEIGHT, SIZE, LOCATION, COORDINATE WITH OWNER
COURTYARD FENCE	ORNAMENTAL METAL	6'	AMERISTAR FENCING	MONTAGE	BLACK	MAKE, MODEL & COLOR FOR REFERENCE ONLY. PROVIDE GATE AND LOCK
	•		L COMPONENTS. MANU		*	

SITE AREA CALCULATIONS						
	EXISTING CO	NDITION		PROPOSED CO	ONDITION	
IMPERVIOUS SURFACES						
BUILDING COVERAGE	47,180 SF	30.8%		46,980 SF	30.6%	
PAVEMENT	31,397 SF	20.5%		39,407 SF	25.7%	
TOTAL	78,577 SF	51.2%	0.0 AC	86,387 SF	56.3%	2.0 AC
PERVIOUS SURFACES						
TOTAL	74,751 SF	48.8%	1.7 AC	66,941 SF	43.7%	1.5 AC
TOTAL SITE AREA	153,328 SF	100.0%	3.5 AC	153,328 SF	100.0%	3.5 AC
DIFFERENCE (EX. VS PROP.)	7,810 SF	5.1%				
DISTURBED AREA	30,000 SF	0.7	AC			

OWNER INFORMATION

COMFORT HAVEN LLC 4207 QUAKER TRAIL NE PRIOR LAKE, MN 55372 JON GLEISNER 612-600-6036 JONNYGLEIS@HOTMAIL.COM

CITY OF MAPLE PLAIN SITE SPECIFIC NOTES:

- 1. THE CONDITION OF WYMAN AVENUE AND BRYANT STREET (INCLUDING THE STORM CONVEYANCE SYSTEM) SHOULD BE DOCUMENTED WITH VIDEO PRIOR TO ANY WORK. THESE STREETS HAVE JUST BEEN RECONSTRUCTED AND ARE IN GREAT CONDITION. ANY DAMAGE TO THE STREETS OR SEDIMENT DEPOSITED IN THE STORM SEWER AFTER WORK BEGINS SHOULD BE DEEMED TO BE CAUSED BY THE CONTRACTOR AND THEIR RESPONSIBILITY TO REPAIR OR REMOVE.
- WORK WITHIN PUBLIC RIGHT-OF-WAY MUST BE COORDINATED WITH THE CITY. REMOVAL LIMITS SHALL BE MARKED BY THE CITY PRIOR TO DEMOLITION.

SITE PLAN LEGEND:

SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED. HC = ACCESSIBLE SIGN NP = NO PARKING FIRE LANE ST = STOP CP = COMPACT CAR PARKING ONLY

CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN

BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH, SEE DETAIL. FULL DEPTH RECLAMATION PAVEMENT

CONCRETE PAD/WALK

PROPERTY LINE CONSTRUCTION LIMITS



I HEREBY CERTIFY THAT THIS PLAN,

SPECIFICATION, OR REPORT WAS

PREPARED BY ME OR UNDER MY DIREC

SUPERVISION AND THAT I AM A DULY

LICENSED PROFESSIONAL ENGINEER

UNDER THE LAWS OF THE STATE OF

MINNESOTA.

DATE 02/14/25 LICENSE NO. 48776

ISSUE/SUBMITTAL SUMMARY

JECT MANAGER DAVID KNAEBL

REVISION SUMMARY

DESCRIPTION

SITE PLAN

TACT NUMBER

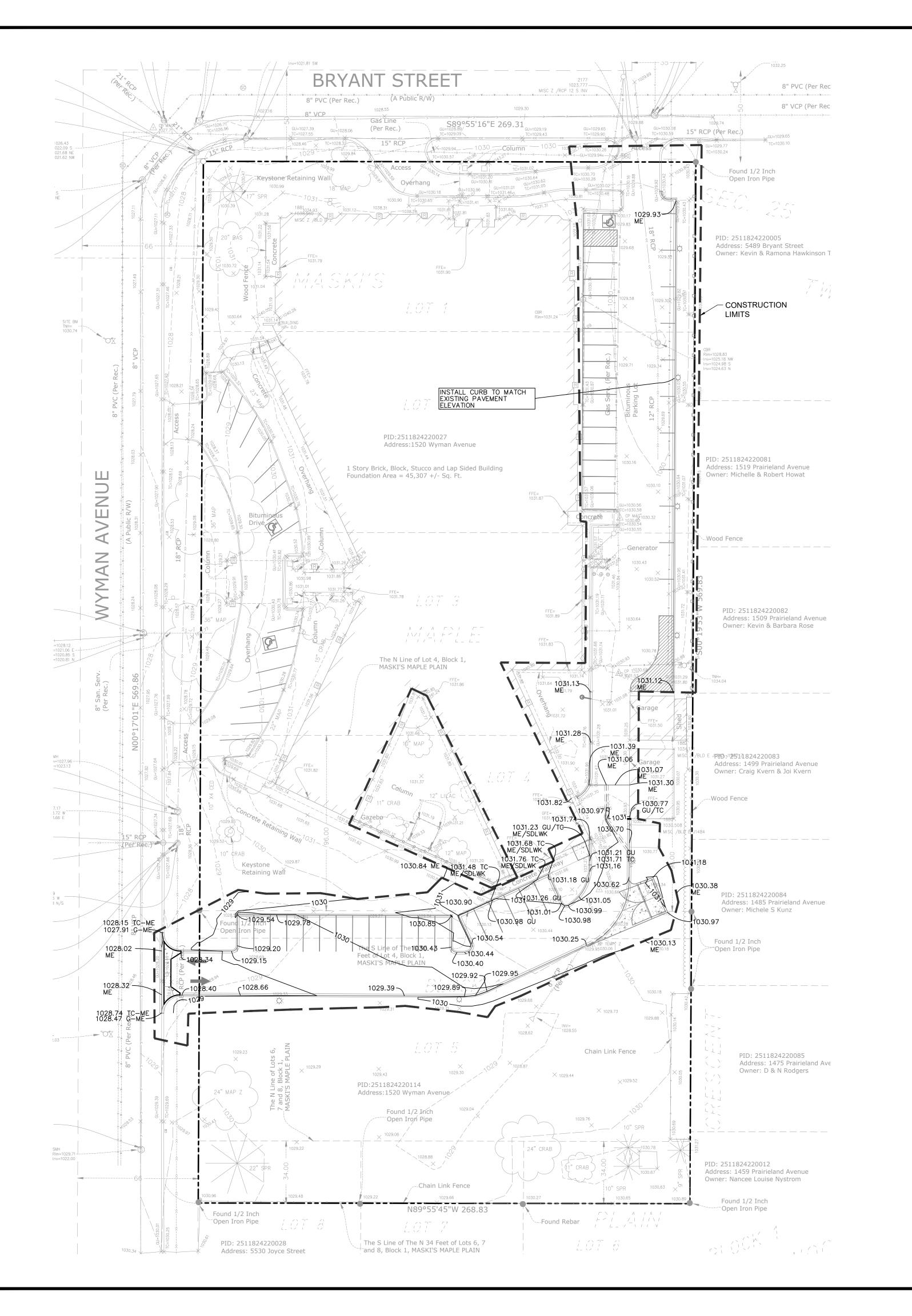
GROUP Civil Engineering ° Surveying ° Landscape Architecture

5000 Glenwood Avenue

vilsitearoup.com

Golden Valley, MN 55422

612-615-006



GENERAL GRADING NOTES:

- 1. CONTRACTOR SHALL VERIFY ALL BUILDING ELEVATIONS, (FFE, LFE, GFE), PRIOR TO CONSTRUCTION BY CROSS CHECKING WITH ARCHITECTURAL, STRUCTURAL AND CIVIL ELEVATIONS FOR EQUIVALENT "100" ELEVATIONS. THIS MUST BE DONE PRIOR TO EXCAVATION AND INSTALLATION OF ANY FOOTING MATERIALS. VERIFICATION OF THIS COORDINATION SHALL BE CONFIRMED IN WRITING BY CIVIL, SURVEYOR, ARCHITECTURAL, STRUCTURAL AND CONTRACTOR PRIOR TO CONSTRUCTION.
- 2. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 3. SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
- 4. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION. SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
- 5. ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED EXCAVATIONS THAT FALL WITHIN THE PUBLIC RIGHT OF WAY WILL REQUIRE A "RIGHT OF WAY EXCAVATION PERMIT". CONTRACTOR IS RESPONSIBLE FOR AQUIRING THIS PERMIT PRIOR TO CONSTRUCTION IF APPLICABLE
- 6. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 7. GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
- 8. PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
- 9. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
- 10. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1.
- 11. PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
- 13. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
- 14. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- 15. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- 16. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER. NO TEST ROLL SHALL OCCUR WITHIN 10' OF ANY UNDERGROUND STORM RETENTION/DETENTION SYSTEMS.

17. TOLERANCES

- 17.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
- 17.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE
- 17.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- 17.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.

18. MAINTENANCE

- 18.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH
- 18.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDED AND MULCHED.
- 18.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

EROSION CONTROL NOTES:

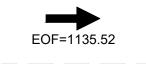
SEE SWPPP ON SHEETS SW1.0 - SW1.3

CITY OF MAPLE PLAIN GRADING NOTES:

RESERVED FOR CITY SPECIFIC GRADING NOTES.

GRADING PLAN LEGEND:

EX. 1' CONTOUR ELEVATION INTERVAL —1137———— 1.0' CONTOUR ELEVATION INTERVAL SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED) 891.00 G SPOT GRADE ELEVATION GUTTER SPOT GRADE ELEVATION TOP OF CURB 891.00 TC SPOT GRADE ELEVATION BOTTOM OF 891.00 BS/TS STAIRS/TOP OF STAIRS 891.00 ME SPOT GRADE ELEVATION MATCH EXISTING **GRADE BREAK - HIGH POINTS** CURB AND GUTTER (T.O = TIP OUT)



EMERGENCY OVERFLOW

CONSTRUCTION LIMITS



GROUP Civil Engineering ° Surveying ° Landscape Architecture 5000 Glenwood Avenue

Golden Valley, MN 55422

/ilsitearoup.com

612-615-00

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIREC SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF

MINNESOTA.

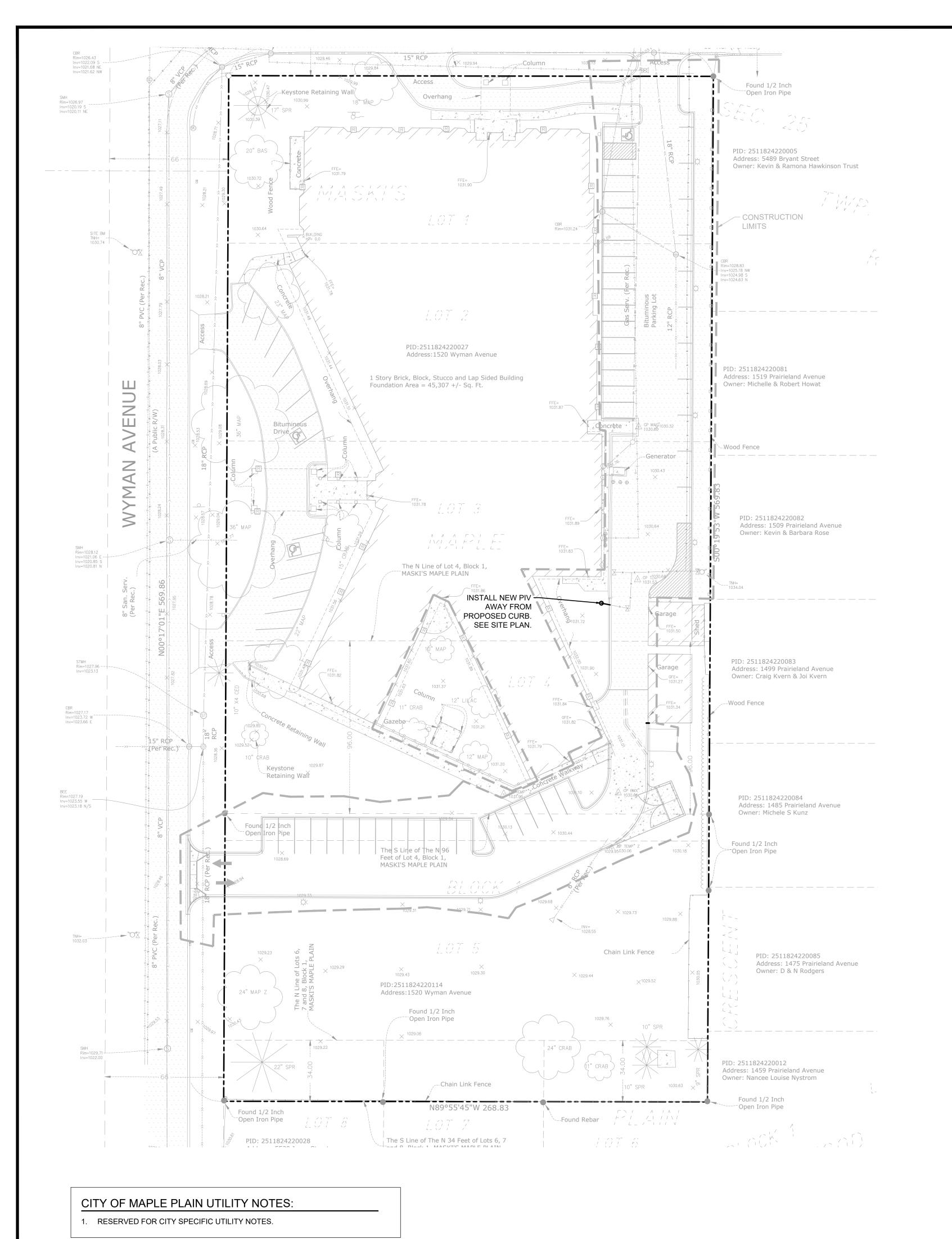
David J. Knaeble

DATE 02/14/25 LICENSE NO. 48776 ISSUE/SUBMITTAL SUMMARY DESCRIPTION

JECT MANAGER DAVID KNAEBL NTACT NUMBER **REVISION SUMMARY**

DESCRIPTION

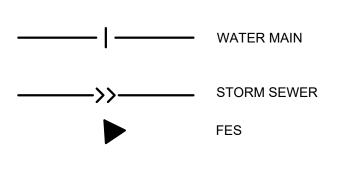
GRADING PLAN



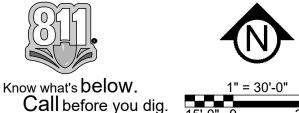
GENERAL UTILITY NOTES:

- 1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 2. SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- 3. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- 4. UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- 5. CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE
- 6. ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED.
- 7. ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) ASTM D3034 & F679, OR SCH 40 ASTM D1785, 2665, ASTM F794, 1866) UNLESS OTHERWISE NOTED.
- 8. ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714 & F2306 WITH ASTM D3212 SPEC FITTINGS UNLESS OTHERWISE
- 9. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- 10. UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL
- 11. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- 12. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- 13. HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
- 14. A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- 15. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
- 16. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- 17. CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- 18. COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- 19. COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- 20. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- 21. ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- 22. 2CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- 23. CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- 24. CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
- 25. ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER
- 26. ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MN RULES, CHAPTER 4714, SECTION 1109.0.
- 27. FOR ALL SITES LOCATED IN CLAY SOIL AREAS, DRAIN TILE MUST BE INSTALLED AT ALL LOW POINT CATCH BASINS 25' IN EACH DIRECTION. SEE PLAN AND DETAIL. INSTALL LOW POINT DRAIN TILE PER PLANS AND GEOTECHNICAL REPORT RECOMMENDATIONS AND REQUIREMENTS.

UTILITY LEGEND: CATCH BASIN MANHOLE GATE VALVE AND VALVE BOX WATER MAIN



CONSTRUCTION LIMITS



612-615-00

GROUP Civil Engineering ° Surveying ° Landscape

Architecture

5000 Glenwood Avenue

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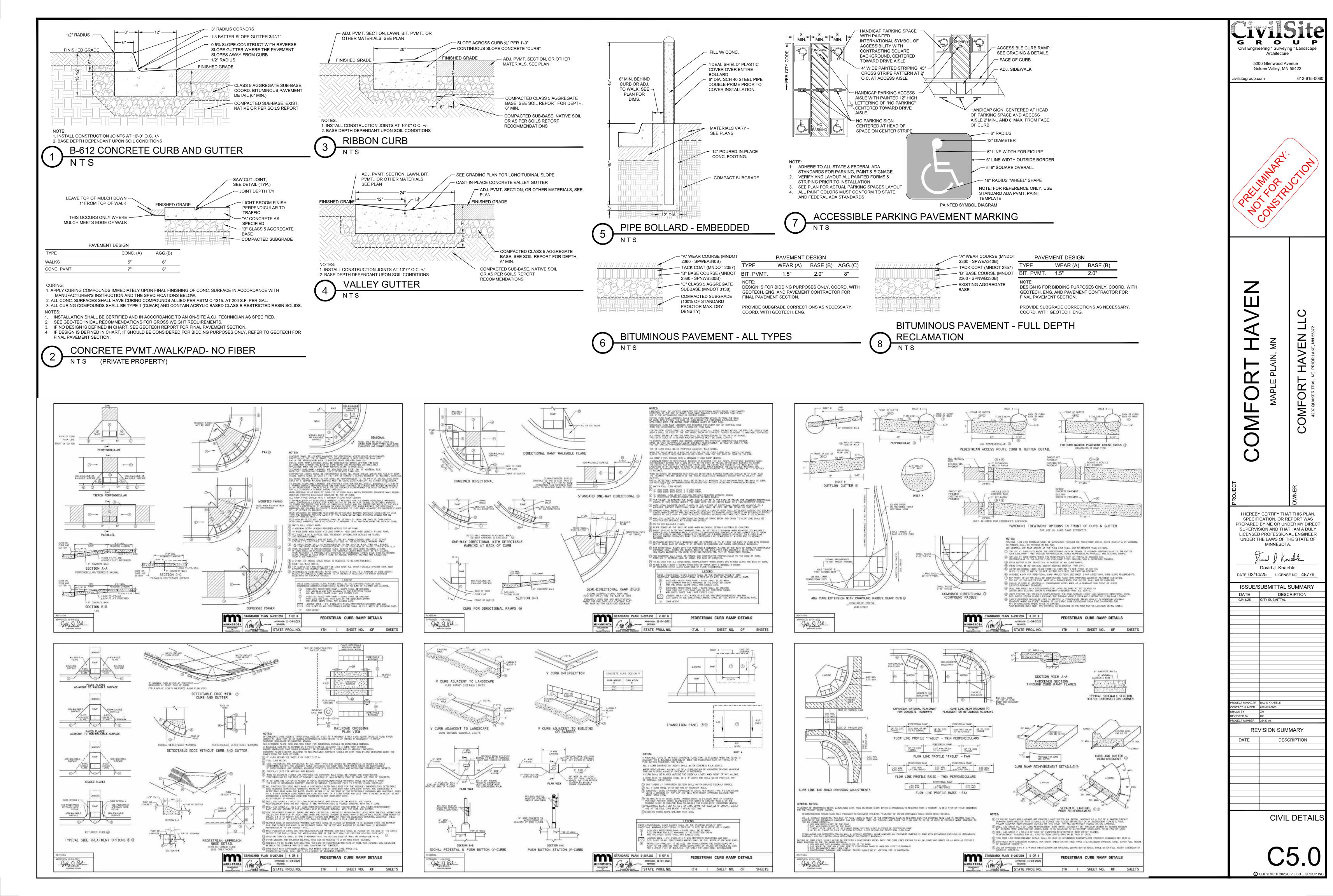
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER

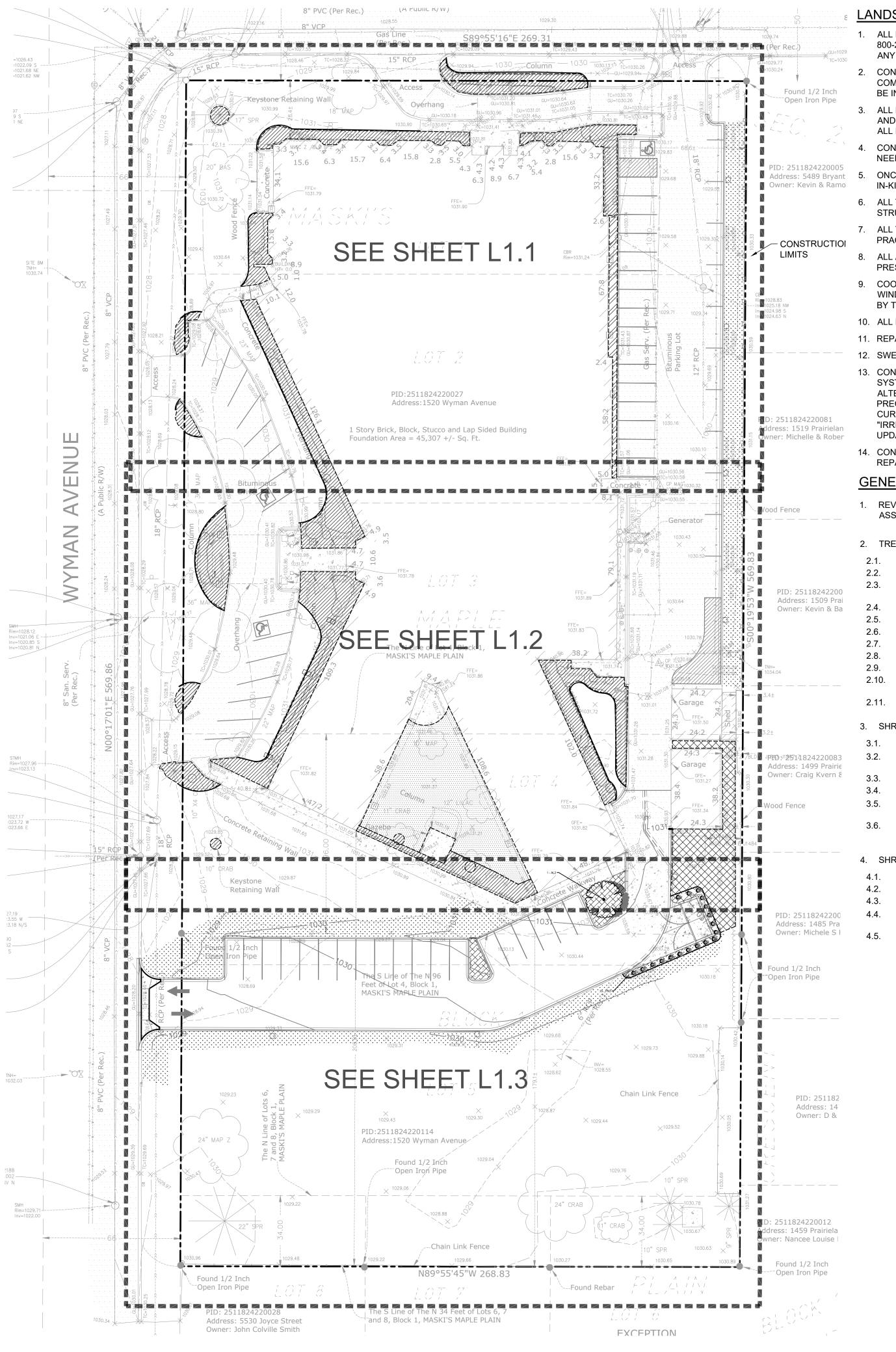
UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE 02/14/25 LICENSE NO. 48776 ISSUE/SUBMITTAL SUMMARY

ROJECT MANAGER	DAVID KNAEBLE
ONTACT NUMBER	612-615-0060
RAWN BY	ZH
VIEWED BY	DK
ROJECT NUMBER	23443.01
RE\	/ISION SUMMARY
DATE	DESCRIPTION
	I .

UTILITY PLAN





LANDSCAPE NOTES:

- 1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE 1. ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- CONTRACTOR SHALL INSPECT THE SITE WITH THE OWNER AND/OR OWNER'S REPRESENTATIVES PRIOR TO WORK COMMENCING. ADDITIONAL WORK AND/OR DETAILS REGARDING REMOVAL, CLEAN-UP, TRIMMING, AND REFURBISHMENT MAY
- ALL EXISTING PLANTING BEDS SHALL BE CLEANED OF DEAD PLANT MATERIAL, WEEDS, AND "VOLUNTEER" LARGER TREES AND SHRUBS. GENERALLY REMOVALS SHALL BE AT THE DISCRETION OF THE CONTRACTOR WITH THE GOAL OF TRIMMING ALL EXISTING SHRUBS TO A MANAGEABLE SIZE AND SHAPE - APPROX. 4' HT. FOR MOST AREAS.
- CONTRACTOR SHALL REVIEW AND ASSESS ALL EXISTING LANDSCAPE EDGING. REPLACE DAMAGED OR BROKEN SECTION AS NEEDED. MATCH EXIST. MATERIALS IN-KIND.
- ONCE CLEANED OF DEAD PLANT MATERIAL, DEBRIS AND WEEDS, ALL EXISTING PLANTING BEDS SHALL BE RE-MULCHED WITH IN-KIND MULCH MATERIALS SO AS TO PROVIDE A MULCH LAYER OF APPROX. 3" TOTAL.
- ALL TREES THROUGHOUT THE SITE SHALL BE EXAMINED BY THE CONTRACTORS ARBORIST (OR EQUIV.) AND ASSESSED FOR STRUCTURAL INTEGRITY, HEALTH, AND SHAPE/AESTHETICS. CONTRACTOR SHALL TRIM TREES BASED ON THOSE CRITERIA.
- 7. ALL TRIMMING SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND INDUSTRY "BEST PRACTICES".
- 8. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RETURNED TO PREVIOUS CONDITIONS OR CONDITIONS AS PRESCRIBED IN THESE DOCUMENTS AS COMPLETED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 9. COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- 11. REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES
- 12. SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- 13. CONTRACTOR SHALL INSPECT AND ASSESS THE EXISTING SITE IRRIGATION SYSTEM DESIGN AND INSTALLATION. THE SYSTEM SHOULD BE FULL OPERATIONAL AND NOT LEAKING. IT SHOULD BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING, PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHOULD EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB. IF THE SYSTEM DOES NOT MEET THESE GENERAL CRITERIA, OR THE RECOMMENDATIONS AS SPECIFIED IN THE "IRRIGATION NOTES & RECOMMENDATIONS", CONTRACTOR SHALL PROPOSE SPECIFIC REPAIRS OR RENOVATIONS TO UPDATE THE SYSTEM - INCLUDE AN ALTERNATE BID FOR THAT WORK.
- 14. CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO REPAIRS, RENOVATION, OR INSTALLATION.

GENERAL PRUNING GUIDELINES & NOTES:

. REVIEW AS GENERAL GUIDELINES & PRACTICES. ALL TRIMMING SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND INDUSTRY "BEST PRACTICES"

2. TREES:

- REMOVE LIMBS THAT EXTEND BEYOND THE NATURAL CROWN OF THE TREE
- 2.2. REMOVE DEAD, BROKEN OR CROSSING LIMBS
- REMOVE LIMBS THAT TURN INWARD TOWARDS THE TRUNK, UNLESS THIS IS A CHARACTERISTIC OF THE PARTICULAR SPECIES
- TRIM BRANCH STUBS AS CLOSE TO THE TRUNK, OR NEXT MAJOR LIMB AS POSSIBLE
- REMOVE ALL ROOT SUCKERS AND SPROUTS
- SHORTEN LOW BRANCHES TO DEVELOP TRUNK THICKNESS
- REMOVE COMPETING STEMS TO DEVELOP A SINGLE TRUNK
- REMOVE GIRDLING ROOTS ON YOUNG TREES ONLY 2.9. REMOVE "WATER SPOUT" LIMBS
- 2.10. EXAMINE STRUCTURE OF THE TREE AND REMOVE BRANCHING WHICH CREATES A NARROW ANGLE BETWEEN THE LIMB AND THE TRUNK.
- 2.11. REMOVE LIMBS THAT GROW PARALLEL TO AND TOO CLOSE TO ADJACENT LIMBS

3. SHRUBS - CANE & WOODY:

- 3.1. REMOVE ALL DEAD CANES/STEMS
- REMOVE APPROX. $rac{1}{3}$ OF CANES OR STEMS AT THE GROUND STARTING WITH THE OLDEST IF POSSIBLE.
- THIN BRANCHES THROUGHOUT THE CROWN.
- REMOVE TANGLED LIMBS
- "HEAD BACK" THE CROWN OF THE PLANT TO APPROX. $rac{2}{3}$ THE CURRENT HEIGHT OF THE OVERGROWN PLANTS.
- FORM CROWN AND OVERALL SHAPE OF SHRUB TO MATCH GENERAL PARAMETERS OF THE PARTICULAR SPECIES.

4. SHRUBS - EVERGREEN:

- 4.1. REMOVE ALL DEAD OR DAMAGED LIMBS
- REMOVE ALL LIMBS THAT EXTEND BEYOND THE NATURAL SHAPE OF THE PLANT.
- 4.3. REMOVE TANGLED LIMBS
- 4.4. IF MULTIPLE STEMS ARE PRESENT AT THE GROUND (DEPENDS ON SPECIES) REMOVE APPROX. $\frac{1}{3}$ OF THE OLD STEMS.
- TRIM THE CROWN EVENLY FROM THE TOP DOWNWARD, CREATING A NATURALLY ROUNDED FORM DO NOT "SQUARE OFF" OR CUT FLAT SIDES.

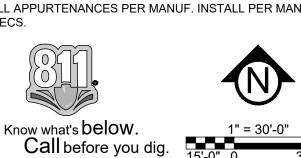
IRRIGATION NOTES & RECOMMENDATIONS:

- ENTIRE SITE SHALL BE FULLY IRRIGATED. THE CONTRACTOR SHALL SUBMIT IRRIGATION SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.
- CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INLCUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.
- 4. SEE MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS FOR IRRIGATION WATER, METER, AND POWER CONNECTIONS.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND/ABOVE GROUND FACILITIES PRIOR TO ANY EXCAVATION/INSTALLATION. ANY DAMAGE TO UNDERGROUND/ABOVE GROUND FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COSTS ASSOCIATED WITH CORRECTING DAMAGES SHALL BE BORNE ENTIRELY BY THE CONTRACTOR.
- SERVICE EQUIPMENT AND INSTALLATION SHALL BE PER LOCAL UTILITY COMPANY STANDARDS AND SHALL BE PER NATIONAL AND LOCAL CODES. EXACT LOCATION OF SERVICE EQUIPMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT OR EQUIVALENT AT THE JOB SITE.
- 7. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR THE PROPOSED ELECTRICAL SERVICE AND METERING FACILITIES.
- IRRIGATION WATER LINE CONNECTION SIZE IS 1-1/2" AT BUILDING. VERIFY WITH MECHANICAL PLANS.
- 9. ALL MAIN LINES SHALL BE 18" BELOW FINISHED GRADE.
- 10. ALL LATERAL LINES SHALL BE 12" BELLOW FINISHED GRADE.
- 11. ALL EXPOSED PVC RISERS, IF ANY, SHALL BE GRAY IN COLOR.
- 12. CONTRACTOR SHALL LAY ALL SLEEVES AND CONDUIT AT 2'-0" BELOW THE FINISHED GRADE OF THE TOP OF PAVEMENT. EXTEND SLEEVES TO 2'-0" BEYOND PAVEMENT.
- 13. CONTRACTOR SHALL MARK THE LOCATION OF ALL SLEEVES AND CONDUIT WITH THE SLEEVING MATERIAL "ELLED" TO 2'-0" ABOVE FINISHED GRADE AND CAPPED.
- 14. FABRICATE ALL PIPE TO MANUFACTURE'S SPECIFICATIONS WITH CLEAN AND SQUARE CUT JOINTS. USE QUALITY GRADE PRIMER AND SOLVENT CEMENT FORMULATED FOR INTENDED TYPE OF
- 15. BACKFILL ALL TRENCHES WITH SOIL FREE OF SHARP OBJECTS AND DEBRIS.
- 16. ALL VALVE BOXES AND COVERS SHALL BE BLACK IN COLOR.
- 17. GROUP VALVE BOXES TOGETHER FOR EASE WHEN SERVICE IS REQUIRED. LOCATE IN PLANT BED AREAS WHENEVER POSSIBLE.
- 18. IRRIGATION CONTROLLER LOCATION SHALL BE VERIFIED ON-SITE WITH OWNER'S REPRESENTATIVE.
- 19. CONTROL WIRES: 14 GAUGE DIRECT BURIAL, SOLID COPPER IRRIGATION WIRE. RUN UNDER MAIN LINE. USE MOISTURE-PROOF SPLICES AND SPLICE ONLY AT VALVES OR PULL BOXES. RUN SEPARATE HOT AND COMMON WIRE TO EACH VALVE AND ONE (1) SPARE WIRE AND GROUND TO FURTHEST VALVE FROM CONTROLLER. LABEL OR COLOR CODE ALL WIRES.
- 20. AVOID OVER SPRAY ON BUILDINGS, PAVEMENT, WALLS AND ROADWAYS BY INDIVIDUALLY ADJUSTING RADIUS OR ARC ON SPRINKLER HEADS AND FLOW CONTROL ON AUTOMATIC VALVE.
- 21. ADJUST PRESSURE REGULATING VALVES FOR OPTIMUM PRESSURE ON SITE.
- 22. USE SCREENS ON ALL HEADS.

CONNECTION.

- 23. A SET OF AS-BUILT DRAWINGS SHALL BE MAINTAINED ON-SITE AT ALL TIMES IN AN UPDATED CONDITION.
- 24. ALL PIPE 3" AND OVER SHALL HAVE THRUST BLOCKING AT EACH TURN.
- 25. ALL AUTOMATIC REMOTE CONTROL VALVES WILL HAVE 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL UNDERNEATH VALVE AND VALVE BOX. GRAVEL SHALL EXTENT 3" BEYOND PERIMETER OF VALVE BOX.
- 26. THERE SHALL BE 3" MINIMUM SPACE BETWEEN BOTTOM OF VALVE BOX COVER AND TOP OF VALVE STRUCTURE

THE LAWS OF THE STATE OF MINNESOTA LEGEND CLEAN PLANTING BED, REMOVE ALL WEEDS & VOLUNTARY VEGETATION, PROTECT EXIST. PERENNIALS, RE-MULCH, IN-KIND - APPROX. 9,303 SF REMOVE WEEDS AND DEBRIS ALONG BUILDING FOUNDATION, RE-MULCH IN-KIND - APPROX. 845 SF REMOVE ALL WEEDS & VOLUNTARY VEGETATION, REMOVE ALL DEBRIS
AND RE-ESTABLISH LAWN IN ALL AREAS AROUND TRASH ENCLOSURE AND
ACCESSORY BUILDINGS, TRIME EVICTING TRACES. ACCESSORY BUILDINGS. TRIM EXISTING TREES AND SHRUBS - APPROX 2,240 SF LAWN - SOD LAWN - SEED CEDAR WOOD MULCH, SAMPLES REQUIRED PROVIDE EDGING AS SHOWN ON PLAN EDGING - SHALL BE COMMERCIAL GRADE, 4" DEPTH ALUMINUM, BLACK OR DARK GREEN IN COLOR, INCLUDE ALL CONNECTORS, STAKES, & ALL APPURTENANCES PER MANUF. INSTALL PER MANUF OVERALL LANDSCAPE INSTRUC./SPECS.



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GROU

Civil Engineering ° Surveying ° Landscape

Architecture

5000 Glenwood Avenue

Golden Valley, MN 55422

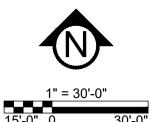
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIREC SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDE

DATE 02/14/25 LICENSE NO. 25821

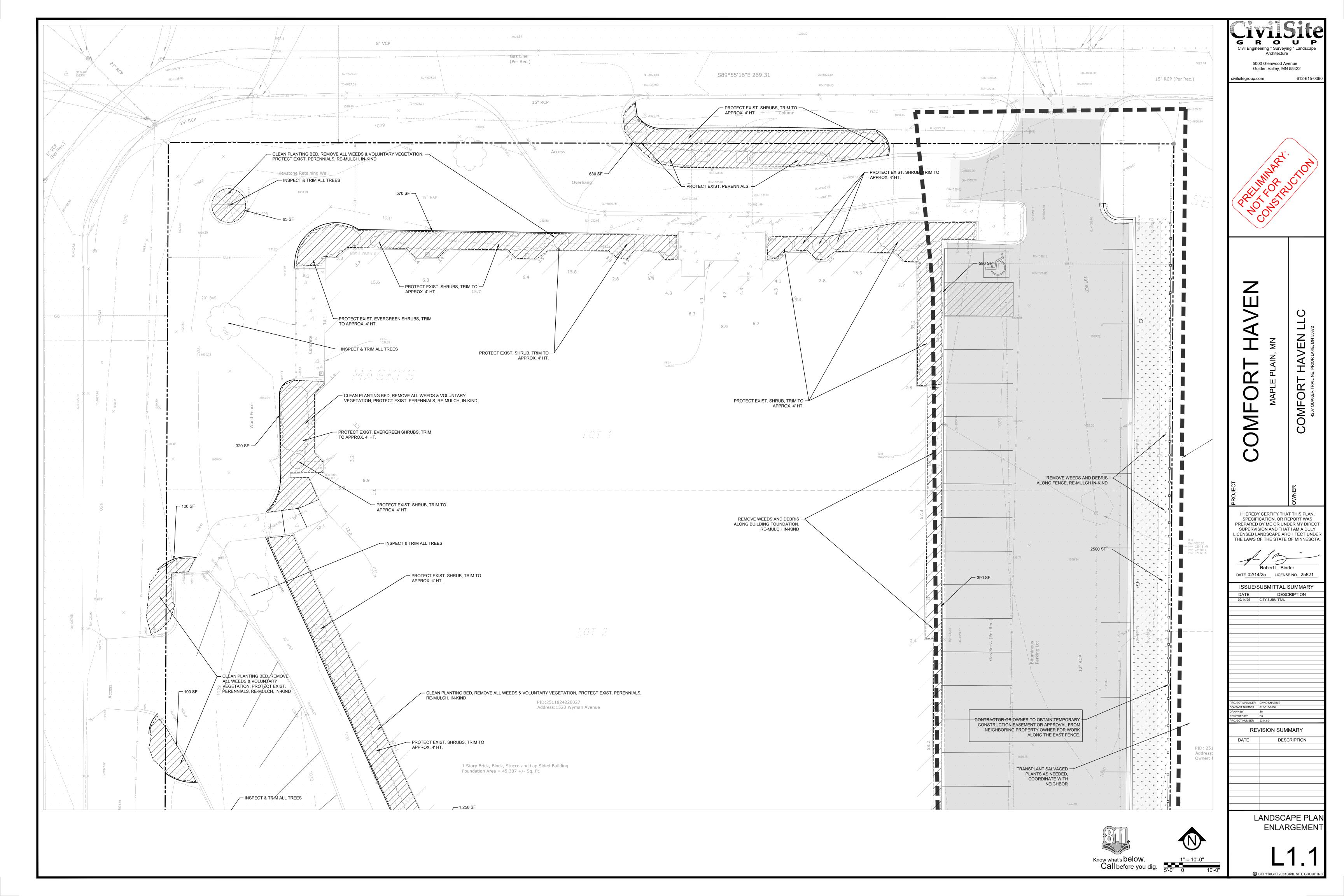
ISSUE/SUBMITTAL SUMMARY

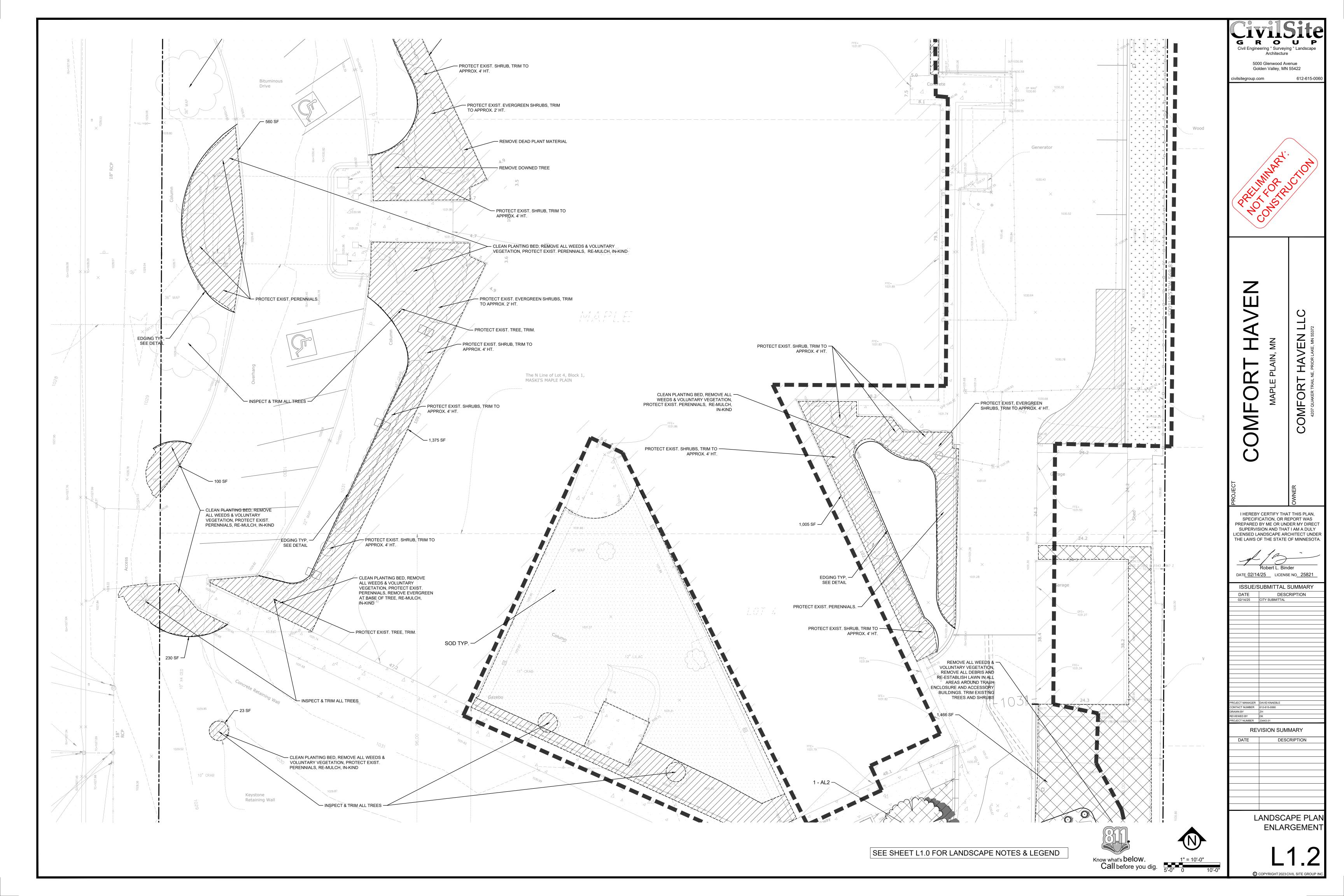
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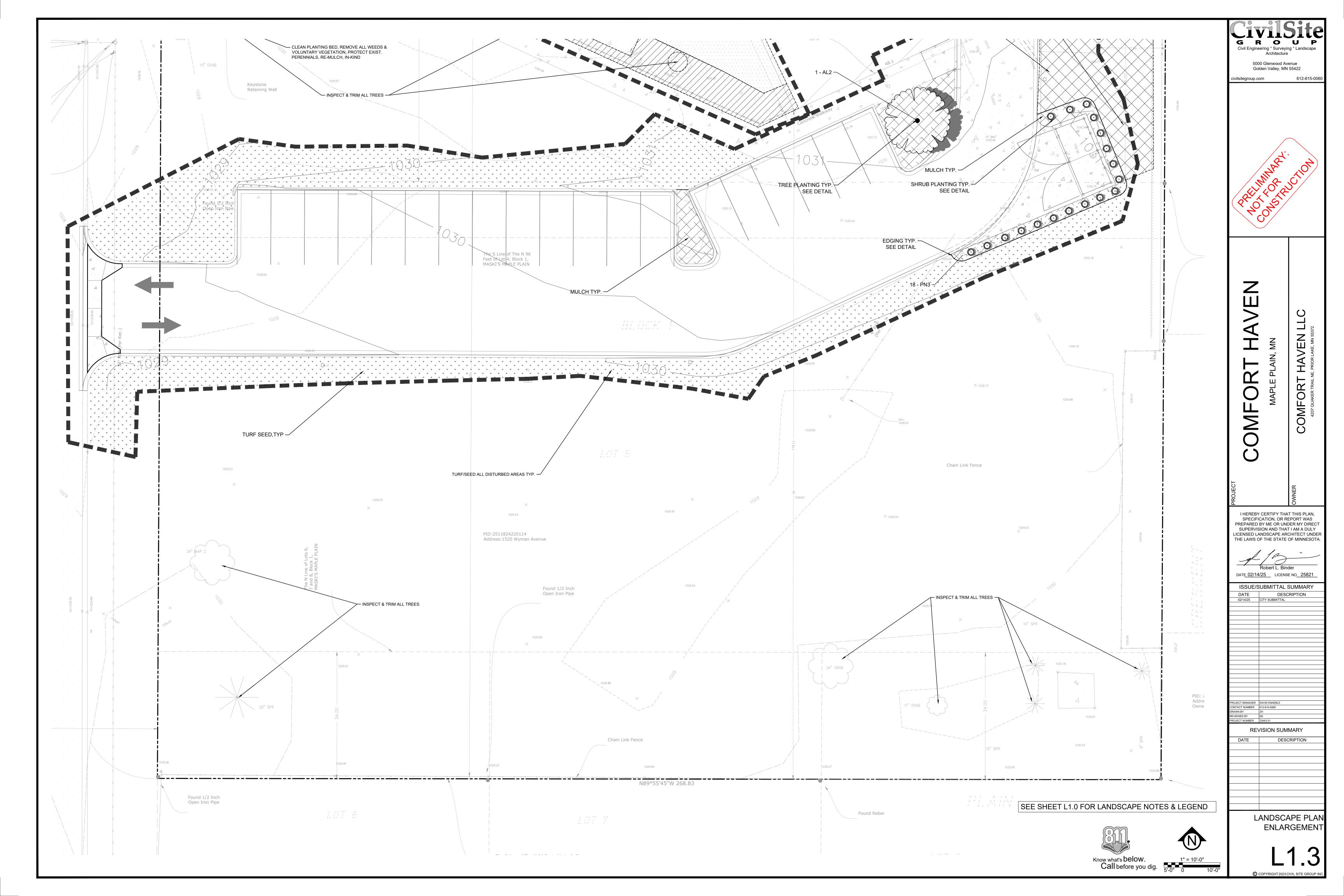
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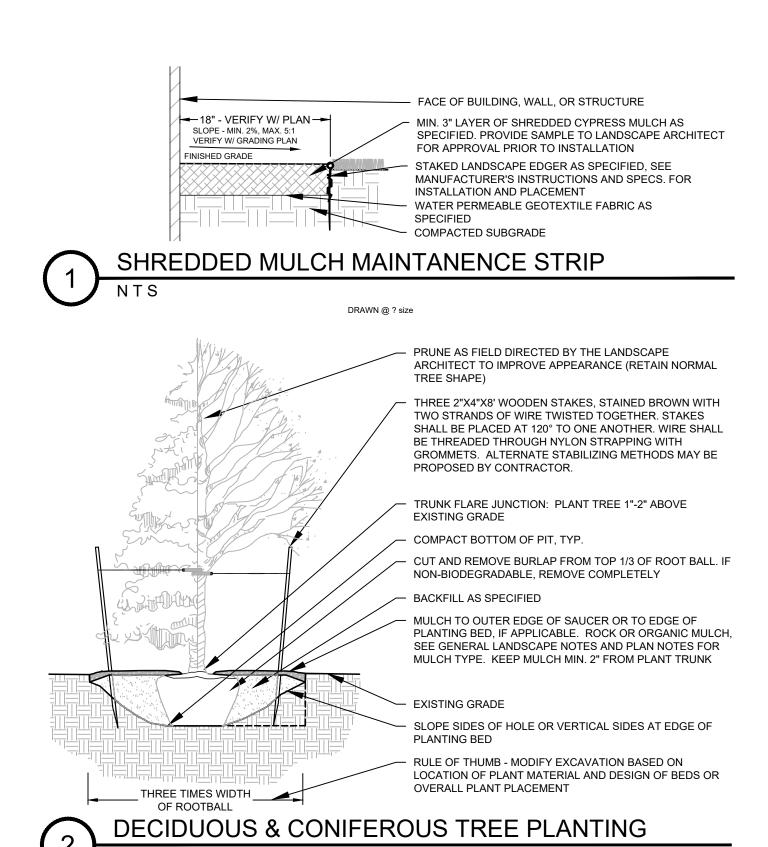


PLAN & NOTE









	PLANT TOP OF ROOTBALL 1-2" ABOVE ABOVE SURROUNDING GRADE ROCK OR ORGANIC MULCH, SEE GENERAL LANDSCAPE NOTES AND PLAN NOTES FOR MULCH TYPE. KEEP MULCH MIN. 2" FROM PLANT STEM ROOTS AT OUTER EDGE OF ROOTBALL LOOSENED TO ENSURE PROPER BACKFILL-TO-ROOT CONTACT
SIZE VARIES SEE LANDSCAPE PLAN	 EXISTING GRADE SLOPE SIDES OF HOLE OR VERTICAL SIDES AT EDGE OF PLANTING BED BACKFILL AS PER SPECIFICATION DO NOT EXCAVATE BELOW ROOTBALL. MODIFY EXCAVATION BASED ON LOCATION OF PLANT MATERIAL AND DESIGN OF BEDS OR OVERALL PLANT PLACEMENT

$\binom{2}{2}$	PERENNIAL BED PI	LANTIN
(a)	NTS	DRAWN @ ? size

SYMBOL	CODE	COMMON / BOTANICAL NAME	QTY	CONT	NATIVE PLANTS	POLLINATOR FRIENDLY
2" ORNAM	<u>1ENTAL T</u>	REE				
	AL2	Spring Flurry Serviceberry / Amelanchier x laevis 'JFS-Arb'	1	2" CAL. B&B	NATIVE CULTIVAR	Y
SYMBOL	CODE	COMMON / BOTANICAL NAME	QTY	SIZE	NATIVE PLANTS	POLLINATOR FRIENDLY
GRASSES	PN3	Northwind Switch Grass / Panicum virgatum `North Wind`	18	#1 CONT	NATIVE CULTIVAR	Y
	•		•			
PI AN	r schi	EDULE				

629 sf Mulch

2,791 sf Sod

7,895 sf Seed Mix

DOUBLE SHREDDED CEDAR MULCH INSTALLED 4" DEEP ON

REQ. ON LANDSCAPE PLAN.

SUNNY LAWN MIX / TURF SEED

Blue Grass Based / Sod

GRADED, WEED FREE, & PREPARED SOIL. PROVIDE EDGING AS

Commercial grade, locally grown, well rooted sod blend of improved

SUNNY LAWN MIX, SHOOTING STAR NATIVE SEED OR EQUIV.,

60% Improved Kentucky Bluegrass, 25% Fine-leaf Perennial Ryegrass, 15% Creeping Red Fescue. Installed at +/-225#/ACRE.

Kentucky Bluegrass w/ uniform color, leaf texture, density and varieties

consisting of a minimum of two and no more than four common cultivars.

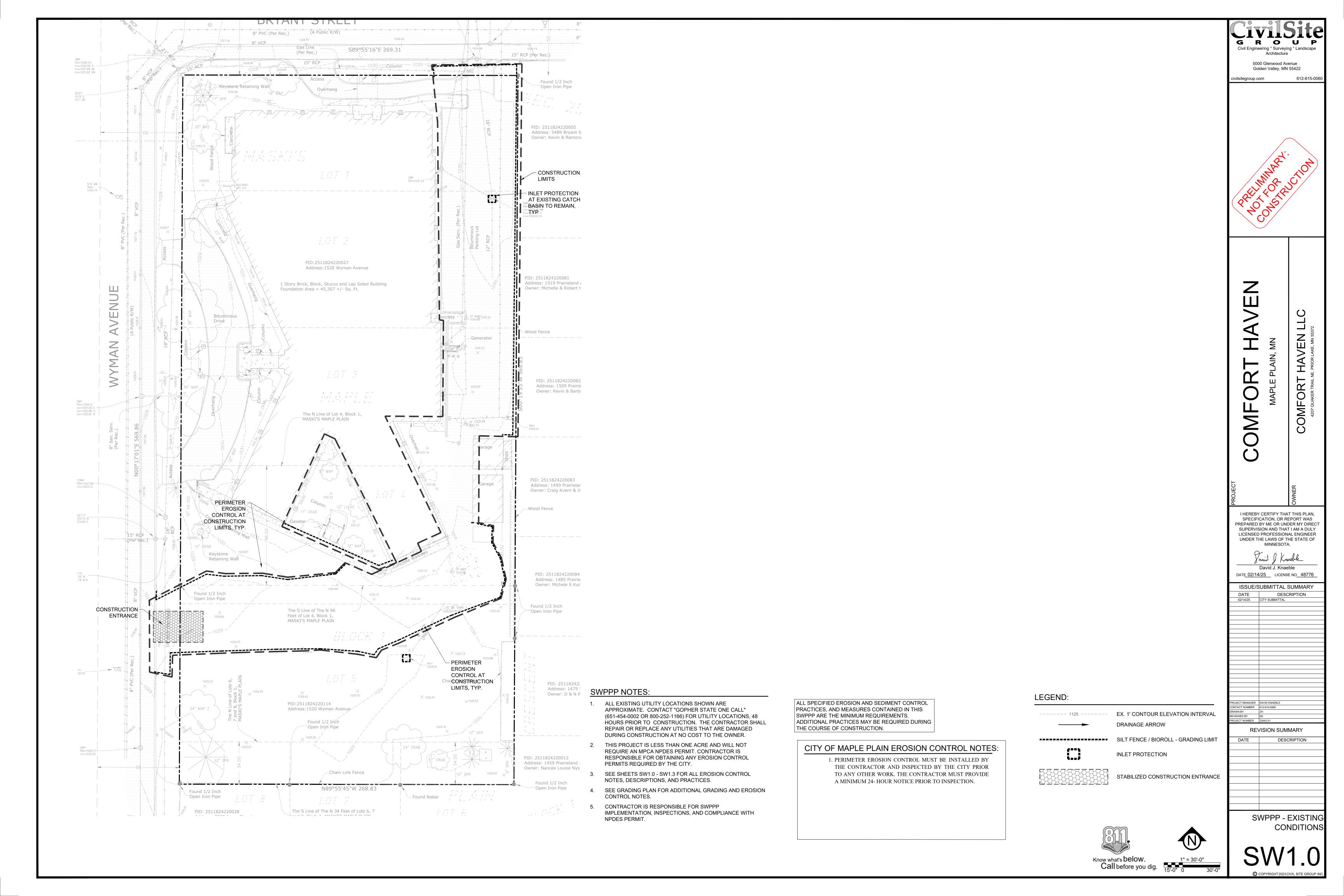
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ST. C.	MARTA	SCTION
COMFORT HAVEN	MAPLE PLAIN, MN	COMFORT HAVEN LLC 4207 QUAKER TRAIL NE, PRIOR LAKE, MIN 55372
PROJECT		OWNER
SPECIFI PREPARED SUPERVIS LICENSED LA	CERTIFY THA CATION, OR RI BY ME OR UNI BION AND THA ANDSCAPE AR DF THE STATE	EPORT WAS DER MY DIREC F I AM A DULY CHITECT UND
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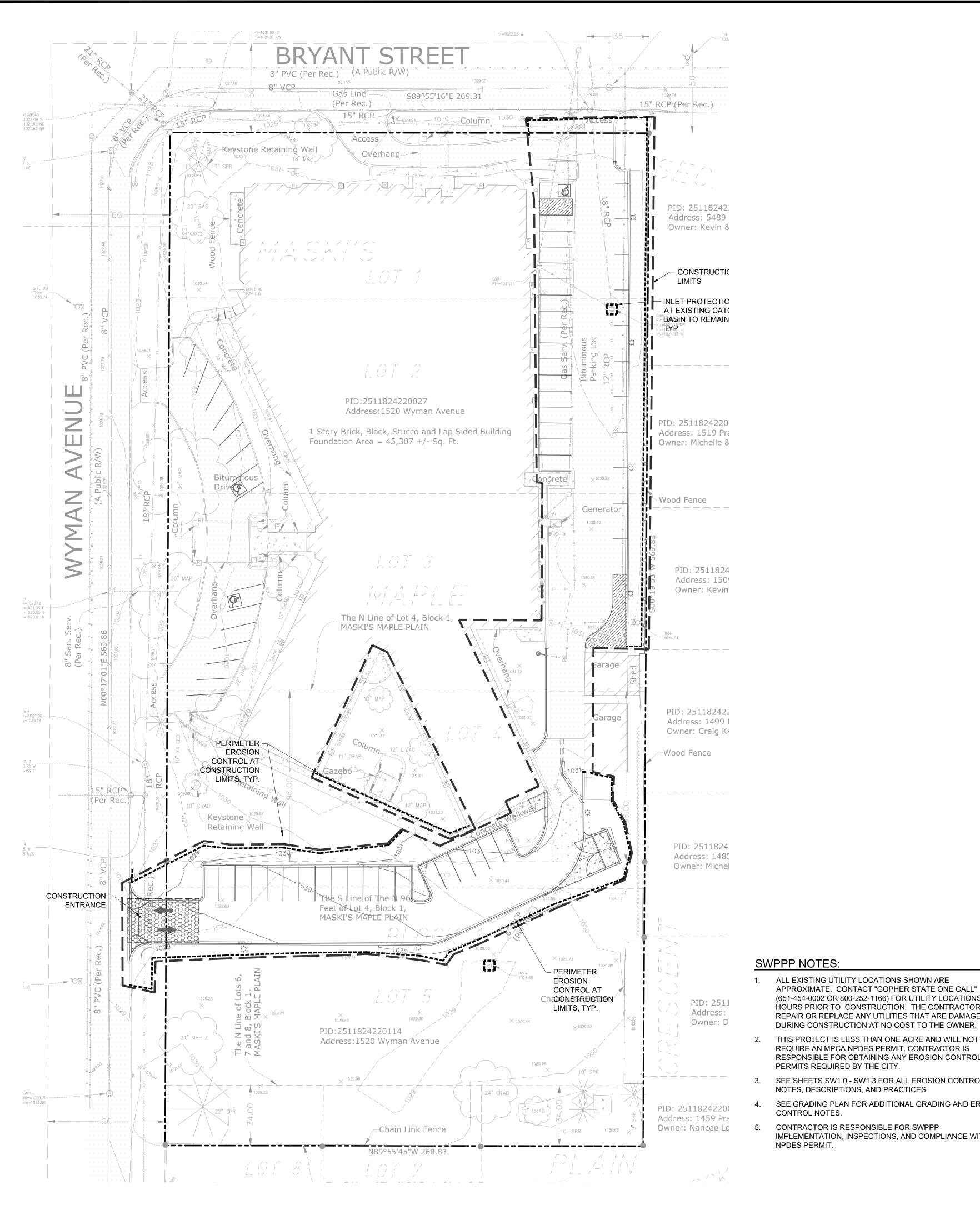
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SEE SHEET L1.0 FOR LANDSCAPE NOTES & LEGEND



	LANDSCAPE DETAILS
	L1.4
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SWPPP NOTES:

- 1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY. 3. SEE SHEETS SW1.0 - SW1.3 FOR ALL EROSION CONTROL
- NOTES, DESCRIPTIONS, AND PRACTICES.
- 4. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
- CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES, AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

CITY OF MAPLE PLAIN EROSION CONTROL NOTES:

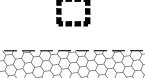
1. PERIMETER EROSION CONTROL MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY OTHER WORK. THE CONTRACTOR MUST PROVIDE A MINIMUM 24- HOUR NOTICE PRIOR TO INSPECTION.

LEGEND:

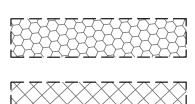
	1125
	1137
_	-

EX. 1' CONTOUR ELEVATION INTERVAL — 1.0' CONTOUR ELEVATION INTERVAL

DRAINAGE ARROW SILT FENCE / BIOROLL - GRADING LIMIT



INLET PROTECTION

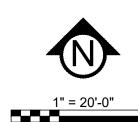


STABILIZED CONSTRUCTION ENTRANCE



EROSION CONTROL BLANKET





ORT I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DATE 02/14/25 LICENSE NO. 48776 ISSUE/SUBMITTAL SUMMARY TACT NUMBER 612-615-0060 REVISION SUMMARY DESCRIPTION

SWPPP - PROPOSED

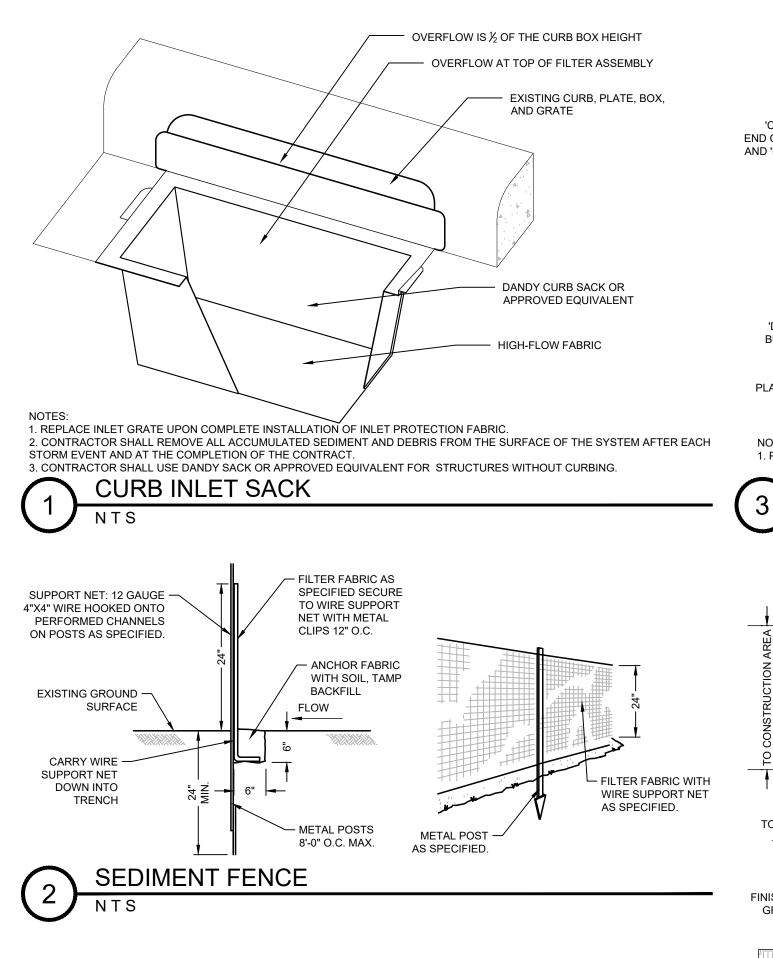
CONDITIONS

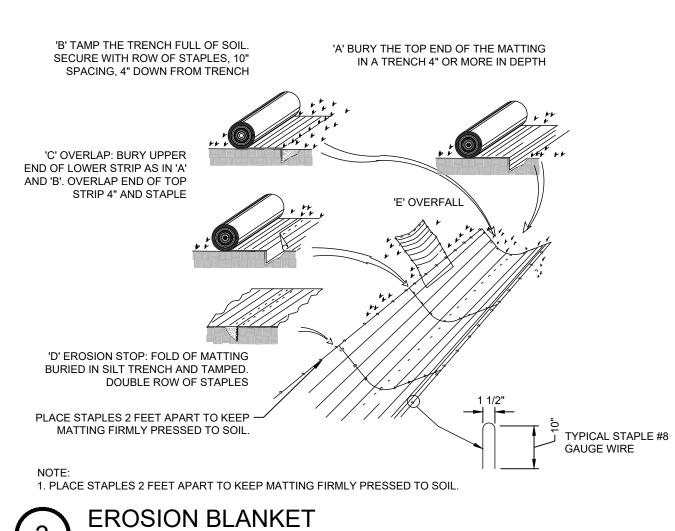
GROUP Civil Engineering ° Surveying ° Landscape Architecture

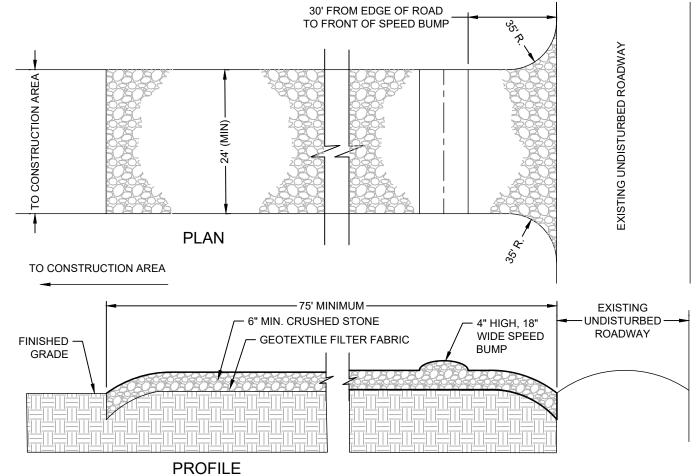
> 5000 Glenwood Avenue Golden Valley, MN 55422

> > 612-615-006

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NOTES:

1. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND UNDISTURBED ROADWAY.

2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO UNDISTURBED ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDING STONE TO

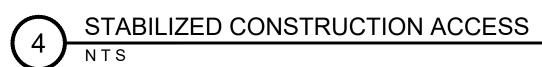
THE LENGTH OF THE ENTRANCE.

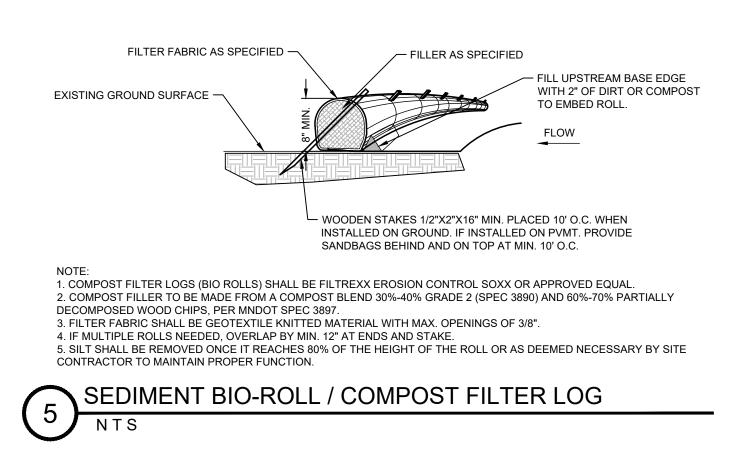
3. REPAIR AND CLEANOUT MEASURES USED TO TRAP SEDIMENT.

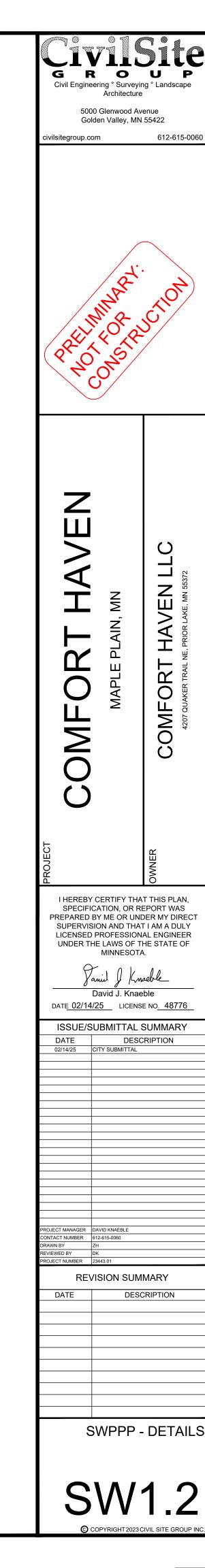
4. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO UNDISTURBED ROADWAY SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.

5. FINAL LOCATION AND INSTALL ATION SHALL BE COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.

5. FINAL LOCATION AND INSTALLATION SHALL BE COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
 6. CRUSHED STONE SHALL BE 1-1/2" DIA. CLOSE GRADED, AND IN ACCORDANCE TO MNDOT SECTION 2118.







THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2018 # MNR100001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL

STORMWATER DISCHARGE DESIGN REQUIREMENTS

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMP'S. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

- 1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE 2. INSTALLATION OF SILT FENCE AROUND SITE
- 3. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS
- 4. INSTALL INLET PROTECTION AT ALL ADJACENT AND DOWNSTREAM CATCH BASINS 5. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL
- 6. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (SECTION 14)
- 7. CLEAR AND GRUB REMAINDER OF SITE
- 8. STRIP AND STOCKPILE TOPSOIL
- 9. ROUGH GRADING OF SITE 10. STABILIZE DENUDED AREAS AND STOCKPILES
- 11. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
- 12. INSTALL SILT FENCE / INLET PROTECTION AROUND CB'S
- 13. INSTALL STREET SECTION 14. INSTALL CURB AND GUTTER
- 15. BITUMINOUS ON STREETS
- 16. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH 17. REMOVE ACCUMULATED SEDIMENT FROM BASIN / POND
- 18. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.)
- 19. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOD/LANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

RECORDS RETENTION:

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN SECTION 4. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

- 2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT:
- 3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE SECTION 11, INSPECTIONS AND MAINTENANCE)
- 4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE: AND
- 5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

SWPPP IMPLEMENTATION RESPONSIBILITIES:

- 1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE
- ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS. 3. CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPS TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPS AND IMPLEMENTATION OF THE SWPPP
- 4. CONTRACTOR SHALL PROVIDE PERSON(S) MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY MPCA. CONTRACTOR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS
- SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL INCLUDE: 4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER
- SECTION 21 OF THE PERMIT. 4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
- 4.3. CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING. 5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT. THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

CONSTRUCTION ACTIVITY REQUIREMENTS

SWPPP AMENDMENTS (SECTION 6):

- 1. ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS. 2. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO
- CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. 3. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO
- CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

BMP SELECTION AND INSTALLATION (SECTION 7):

1. PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPS IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

EROSION PREVENTION (SECTION 8):

- 1. BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED. 2. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING). 3. PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN
- AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE. 4. FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING

SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL

AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD. 5. PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14

CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN

- THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES. 6. TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES
- 7. PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT. 8. PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM.

9. PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11.

SEDIMENT CONTROL (SECTION 9):

- 1. PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPS ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADIENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER.
- 2. IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPS TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
- 3. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
- 4. A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
- 5. PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES, IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED. PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE.
- 6. PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPS DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET. 7. PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G.,
- CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP. 8. PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF
- STOCKPILES ON THE DOWNGRADIENT PERIMETER. 9. PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.
- 10. PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE.
- 11. PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPS ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET.
- 12. PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14. 13. IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST
- RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION. 14. PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE. 15. PERMITTEES MUST DIRECT DISCHARGES FROM BMPS TO VEGETATED AREAS UNLESS INFEASIBLE
- 16. PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER.
- 17. PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

DEWATERING AND BASIN DRAINING (SECTION 10):

- 1. PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PÉRMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPS SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES.
- 2. IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE
- 3. PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
- 4. IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

INSPECTIONS AND MAINTENANCE (SECTION 11):

- 1. PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS.
- 2. PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPS. 3. PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPS WITH FUNCTIONAL BMPS BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA.
- 4. DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN
- SURFACE WATERS 5. PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
- 6. PERMITTEES MUST REPAIR. REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE. 7. PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME.
- 8. PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B. 9. PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS: a. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF

CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR

b. NAME OF PERSONS CONDUCTING INSPECTIONS; AND

- b. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR
- c. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.
- 10. PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE: a. DATE AND TIME OF INSPECTIONS; AND
- c. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
- d. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE
- ACTIVITIES); AND e. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE. A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION. OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES;

- f. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR
- SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND g. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS.

POLLUTION PREVENTION MANAGEMENT (SECTION 12):

- 1. PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED
- 2. PERMITTEES MUST PLACE PESTICIDES. FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
- 3. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
- 4. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH.
- 5. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
- 6. PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
- 7. PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS.
- 8. PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

PERMIT TERMINATION (SECTION 4 AND SECTION 13):

- 1. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE.
- 2. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT. OR TRANSFERRING PORTIONS OF A SITÉ TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION
- 3. PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER.

4. PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED

- SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED. 5. PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT. 6. PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL
- BMPS PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPS DESIGNED TO DECOMPOSE ON-SITE IN 7. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER
- CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER. 8. FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING

SEED NOTES:

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

GENERAL RECOMMENDATIONS

THE CONTRACTOR IS RESPONSIBLE TO SALVAGE AND PRESERVE EXISTING TOPSOIL NECESSARY FOR FINAL STABILIZATION AND TO ALSO MINIMIZE COMPACTION IN ALL LANDSCAPE AREAS. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111

- (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.
- IMMEDIATELY AFTER SEEDING. WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF

- 3:1 (HORIZ/VERT.) OR FLATTER MUCH SHALL BE COVERED WITH MULCH
- SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET. SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES: THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

THIS PROJECT IS LESS THAN 1.0 ACRE SO AN NPDES PERMIT IS NOT REQUIRED AND DOESN'T NEED TO BE SUBMITTED TO THE MPCA. THE CONTRACTOR IS REQUIRED TO FOLLOW THE GUIDELINES IN THE NPDES PERMIT THROUGHOUT CONSTRUCTION.

PROJECT NARRATIVE:

TRAINING SECTION 21

INSTRUCTOR: JOHN CHAPMAN

DATE OF RECERTIFICATION: 4/22/22

AREAS AND QUANTITIES:

TOTAL TRAINING HOURS: 12

EXPIRATION: 5/31/2025

SITE AREA CALCULATIONS

MPERVIOUS SURFACES

PAVEMENT

DISTURBED AREA

DISTURBED AREA

CONTRACTOR:

SILT FENCE/BIO-ROLL

PERVIOUS SURFACES

BUILDING COVERAGE

DIFFERENCE (EX. VS PROP.)

EROSION CONTROL QUANTITIES

EROSION CONTROL BLANKET

SWPPP CONTACT PERSON

PROPOSED STORMWATER SYSTEM.

INLET PROTECTION DEVICES

DESIGN ENGINEER: DAVID J. KNAEBLE P.E.

TRAINING ENTITY: UNIVERSITY OF MINNESOTA

DATES OF TRAINING COURSE: 8/22/2012- 8/23/2012

EXISTING CONDITION

47,180 SF 30.8%

31,397 SF 20.5%

7,810 SF 5.1%

30,000 SF

±1100 LF

0 SF

±5 EA

THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

PERMANENT STORM WATER MANAGEMENT SYSTEM

30,000 SF 0.7 AC

TOTAL 78,577 SF 51.2% 0.0 AC 86,387 SF 56.3% 2.0 AC

TOTAL 74,751 SF 48.8% 1.7 AC 66,941 SF 43.7% 1.5 AC

TOTAL SITE AREA 153,328 SF 100.0% 3.5 AC 153,328 SF 100.0% 3.5 AC

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR

PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF

PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT

SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER):

REQUIREMENTS. THE PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE

TRAINING COURSE: DESIGN OF SWPPP

PROJECT IS A REMODEL OF AN EXISTINGSENIOR LIVING BUILDING. SITE, GRADING AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

INFILTRATION IS NOT PROVIDED AS PART OF THIS PROJECT BECAUSE PERMANENT STORM WATER MANAGEMENT

NATIVE BUFFER NARRATIVE:

INFILTRATION NARRATIVE:

PRESERVING A 50 FOOT NATURAL BUFFER AROUND WATER BODIES IS NOT REQUIRED OF THIS PROJECT BECAUSE WATER BODIES ARE NOT LOCATED ON SITE.

IS NOT REQUIRED.

SOIL CONTAMINATION NARRATIVE: SOILS ONSITE HAVE NOT BEEN IDENTIFIED AS CONTAMINATED.

SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED)

PERMANENT STABILIZATION NOTES SITE SPECIFIC:

PERMANENT SEED MIX

- FOR THIS PROJECT ALL AREAS THAT ARE NOT TO BE SODDED OR LANDSCAPED SHALL RECEIVE A NATIVE PERMANENT SEED MIX.
- •• AREAS IN BUFFERS AND ADJACENT TO OR IN WET AREAS MNDOT SEED MIX 33-261 (STORMWATER SOUTH AND WEST) AT 35 LBS PER ACRE.
- DRY AREAS MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE. MAINTENANCE SHALL BE IN ACCORDANCE TO THE MNDOT SEEDING MANUAL

JONNYGLEIS@HOTMAIL.COM

OWNER INFORMATION

COMFORT HAVEN LLC

PROPOSED CONDITION

46,980 SF 30.6%

39,407 SF 25.7%

SWPPP INSPECTOR TRAINING:

ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A

PERSON THAT MEETS THE TRAINING REQUIREMENTS

TRAINING CREDENTIALS SHALL BE PROVIDED BY THE

CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

OF THE NPDES CONSTRUCTION SITE PERMIT.

JON GLEISNER

612-600-6036

4207 QUAKER TRAIL NE PRIOR LAKE, MN 55372

5000 Glenwood Avenue Golden Valley, MN 55422

/ilsitearoup.com

612-615-006

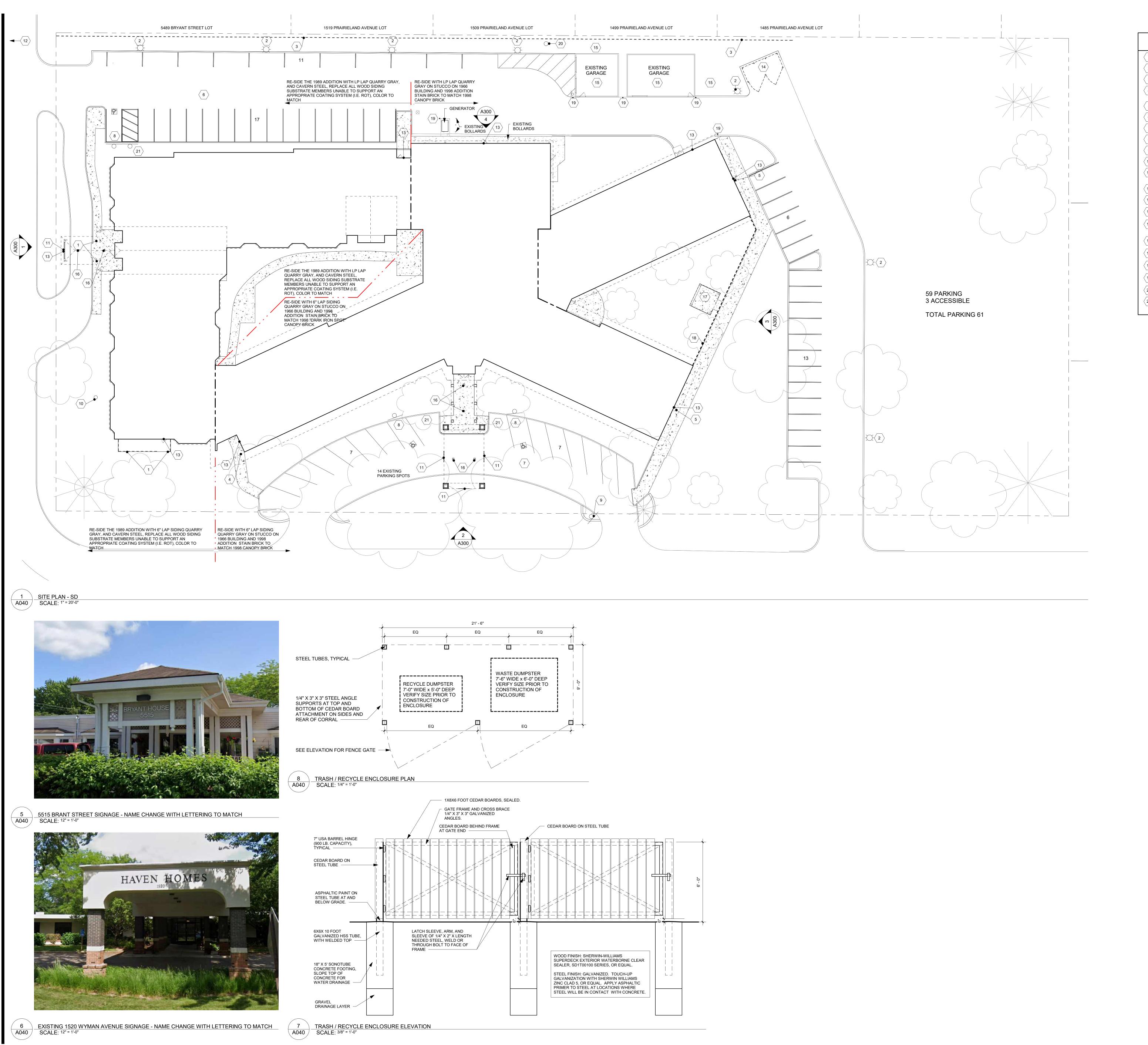
I HEREBY CERTIFY THAT THIS PLAN. SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIREC SUPERVISION AND THAT LAM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF

MINNESOTA.

DATE 02/14/25 LICENSE NO. 48776 ISSUE/SUBMITTAL SUMMARY DESCRIPTION

ACT NUMBER **REVISION SUMMARY** DESCRIPTION

SWPPP - NARRATIV



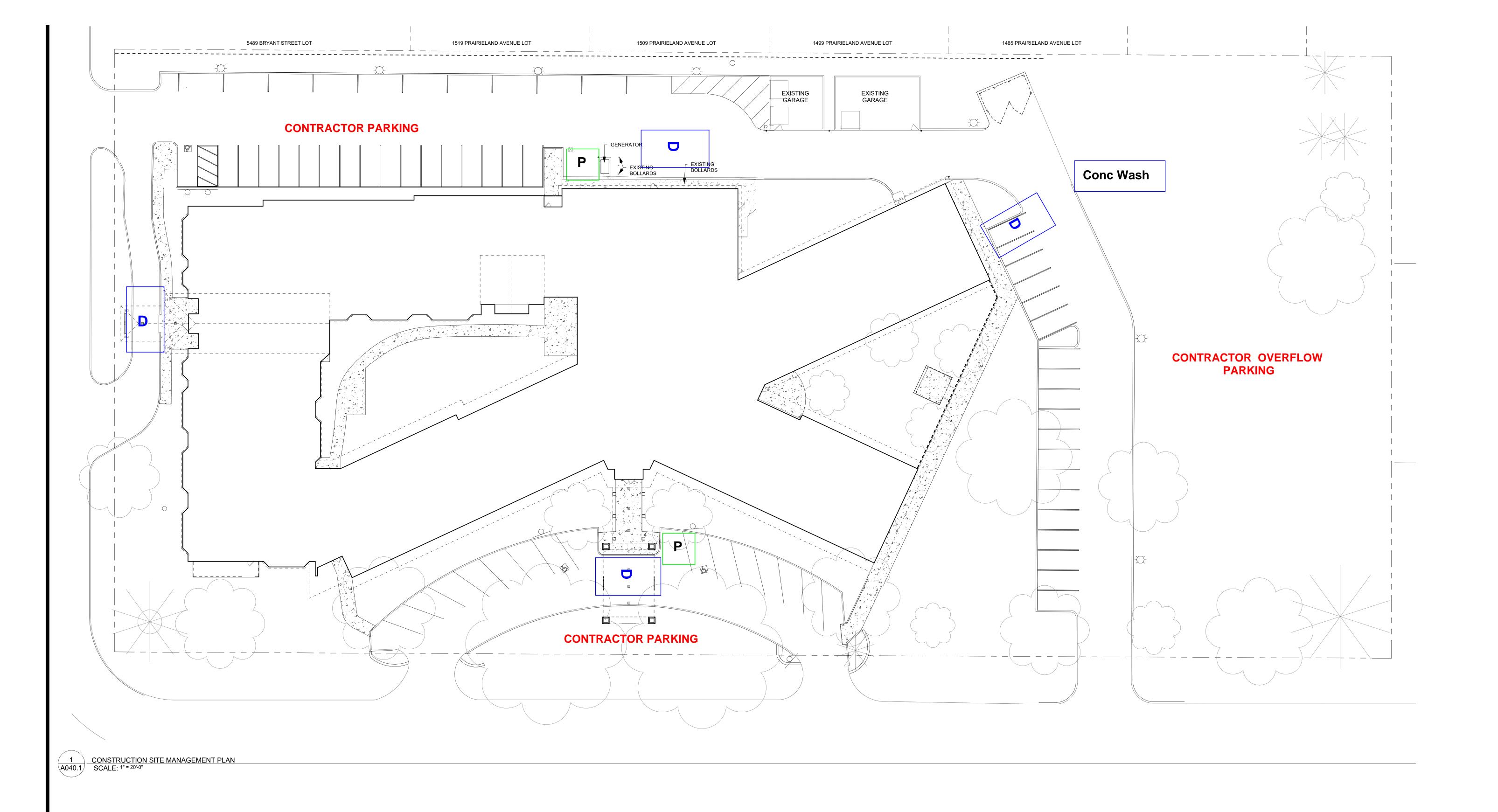
SITE PLAN KEYNOTES

- DEMOLISH WOODEN FENCE IN ITS ENTIRETY AND REPLACE,
- PATCH CONCRETE
- 2 PARKING LOT LIGHTING, SEE ELECTRICAL
- REPLACE EXISTING WOODEN FENCE WITH 6' TALL CEDAR
- PRIVACY FENCE REPAIR ALL SIDEWALK WITH CRACKS THAT ARE UPLIFTING AT $^{\prime}$ OR MORE THAN A 1/4" IN HEIGHT, WHICH REPRESENT A
- 5 REFURBISH OR REPLACE EXISTING RUSTING DOOR AND FRAME
- 6 NEW BITUMINOUS PARKING LOT AND RESTRIPE
- 7 RESTRIPE THIS BITUMINOUS PARKING LOT
- 8 ACCESSIBLE PARKING SPOT WITH EXISTING SIGN
- 9 REPLACE EXISTING SIGNAGE, VERIFY WITH OWNER ON 10 EXISTING FLAG POLE
- $| \rangle$ REPLACE BUILDING NAME SIGNAGE AS DIRECTED BY OWNER, THE NUMBERS ARE REQUIRED TO REMAIN. LETTERING TO
- \langle 12 \rangle FIRE HYDRANT ON OTHER SIDE OF STREET
- \langle 13 \rangle EXISTING WALL PACK LIGHT FIXTURE BEING REPLACED
- 14 NEW RUBBISH ENCLOSURE AND CONCRETE PAD.
- 15 RE-SIDE TO MATCH UPDATED MAIN BUILDING EXTERIOR PATCH AND REPAIR FASCIA -OR- DEMOLITION AS REQUIRED BY THE CITY OF MAPLE PLAIN PLANNING AND ZONING DEPARTMENT.
- \langle 16 \rangle REPLACE EXISTING CANOPY SOFFIT APPLIED LIGHT FIXTURES
- 17 EXISTING GAZEBO TO REMAIN TOUCH UP PAINT
- \langle 18 \rangle 6' TALL WOOD COMPOSITE FENCING
- \langle 19 \rangle BOLLARDS
- 20 EXISTING FIRE HYDRANT
- \langle 21 \rangle NO PARKING SIGN

SITE PLAN

PROJECT 24-141 DRAWN LS, AA CHECKED ER

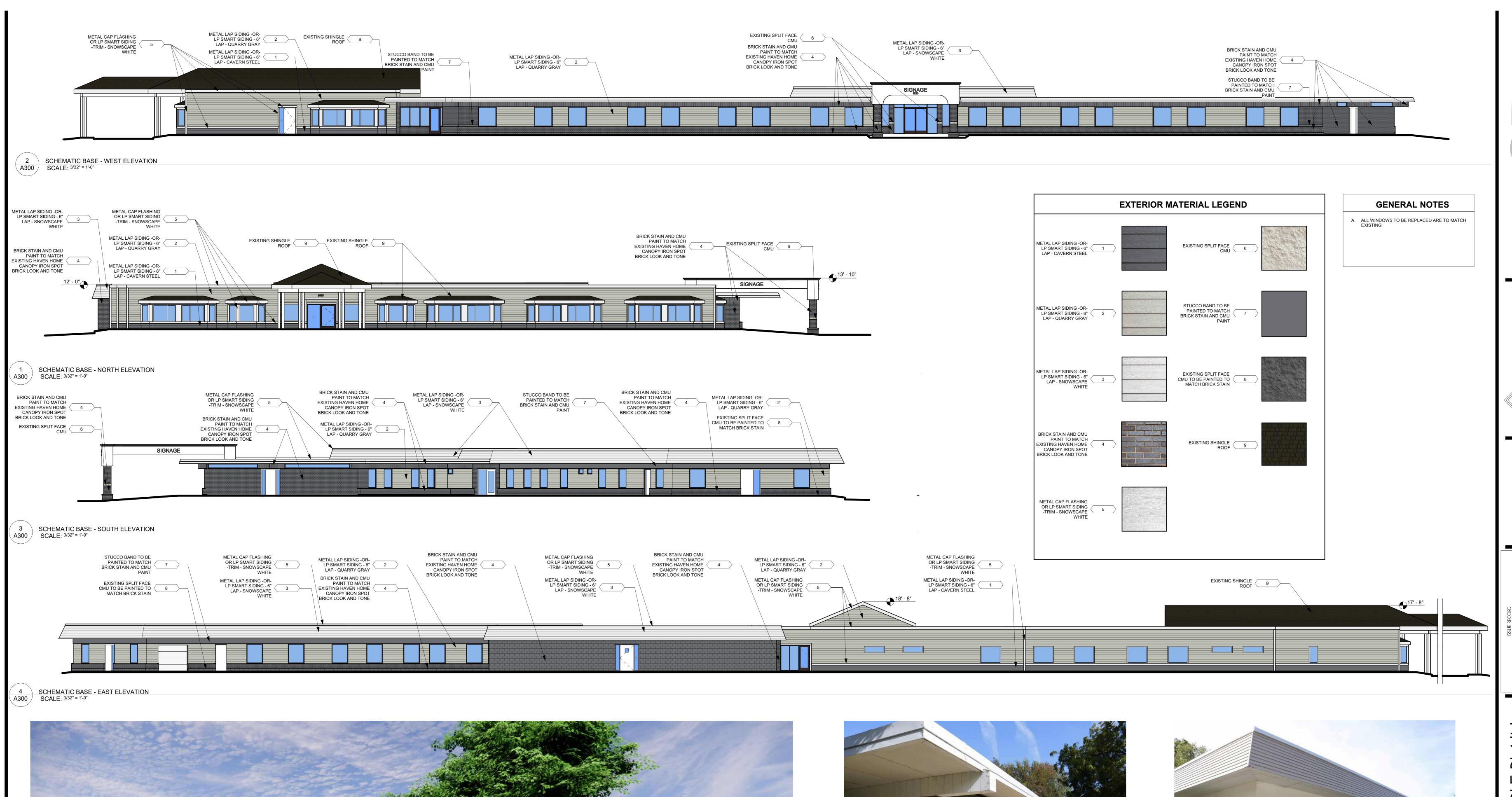
2/14/2025 7:39:58 AM



CONSTRUCTION SITE MANAGEMENT PLAN

PROJECT 24-141
DRAWN LARSON
CHECKED BUILDING
F''
A040.1

2/14/2025 7:39:58 AM





A300 RENDER - FROM NORTH WEST CORNER
SCALE: 12" = 1'-0"



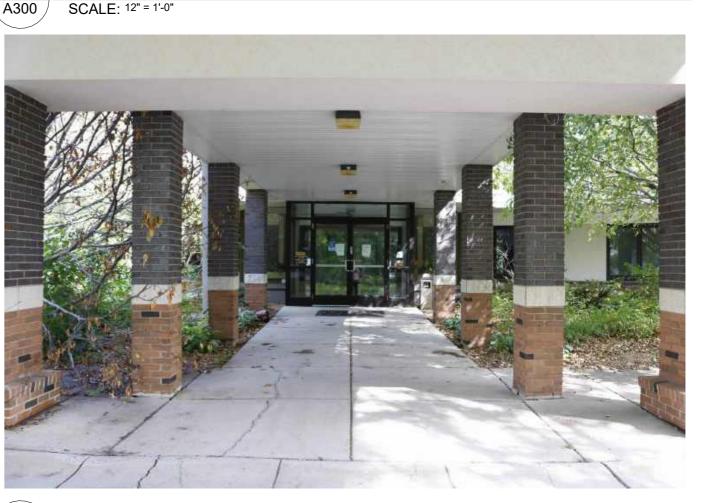








1998 BUILDING EXTERIOR EXISTING CONDITION SCALE: 12" = 1'-0"



9 1998 BUILDING EXTERIOR EXISTING CONDITION - 2 SCALE: 12" = 1'-0"

4

ELEVATIONS

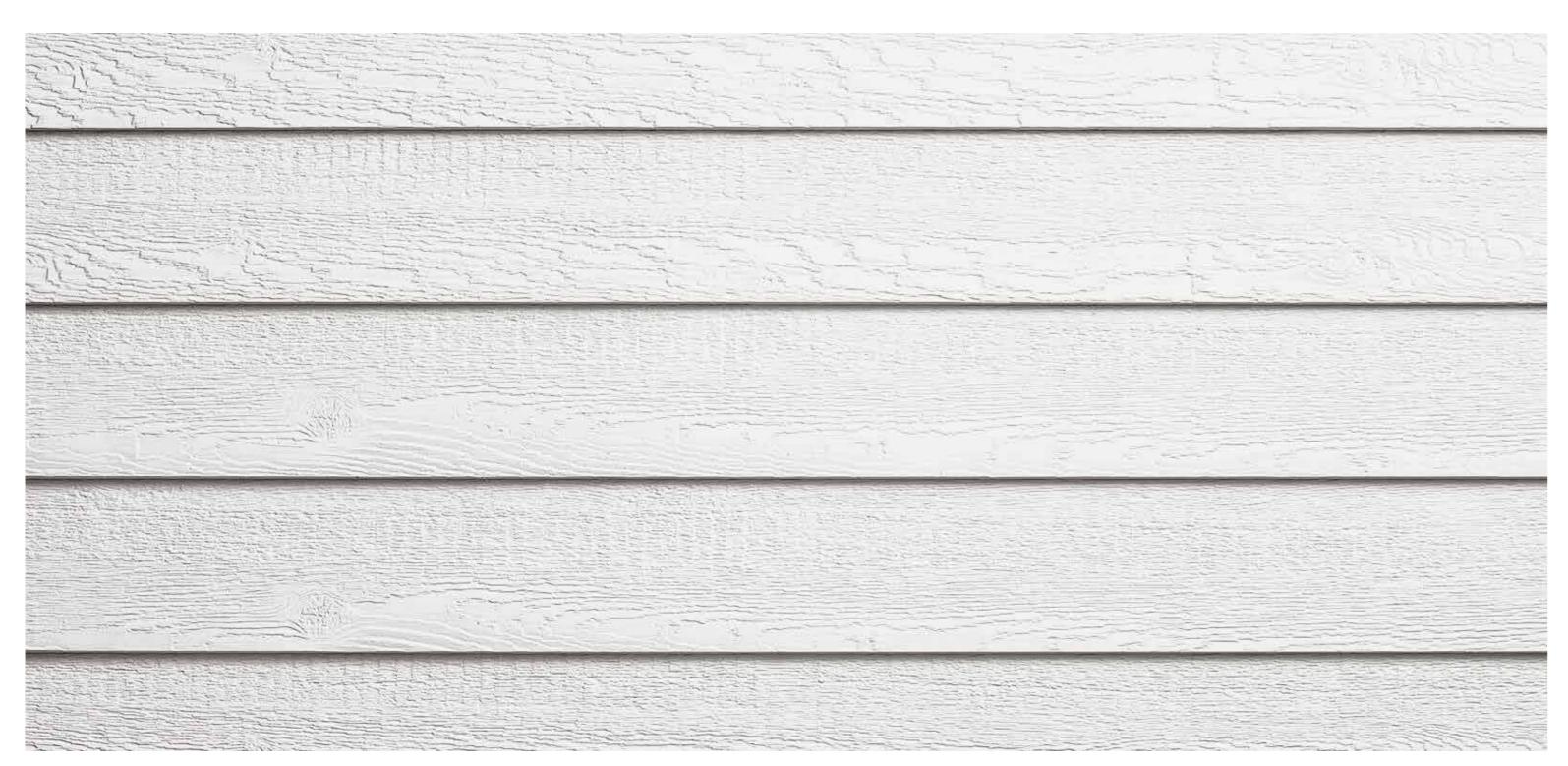
PROJECT NO: 24-141 DRAWN BY: LS, AA CHECKED BY: ER

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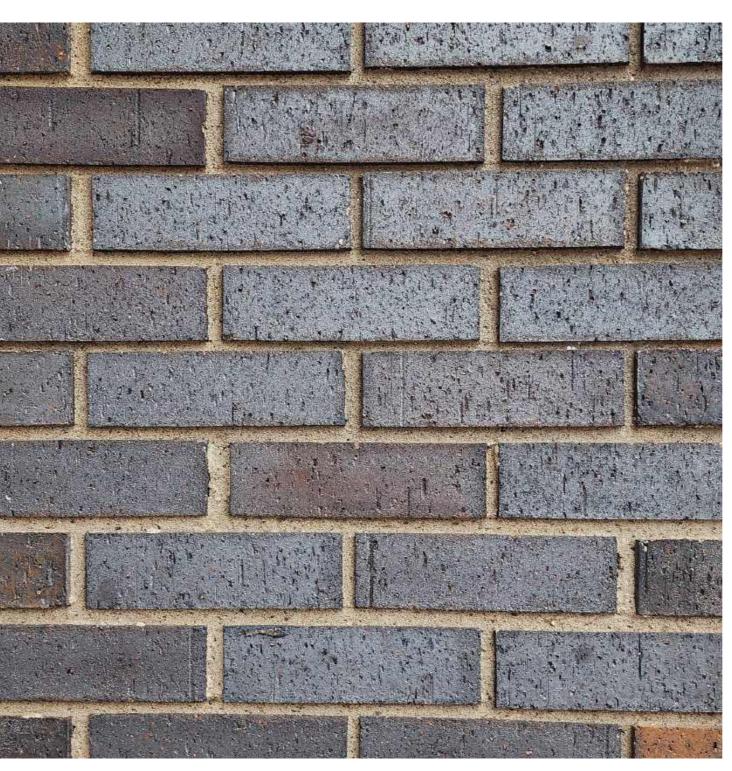
METAL LAP - OR- LP SMART SIDING - 6" LAP - CAVERN STEEL



METAL LAP OR LP SMART SIDING - 6" LAP - QUARRY GRAY



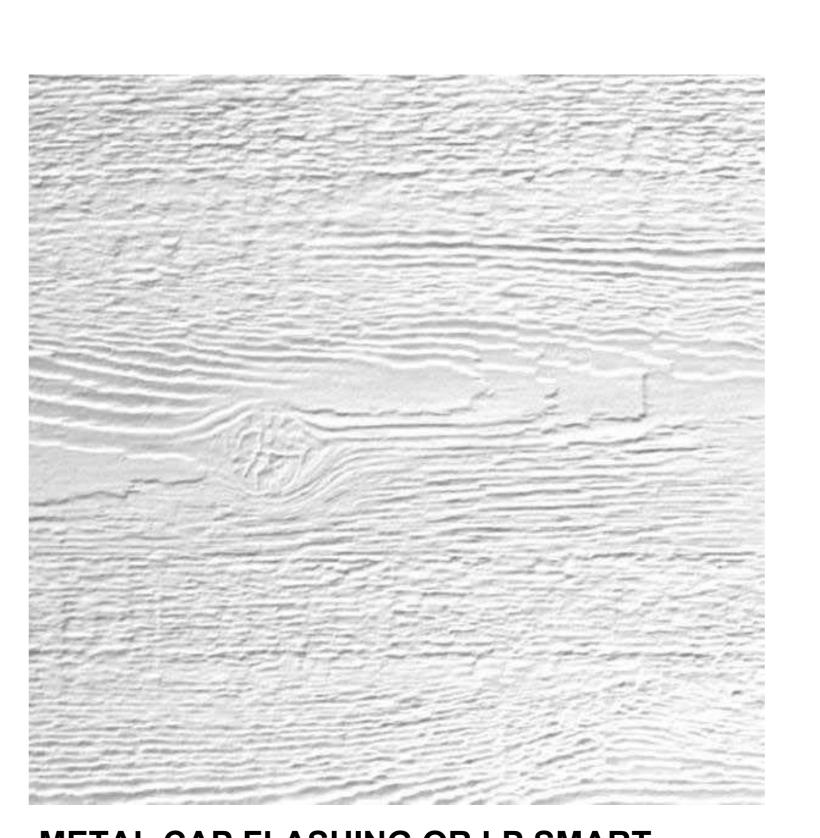
METAL LAP OR LP SMART SIDING - 6" LAP - SNOWSCAPE WHITE



BRICK STAIN AND CMU PAINT TO MATCH EXISTING HAVEN HOME CANOPY IRON SPOT BRICK LOOK AND TONE



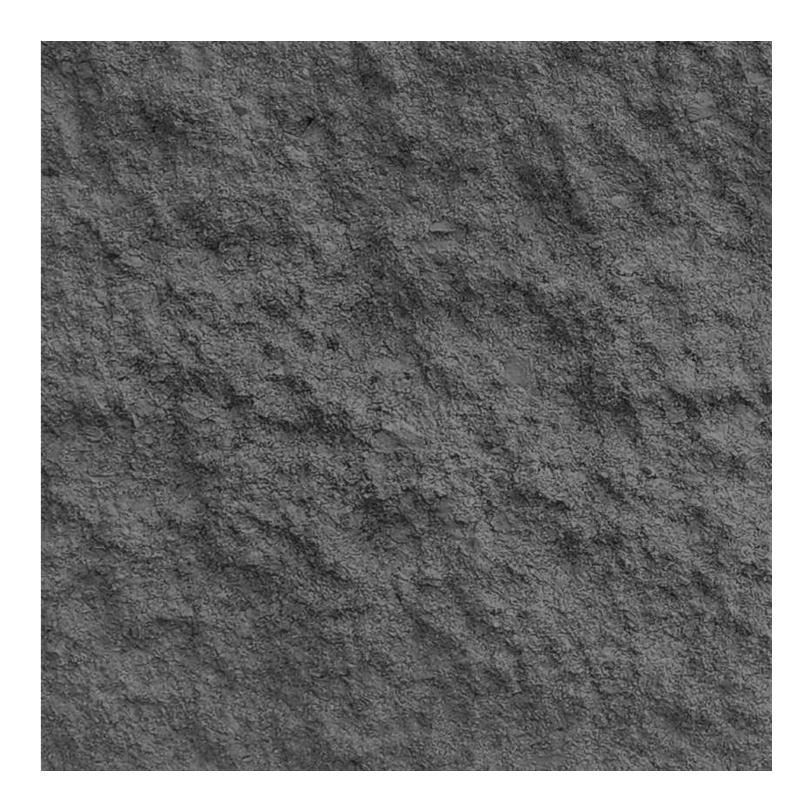
EXISTING SPLIT FACE CMU



METAL CAP FLASHING OR LP SMART SIDING -TRIM - SNOWSCAPE WHITE



STUCCO BAND TO BE PAINTED TO MATCH BRICK STAIN AND CMU PAINT



EXISTING SPLIT FACE CMU TO BE PAINTED TO MACH BRICK STAIN AND STUCCO PAINT



EXISTING SHINGLE ROOF



EDEN PRAIRIE, MINNESOTA 5534-PH: 952-996-9662
WWW.SRA-MN.COM



ISSUE # DATE DESCRIPTION

1 1/2/2025 CITY SUBMITTAL

ORT HAVEN MAPLE I ED LIVING

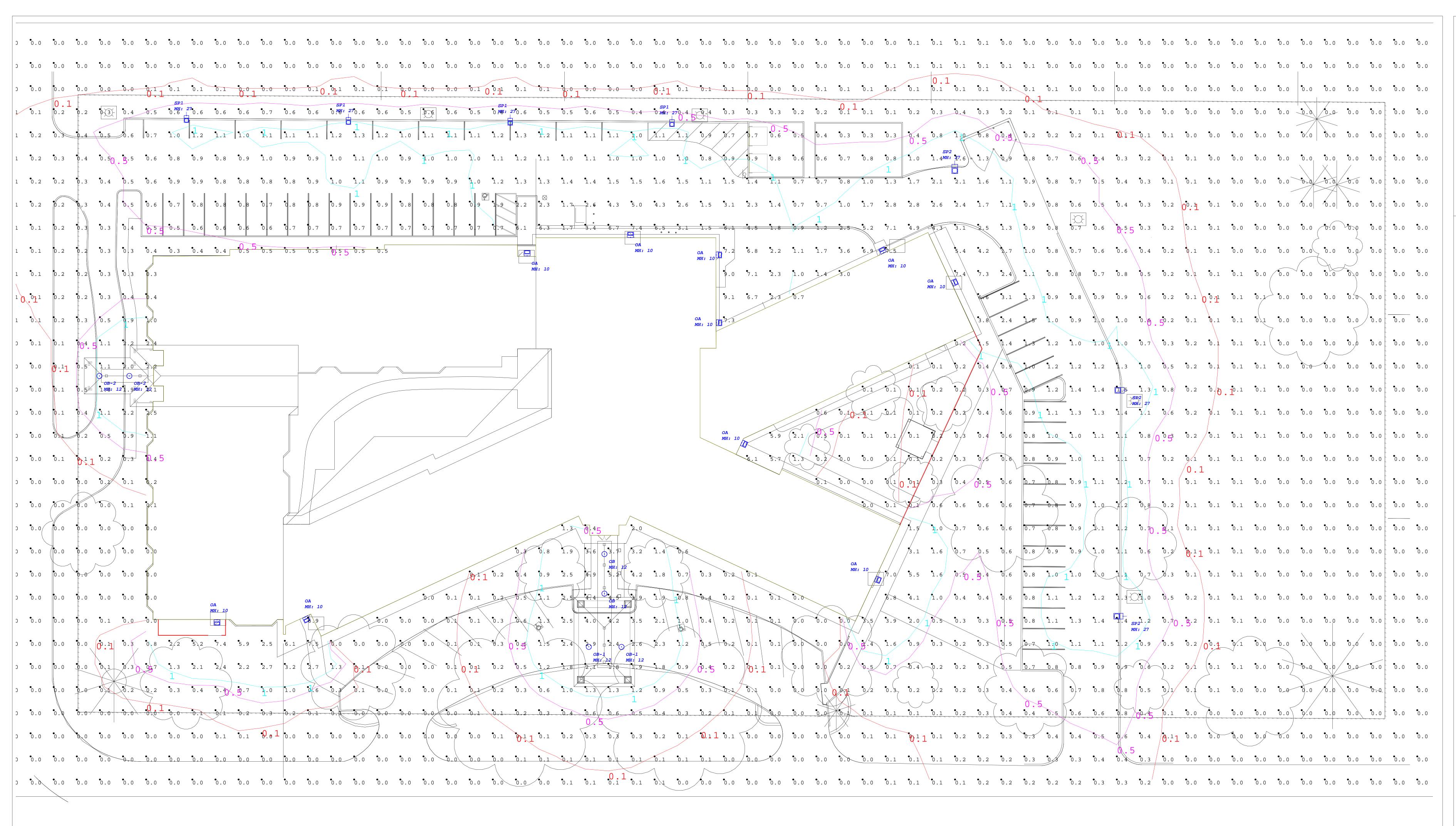
1520 WYMAN MAPLE PLAIN,

EXTERIOR MATERIAL PALETTE

PROJECT NO: 24-141 DRAWN BY: LS CHECKED BY: ER

A301

1/2/2025 11:03:46 AM

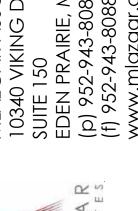


1.	Standard Reflectance of 80/50/20 unless noted otherwise
2	Not a Construction Document for Design numbers only

^{2.} Not a Construction Document, for Design purposes only 3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise 4. Standard outdoor calc points @ Grade unless noted otherwise

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	Illuminance	Fc	0.12	0.7	0.0	N.A.	N.A.
SITE	Illuminance	Fc	0.57	9.1	0.0	N.A.	N.A.

Luminaire Sch	edule							
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF
10	10	OA		PRV-P-PA1B-740-U-T3	Single	7261	52.8	0.900
\odot	2	ОВ		TT-D2-740-U-WQ	Single	5273	39.2	0.900
\odot	2	OB-1		TT-D1-740-U-RW	Single	3097	28	0.900
\odot	2	OB-2		TT-D1-740-U-DL-HSS	Single	2930	28.8	0.900
$\overline{}$	4	SP1		PRV-PA1A-740-U-T4W-HSS	Single	5420	54	0.900
	3	SP2		PRV-PA1B-740-U-T4W	Single	9738	74	0.900





Revisions

Page M of 1

^{5.} Egress calc points @ 0" A.F.F. 6. Mlazgar Associates assumes no responsibility for installed light levels due to field conditions, etc.

Project	Catalog #	Туре	
Prepared by	Notes	Date	



Area / Site Luminaire

Lumark

Product Features





Prevail Discrete LED

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

• Optical Configurations page 5

Product Certifications

















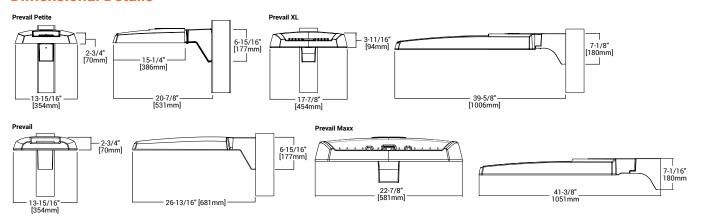
Quick Facts

- · Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- · Standard universal quick mount arm with universal drill pattern

Connected Systems

WaveLinx

Dimensional Details



1. Visit https://www.designlights.org/search/ to confirm qualification. Not all product variations are DLC qualified. 2. IDA Certified for 3000K CCT and warmer only.

Lighting Solutions

Lumark **Prevail Discrete LED**

Ordering Information

SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

Product Family 1,2	Light I	Engine	Color	Voltage	Distribution	Mounting	Finish
Floudet Failing "	Configuration	Drive Current ⁴	Temperature	voltage	Distribution	(Included)	FIIIISII
PRV-P=Prevail Petite BAA-PRV-P=Prevail Petite BAA Buy American Act Compliant ³ TAA-PRV-P=Prevail Petite TAA Trade Agreements Act Compliant ³	PA1=1 Panel, 24 LED Rectangle	A=400mA Nominal B=700mA Nominal C=950mA Nominal D=1200mA Nominal	740 =70CRI, 4000K 730 =70CRI, 3000K 750 =70CRI, 5000K 8540 =85CRI, 4000K	U=Universal, 120-277V H=High Voltage, 347-480V 1=120V 2=208V 3=240V	T2R=Type II Roadway T2U=Type II Urban T3=Type III T4W=Type IV Wide	SA=QM Standard Versatile Arm MA=QM Mast Arm FMA=Fixed Mast Arm ²⁸ WM=QM Wall Mount Arm	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite
PRV=Prevail BAA-PRV=Prevail BAA Buy American Act Compliant 3 TAA-PRV=Prevail TAA Trade Agreements Act Compliant 3	PA1=1 Panel, 24 LED Rectangle PA2=2 Panels, 48 LED Rectangles	A=700mA Nominal B=950mA Nominal	8=480V 5 9=347V DV=DuraVolt, 277-480V 5.6 DV=DuraVolt, 277-480V 5.6 DV=DuraVolt, 277-480V 5.6	4 =277V 5WQ =Type V Squa Wide Wide	ADJA-WM= Adjustable Arm – Wall Mount 30 ADJA=Adjustable Arm – Pole Mount 30 ADJS=Adjustable Arm – Slipfitter, 3" vertical	Metallic WH =White	
PRV-XL=PRV XL BAA-PRV-XL=Prevail XL BAA Buy American Act Compliant ³ TAA-PRV-XL=Prevail XL TAA Trade Agreements Act Compliant ³	PA3=3 Panels, 72 LED Rectangles PA4=4 Panels, 96 LED Rectangles	A=750mA Nominal B=950mA Nominal				tenon 30 SP2=Adjustable Arm – Slipfitter, 2 3/8" vertical tenon 28, 30	
PRV-M=Prevail Maxx BAA-PRV-M=Prevail Maxx BAA Buy American Act Compliant ³ TAA-PRV-M=Prevail Maxx TAA Trade Agreements Act Compliant ³	PA6= 6 Panels, 144 LED Rectangles	A=600mA Nominal B=800mA Nominal C=1000mA Nominal D=1200mA Nominal					

Options (Add as Suffix)

10K=10kV UL 1449 Fused Surge Protective Device 20MSP=20kV MOV Surge Protective Device 20K=20kV UL 1449 Fused Surge Protective Device **F**=Single Fuse (Used with Voltages 120, 277 or 347V) **FF**=Double Fuse (Used with Voltages 208, 240 or 480V) L90=Optics Rotated 90° Left

R90=Optics Rotated 90° Right CC=Coastal Construction finish 31 HSS=House Side Shield (Factory Installed) 7
HA=50°C High Ambient Temperature 8

PR=NEMA 3-PIN Twistlock Photocontrol Receptacle ¹⁰ PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁰ MS/DIM-L08=Motion Sensor for Dimming Operation, Up to 8' Mounting Height 11, 12, 13, 22

to 8" Mounting Height 11, 12, 13, 22
MS/DIM-L20=Motion Sensor for Dimming Operation,
9" - 20" Mounting Height 11, 12, 13, 28, 29
MS/DIM-L40=Motion Sensor for Dimming Operation, 21"
- 40" Mounting Height 11, 12, 13
SPB1=Motion Sensor for Dimming Operation, BLE
Interface, Up to 8" Mounting Height 11, 14, 22
SPB2—Motion Sensor for Dimming Operation, BLE
Interface, 8" - 20" Mounting Height 11, 14, 28, 29
SPB2-Motion Sensor for Dimming Operation, BLE
Interface, 8" - 20" Mounting Height 11, 14, 28, 29
SPB2-Motion Sensor for Dimming Operation, BLE

SPB4=Motion Sensor for Dimming Operation, BLE Interface, 21' - 40' Mounting Height 11, 14, 29

ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle 11, 12 ZD=DALI-nabled 4-PIN Twistlock Receptacle ^{1,12}
ZW-SWPD4XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height ^{1,12}, 15, 16, 17, 12

ZW-SWPD5XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height 11, 12, 15, 16, 17, 28, 29

ZD-SWPD4XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 7'-15' Mounting Height 11,12,15,16,17,22
D-SWPD5XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 15'-40' Mounting Height 11,12,15,16,17,28,29 (See Table Below)=LumenSafe Integrated Network Security Camera 18, 19

PRVSA-XX=Standard Arm Mounting Kit 22 PRVMA-XX=Mast Arm Mounting Kit 2 PRVWM-XX=Wall Mount Kit 22

PRV-ADJA-XX=Adjustable Arm - Pole Mount Kit 22 PRV-ADJS-XX=Adjustable Arm - Slipfitter Kit 22 PRV-ADJA-WM-XX=Adjustable Arm - Wall Mount

PRVXLSA-XX=Standard Arm Mounting Kit 29 PRVXLMA-XX=Mast Arm Mounting Kit 29 PRVXLWM-XX=Wall Mount Kit 29

PRV-XL-ADJA-XX=Adjustable Arm - Pole Mount PRV-XL-ADJA-WM-XX= Adjustable Arm - Wall

PRV-XL-ADJS-XX= Adjustable Arm - Slipfitter Kit 29 PRV-M-ADJA-XX=Adjustable Arm - Pole Mount

PRV-M-ADJS-XX=Adjustable Arm - Slipfitter Kit 28 PRV-M-ADJA-WM-XX=Adjustable Arm - Wall

MA1010-XX=Single Tenon Adapter for 3-1/2"

MA1011-XX=2@180°Tenon Adapter for 3-1/2"

MA1017-XX=Single Tenon Adapter for 2-3/8"

MA1018-XX=2@180° Tenon Adapter for 2-3/8"

SRA238=Tenon Adapter from 3" to 2-3/8" PRV/DIS-FDV=Full Drop Visor 23 PRVXL/DIS-FDV=Full Drop Visor 18

HSS-VP=House Side Shield Kit. Vertical Panel 7,24 HSS-HP=House Side Shield Kit, Horizontal Panel

VGS-ARCH= Panel Drop Shield, Short VGL-ARCH= Panel Drop Shield, Long
OA/RA1013=Photocontrol Shorting Cap
OA/RA1014=NEMA Photocontrol - 120V
OA/RA1016=NEMA Photocontrol - Multi-Tap

OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V FSIR-100=Wireless Configuration Tool for Occupancy Sensor

WOLC-7P-10A=WaveLinx Outdoor Control Module (7-PIN)²⁷

SWPD4-XX=WaveLinx Wireless Sensor, 7' - 15' Mounting Height 15, 16, 17, 22, 26

SWPD5-XX=WaveLinx Wireless Sensor, 15' - 40' Mounting Height 15, 16, 17, 26, 28, 29

NOTES:

- A. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.

 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information.
- As Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to <u>DOMESTIC PREFERENCES</u> website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

 4. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables.

- 5. 480V not to be used with ungrounded or impedance grounded systems.
 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information.
- 7. House Side Shield not for use with 5WO distribution.
- Not available with PAID light engine in Petite housing (PRV-P).

 Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.

 High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used.
- 11. Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS, PSPB, ZD, or ZW).

 12. Option not available with High Voltage (H) or DuraVolt (DV). Must specify Universal (U), 347V (9), or 480V (8) voltage.

 13. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order
- FSIR-100 accessory separately. Tall-Lutilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details.

 15. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).

16. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate to. In order for the device to be neur-configurable, requires who caleway components who roce and wrote for in a quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information.

17. Replace XX with sensor color (WH, BZ or BK).

Accessories (Order Separately) 20,21

- 17. Replace AX with season cool (min B2 or br).

 18. Only available in PRV-XL configurations.

 19. Not available with High Voltage (H, DV, 8 or 9) or HA options. Consult LumenSafe system product pages for additional details and compatability information.
- 20. Replace XX with paint color.
- 21. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
- 22. Not for use with PRV-XL or PRV-M configurations.
- 22. Not for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P.

 24. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, 4, or 6). Refer to House Side Shield reference table for details.
- 25. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information.

 26. Requires 4-PIN twistlock receptacle option (ZD or ZW) option.

 27. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with
- other controls systems (MS, ZD, ZW or LWR). Only for use at 120-347V
- 28. Only available for PRV-M configurations.
 29. Only for use with PRV-XL.
 30. Fixed for PRV-M

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

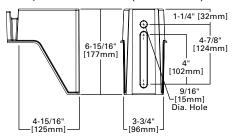
Product Family	Camera Type	Data Backhaul
	H=Dome Camera, High Res Z=Dome Camera, Remote PTZ	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card S=Cellular, Factory Installed Sprint SIM Card E=Ethernet Networking



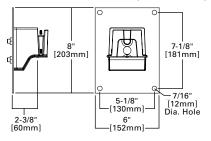
Lumark Prevail Discrete LED

Mounting Details

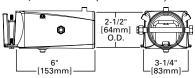
SA=QM Pole Mount Arm (PRV & PRV-P)



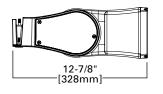
WM=QM Wall Mount Arm (PRV & PRV-P)

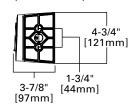


MA=QM Mast Arm (PRV & PRV-P)

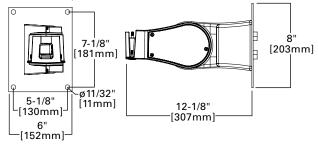


ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)

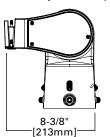


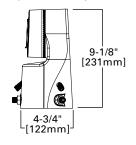


ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)

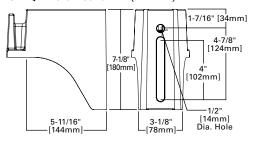


ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

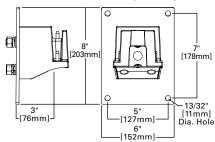




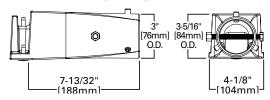
SA=QM Pole Mount Arm (PRV-XL)



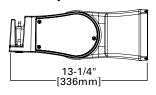
WM=QM Wall Mount Arm (PRV-XL)

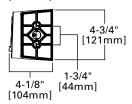


MA=QM Mast Arm (PRV-XL)

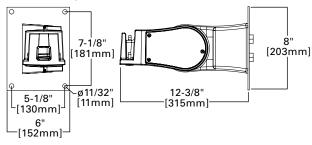


ADJA=Adjustable Arm Pole Mount (PRV-XL)

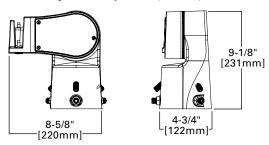




ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV-XL)

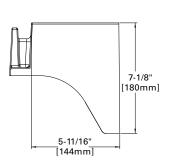


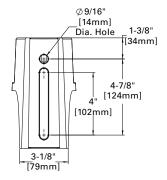


Lumark Prevail Discrete LED

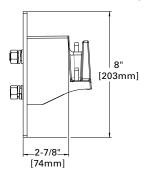
Mounting Details

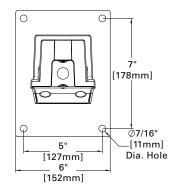
SA=QM Pole Mount Arm (PRV-M)



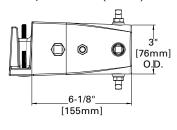


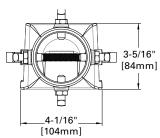
WM=QM Wall Mount Arm (PRV-M)



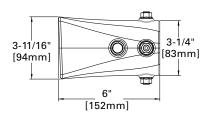


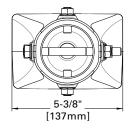
MA=QM Mast Arm (PRV-M)



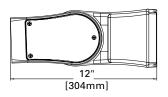


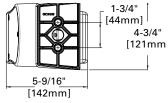
FMA=Fixed Mast Arm (PRV-M)



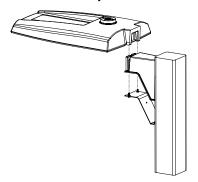


DM=Direct Pole Mount Arm (PRV-M)

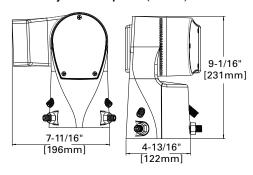




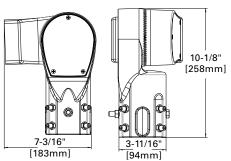
Versatile Mount System



ADJS=Adjustable Slipfitter (PRV-M)



SP2=Adjustable Slipfitter 2-3/8" (PRV-M)

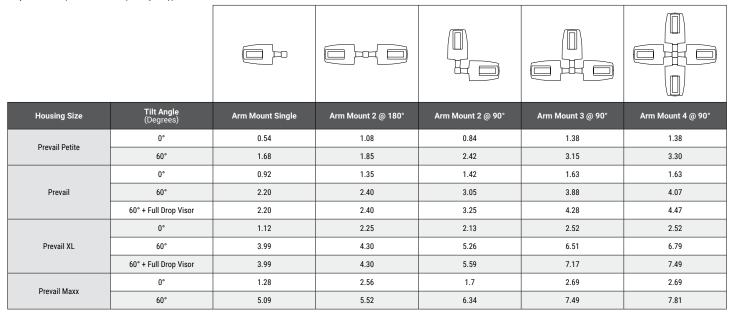




Mounting Details

Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3° square or 4° round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4° square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications



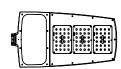
Optical Configurations

PRV-P-PA1X

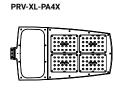


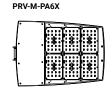
PRV-PA2X





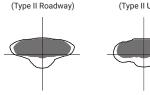
PRV-XL-PA3X



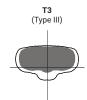


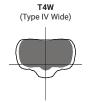
Optical Distributions

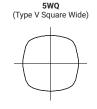
T2R











= Distribution with House Side Shield (HSS)

= Optical Distribution

Product Specifications

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100.000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

Typical Applications

Parking lots, Walkways, Roadways and **Building Areas**

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

Five year limited warranty, consult website for details. www.cooperlighting.com/legal



Lumark Prevail Discrete LED

Energy and Performance Data

Power and Lumens

View PRV-P IES files

√ View PRV IES files

View PRV-XL IES files

Pro	duct Family		Prevai	l Petite			Pre	vail			Preva	ail XL			Prevai	Maxx	
Lie	ght Engine	PA1A	PA1B	PA1C	PA1D	PA1A	PA1B	PA2A	PA2B	PA3A	РАЗВ	PA4A	PA4B	PA6A	PA6B	PA6C	PA6D
Power (Watts))	31	53	72	93	54	74	113	151	172	234	245	303	274	366	457	544
Drive Current	(mA)	375	670	930	1200	670	930	720	970	750	980	785	970	600	800	1000	1200
Input Current	@ 120V (A)	0.26	0.44	0.60	0.78	0.45	0.62	0.93	1.26	1.44	1.95	2.04	2.53	2.30	3.05	3.83	4.54
Input Current	@ 277V (A)	0.12	0.20	0.28	0.35	0.21	0.28	0.41	0.55	0.62	0.85	0.93	1.12	0.99	1.30	1.62	1.94
Input Current	@ 347V (A)	0.10	0.17	0.23	0.29	0.17	0.23	0.33	0.45	0.52	0.70	0.74	0.90	0.78	1.05	1.32	1.60
Input Current	@ 480V (A)	0.07	0.13	0.17	0.22	0.12	0.17	0.24	0.33	0.39	0.52	0.53	0.65	0.58	0.76	0.95	1.14
Distribution																	
	4000K/5000K Lumens	4,505	7,362	9,495	11,300	7,605	9,896	15,811	19,745	24,718	30,648	34,067	39,689	41,611	52,596	61,921	67,899
Type II	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
Roadway	Lumens per Watt	147	139	132	121	141	134	141	131	144	131	139	131	152	144	135	125
	3000K Lumens ¹	4,103	6,705	8,647	10,291	6,926	9,012	14,399	17,982	22,511	27,912	31,025	36,145	37,896	47,900	56,392	61,837
	4000K/5000K Lumens	3,727	6,091	7,855	9,349	6,006	7,815	12,487	15,594	19,521	24,204	26,094	31,334	32,874	41,553	48,919	53,642
Type II Roadway	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5
w/ HSS	Lumens per Watt	121	115	109	100	111	106	111	103	113	103	107	103	120	114	107	99
	3000K Lumens ¹	3,394	5,547	7,154	8,514	5,470	7,117	11,372	14,201	17,778	22,043	24,502	28,545	29,939	37,843	44,552	48,853
	4000K/5000K Lumens	4,496	7,347	9,476	11,277	7,597	9,886	15,795	19,724	24,692	30,616	34,031	39,647	41,372	52,294	61,565	67,509
Type II Urban	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
Type ii orbaii	Lumens per Watt	146	139	131	121	141	134	141	131	144	131	139	131	151	143	135	124
	3000K Lumens ¹	4,095	6,691	8,630	10,271	6,919	9,003	14,384	17,963	22,488	27,882	30,992	36,107	37,678	47,625	56,068	61,481
	4000K/5000K Lumens	3,253	5,316	6,856	8,160	5,297	6,893	11,013	13,753	17,217	21,347	23,728	27,644	28,951	36,594	43,082	47,241
Type II Urban	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
w/ HSS	Lumens per Watt	106	101	95	87	98	93	97	91	100	91	97	91	106	100	94	87
	3000K Lumens ¹	2,963	4,841	6,244	7,431	4,824	6,277	10,029	12,525	15,680	19,441	21,609	25,176	26,366	33,327	39,235	43,023
	4000K/5000K Lumens	4,443	7,261	9,364	11,145	7,575	9,857	15,749	19,667	24,621	30,527	33,932	39,532	41,155	52,020	61,242	67,155
Type III	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
.,,	Lumens per Watt	145	138	130	119	140	133	141	130	143	130	138	130	150	142	134	123
	3000K Lumens ¹	4,046	6,612	8,528	10,150	6,899	8,977	14,343	17,911	22,423	27,802	30,903	36,002	37,480	47,375	55,774	61,159
	4000K/5000K Lumens	3,406	5,566	7,179	8,543	5,592	7,277	11,626	14,519	18,176	22,536	25,049	29,183	30,159	38,121	44,879	49,212
Type III w/	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
HSS	Lumens per Watt	111	105	100	91	104	98	103	96	106	96	102	96	110	104	98	90
	3000K Lumens ¹	3,102	5,069	6,538	7,781	5,093	6,627	10,588	13,222	16,553	20,524	22,813	26,578	27466	34717	40872	44818
	4000K/5000K Lumens	4,348	7,106	9,164	10,906	7,484	9,738	15,560	19,431	24,325	30,161	33,525	39,057	41,207	52,086	61,320	67,240
Type IV Wide	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	142	135	127	117	139	132	139	129	141	129	137	129	151	142	134	124
	3000K Lumens ¹	3,960	6,471	8,346	9,932	6,816	8,869	14,170	17,696	22,153	27,468	30,531	35,570	37,528	47,435	55,845	61,236
	4000K/5000K Lumens	3,318	5,422	6,993	8,323	5,420	7,053	11,268	14,072	17,617	24,843	24,279	28,286	30,005	37,926	44,650	48,961
Type IV Wide	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
w/ HSS	Lumens per Watt	108	103	97	89	100	95	100	93	102	106	99	93	110	104	98	90
	3000K Lumens ¹	3,022	4,938	6,369	7,580	4,936	6,423	10,262	12,816	16,044	19,892	22,111	25,760	27,326	34,540	40,664	44,589
	4000K/5000K Lumens	4,497	7,349	9,478	11,280	7,831	10,190	16,281	20,332	25,453	31,559	35,079	40,868	42,947	54,285	63,909	70,079
Type V Square Wide	BUG Rating		B3-U0-G2												B5-U0-G5		
wide	Lumens per Watt	146	139	131	121	145	138	145	135	148	135	143	135	157	143	136	129
	3000K Lumens ¹	4,095	6,693	8,632	10,273	7,132	9,280	14,827	18,517	23,180	28,741	31,947	37,219	39,112	49,438	58,203	63,822
NOTES:																	

1. For 3000K or HSS BUG Ratings, refer to published IES files



Lumark Prevail Discrete LED

Energy and Performance Data

House Side Shield Reference Table

Product	Family	Prevail	Pre	vail	Preva	ail XL	Prevail Maxx
Light Engine		PA1	PA1	PA2	PA3	PA4	PA6
	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)	HSS-HP (qty 6)
Rotated Optics	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)	HSS-VP (qty 6)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP =Grey	Grey
BZ =Bronze	Bronze
BK =Black	Black
DP =Dark Platinum	Grey
GM =Graphite Metallic	Black
WH =White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Lumen Maintenance

Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000



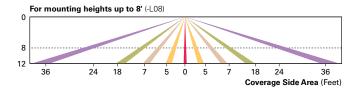
Lumark **Prevail Discrete LED**

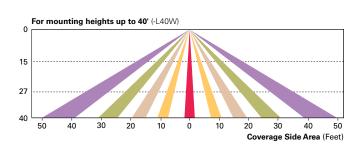
Control Options

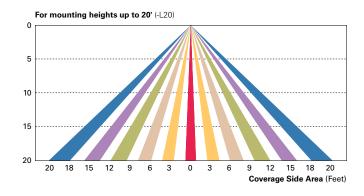
0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

Dimming Occupancy Sensor (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



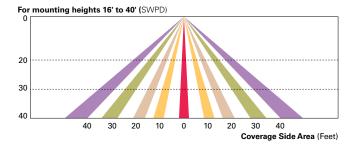




WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.



Cooper Lighting Solutions

P: 770-486-4800

Project	Catalog #	Туре	
Prepared by	Notes	Date	



Lumark

Prevail Petite Discrete Wall

Wall Mount Luminaire

Product Features







Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Product Specifications page 3
- Energy and Performance Data page 4
- Control Options page 5

Product Certifications



















Quick Facts

- · Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 11,300 lumens (30W 90W)
- Replaces 70W up to 250W HID equivalents
- Efficacies up to 147 lumens per watt
- Surface mount configuration with standard conduit entry

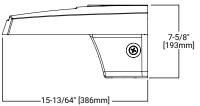
Connected Systems

WaveLinx

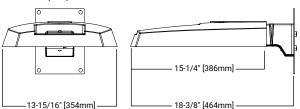
Dimensional Details

Surface Mount (SM)





Wall Mount (WM)



Visit https://www.designlights.org/search/ to confirm qualification. Not all product variations are DLC qualified.
 IDA Certified for 3000K CCT and warmer only.



Ordering Information

SAMPLE NUMBER: PRV-P-PA1B-740-U-T4W-SM-BZ

Product Family 1	Light Engin	e 	Color	Voltage	Distribution	Finish	
Product Fairling	Configuration	Drive Current ²	Temperature	Voltage	Distribution	Mounting (Included)	Fillisii
PRV-P=Prevail Petite BAA-PRV-P=Prevail Petite BAA Compliant ²³ TAA-PRV-P=Prevail Petite TAA Compliant ²³	PA1=1 Panel, 24 LED Rectangle	A=400mA Nominal B=700mA Nominal C=950mA Nominal D=1200mA Nominal	740 =70CRI, 4000K 730 =70CRI, 3000K 750 =70CRI, 5000K	U= Universal, 120-277V H= High Voltage, 347-480V 1=120V 2=208V 3=240V 4=277V 8=480V ³.24 9=347V DV=Duravolt, 277-480V	T2R=Type II Roadway T2U=Type II Urban T3=Type III T4W=Type IV Wide 5WQ=Type V Square Wide	BZ=Bronze AP=Grey BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	
	Opti	ons (Add as Suffix)			Acc	essories (Order Separately) ¹	8, 19
FF=Double Fuse (Used w EBP=Emergency Battery CBP=Cold Weather Emer CBP-CEC=Cold Weather HSS=House Side Shield (HA=50°C High Ambient 1 CC=Coastal Construction PR=NEMA 3-PIN Twistlor PR7=NEMA 7-PIN Twistlor PR0-IN Twistlor PR1-NEMA 7-PIN Twistlor P	Protective Device 1 stures Protective Device ine 30 Voltages 120, 277 or 347V) ith Voltages 208, 240 or 480V) Pack (Ambient Temp, 0° to 40°C) 4.5 gency Battery Pack (Ambient Temp, Emergency Battery Pack, CEC Comp Factory Installed) 6 emperature 7 generature 8 penerature 8 penerature 9 generature 9 gener	te Programmable, < 8' M te Programmable, < 8' N te Programmable, 8' - 2' tote Programmable, 8' - 20' mamable, < 8' Mounting ammable, 21' - 40' Mount ammable, 21' - 40' Mount WAC Programmable, 7' WAC Programmable, 15 Daylight, WAC Program	lounting ^{9, 11, 12})' Mounting ^{9, 11, 12} - 40' Mounting ^{9, 11, 12} - 15' Mounting ^{9, 11, 13} - 15' Mounting ^{9, 11, 14, 15, 1} - 40' Mounting ^{9, 11, 14, 15, 1} mable, 7' - 15' Mounting	5, 16 g ^{9, 11, 14, 15, 16}	WOLC-7P-10A=WaveLinx C SWPD4-XX=WaveLinx Wire	Shorting Cap ontrol - 120V ontrol - Multi-Tap 105-285V ontrol - 347V	2 eight ^{15, 16, 17}

- DesignLights Consortium® Qualified. Refer to <u>www.designlights.org</u> Qualified Products List under Family Models for details.
- 2. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables
- 480V not to be used with ungrounded or impedance grounded systems.
 Only available on Surface Wall Mount (SM) mounting.
- Must use with Univeral (U) voltage only. Not available with other voltage options. Not available with PA1D light engine.
 House Side Shield not for use with 5WQ distribution.

- 7. Not available with EBP, CBP, or CBP-CEC options. Not available with PA1D light engine.
 8. Salt spray tested to over 5,000-hours per ASTM B117 with a scribe rating of 9 per ASTM D1654. Extended lead times may apply.
- 9. Option is not available with other controls: photocontrols (BPC), photocontrol receptacles (PR or PR7), or controls systems (MS, ZD, or ZW).
 10. If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used.

- 11. Option not available with High Voltage (H). Must specify Universal (U), 347V (9), or 480V (8) voltage.

 12. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately.
- 13. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 14. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).
- 16. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information.

 16. Replace XX with sensor color (WH, BZ or BK).

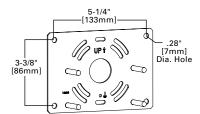
- 17. Requires 4-PIN twistlock receptacle option (ZD or ZW) option.

 18. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
- Replace XX with paint color.
- 20. Controls and/or emergency battery packs operate only one of the two circuits when 2L is specified.
- 21. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 22. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, ZD, or ZW). Only for use at 120-347V.
- 23. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to <u>DOMESTIC PREFERENCES</u> website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- 24. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signifv.com/duravolt for more information
- 25. Cannot be used with PR7 or other motion response control options.

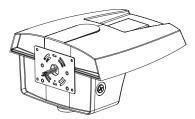


Mounting Details

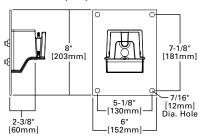
Surface Mount Plate (SM)



Surface Mount Assembly (SM)



Wall Mount (WM)



Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door
- Surface Mount (SM) offers two 1/2" NPT conduit entry plugs
- Not suitable for inverted mount installation

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- · Precision molded polycarbonate optics

Flectrica

- · -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor

- <20% total harmonic distortion</p>
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge
- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels. Comes pre-set to the highest position at the lumen output selected.

Typical Applications

Outdoor, Pedestrian Pathways, Building Entrances, Loading Docks, Perimeter Parking Lots

Finish

Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

Prevail Petite (with CBP): 21 lbs. (9.53 kgs.)

Warrantv

Five year limited warranty, consult website for details. www.cooperlighting.com/legal



Energy and Performance Data

Power and Lumens

	Light Engine	PA1A	PA1B	PA1C	PA1D
Power (Wa	ower (Watts)		53	72	93
Drive Curre	ent (mA)	375	670	930	1200
Input Curre	ent @ 120V (A)	0.26	0.44	0.60	0.78
Input Curre	ent @ 277V (A)	0.12	0.20	0.28	0.35
Input Curre	ent @ 347V (A)	0.10	0.17	0.23	0.29
Input Curre	ent @ 480V (A)	0.07	0.13	0.17	0.22
Distributio	n				
	4000K/5000K Lumens	4,505	7,362	9,495	11,300
Type II	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
Roadway	Lumens per Watt	147	139	132	121
	3000K Lumens ¹	4,103	6,705	8,647	10,291
	4000K/5000K Lumens	3,727	6,091	7,855	9,349
Type II	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2
Roadway w/ HSS	Lumens per Watt	121	115	109	100
	3000K Lumens ¹	3,394	5,547	7,154	8,514
	4000K/5000K Lumens	4,496	7,347	9,476	11,277
Type II	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
Urban	Lumens per Watt	146	139	131	121
	3000K Lumens ¹	4,095	6,691	8,630	10,271
	4000K/5000K Lumens	3,253	5,316	6,856	8,160
Type II	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
Urban w/ HSS	Lumens per Watt	106	101	95	87
	3000K Lumens ¹	2,963	4,841	6,244	7,431
	4000K/5000K Lumens	4,443	7,261	9,364	11,145
Type III	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
туре п	Lumens per Watt	145	138	130	119
	3000K Lumens ¹	4,046	6,612	8,528	10,150
	4000K/5000K Lumens	3,406	5,566	7,179	8,543
Type III	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
w/ HSS	Lumens per Watt	111	105	100	91
	3000K Lumens ¹	3,102	5,069	6,538	7,781
	4000K/5000K Lumens	4,348	7,106	9,164	10,906
Type IV	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
Wide	Lumens per Watt	142	135	127	117
	3000K Lumens ¹	3,960	6,471	8,346	9,932
	4000K/5000K Lumens	3,318	5,422	6,993	8,323
Type IV Wide w/	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
HSS	Lumens per Watt	108	103	97	89
	3000K Lumens ¹	3,022	4,938	6,369	7,580
	4000K/5000K Lumens	4,497	7,349	9,478	11,280
Type V Square	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2
Wide	Lumens per Watt	146	139	131	121
	3000K Lumens ¹	4,095	6,693	8,632	10,273
NOTES: 1. For 3000K o	r HSS BUG Ratings, refer to publis	hed IES files.			

Power and Lumens: Emergency Configurations

	Light Engine	PA1A	PA1B	PA1C				
Power (Wa	tts)¹	37	59	78				
Input Curre	ent @ 120V (A)	0.33	0.33 0.52 0.68					
Input Curre	ent @ 277V (A)	0.16	0.24	0.31				
Distributio	n²							
Type II	4000K/5000K Lumens		2,035					
Roadway	3000K Lumens		1,853					
Type II	4000K/5000K Lumens	2,030						
Úrban	3000K Lumens	1,849						
Type III	4000K/5000K Lumens	2,007						
туретп	3000K Lumens	1,827						
Type IV	4000K/5000K Lumens	1,964						
Wide	3000K Lumens		1,788					
Type V	4000K/5000K Lumens		2,031					
Square Wide	3000K Lumens		1,849					
NOTES:								

- NOTES:

 1. Power and current based on full power consumption while EBP or CBP is charging.

 2. Estimated lumen outputs while luminaire is operating in emergency mode only at full charge.

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 663,000

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP =Grey	Grey
BZ =Bronze	Bronze
BK =Black	Black
DP =Dark Platinum	Grey
GM =Graphite Metallic	Black
WH =White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier						
0°C	1.02						
10°C	1.01						
25°C	1.00						
40°C	0.99						
50°C	0.97						

FADC Settings

FADC Position	Lumen Multiplier
1	25%
2	46%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Note: +/-5% typical value

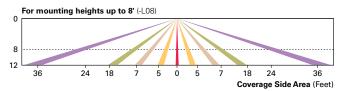


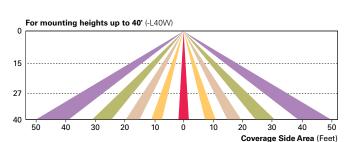
Control Options

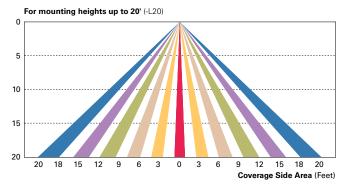
0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation (MS-LXX) is selected, the luminaire will turn off after five minutes of no activity. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



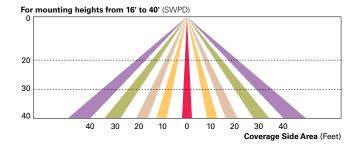




WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.





Project	Catalog #	Туре	
Prepared by	Notes	Date	



McGraw-Edison

TT TopTier

Parking Garage Luminaire

Product Features





Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 2
- Mounting Details page 3
- Energy and Performance Data page 4
- Control Options page 6

Product Certifications



















Quick Facts

- Lumen packages range from 2,757 22,831
- Efficacies up to 146 lumens per watt
- Utilizes patented waveguide technology for maximum visual comfort
- Surface, pendant, trunnion, wall and direct conduit mount options

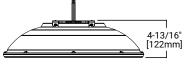
Connected Systems

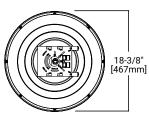
- WaveLinx Lite
- Synapse

Dimensional Details

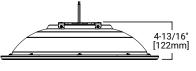
SURFACE MOUNT

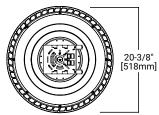
CQ, MQ, WQ and RW: D1-D6 DL: D1-D4 Base luminaire weight: 18.2 lbs (8.3 kg)





SURFACE MOUNT CQ, MQ, WQ and RW: D7+ DL: D5+ Base luminaire weight: 20.1 lbs (9.1 kg)





NOTES:

1. Visit https://www.designlights.org/search/ to confirm qualification. Not all product variations are DLC qualified. 2. IDA Certified for 3000K CCT and warmer only.



Ordering Information

SAMPLE NUMBER: TT-D3-740-U-WQ-STM-30L-AP

Product Family	Configuration	Color Temperature	Voltage	Distribution	Mounting 31	Lead Length 7	Finish
TT=TopTier ¹ BAA-TT=TopTier, Buy American Act Compliant ²⁷ TAA-TT=TopTier, Trade Agreements Act Compliant ²⁷	D1=4,000 Nominal Lumens D2=5,500 Nominal Lumens D3=6,500 Nominal Lumens D4=8,000 Nominal Lumens D5=10,000 Nominal Lumens D7=15,000 Nominal Lumens D7=15,000 Nominal Lumens D8=18,000 Nominal Lumens D9=20,000 Nominal Lumens	735=70 CRI, 3500K CCT 740=70 CRI, 4000K CCT 750=70 CRI, 5000K CCT 830=80 CRI, 3000K CCT AMB=Amber 590nm ²⁹	U=120-277V H=347-480V ^{22, 26} 1=120V 2=208V 3=240V 4=277V 8=480V 9=347V	CQ=Concentrated MQ=Medium WQ=Wide RW=Rectangular Wide ³⁰ DL=Drive Lane / Type 4 ³⁰	[Blank]=Surface Mount 16 TMB=Trunnion Mount with Connection Box DPM=Decorative Pendant Mount 4 WM=Wall Mount STM=Stem Mount to 1/2" conduit 16	[Blank]=6" 30L=30" 36L=36" 48L=48" 72L=72" 108L=108" 120L=120" 144L=144"	NW=White AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic

F=Single Fuse (120, 277 or 347V Specify Voltage)
FF=Double Fuse (208, 240 or 480V Specify Voltage)
IBP=Integral Battery Pack, S.24
IBP-CEC-Integral Battery Pack, CEC compliant 5
ITS=Integral Transfer Switch 3
924=UL924 listed luminaire 19
CG=Clear Glass 5
GS=Solite® Glass 9
UPL=Uplight 5
TR=Tamper Resistant Hardware
NAT=Natatorium finish

NAT=Natatorium finish

DALI=DALI Driver ¹⁵
MS/DIM-L08=Dimming Occupancy Sensor (<9' Mounting) ^{11,17}
MS/DIM-L08=Dimming Occupancy Sensor (<9' Mounting) ^{11,17}

MS/DIM-L08=Dimming Occupancy Sensor (<9' Mounting) ^{11,17}

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MS/DIM-L08=Dimming Occupancy Sensor (<9' Mounting) ^{11,17}

MS/DIM-L08=Dimming Occ MS/JIM-120=Dimming Occupancy Sensor (9 - 20' Mounting) 11,17

SPB1=Dimming Motion and Daylight Sensor, Bluetooth

Programmable, < 8' Mounting "1,2"

SPB2=Dimming Motion and Daylight Sensor, Bluetooth

Programmable, 8' - 20' Mounting 11,21

ZW=WaveLinx-enabled 4-PIN Twistlock Receptacle ^{22, 23} **ZD**=SR Driver-enabled 4-PIN Twistlock Receptacle ^{22, 23}

Options (Add as Suffix)

ZW-WOBWH=WaveLinx Lite, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting 22,23

ZW-WOFWH=WaveLinx Lite, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{22,23}

Programmable, 15' - 40' Mounting ^{22,23} **ZD-WOBWH**-WayeLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{22,23} **ZD-WOFWH**-WayeLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{22,23} **ZW-SWPD4WH**-WayeLinx Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{22,23} **ZW-SWPD5WH**-WayeLinx Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{22,23} **TRANSPORT OF THE PROGRAM OF THE PRO**

ZD-SWPD4WH–WaveLinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting^{22,23}

2D-SWPD5WH-WaveLinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{22,23} LWR-LW=Enlighted Wireless Sensor, Wide Lens 8' - 16' Mounting Height ^{11,18} LWR-LN=Enlighted Wireless Sensor, Narrow Lens 16' - 40' Mounting Height ^{11,18}

DIM10-L08=Synapse occupancy sensor (<8' Mounting) ²²
DIM10-L20=Synapse occupancy sensor (8'-20' Mounting) ²²

Accessories (Order Separately) 28

MA1252=Replacement 10kV Surge Module TT/WG=Wire Guard ²⁵

TT/BG-UP-XX=Bird Guard 12,13
TT/HSS-XX=House Side Shield 25

DPMS36-XX=36" Pendant Mount Stem 12, 14 DPMS48-XX=48" Pendant Mount Stem 12,14

DPMS96-XX=96" Pendant Mount Stem 12, 14

DPMST36-XX=36" Pendant Mount Stem with Tether ^{12, 14, 31}
DPMST36-XX=48" Pendant Mount Stem with Tether ^{12, 14, 31}
DPMST36-XX=96" Pendant Mount Stem with Tether ^{12, 14, 31}
PPMST36-XX=96" Pendant Mount Stem with Tether ^{12, 14, 31}
FSIR-100=Wireless Configuration Tool for Occupancy Sensor ¹⁷
WOB-WH= WaveLinx Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 7'-15' Mounting ^{20, 22}
WOS WH= WaveLinx Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 7'-15' Mounting ^{20, 22}
WOS WH= WaveLinx Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 7'-15' Mounting ^{20, 22}

Bruetooth Programmable, 7' - 15' Mounting ^{20, 22} MoF-WH= WaveLinx Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{20, 22} SWPD4-WH= WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{20, 22, 23} SWPD5-WH= WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{20, 22, 23} SPB4=Dimming Motion and Daylight Sensor, Bluetooth Programmable, 20' - 40' Mounting ^{11, 21}

NOTES:

1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details

- 2. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems)
- 3. Not available with D7 D10 configurations.
- 4. Order Pendant Mount Stem accessory
- 5. IBP ambient operating temperature -20°C to 35°C (D1-D3), -20°C to 25°C (D4-D6). Not available with D7-D10 configurations, DALI, or ZD options.
- 6. Additional 8.0W. Provides 920 lumens. Not available with D10 configuration
- 7. Choose lead length for Surface Mount and Stem Mount only. TMB, DPM and WM lengths predetermined
- 8. Not available with CO.
- 9. Standard with CQ, option available with WQ only.
- 10. U voltage only. Ambient operating temperature -20°C to 50°C (D1-D4) or -20°C to 40°C (D5-D6). UL924 listed component.
- 11. Includes integral photocell
- Specify color in place of XX.
- 13. Designed for use with Stem Mount and Decorative Pendant Mount only.
- 14. Designed for use with Decorative Pendant Mount only. 15. Not available with H voltage or IBP. Not compatible with MS/DIM or LWR sensors.
- 16. Specify Lead Length for wire harness length

- 17. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay and more.
- 18. Enlighted wireless sensors are factory installed only, and require network components in appropriate quantities
- 19. 924 option provides luminaire UL924 listing, used in conjunction with ITS or IBP-CEC.
- 20. Requires ZW or ZD receptacle.
- 21. Sensor configuration mobile application required for configuration. See controls page for details
- 22. Cannot be used with other control options.
- 23. For WaveLinx applications, WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. Not required for WaveLinx Lite Commercial (LC) applications
- 24. Specify 120V or 277V.
- 25. TT/WG and TT/HSS cannot be installed together. TT/HSS & TT/WG not available on D7-D10 configurations.
- 26. D4-D10 only. Not compatible with battery.
- 27. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to <u>DOMESTIC PREFERENCES</u> website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- 28. Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information
- 29. Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose lumen package D1.
- 30. Not available in D10 configuration
- 31. For installations in locations such as gymnasiums, arenas, sports complexes, multi-purpose rooms, and any other locations where the fixture potentially will be subject to impacts from external sources, DPM mounting is required, utilizing the stem kit with tether (DPMST*). Surface Mount, Trunnion Mount (TMB), Wall Mount (WM) and Stem Mount (STM) are prohibited in these applications.

Product Specifications

Construction

Low profile, die-cast aluminum housing provides a clean, symmetric aesthetic

- Five optical distributions utilizing visual comfort waveguide technology
- 10 lumen packages, ranging from 2,757 to 22,831
- Integral uplight option utilizes a dedicated, 8W light engine, producing 920 lumens for reduced visual contrast and cave effect
- IDA Certified for 3000k CCT and warmer only. Not available with uplight option.

- D1-D6: -40C 50C operating temperature
- D7-D10: -40C 40C operating temperature

- Greater than 90% lumen maintenance at 50,000 hours
- IP66 rated
- 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation
- 10kV surge module standard
- 0-10V dimming standard

Mounting

- Surface mount directly to square or octagonal 4" surface or recessed junction box using quick mount
- Optional stem mount bracket with set screw for direct 1/2" NPS conduit mounting
- Trunnion, decorative pendant, and wall mount options also available
- For installations in locations such as

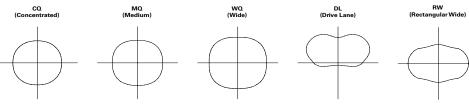
gymnasiums, arenas, sports complexes, multipurpose rooms, and any other locations where the fixture potentially will be subject to impacts from external sources, the stem kit with tether (DPMST*) is required.

- · 2.5 mil nominal TGIC powder coat thickness
- Finishes include white, black, bronze, gray, dark platinum and graphite metallic
- RAL and custom color matches available
- Natatorium option (NAT) available, providing 5,000 hour salt spray rating per ASTM B117, with a scribe rating of 9 per ASTM D1654

Warranty

· Five-year warranty

Optical Distributions

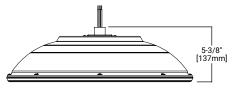


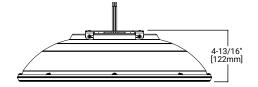


Mounting Details

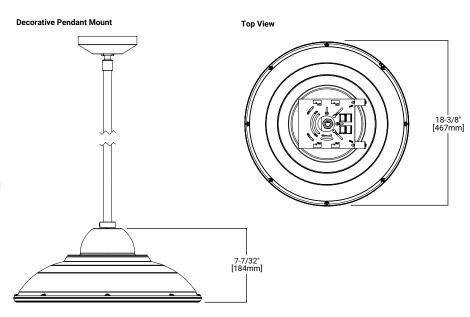
*D1-D6 configuration shown (D1-D4 for DL distribution)

Stem Mount

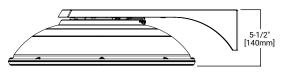




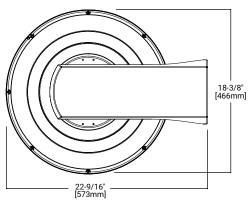
6-1/16" [154mm]
9-1/4" [236mm] to 14" [356mm]



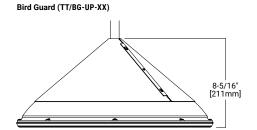
Wall Mount



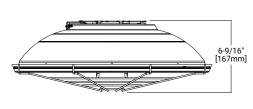
Top View - Wall Mount



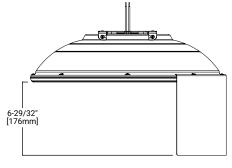
Accessories



Wire Guard (TT/WG)



House Side Shield (TT/HSS-XX)





Energy and Performance Data

Power and Lumens (3000K/3500K/4000K/5000K)



	Lumen Pack	age	D1	D2	D3	D4	D5	D6	D7	D8	D9	D10
Power (Wa	attage) CQ, MQ, W	Q	28.0	39.2	47.2	57.6	74.7	105.2	124.7	148.7	173.1	193.8
Power (Wa	attage) RW Only		28.0	39.2	47.2	57.6	74.7	105.2	127.1	152.6	178.0	
Power (Wa	attage) DL Only		28.8	40.5	48.8	59.8	62.3	97.4	127.1	152.6	178.0	-
Distributio	n											
		Lumens	3,409	4,640	5,595	6,660	8,383	11,030	12,307	14,411	16,430	18,001
	CQ Concentrated	BUG Rating	B1-U0-G1	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G2
	Concentrated	Lumens per Watt	122	118	119	116	112	105	99	97	95	93
		Lumens	3,647	4,964	5,986	7,125	8,969	11,800	12,854	15,053	17,161	18,802
	MQ Medium	BUG Rating	B2-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G3
	cara	Lumens per Watt	130	127	127	124	120	112	103	101	99	97
200014		Lumens	3,449	4,695	5,662	6,740	8,483	11,161	12,350	14,463	16,489	18,065
3000K CCT	WQ Wide	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3
80 CRI		Lumens per Watt	123	120	120	117	114	106	99	97	95	93
	DW	Lumens	2,757	3,753	4,526	5,387	6,781	8,922	11,977	13,619	15,122	
	RW Rectangular	BUG Rating	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G3	
	Wide	Lumens per Watt	98	96	96	94	91	85	94	89	85	
		Lumens	2,959	3,985	4,762	5,622	6,537	8,771	11,834	13,337	14,768	
	DL Drive Lane /	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	
	Type 4	Lumens per Watt	103	98	98	94	105	90	93	87	83	-
		Lumens	3,618	4,925	5,940	7,070	8,899	11,708	14,944	17,500	19,951	21,858
	CQ Concentrated	BUG Rating	B1-U0-G1	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
	Concentrated	Lumens per Watt	129	126	126	123	119	111	120	118	115	113
		Lumens	3,872	5,270	6,355	7,564	9,520	12,527	15,609	18,279	20,839	22,831
	MQ Medium	BUG Rating	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3
	Mediani	Lumens per Watt	138	134	135	131	127	119	125	123	120	118
3500K		Lumens	3,662	4,984	6,011	7,154	9,005	11,848	14,997	17,562	20,022	21,936
CCT 70 CRI	WQ Wide	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G4
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		Lumens per Watt	131	127	127	124	121	113	120	118	116	113
	D.W.	Lumens	2,927	3,984	4,805	5,719	7,198	9,471	14,544	16,537	18,363	
	RW Rectangular	BUG Rating	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	
	Wide	Lumens per Watt	105	102	102	99	96	90	114	108	103	-
		Lumens	3,141	4,230	5,055	5,968	7,938	10,650	14,370	16,195	17,933	-
	DL Drive Lane /	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	-
	Type 4	Lumens per Watt	109	104	104	100	127	109	113	106	101	-
		Lumens	3,828	5,211	6,284	7,480	9,415	12,387	14,944	17,500	19,951	21,858
	CQ Concentrated	BUG Rating	B1-U0-G1	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
		Lumens per Watt	137	133	133	130	126	118	120	118	115	113
		Lumens	4,096	5,575	6,723	8,002	10,072	13,253	15,609	18,279	20,839	22,831
	MQ Medium	BUG Rating	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3
		Lumens per Watt	146	142	142	139	135	126	125	123	120	118
4000K/		Lumens	3,874	5,273	6,359	7,569	9,527	12,535	14,997	17,562	20,022	21,936
5000K CCT	WQ Wide	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G4
70 CRI		Lumens per Watt	138	135	135	131	128	119	120	118	116	113
	RW	Lumens	3,097	4,215	5,083	6,050	7,615	10,020	14,544	16,537	18,363	-
	Rectangular	BUG Rating	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G3	-
	Wide	Lumens per Watt	111	108	108	105	102	95	114	108	103	-
	DI.	Lumens	3,323	4,475	5,348	6,314	7,938	10,650	14,370	16,195	17,933	-
	DL Drive Lane /	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	
Type 4	Lumens per Watt	115	110	110	106		109					



Energy and Performance Data

CQ, MQ and WQ Distributions

Lumen Package	D1	D2	D3	D4	D5	D6	D7	D8	D9	D10
Power (Wattage)	28.0	39.2	47.2	57.6	74.7	105.2	124.7	148.7	173.1	193.8
Input Current @ 120V (A)	0.23	0.33	0.39	0.48	0.62	0.88	1.09	1.31	1.53	1.72
Input Current @ 208V (A)	0.13	0.19	0.23	0.28	0.36	0.51	0.57	0.67	0.78	0.88
Input Current @ 240V (A)	0.12	0.16	0.20	0.24	0.31	0.44	0.56	0.66	0.76	0.85
Input Current @ 277V (A)	0.10	0.14	0.17	0.21	0.27	0.38	0.49	0.58	0.67	0.74
Input Current @ 347V (A)	0.08	0.11	0.14	0.17	0.22	0.30	0.40	0.47	0.55	0.62
Input Current @ 480V (A)	0.06	0.08	0.10	0.12	0.16	0.22	0.30	0.35	0.41	0.45

RW Distribution

Lumen Package	D1	D2	D3	D4	D5	D6	D7	D8	D9
Power (Wattage)	28.0	39.2	47.2	57.6	74.7	105.2	127.1	152.6	178.0
Input Current @ 120V (A)	0.23	0.33	0.39	0.48	0.62	0.88	1.11	1.34	1.58
Input Current @ 208V (A)	0.13	0.19	0.23	0.28	0.36	0.51	0.58	0.69	0.81
Input Current @ 240V (A)	0.12	0.16	0.20	0.24	0.31	0.44	0.56	0.67	0.78
Input Current @ 277V (A)	0.10	0.14	0.17	0.21	0.27	0.38	0.50	0.59	0.68
Input Current @ 347V (A)	0.08	0.11	0.14	0.17	0.22	0.30	0.41	0.48	0.57
Input Current @ 480V (A)	0.06	0.08	0.10	0.12	0.16	0.22	0.30	0.36	0.42

DL Distribution

Lumen Package	D1	D2	D3	D4	D5	D6	D7	D8	D9
Power (Wattage)	28.8	40.5	48.8	59.8	62.3	97.4	127.1	152.6	178.0
Input Current @ 120V (A)	0.24	0.34	0.41	0.50	0.55	0.86	1.11	1.34	1.58
Input Current @ 208V (A)	0.14	0.19	0.23	0.29	0.28	0.44	0.58	0.69	0.81
Input Current @ 240V (A)	0.12	0.17	0.20	0.25	0.28	0.43	0.56	0.67	0.78
Input Current @ 277V (A)	0.10	0.15	0.18	0.22	0.24	0.37	0.50	0.59	0.68
Input Current @ 347V (A)	0.08	0.12	0.14	0.17	0.21	0.31	0.41	0.48	0.57
Input Current @ 480V (A)	0.06	0.08	0.10	0.12	0.15	0.23	0.30	0.36	0.42

Lumen Maintenance

Lumen Package	Ambient Temperature	25,000 hours*	50,000 hours*	60,000 hours*	100,000 hours**	Theoretical L70 hours**
	25°C	98.0%	95.2%	94.1%	89.8%	> 300,000
D1-D6 (D1 - D4 DL/T4)	40°C	97.9%	94.8%	93.6%	89.0%	> 290,000
50°C	50°C	97.7%	94.5%	93.2%	88.4%	> 270,000
D7 - D10	25°C	95.8%	93.2%	92.2%	88.2%	> 300,000
(D5+ DL/T4)	40°C	93.9%	89.7%	88.1%	81.9%	> 180,000

^{*} Supported by IES TM-21 standards

Lumen Multiplier

Ambient Temperature	Multiplier
0°C	1.03
10C	1.02
25°C	1.00
40°C	0.98
50°C	0.97

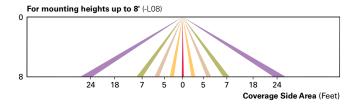


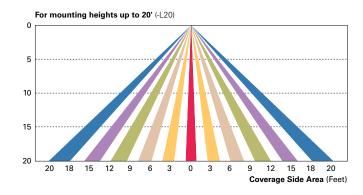
^{**}Theoretical values represent estimations commonly used; however, refer to the IES position on LED Product Lifetime Prediction, IES PS-10-18, explaining proper use of IES TM-21 and LM-80.

Control Options

0-10V (D) 0-10V dimming comes standard on all TopTier configurations for use with integrated or external lighting controls.

Dimming Occupancy Sensor (MS/DIM) These sensors are factory installed in the luminaire, dimming to 50% after five minutes of no motion detected. When motion is detected, the luminaire output is 100%. Includes an integral photocell that can be programmed for "dusk-to-dawn" operation. The FSIR-100 programming tool can be utilized to adjust dimming level, time delay, sensitivity and other parameters. Two lens options provide optimal coverage patterns up to 20' mounting height.





Dimming Occupancy Sensor (SPB)

These passive infrared (PIR) sensors are factory installed in the luminaire housing. When the SPB sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when no motion is detected. After a period of time, the luminaire turns off, and when motion is detected, the luminaire returns to full light output. The SPB sensor default parameters are listed in the table below, and can be configured utilizing the Sensor Configuration mobile application for iOS and Android devices. The SPB/X is configured to control only the specified number of light squares. An integral photocontrol can be activated with the app for "dusk-to-dawn" control or daylight harvesting - the factory default is off. Three sensor lenses are available to optimize the coverage pattern for mounting heights from 8'-40'. Four sensor colors are available; Bronze, Black, Gray and White, and are automatically selected based on the luminaire finish as indicated by the table below

SPB sensor finish matched to luminaire finish				
Lumin	aire Finish	SPB Sensor Finish		
WH	White	White		
ВК	Black	Black		
GM	Graphite Metallic	Black		
BZ	Bronze	Bronze		
AP	Gray	Gray		
DP	Dark Platinum	Gray		

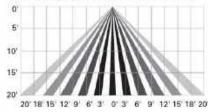
SPB/X Availability Table			
Fixture Square Count	Available SPB/X Square Count		
1	Not Available		
2	Not Available		
3	Not Available		
4	2		
5	2 or 3		
6	3		
7	2, 3, 4 or 5		
8	2, 3, 5 or 6		
9	3 or 6		

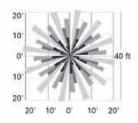
WaveLinx Wireless Control and Monitoring System

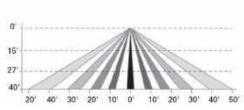
Operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. WaveLinx and WaveLinx Lite sensors utilize the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW), while the WOLC control module utilizes a 7-PIN receptacle. ZW option provides 4-PIN receptacle and control module to enable future installation of WaveLinx sensors. ZD option provides 4-PIN receptacle and sensor-ready (SR) driver to enable future installation of WaveLinx sensors, power monitoring, and advanced functionality. WaveLinx (SWPD4 to SWPD5) outdoor wireless sensors offer passive infrared (PIR) occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed. Sensors are factory preset to

to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinx mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets). WaveLinx Lite (WOF and WOB) outdoor wireless sensors provide PIR occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed. Sensors are factory preset to dim down to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinx Lite mobile application for set-up and configuration. WAC not required. WaveLinx Outdoor Control Module (WOLC-7P-10A) accessory provides a photocontrol enabling astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

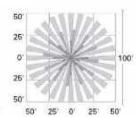
For mounting heights up to 15' (SWPD4 and WOB)





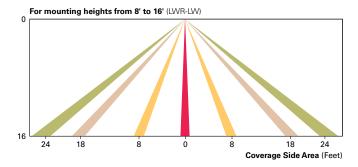


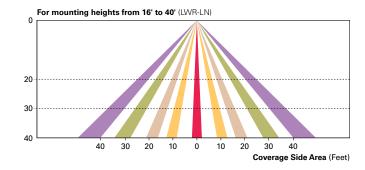
For mounting heights up to 40' (SWPD5 and WOF)



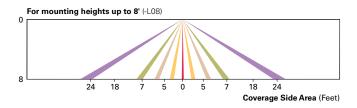
WaveLinx-Ready 4-PIN Twistlock Receptacle (ZW) Includes the WaveLinx control module, integrated 4-Pin receptacle, and standard 0-10V dimming driver, enabling the subsequent addition of a WaveLinx sensor.

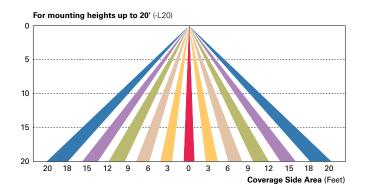
Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN) The Enlighted control system is a connected lighting solution, combining LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes while collecting valuable data about building performance and use. Software applications utilizing energy dashboards maximize data inputs to help optimize the use of other resources beyond lighting.





Synapse (DIM10) SimplySNAP integrated wireless controls system by Synapse. Includes factory installed DIM10 control module and FSP-20 motion sensor; requires additional Synapse system components for operation. Contact Synapse at www.synapsewireless.com for product support, warranty, and terms and conditions.









5050 INDEPENDENCE STREET | P.O. BOX 97 | MAPLE PLAIN, MN 55359 Ph: (763) 479-0515 | Fax: (763) 479-0519 | www.mapleplain.com

January 24, 2025

Attn: Jon Gleisner 4207 Quaker Trail NE Prior Lake, MN 55372

RE: 1520 Wyman Avenue – Site Plan Review and Conditional Use Permit

Dear Jon:

The City has completed a review of your application submitted on January 6, 2025, for the Site Plan Review and Conditional Use Permit for the property located at 1520 Wyman Ave. The City has identified several items that will require further clarification, additional information and or revised plans prior to consideration for approval. As a formality and in accordance with Minnesota State Statute 15.99, the City is required to notify you that in order to allow sufficient time to fully review the application, the City will be extending the review time to 120 days. It is anticipated that your application will initially be considered by the City's Planning Commission on Thursday, March 6th at 6:00 pm.

The City offers the following comments:

Site Plan and Conditional Use

- 1. The proposed use of the building is a licensed assisted care living facility with memory care. The proposed use will consist of 39 assisted living units and 22 memory care units. Assisted car living facility is a conditional use in the R-1 zoning district.
- 2. Please confirm staffing numbers for all shifts and times of day. How many staff will be present at any given time on the property and will staffing shifts overlap? If shifts will overlap and or will have different staffing levels, please provide a more detailed breakdown of the anticipated staffing at all hours of the day. It would also be helpful to understand the types of staff on the premise at any given time throughout the day (i.e., professional, security, aids, food preparation, etc.).
- 3. The City has established parking standards for assisted living facility with memory care as noted below.

Number of Units (type)	Required Stalls Per Number of Beds	Total Spaces
22 (Memory Care)	4 spaces + 1 space per 3 beds	12 spaces
39 (Assisted Living)	0.5 spaces per 1 unit	20 spaces
Staff Parking	Actual maximum number for staff overlap	spaces
= -		spaces

The proposed plans indicate a total of 61 parking spaces which includes 14 existing parking spaces in front of the building. Once staffing information is confirmed, a final parking total will be calculated. It appears that the proposed parking will meet applicable requirements.

- 4. It is not clear from the plans if there will be new mechanical equipment installed with this facility. Please confirm if any new mechanical equipment is proposed and where it will be located. Please also confirm if it will be screened from surrounding residential properties? Please note, the current rooftop units are not currently screened from view from the adjacent residential properties. Please provide additional information relating to the proposed mechanical equipment installation.
- 5. A parking lot lighting plan was submitted with light fixture cut sheets and a photometric plan. It appears that the proposed light fixtures will be cut off type fixtures. The City has the following lighting standards:
- (c) Method of measurement.
 - (1) Maximum footcandles.
 - a. No light source or combination thereof which casts light on a public street or an adjacent commercial, office or industrial zoned property shall exceed one footcandle as measured from the property line or right-of-way line.
 - b. No light source or combination thereof which casts light on adjacent residential zoned property shall exceed one-half footcandle as measured at the property line.

It appears that the proposed plan does not fully comply with the requirements along the north and east property lines (.5 foot candle line extends beyond property line). Please review this condition to determine if the lighting plan can be modified to fully comply with applicable standards.

6. A landscape plan has been submitted. It is noted that no new landscaping is proposed on the plan. There are two areas where new landscaping should be considered by the applicant. Several mature trees are being removed for the purpose of installing the new access drive and parking on the south side of the building. It is recommended that new deciduous trees are planted either within the proposed islands, or along the south side of the proposed parking lot. It is also recommended that some landscaping be planted along the east and south sides of the new refuse enclosure located to the southeast of the building.

- 7. Building signage will need to be approved by the City. A signage plan submittal is not required as a part of the site plan review but will require City approval.
- 8. The City will need to evaluate the number of Sewer Access Charges (SAC) for this property and a formal determination will need to be submitted to the Metropolitan Council should the City approve the proposed use.

Architectural Plans/Building Materials

9. Plans have been reviewed and will be presented to the Planning Commission and City Council.

Police/Fire

10. West Hennepin Public Safety and Maple Plain Fire Department are still in the process of reviewing the plans and the proposed use/resource requirements. Police and fire have been gathering information relating to the call volumes associated with your specific facilities. Additional information relating to their review will be provided in separate correspondence. Once their review is complete, the city will want to meet to discuss their findings.

Engineering

- 11. The proposed improvements disturb less than 1 acre, so an NPDES permit is not required.
- 12. This site is in Pioneer Sarah Creek Watershed Management Commission's jurisdictional area. Their rules correspond with the NPDES requirements, so no permit should be required from the PSCWMC.
- 13. The condition of Wyman Avenue and Bryant Street (including the storm conveyance system) should be documented with video prior to any work. These streets have just been reconstructed and are in great condition. Any damage to the streets or sediment deposited in the storm sewer after work begins should be deemed to be caused by the Contractor and their responsibility to repair or remove.
- 14. Work within public right-of-way must be coordinated with the City. Removal limits shall be marked by the City prior to demolition.
- 15. The adjacent neighbors have installed landscaping up to the edge of the fence along the eastern property line, and proposed improvements indicate the removal and replacement of this fence. This work would likely disturb the landscaping along the east side of the fence. A temporary construction

easement should be provided for this work, and coordination with the neighbors to preserve / replace the landscaping will also be likely necessary.

- 16. Perimeter erosion control must be installed by the Contractor and inspected by the City prior to any other work. The Contractor must provide a minimum 24-hour notice prior to inspection.
- 17. The storm sewer layout at the Wyman Avenue entrance should be revised as the driveway culvert has inadequate cover. Consideration should be given to eliminating the driveway culvert and installing an inlet on the south side of the driveway with a connection to the inlet in the new driveway or some combination of an additional manhole to direct an apron to the south with a connection to the new inlet.
- 18. A Construction Site Management plan should be provided to indicate location of the following:
 - i. Temporary parking for Contractor (not on streets)
 - ii. Dumpsters / Trash Receptacles
 - iii. Temporary Biffy
 - iv. Hazardous materials / Concrete Wash

Please let me know if you have any questions regarding the comments provided within this letter. Please provide the additional information, respond to comments and or revised plans as requested by Friday, February 14.

Sincerely,

Mark Kaltsas, Planner City of Maple Plan

CC: Jacob Kolander, City Administrator
Gary Kroells, West Hennepin Public Safety Director
Rick Denneson, Maple Plain Fire Chief
Andrew Altstatt, Sperides Reiners Architects



2/14/2025

Mark Kaltsas, Planner City of Maple Plain

Re:

1520 Wyman Avenue - Site Plan Review and Conditional Use Permit

Dear Mr. Kaltsas,

This reply to your plan review letter, follows the numbering sequence set up in that letter – which is attached for ease of cross checking. Changes to the documents are attached.

- 1. Correct.
- Staffing numbers and types are anticipated to be as follows when the resident census is 100%:

7 AM - 3 PM Day Shift

- 12 CNAs (Certified Nursing Assistants)
- 1 LPN
- 1 RN with periodic hours
- 1 Office Admin / Front Desk
- 15 Total

3PM - 11PM Evening Shift

- 12 CNAs (Certified Nursing Assistants)
- 1 LPN
- 1 Office Admin / Front Desk
- RN is on call
- 14 Total

11PM - 7AM Night Shift

- 4 CNAs (Certified Nursing Assistants)
- 1 Office Admin / Front Desk
- RN is on call
- 5 Total

6 AM - 9 AM Breakfast Shift

- 4 Kitchen Workers (6 AM 9 AM Breakfast Shift)
- 4 Total

10 AM - 1 PM Lunch Shift

- 4 Kitchen Workers (6 AM 9 AM Breakfast Shift)
- 4 Total

4 PM - 7 PM Dinner Shift

- 4 Kitchen Workers (6 AM 9 AM Breakfast Shift)
- 4 Total
- 3. The shift overlap with the greatest number of workers arriving and leaving is at 3 PM, when the day shift ends and the evening shift begins. 29 workers are involved in that shift change. Note that shift change times will be staggered by 15 minute intervals and that not all staff change at the same time.
- 4. While we don't know the locations of new RTU's now, they will be screened. The structure that those locations are on will dictate the type and extent of screening. Screening will match the exterior materials, to blend in.
- 5. Please see the attached revised Photometric Plan.
- 6. Please see the attached revised Landscaping Plans. The landscape plan has been updated to reflect the additional ornamental tree planted in south parking island, and a 3' wide planting bed has been added for screening around the new proposed trash enclosure.
- 7. This is understood.
- 8. This is understood.
- 9. This is understood.
- 10. This is excellent to hear, thank you.
- 11. This is understood.
- 12. This is understood.
- 13. This is understood. A note has been added to the civil plans.
- 14. This is understood. A note has been added to the civil plans.
- 15. This is understood. Notes have been added to the site and landscape plans addressing this comment. The contractor will coordinate with adjacent property owners on any landscape restoration if needed.
- 16. This is understood.
- 17. Please see the attached revised Civil Plans. The storm sewer has been eliminated from this project due to the reconstructed road elevations of Wyman Avenue. The parking lot can now all surface drain to the street without the need for a storm sewer pipe or culvert.
- 18. Please see the attached Construction Site Management Plan.

Sincerely,

Sperides Reiners Architects, Inc.

Andrew Altstatt

Attachments:

- · Original plan review letter from city of Maple Plain
- · Entire consolidated resubmittal PDF



5050 INDEPENDENCE STREET | P.O. BOX 97 | MAPLE PLAIN, MN 55359 Ph: (763) 479-0515 | Fax: (763) 479-0519 | www.mapleplain.com

January 24, 2025

Attn: Jon Gleisner 4207 Quaker Trail NE Prior Lake, MN 55372

RE: 1520 Wyman Avenue – Site Plan Review and Conditional Use Permit

Dear Jon:

The City has completed a review of your application submitted on January 6, 2025, for the Site Plan Review and Conditional Use Permit for the property located at 1520 Wyman Ave. The City has identified several items that will require further clarification, additional information and or revised plans prior to consideration for approval. As a formality and in accordance with Minnesota State Statute 15.99, the City is required to notify you that in order to allow sufficient time to fully review the application, the City will be extending the review time to 120 days. It is anticipated that your application will initially be considered by the City's Planning Commission on Thursday, March 6th at 6:00 pm.

The City offers the following comments:

Site Plan and Conditional Use

- 1. The proposed use of the building is a licensed assisted care living facility with memory care. The proposed use will consist of 39 assisted living units and 22 memory care units. Assisted car living facility is a conditional use in the R-1 zoning district.
- 2. Please confirm staffing numbers for all shifts and times of day. How many staff will be present at any given time on the property and will staffing shifts overlap? If shifts will overlap and or will have different staffing levels, please provide a more detailed breakdown of the anticipated staffing at all hours of the day. It would also be helpful to understand the types of staff on the premise at any given time throughout the day (i.e., professional, security, aids, food preparation, etc.).
- 3. The City has established parking standards for assisted living facility with memory care as noted below.

Number of Units (type)	Required Stalls Per Number of Beds	Total Spaces
22 (Memory Care)	4 spaces + 1 space per 3 beds	12 spaces
39 (Assisted Living)	0.5 spaces per 1 unit	20 spaces
Staff Parking	Actual maximum number for staff overlap	spaces
= -		spaces

The proposed plans indicate a total of 61 parking spaces which includes 14 existing parking spaces in front of the building. Once staffing information is confirmed, a final parking total will be calculated. It appears that the proposed parking will meet applicable requirements.

- 4. It is not clear from the plans if there will be new mechanical equipment installed with this facility. Please confirm if any new mechanical equipment is proposed and where it will be located. Please also confirm if it will be screened from surrounding residential properties? Please note, the current rooftop units are not currently screened from view from the adjacent residential properties. Please provide additional information relating to the proposed mechanical equipment installation.
- 5. A parking lot lighting plan was submitted with light fixture cut sheets and a photometric plan. It appears that the proposed light fixtures will be cut off type fixtures. The City has the following lighting standards:
- (c) Method of measurement.
 - (1) Maximum footcandles.
 - a. No light source or combination thereof which casts light on a public street or an adjacent commercial, office or industrial zoned property shall exceed one footcandle as measured from the property line or right-of-way line.
 - b. No light source or combination thereof which casts light on adjacent residential zoned property shall exceed one-half footcandle as measured at the property line.

It appears that the proposed plan does not fully comply with the requirements along the north and east property lines (.5 foot candle line extends beyond property line). Please review this condition to determine if the lighting plan can be modified to fully comply with applicable standards.

6. A landscape plan has been submitted. It is noted that no new landscaping is proposed on the plan. There are two areas where new landscaping should be considered by the applicant. Several mature trees are being removed for the purpose of installing the new access drive and parking on the south side of the building. It is recommended that new deciduous trees are planted either within the proposed islands, or along the south side of the proposed parking lot. It is also recommended that some landscaping be planted along the east and south sides of the new refuse enclosure located to the southeast of the building.

- 7. Building signage will need to be approved by the City. A signage plan submittal is not required as a part of the site plan review but will require City approval.
- 8. The City will need to evaluate the number of Sewer Access Charges (SAC) for this property and a formal determination will need to be submitted to the Metropolitan Council should the City approve the proposed use.

Architectural Plans/Building Materials

9. Plans have been reviewed and will be presented to the Planning Commission and City Council.

Police/Fire

10. West Hennepin Public Safety and Maple Plain Fire Department are still in the process of reviewing the plans and the proposed use/resource requirements. Police and fire have been gathering information relating to the call volumes associated with your specific facilities. Additional information relating to their review will be provided in separate correspondence. Once their review is complete, the city will want to meet to discuss their findings.

Engineering

- 11. The proposed improvements disturb less than 1 acre, so an NPDES permit is not required.
- 12. This site is in Pioneer Sarah Creek Watershed Management Commission's jurisdictional area. Their rules correspond with the NPDES requirements, so no permit should be required from the PSCWMC.
- 13. The condition of Wyman Avenue and Bryant Street (including the storm conveyance system) should be documented with video prior to any work. These streets have just been reconstructed and are in great condition. Any damage to the streets or sediment deposited in the storm sewer after work begins should be deemed to be caused by the Contractor and their responsibility to repair or remove.
- 14. Work within public right-of-way must be coordinated with the City. Removal limits shall be marked by the City prior to demolition.
- 15. The adjacent neighbors have installed landscaping up to the edge of the fence along the eastern property line, and proposed improvements indicate the removal and replacement of this fence. This work would likely disturb the landscaping along the east side of the fence. A temporary construction

easement should be provided for this work, and coordination with the neighbors to preserve / replace the landscaping will also be likely necessary.

- 16. Perimeter erosion control must be installed by the Contractor and inspected by the City prior to any other work. The Contractor must provide a minimum 24-hour notice prior to inspection.
- 17. The storm sewer layout at the Wyman Avenue entrance should be revised as the driveway culvert has inadequate cover. Consideration should be given to eliminating the driveway culvert and installing an inlet on the south side of the driveway with a connection to the inlet in the new driveway or some combination of an additional manhole to direct an apron to the south with a connection to the new inlet.
- 18. A Construction Site Management plan should be provided to indicate location of the following:
 - i. Temporary parking for Contractor (not on streets)
 - ii. Dumpsters / Trash Receptacles
 - iii. Temporary Biffy
 - iv. Hazardous materials / Concrete Wash

Please let me know if you have any questions regarding the comments provided within this letter. Please provide the additional information, respond to comments and or revised plans as requested by Friday, February 14.

Sincerely,

Mark Kaltsas, Planner City of Maple Plan

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