

## City of Maple Plain

### Request by North Shore Gymnastics for Site Plan Review, Preliminary Plat and Final Plat to Allow a New Building and Associated Site Plan Improvements for the Properties Located at 5380 and 5480 Pioneer Creek Drive

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*To:* City Council  
*From:* Mark Kaltsas, City Planner  
*Meeting Date:* December 15, 2025  
*Applicant:* North Shore Gymnastics  
*Owner:* North Shore Gymnastics  
*Location:* 5380 and 5480 Pioneer Creek Drive

#### **Request:**

Ryan Rolhoff (Applicant) and North Shore Gymnastics (Owner) request that the City consider the following actions for the properties located at 5380 and 5480 Pioneer Creek Drive (PID No.s 24-118-24-32-0016 and 24-118-24-32-0017):

- a. Site plan review to consider the redevelopment of the existing parking lot into a new commercial building, parking and associated site improvements for North Shore Gymnastics.
- b. Preliminary and Final Plat approval to allow the two properties to be replatted which will combine the two properties and reconfigure the adjacent property to the west which will continue to be owned by Proto Labs, Inc.

#### **Property/Site Information:**

The properties are located along the north side of Pioneer Creek Drive. The subject properties are located in the Maple Plain industrial park. 5380 and 5480 Pioneer Creek Drive are currently used as a supplemental parking lot for Proto Labs. The properties have the following characteristics:

##### **5380 Pioneer Creek Drive**

Zoning: *I - Industrial*

Comprehensive Plan: *Industrial*

Acreage: *2.25 Acres*

**5480 Pioneer Creek Drive**

Zoning: *I - Industrial*

Comprehensive Plan: *Industrial*

Acreage: 4.1 Acres

5380 and 5480 Pioneer Creek Drive



**UPDATE:**

Planning Commissioners reviewed the site plan review and preliminary and final plat at their regular meeting on September 4, 2025. Following review and recommendation to the City Council, the applicant determined that they needed to seek an alternative building design in order to bring the project in at an obtainable cost. The applicant has now submitted a revised set of plans to the city which includes a metal building versus the previously proposed tip up panel building. As a result of this change, the city recommended that the item be considered again by Planning Commission.

The revised plans are very similar to those which were previously reviewed by the Planning Commission. This update will highlight the changes that have been made from the initial submittal.

Site Layout:

The location of the building and proposed parking lot has not changed from the previous submittal. The applicant has changed the grading and removed the sidewalk from the east and north sides of the building. This change will allow the applicant to eliminate a retaining wall on the east side of the building, reducing cost and reducing the amount of cut along the property line. The revised grading plan shows that the proposed building sits approximately 8-10 feet below the adjacent property line.

The applicant has added a sidewalk connection to Pioneer Creek Drive based on direction from the city. This sidewalk connection will allow a dedicated walkway for bus drop-off, overflow parking on-street and anyone walking to the facility from surrounding neighborhoods.

Landscaping:

The applicant has revised the landscape plan based on the changes to the site grading. The applicant is now proposing to preserve the majority of existing trees located along Pioneer Creek Drive. This will maintain a significant planting along the south side of the proposed building. The applicant has also revised the planting around the building perimeter. The city will be seeking direction from the Planning Commission relating to the proposed landscape plan.

Building Design:

The proposed building has been revised to a metal panel building. The square footage and interior layout and floor plan is generally consistent with what was previously considered. The applicant has provided updated building elevations for consideration by the city. It should be noted that the city does not have architectural standards for buildings constructed in the I-Industrial zoning district.

Final Plat:

The applicant has revised the proposed plat to show the adjacent property to be retained by ProtoLabs as an Outlot. This is consistent with direction provided by the city during the previous review of the application.

Note that no other changes have been made to the plans other than those described above. The proposed layout, setbacks, parking, lighting, utilities, stormwater are consistent with the plans previously reviewed by the city. Please review the original report (below) for detailed information relating to the site plan review.

**Discussion:**

The applicant is seeking site plan approval, preliminary plat and final plat for associated with the development of a new building to house the North Shore Gymnastics center. The applicants approached the city several years ago to discuss possible locations where they could construct a new building to house their operations. North Shore Gymnastics has operated a center in Maple Plain for nearly 50 years. The proposed use of the property would be for an indoor recreation facility. Indoor recreation facilities are a permitted use in the I-Industrial zoning district.

The two properties were vacant until approximately 2016 when Proto Labs identified a need to construct additional parking areas believing that they would expand office personal at the adjacent office building. Changes in their operations and a new work from home model have changed their needs for the additional parking lots. The applicant worked with Proto Labs and the city to ultimately purchase the two properties. It should be noted that the existing Proto Labs building meets all applicable parking requirements with the parking located wholly on the same property.

All commercial and industrial development is required to go through the site plan review process. Site plan review requires the review of the Planning Commission and City Council. The Planning Commission holds a public hearing as a part of the site plan review process. The City shall consider the proposed site plan and subsequent effects relating to evaluation criteria established in the City's ordinance.

*153.045 INTENT AND PROCEDURE*

*(I) Evaluation criteria. The Planning Commission and City Council shall evaluate the effects of the proposed site plan. This review shall be based upon, but not be limited to, compliance with the City Comprehensive Plan, provisions of this chapter (Design Guidelines and City Engineering Requirements).*

The applicant is proposing to construct a new 42,000 square foot building and associated site improvements. The applicants have prepared a full set of plans to provide details relating to the proposed development. Design criteria considered during the review of the proposed new building and site improvements includes setbacks, parking space design, parking lot lighting, landscaping, storm water management, drainage and grading. The city has reviewed the plans and would offer the following considerations.

Site Design:

The proposed plan utilizes the existing parking lot access off Pioneer Creek Drive. The proposed building entrance will be facing west, and the primary drive aisle will have parking on both sides. The drive aisle and parking will wrap around the north side of the building and provide for a turnaround and loading area. The applicant is proposing a trash enclosure on the north side. Additional details will be required to show details relating to the enclosure area. The turnaround area is intended to accommodate bus, fire and other large vehicles turning around.

The applicant is proposing to install a fence between the existing Proto Labs parking lot that will remain in place and the proposed new parking lot to serve the new facility. This fence will provide a clear separation between the existing and proposed parking areas.

Parking Summary:

The city does not have a parking standard for indoor recreational facilities. Typically, the city will rely on information obtained from other sources (i.e., other cities, industry standards) and also from historical experience or data that has been experienced at the current facility. In this case, the city has looked at several different methods to try to understand parking.

Indoor Recreation Facility      3 spaces per 1,000 sf (42,000 sf/1000) = 126 spaces required

Current facility is approximately ~25,000 SF – 78 parking spaces

Proposed Parking Spaces Provided = 106

The plans propose 106 parking spaces. The applicant and city are generally comfortable with the proposed parking. It has also been noted that parking is permitted in Pioneer Creek Dr. On-street parking could be utilized for any overflow conditions.

Setbacks:

Building Setbacks Required:

- Minimum Lot Size:** As necessary to meet all setbacks, parking and yard requirements.
- Minimum Lot Width:** None
- Front Yard Setback:** 35 feet minimum
- Side Yard Setback:** 20 feet minimum
- Rear Yard Setback:** 20 feet minimum
- Parking Setback:** Must meet applicable yard setback

Building Setbacks Proposed:

- Front Yard Setback:** 40 feet
- Side Yard Setback:** 40 feet minimum
- Rear Yard Setback:** + 100 feet
- Parking Setback:** Meets applicable yard setback

In the I- Industrial Zoning District, parking is permitted to be located anywhere on the lot as long as it does not encroach into any designated buffer yards. Buffer yards are applicable when an industrial property is directly adjacent to a residential property. This condition occurs along a portion of the east property line (see below).



The proposed parking lot is setback approximately 20 feet from the front and side yard property lines. The proposed parking lot is setback  $\pm$  275 feet from the rear yard. The ordinance requires the following buffer yard:

*(C) Planting strip. In all mixed use, office, and industrial districts adjacent to residential districts and not divided by streets there shall be provided along the property line a 20-foot-wide planting strip composed of grass, trees, and shrubs. A screening fence may be utilized when approved by the Planning Commission and City Council. The fence shall not exceed 8 feet in height nor be less than 6 feet in height and shall screen no greater than 80% opaque.*

The applicant is proposing to plant a native upland grass seed mixture along the east property line. An existing wooded vegetative edge exists along the majority of this property line. The proposed building drops down approximately 12 feet below the adjacent property. It is recommended that the City consider requiring additional planting (shrubs/trees) along the eastern property line to address the intent of the buffer planting strip. Outside of the buffer strip screening requirements, the proposed parking lot meets applicable setbacks.

#### Parking Space Design:

**Minimum Parking Space Width:** 9 feet  
**Minimum Parking Space Length:** 18 feet  
**Minimum Parking Aisle Width:** 24 feet

The applicant is proposing to meet all applicable parking space size requirements. wide drive aisles which

### Fire Department Review:

The Fire Department has completed their review and does not have any additional comments at this time.

### Parking Lot Lighting:

Parking Lot lighting shall be arranged as to deflect light away from any adjoining residential zone or from the public streets. Lighting has to comply with the following standards:

*(1) Maximum foot candles:*

*(a) No light source or combination thereof which casts light on a public street or an adjacent commercial, office or industrial zoned property shall exceed 1 foot candle as measured from the property line or right-of-way line.*

*(b) No light source or combination thereof which casts light on adjacent residential zoned property shall exceed 1/2 foot candle as measured at the property line.*

The applicant has prepared a proposed lighting and photometric plan that shows how the plan meets applicable lighting standards. The applicant has also submitted lighting cut sheets that verify that the proposed light fixtures meet applicable standards.

### Landscaping:

The applicant has submitted a proposed landscape plan. The City requires landscaping in accordance with the following ordinance provision:

*(E) Landscaping. In all zoning districts the lot area remaining after providing for parking, driveways, loading sidewalks, or other requirements shall be planted and maintained in grass, sodding, shrubs, or other acceptable vegetation of landscaping techniques.*

The proposed plans provide both interior and perimeter landscaping. The interior landscaping is comprised of deciduous trees, ornamental shrubs, ornamental grass and perennial flowers. The exterior planting is comprised of deciduous trees, evergreen trees, ornamental shrubs and native grass. The plan provides a relative level of exterior screening and provides some relief to the interior mass of pavement. Additional landscaping should be considered along the east property line as previously discussed in this report.

### Storm Water Management, Grading and Drainage:

The applicant is proposing to construct a bio-filtration basin to accommodate the run-off from the proposed parking lot. The storm water runoff will have the opportunity to infiltrate in basin prior to discharging into the adjacent wetland/pond area. The City's Engineer has reviewed the proposed plans and provided comments relating to storm water, grading and drainage. In general, the proposed stormwater improvement and parking lot grading meet all applicable standards of the City. There are several comments that will need to be further addressed by the applicant. The City will continue to review the additional information requested and verify conformance with the City's standards prior to final City

approval. In addition to the City's review, the applicant has submitted the plans to the Pioneer Sarah Creek Watershed Commission. The City's review and approval will be subject to Watershed approval.

### Preliminary and Final Plat

The applicant is proposing to replat the property so that majority of the two lots will be combined into one lot to accommodate the proposed building. Due to the simplicity of the plat, it was recommended by the city that the applicant ask for both preliminary and final plat at the same time. The city has reviewed the proposed preliminary and final plat and found several items that will need to be revised. The plat should provide for a new drainage and utility easement around the proposed stormwater facility as well as the existing wetlands on the property. This area was covered by the original plat of the property. This will need to be added to the plat prior to City Council consideration.

The proposed site plans generally meet the requirements established by the City. The proposed new building and associated site improvements will continue to serve North Shore Gymnastics into the future while keeping the business in Maple Plain. There are several items noted within this report that will need to be revised by the applicant prior to City Council review of the application.

### ***Neighbor Comments:***

The City has not received any written or oral comments regarding the proposed site plan or variance.

### ***Planning Commission Discussion:***

Commissioners discussed the proposed development and asked questions of staff and the applicant. Commissioners discussed the lighting plan, landscaping and architecture. Commissioners noted that they would like to see additional foundation landscaping between the west elevation of the building and the sidewalk. Commissioners also recommended that the applicant install two (2) additional shade trees in the landscape islands located within the parking lot. Commissioners discussed whether or not there was a need for additional landscaping along the east property line. Commissioners noted that there was a significant grade difference along the east property line along with existing vegetation. No additional landscaping was recommended. Commissioners found the building architecture to be acceptable and to fit into the surrounding industrial park. Commissioners recommended approval to the City Council with the findings and conditions noted.

### ***Recommendation:***

The Planning Commission recommended approval of the request for Site Plan Review, Preliminary and Final Plat to the City Council with the following findings and conditions:

1. The proposed site plan review, preliminary and final plat meets all applicable conditions, criteria and restrictions stated in the City of Maple Plain Zoning and Subdivision Ordinance.

2. City Council approval of the proposed site plan, preliminary and final plats will be subject to the following conditions:
  - a. The Applicant shall receive approval from the Pioneer Sarah Creek Watershed Management Organization.
  - b. The Applicant shall provide additional landscape as directed by the Planning Commission along the west building elevation at the front entrance and within the two interior parking lot landscape islands. The applicant shall submit a revised landscape plan to the City for review and approval.
  - c. The Applicant shall comply with all comments made by the City's engineer relating to the storm water and grading plans.
  - d. The applicant shall obtain approval from the Pioneer Sarah Creek Watershed Management Commission.
3. The Applicant shall pay for all costs associated with the City's review of the site plan review, Preliminary and Final Plats.
4. The Applicant shall record the final plat to the City within 180 days of the date of City Council approval.

**Attachments:** Application  
Site Plan  
Grading Plan, Stormwater and Utility Plan  
Landscape Plan  
Lighting Plan  
Final Plat  
Building Elevations

**CITY OF MAPLE PLAIN  
COUNTY OF HENNPIN  
STATE OF MINNESOTA**

**RESOLUTION NO. 2025-1215-07**

**A RESOLUTION APPROVING THE REQUEST BY NORTH SHORE GYMNASTICS  
FOR SITE PLAN REVIEW, PRELIMINARY PLAT AND FINAL PLAT  
TO ALLOW A NEW GYMANSTICS TRAINING FACILITY  
ON THE PROPERTY LOCATED AT 5380 AND 5480 PIONEER CREEK DRIVE**

WHEREAS, the City of Maple Plain (the “City”) is a municipal corporation under the laws of Minnesota; and

WHEREAS, the City adopted a comprehensive plan in 2020 to guide the development of the community; and

WHEREAS, the City has adopted a zoning ordinance and other official controls to assist in implementing the comprehensive plan; and convenience

WHEREAS, Ryan Rolhoff (the “Applicant”) and ProtoLabs, Inc. (Owner) submitted an application seeking site plan review, preliminary and final plat for the property identified as PID No.s 24-118-24-32-0016 and 24-118-24-32-0017 (the “Property”); and

WHEREAS, the Property is zoned I-Industrial; and

WHEREAS, the Property is legally described on **Exhibit A**, attached hereto; and

WHEREAS the requested site plan review, preliminary plat and final plat meet all requirements, standards and specifications of the City of Maple Plain zoning and subdivisions ordinances for property zoned Industrial; and

WHEREAS the Planning Commission held a public hearing on September 4<sup>th</sup> and December 4<sup>th</sup> 2025 to review the application, following mailed and published noticed as required by law; and

WHEREAS, the City Council has reviewed all materials submitted by the Applicant; considered the oral and written testimony offered by the applicant and all interested parties; and has now concluded that the application is in compliance with all applicable standards and can be considered for approval.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MAPLE PLAIN, MINNESOTA, that it should and hereby does approve the application by Ryan Rolhof (North Shore Gymnastics) for site plan review, preliminary plat and final plat per the City’s zoning and subdivision regulations with the following conditions:

1. The proposed site plan, conditional use permit, preliminary and final plat meets all applicable conditions, criteria and restrictions stated in the City of Maple Plain Zoning and Subdivision Ordinance.
2. The proposed site plan review, preliminary plat and final plat meets all applicable conditions, criteria and restrictions stated in the City of Maple Plain Zoning and Subdivision Ordinance.
3. City Council approval of the proposed site plan, preliminary and final plats will be subject to the following conditions:
  - a. The Applicant shall receive approval from the Pioneer Sarah Creek Watershed Management Organization.
  - b. The Applicant shall provide additional landscape as directed by the Planning Commission along the west building elevation at the front entrance and within the two interior parking lot landscape islands. The applicant shall submit a revised landscape plan to the City for review and approval.
  - c. The Applicant shall comply with all comments made by the City's engineer relating to the storm water and grading plans.
  - d. The applicant shall obtain approval from the Pioneer Sarah Creek Watershed Management Commission.
4. The Applicant shall pay for all costs associated with the City's review of the site plan review, Preliminary and Final Plats.
5. The Applicant shall record the final plat to the City within 180 days of the date of City Council approval.

This resolution was adopted by the city council of the City of Maple Plain on this 15<sup>th</sup> day of December 2025, by a vote of \_\_\_\_ ayes and \_\_\_\_ nays.

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Julie Mass-Kusske, Mayor

ATTEST:

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Jacob Kolander, City Administrator













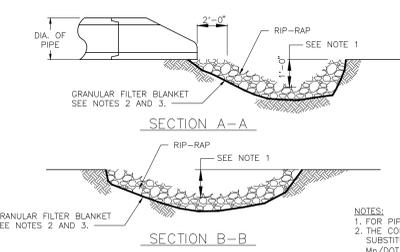
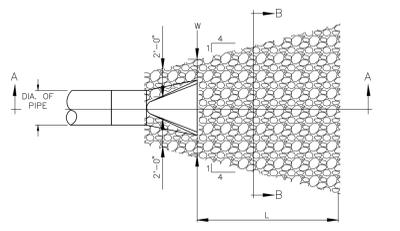
**WOLD ARCHITECTS AND ENGINEERS**  
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101

**BKBM** Structural & Civil Engineers  
5120 Earle Brown Drive, Suite 700 Minneapolis, MN 55430  
Phone: 783.843.0420  
bkbm.com

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BKBM Project No. 25283.5

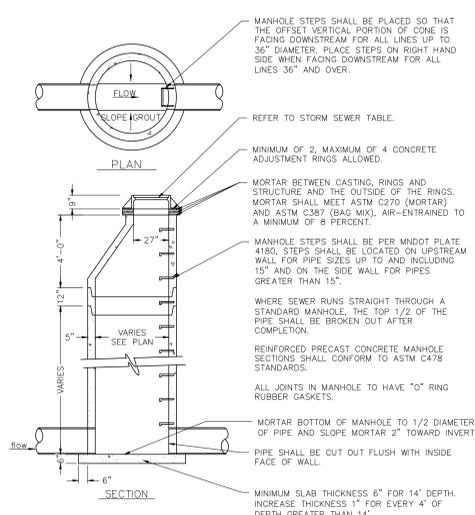
**RIPRAP REQUIREMENTS**

DIA. OF ROUND PIPE (IN.)	W (FT.)	L (FT.)	12" DEPTH CLASS II RIPRAP (CU. YDS.)	18" DEPTH CLASS II RIPRAP (CU. YDS.)
12	6.0	8	2.8	4.1
15	6.5	8	2.9	4.4
18	7.0	10	3.9	5.9
21	7.5	10	4.2	6.3
24	8.0	12	5.5	8.3
27	8.5	12	5.8	8.7
30	9.0	14	7.3	10.9
36	10.0	16	9.2	13.8
42	10.5	18	10.9	16.3
48	11.0	20	12.9	19.4

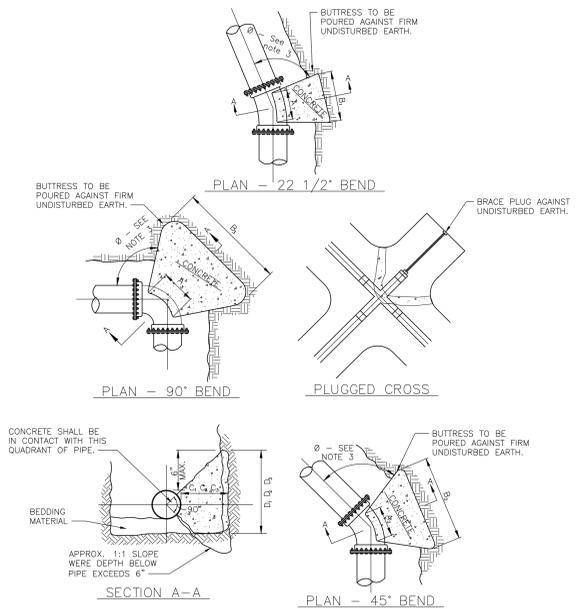


- NOTES:**
- FOR PIPES GREATER THAN 30" USE 1'-6".
  - THE CONTRACTOR, AT THEIR OPTION, MAY SUBSTITUTE A GEOTEXTILE FABRIC BLANKET, MN/DOT SPEC. 3601, FOR THE GRANULAR FILTER BLANKET UNLESS OTHERWISE NOTED IN THE SPECIFICATIONS.
  - VOLUMES OF GRANULAR FILTER SHALL BE 1/2 THE VOLUME OF RIP-RAP AT ANY GIVEN PIPE DIAMETER.
  - RIP-RAP SHALL BE PLACED IN ACCORDANCE WITH MN/DOT SPEC. 2511.

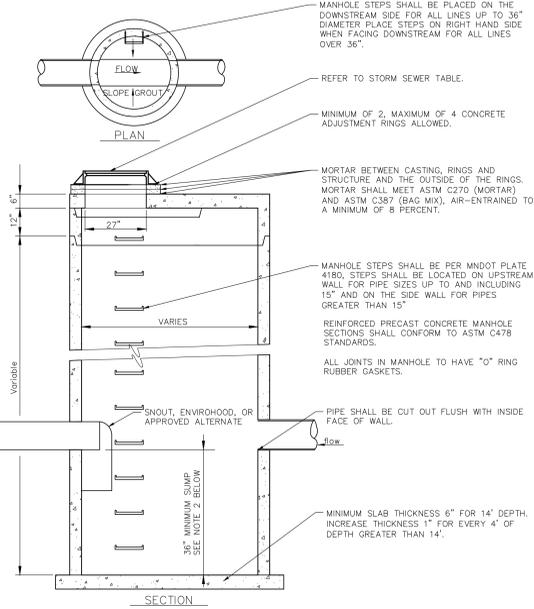
**9 RIP-RAP AT FLARED ENDS**  
NOT TO SCALE



**6 STORM SEWER MANHOLE/CATCH BASIN**  
NOT TO SCALE



**1 WATERMAIN WET TAP (TYP.)**  
NOT TO SCALE



**7 24" x 36" PRECAST CATCH BASIN**  
NOT TO SCALE

**BUTTRESS DIMENSIONS**

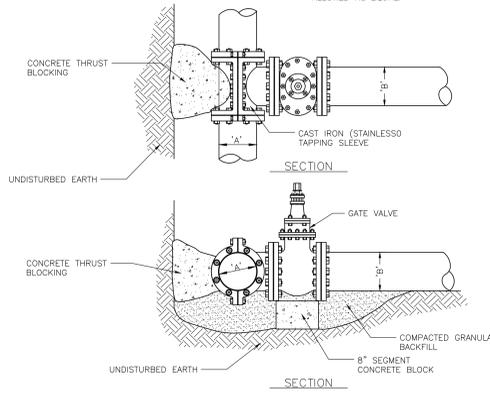
PIPE SIZE	22 1/2 BEND		45 BEND		90 BEND	
	B1	D1	B2	D2	B3	D3
6"	1'-5"	1'-5"	1'-5"	1'-5"	2'-1"	1'-6"
8"	1'-5"	1'-5"	2'-1"	1'-6"	2'-8"	2'-0"
12"	1'-10"	1'-10"	3'-4"	2'-0"	4'-9"	2'-6"
16"	3'-0"	2'-0"	3'-10"	3'-0"	6'-2"	3'-6"
20"	3'-6"	2'-8"	5'-6"	3'-4"	8'-4"	4'-0"
24"	4'-0"	3'-0"	6'-10"	3'-10"	9'-8"	5'-0"

**4 THRUST BLOCK DETAIL FOR MECHANICAL PIPE BENDS**  
NOT TO SCALE

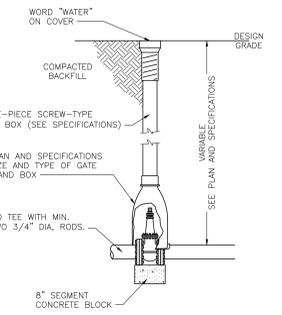
**EXISTING PIPE 'A'**

BRANCH PIPE 'B'	18"	16"	14"	12"	10"	8"	6"
12"	C	C	C	C	C	C	C
10"	C	C	C	C	C	C	C
8"	C	C	C	C	C	C	C
6"	C	C	C	C	C	C	C
4"	C	C	C	C	C	C	C

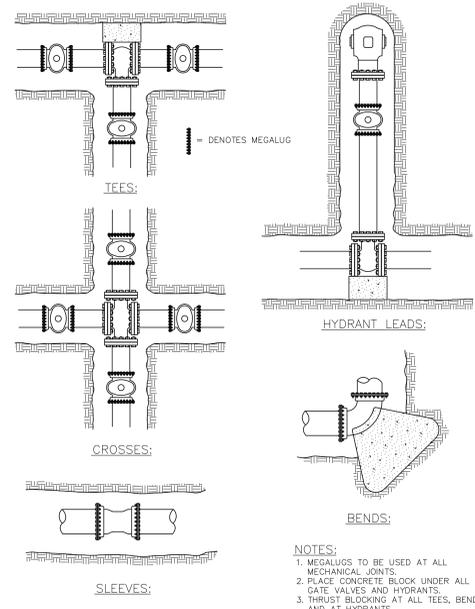
C = CLOW F-5005, TDW A712A OR EQUAL, FULL CAST IRON TAPPING SLEEVE.  
D = KENNEDY SQUARESEAL OR EQUAL, CAST IRON TAPPING SLEEVE.  
NOTE: STAINLESS TAPPING SLEEVES ALLOWED AS EQUAL.



**1 WATERMAIN WET TAP (TYP.)**  
NOT TO SCALE



**2 GATE VALVE AND BOX INSTALLATION**  
NOT TO SCALE



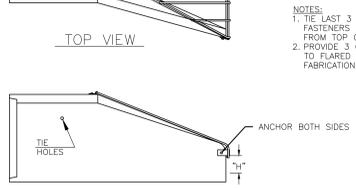
**5 TYPICAL MEGALUG LOCATION**  
NOT TO SCALE

**RIPRAP REQUIRED**

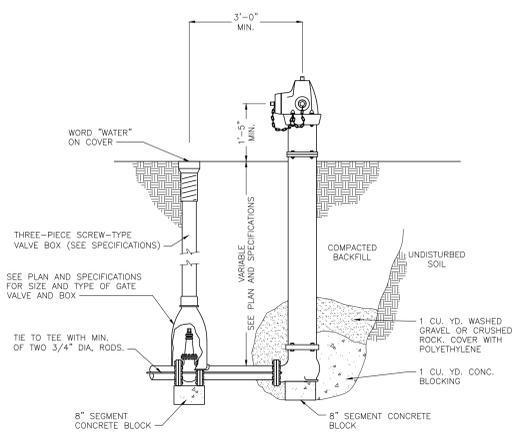
SIZE OF PIPE	CU. YD. MN/DOT 3601 CL. II
12" TO 24"	5
27" TO 33"	8
36" TO 48"	12
54" TO 72"	16

**TRASH GUARD**

SIZE OF PIPE	BAR	"H"	BOLTS
12" TO 18"	3/4"	4"	5/8"
21" TO 42"	1"	6"	3/4"
48" TO 72"	1-1/4"	12"	1"



**8 FLARED-END SECTION**  
NOT TO SCALE



**3 TYPICAL HYDRANT WITH GATE VALVE AND BOX**  
NOT TO SCALE

**10 SUMP CATCH BASIN MANHOLE**  
NOT TO SCALE

**75% CD SET NOT FOR CONSTRUCTION**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

**Nathaniel P. Anderson**  
License Number: 59311 Date: 11/14/2025

Description	Revisions	
	Date	Num

Comm: 252103  
Date: 11/14/2025  
Drawn: WH  
Check: KAB

**CIVIL DETAILS**

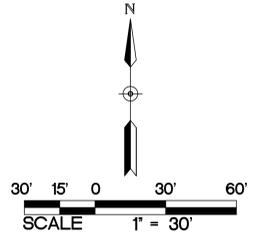




**WOLD ARCHITECTS AND ENGINEERS**  
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101  
woldae.com | 651 227 7773

**BKBM** Structural & Civil Engineers  
5120 East Brown Drive, Suite 700 Minneapolis, MN 55430  
783.843.0420  
bkbm.com

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BKBM Project No.: 26283.5



**MECHANICAL AND NON STORMWATER DISCHARGES, EXISTING AND PROPOSED**

1. WATER LINE FLUSHING
2. LANDSCAPE IRRIGATION
3. DISCHARGE FROM POTABLE WATER SOURCES
4. FOUNDATION DRAIN
5. AIR CONDITIONING CONDENSATION

**AGENCY CONTACTS**

CITY OF MAPLE PLAIN  
ENGINEERING DEPARTMENT  
PHONE: (952) 448-8838

MINNESOTA POLLUTION CONTROL AGENCY  
PHONE: (651) 296-6300

PIONEER-SARAH CREEK WATERSHED MANAGEMENT COMMISSION  
PHONE: (763) 563-1144

OWNER  
NORTH SHORE GYMNASTICS  
5555 PIONEER CREEK DR  
MAPLE PLAIN, MN  
PHONE: (763) 479-3189

**NOTE:**  
THE CONTRACTOR MUST COMPLETE, SIGN, OBTAIN OWNER'S SIGNATURE, PAY FEE, AND SEND IN THE NPDES PERMIT APPLICATION. CONTRACTOR SHALL PROVIDE A CERTIFIED EROSION CONTROL SUPERVISOR. SWPPP DOCUMENTATION, INCLUDING INSPECTION REPORTS SHALL BE RETAINED FOR A PERIOD OF THREE (3) YEARS. DESIGN CALCULATIONS ARE ON FILE AT BKBM.

**NOTE:**  
THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs BEFORE, DURING, AND AFTER CONSTRUCTION UNTIL THE NOTICE OF TERMINATION HAS BEEN FILED.

**STOCKPILES:**  
ON-SITE STOCKPILES OF SOIL SHALL HAVE PERIMETER SEDIMENT CONTROL. STOCKPILES SHALL BE STABILIZED WITH BLANKETS, TAPPS, OR HYDRO MULCH IF LEFT ON-SITE FOR MORE THAN 7 DAYS.

**TEMPORARY SEDIMENT BASINS:**  
TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED PER APPENDIX A, SECTION C.1.1.B OF THE MPCA GENERAL STORMWATER PERMIT.  
ENGINEER ANTICIPATES THAT, PRIOR TO EXCAVATION FOR FILTRATION BASIN, CONTRACTOR WILL USE PROPOSED FILTRATION BASIN AREA AS TEMPORARY SEDIMENT BASIN. CONTRACTOR SHALL EXCAVATE TEMPORARY BASIN PRIOR TO USE. SURFACE WATER SHALL BE REMOVED BY SKIMMER DEVICE SUCH AS FAIRCLOTH SKIMMER OR THIRSTY DUCK, OR USING A PUMP WITH A FILTER. ALTERNATIVE TEMPORARY SEDIMENT BASIN SHALL BE APPROVED BY ENGINEER PRIOR TO USE.

SWPPP IMPLEMENTATION, INSTALLATION, INSPECTION, AND BMP MAINTENANCE SHALL BE PERFORMED BY THE CONTRACTOR.

NAME: \_\_\_\_\_  
CERTIFICATION #: \_\_\_\_\_  
DATE: \_\_\_\_\_

**NOTE:**  
AN AS-BUILT SURVEY OF ALL STORMWATER BMPs (FILTRATION BASIN, OUTLET STRUCTURES, DRAIN TILE, CLEAN OUTF, SWAMP CATCH BASIN, ETC.) SHALL BE SUBMITTED TO PIONEER-SARAH CREEK WATERSHED MANAGEMENT COMMISSION PRIOR TO PROJECT CLOSEOUT. THE AS-BUILT SURVEY SHALL INCLUDE THE FILTRATION BASIN DRAIN TILE INVERTS AND LAYOUT FOR VERIFICATION THAT THE SYSTEM WAS INSTALLED PROPERLY AND THAT 24-INCHES OF SAND/FILTRATION MIX OVER THE TOP OF THE DRAIN TILE HAS BEEN PROVIDED.

**GRADING & SOILS**  
BASED ON SOIL BORINGS(S) PROVIDED BY TERRACON SOILS TYPICALLY FOUND ON THIS PROJECT ARE: CL, ML, SP-SM  
REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

**FINAL STABILIZATION**  
STABILIZATION BY UNIFORM PERENNIAL VEGETATIVE COVER (70% DENSITY)  
DRAINAGE DITCHES STABILIZED.  
ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMPs REMOVED.  
CLEAN OUT SEDIMENT FROM CONVEYANCES AND SEDIMENTATION BASINS (RETURN TO DESIGN CAPACITY).

**75% CD SET NOT FOR CONSTRUCTION**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

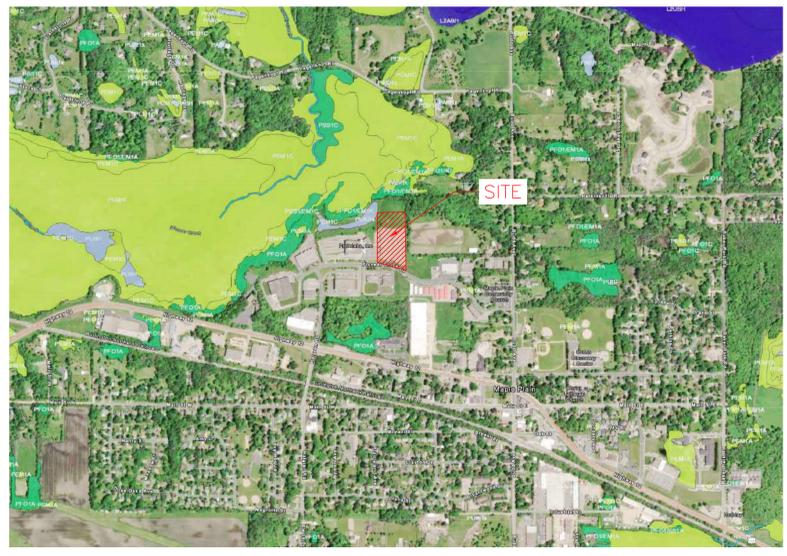
Nathaniel P. Anderson  
License Number: 93311 Date: 11/14/2025

Description	Revisions	
	Date	Num

Comm: 252103  
Date: 11/14/2025  
Drawn: WH  
Check: KAB

**STORM WATER POLLUTION PREVENTION PLAN - EXISTING CONDITIONS**

**C6.000**



VICINITY MAP  
MAPLE PLAIN, MINNESOTA

**PORTABLE TOILET NOTES:**

1. PORTABLE TOILETS POSE AN ENVIRONMENTAL HAZARD WHEN PLACED IN THE VICINITY OF STORM DRAINS OR BODIES OF WATER. PORTABLE TOILET CLEANING ACTIVITIES CAN ALSO GENERATE POLLUTANTS THAT CAN DEGRADE WATER QUALITY.
2. PORTABLE TOILET PLACEMENT:
  - 2.1. PLACE PORTABLE TOILETS ON FLAT STABLE GROUND WITH CLEAR ACCESS TO THE UNITS.
  - 2.2. LOCATE TOILETS A MINIMUM OF 20 FEET FROM ANY WATER BODY AND 10 FEET FROM ANY CURB AND GUTTER. IF UNFEASIBLE, AN EARTHEN BERM OR SAND BAG BERM SHALL BE PLACED AROUND THE UNIT FOR SPILL AND LEAK CONTAINMENT.
  - 2.3. AVOID PLACING TOILETS ON IMPERVIOUS SURFACES THAT WILL QUICKLY DRAIN TO STORM SEWERS.
  - 2.4. LOCATE TOILETS SO THAT EXPOSURE TO TRAFFIC AND MOVING EQUIPMENT IS MINIMIZED.
  - 2.5. SECURE TOILETS TO THE GROUND WITH STAKES OR CABLES.
  - 2.6. RINSE WATER FROM CLEANING ACTIVITIES SHALL NOT BE DISPOSED ON SITE.
3. REGULARLY CHECK TOILETS FOR DAMAGE, LEAKS AND SPILLS AS PART OF THE WEEKLY STORMWATER SITE INSPECTION.
4. OWNER IDENTIFICATION AND CONTACT INFORMATION SHALL BE DISPLAYED IN A PROMINENT LOCATION ON EACH UNIT.

**CONSTRUCTION ACTIVITY EROSION PREVENTION PRACTICES**  
CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES). STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHENEVER ANY CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 7 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 7 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

FOR PUBLIC WATER THAT THE DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPANNING TIME FRAMES, ALL EXPOSED SOIL AREAS THAT ARE WITHIN 200 FEET OF THE WATER'S EDGE AND DRAIN TO THESE WATERS MUST COMPLETE THE STABILIZATION ACTIVITIES WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.

PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24-HOURS AFTER CONNECTION TO A SURFACE WATER.

SEDIMENT CONTROL MEASURES MUST BE INSTALLED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADE/LAND DISTURBING ACTIVITIES BEGIN.

**SEDIMENT AND EROSION CONTROL MAINTENANCE**  
PERIMETER SEDIMENT CONTROL PRACTICES: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE BMP, THE SEDIMENT MUST BE REMOVED WITHIN 24 HOURS. IF PERIMETER SEDIMENT CONTROL HAS BEEN DAMAGED OR IS NOT FUNCTIONING PROPERLY, IT MUST BE REPAIRED AND/OR REPLACED WITHIN 24 HOURS. PERIMETER BMP MEASURES MAY INCLUDE SILT FENCING.

CONSTRUCTION SITE VEHICLE EXIT LOCATIONS: ALL TRACKED SEDIMENT ON PAVED SURFACES MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR MORE FREQUENTLY IF REQUIRED BY CITY OR WATERSHED.

CONSTRUCTION SITE DEWATERING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS, DISCHARGE FROM ALL DEWATERING OPERATIONS SHALL BE DIRECTED TO ON-SITE DEPRESSIONS. NO DISCHARGE FROM DEWATERING OPERATIONS SHALL BE DIRECTED OFF-SITE TOWARDS A WATER OF THE STATE.

**SPECIAL AND IMPAIRED WATERS**  
THESE SPECIAL AND IMPAIRED WATERS ARE LOCATED WITHIN ONE MILE (AERIAL RADIUS) OF THE PROJECT LIMITS AND RECEIVE RUNOFF FROM THE PROJECT SITE. DUE TO THE PROXIMITY OF THESE SPECIAL AND IMPAIRED WATERS, THE BMPs DESCRIBED IN SECTION 23 OF THE NPDES PERMIT WILL APPLY TO ALL AREAS OF THE SITE.

WATERBODY	IMPAIRMENT(S)
PIONEER CREEK	AQL, AZG

**MINIMUM ESTIMATED QUANTITIES FOR EROSION CONTROL**

ITEM DESCRIPTION	ESTIMATED QUANTITY
DRAINAGE STRUCTURE INLET FILTER	13 EACH
ROCK CONSTRUCTION ENTRANCE	1 EACH
CONCRETE WASHOUT	1 EACH
SILT FENCE	1562 LF
BIG LOG	415 LF
EROSION CONTROL BLANKET	6336 SY

**NOTE:** QUANTITIES SHOWN ARE THE MINIMUM REQUIRED. ADDITIONAL QUANTITIES MAY BE NEEDED IF REQUIRED BY THE MPCA, WATERSHED DISTRICT OR CITY. CONTRACTOR IS RESPONSIBLE FOR FINAL DETERMINATION OF QUANTITIES PRIOR TO CONSTRUCTION.

**HANDLING AND STORAGE OF HAZARDOUS MATERIALS:**  
IF THE CONTRACTOR INTENDS TO USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS ON THE PROJECT SITE, THE CONTRACTOR MUST COMPLY WITH THE FOLLOWING MINIMUM REQUIREMENTS:

1. THE CONTRACTOR MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION TO ENSURE EFFECTIVE TREATMENT. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL SYSTEM WHICH ALLOWS FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.
2. CHEMICALS MUST BE SELECTED THAT ARE APPROPRIATELY SUITED TO THE TYPES OF SOILS LIKELY TO BE EXPOSED DURING CONSTRUCTION, AND TO THE EXPECTED TURBIDITY, PH, AND FLOW RATE OF STORMWATER FLOWING INTO THE CHEMICAL TREATMENT SYSTEM OR AREA.
3. CHEMICALS MUST BE USED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, AND WITH DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR PROVIDER/SUPPLIER OF THE APPLICABLE CHEMICALS.

ON-SITE FUEL TANKS REQUIRE SECONDARY CONTAINMENT AS REQUIRED BY THE PERMIT. PORTABLE FUEL TANKS SHALL HAVE THEIR SPILL KITS AVAILABLE DURING FUELS (GREATER THAN 5 GALLONS MUST BE REPORTED TO THE PROPER AUTHORITIES).

**PROJECT NARRATIVE**  
EXISTING SITE DESCRIPTION --- THE EXISTING SITE IS 6.35 ACRES IN SIZE. THE SITE WAS PREVIOUSLY OWNED BY THE COMPANY PROTOPLABS AND EXISTING FILTRATION BASIN ON THE NORTH SIDE OF THE SITE THAT PROVIDE STORMWATER MANAGEMENT. THIS EXISTING FILTRATION BASIN DRAINS TO THE REGIONAL STORMWATER POND ON THE NORTH SIDE OF THE PROTOPLABS BUILDING.

PROPOSED SITE DESCRIPTION --- THE PROPOSED DEVELOPMENT CONSISTS OF A NEW GYMNASTICS FACILITY, PARKING LOT, AND SIDEWALKS. THE AMOUNT OF IMPERVIOUS SURFACES IS REDUCING BY 0.28 ACRES. A NEW BIOTRANSFORMATION BASIN IS PROPOSED TO PROVIDE STORMWATER MANAGEMENT FOR THIS DEVELOPMENT. THE BIOTRANSFORMATION BASIN WILL DRAIN TO THE EXISTING REGIONAL POND ON THE NORTH SIDE OF THE PROTOPLABS BUILDING.

**EXISTING DRAINAGE AREAS**

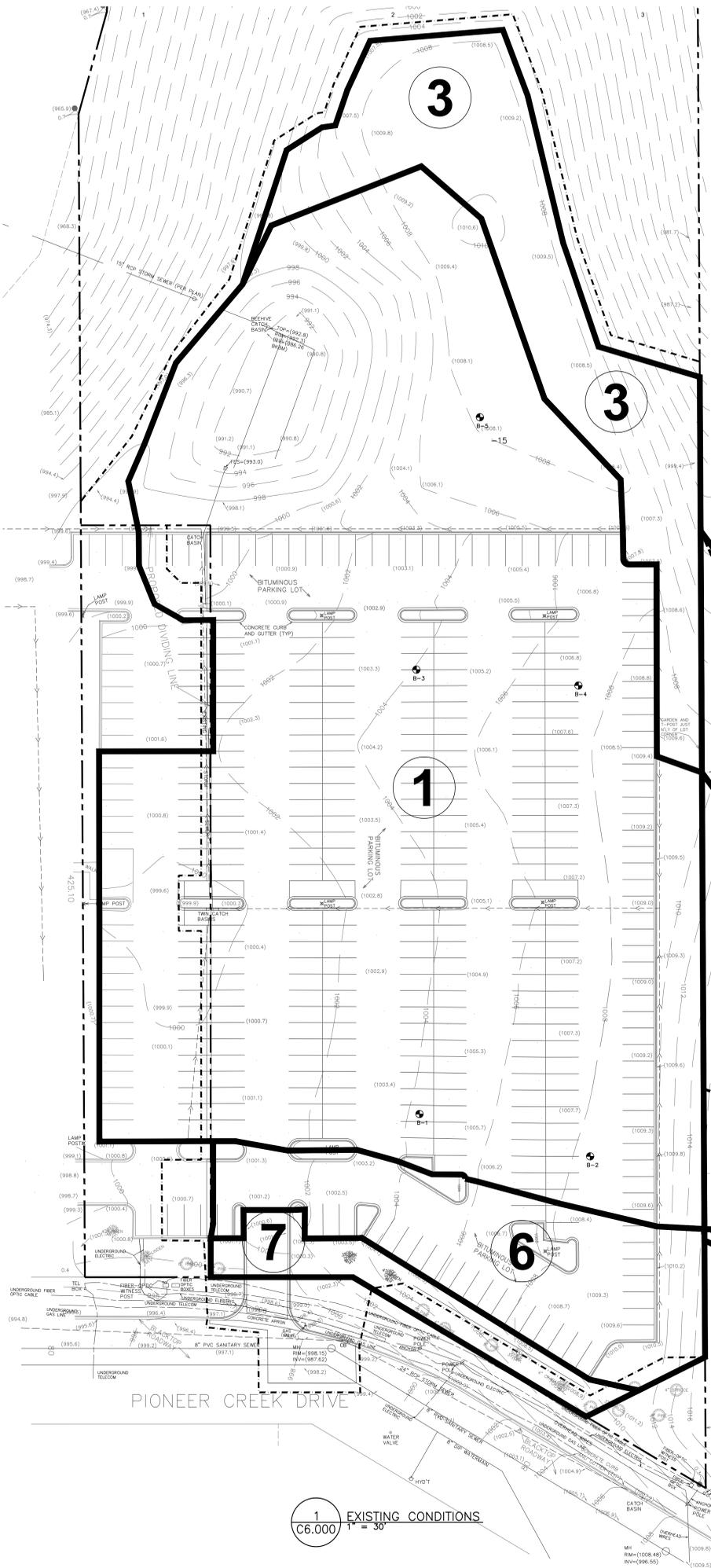
DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.86")	10-YEAR (4.24")	100-YEAR (7.21")	
1	2.23	0.98	3.21	-	-	-	EXISTING BASIN
2	0.00	0.58	0.58	-	-	-	-
3	0.00	0.52	0.52	1.17	2.26	4.76	SHEET FLOWS NORTH OFFSITE
4	0.00	0.96	0.96	1.63	3.00	6.06	SHEET FLOWS NORTH OFFSITE
5	0.00	0.20	0.20	0.35	0.64	1.26	SHEET FLOWS WEST TO PROTOPLABS
6	0.31	0.09	0.40	1.55	2.40	4.26	SHEET FLOWS WEST TO PROTOPLABS
7	0.02	0.10	0.12	0.32	0.58	1.17	SHEET FLOWS SOUTH OFFSITE
EXISTING TOTAL	2.56	3.43	5.99	11.27	17.09	28.75	DRAIN TO EXISTING REGIONAL POND

**PROPOSED DRAINAGE AREAS**

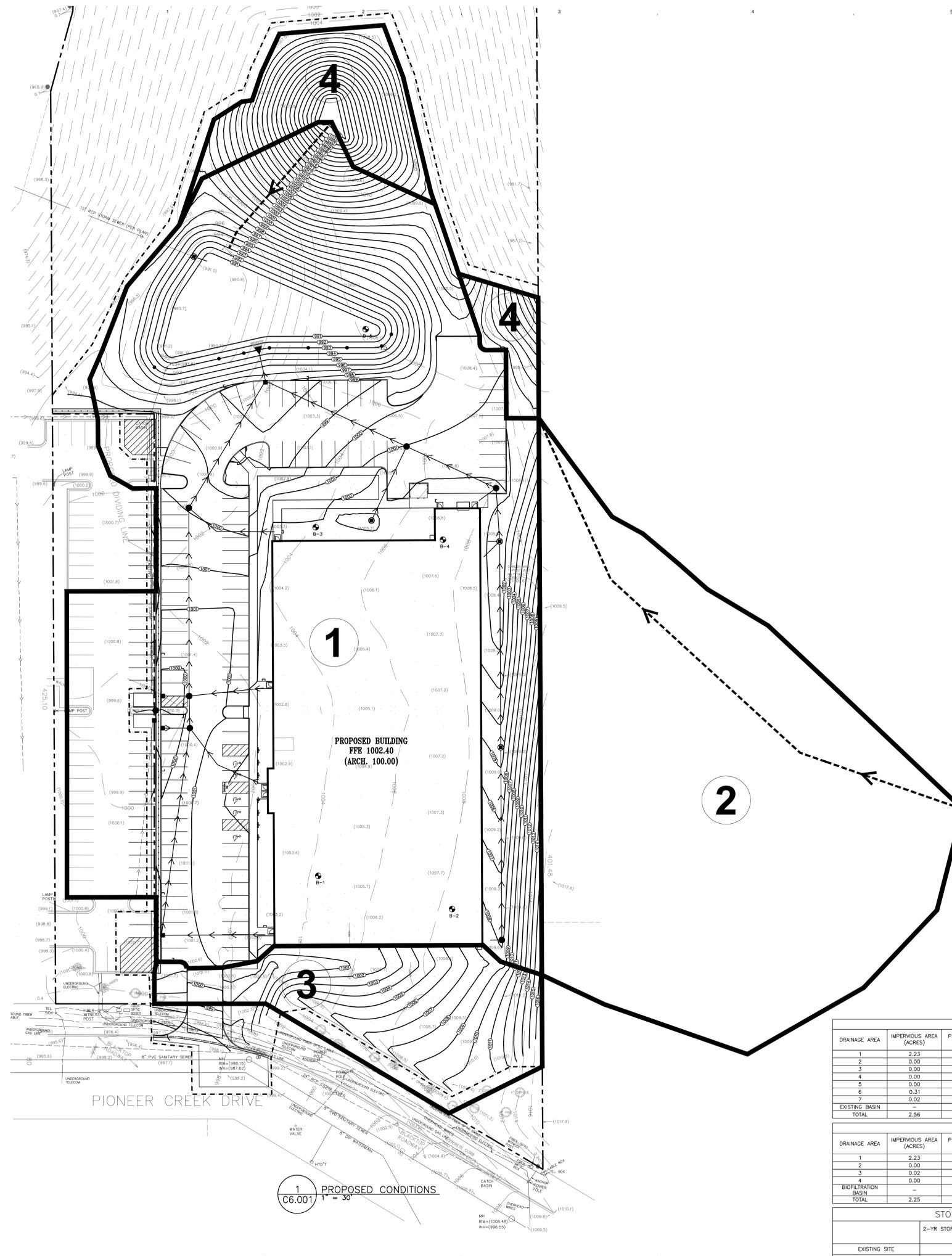
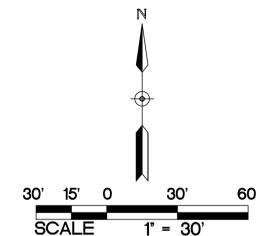
DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.86")	10-YEAR (4.24")	100-YEAR (7.21")	
1	2.23	1.30	3.53	-	-	-	BIOTRANSFORMATION BASIN
2	0.00	1.74	1.74	-	-	-	BIOTRANSFORMATION BASIN
3	0.02	0.39	0.41	0.97	1.84	3.82	SHEET FLOWS SOUTH OFFSITE
4	0.00	0.31	0.31	0.69	1.34	2.82	SHEET FLOWS NORTH OFFSITE
BIOTRANSFORMATION BASIN	-	-	-	5.41	8.68	12.90	DRAIN TO EXISTING REGIONAL POND
TOTAL	2.25	3.74	5.99	7.07	11.86	19.54	-

**STORMWATER RUNOFF SUMMARY**

	2-YR STORM (2.86") RUNOFF (CFS)	10-YR STORM (4.24") RUNOFF (CFS)	100-YR STORM (7.21") RUNOFF (CFS)
EXISTING SITE	11.27	17.09	28.75
PROPOSED SITE	7.07	11.86	19.54



1 EXISTING CONDITIONS  
C6.000 1" = 30'



**75% CD SET NOT FOR CONSTRUCTION**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Nathaniel P. Anderson  
License Number: 59311 Date: 11/14/2025

Description	Revisions	
	Date	Num

Comm: 252103  
Date: 11/14/2025  
Drawn: WH  
Check: KAB

**STORM WATER POLLUTION PREVENTION PLAN - PROPOSED CONDITIONS**

**C6.001**

DRAINAGE AREA	EXISTING DRAINAGE AREAS		TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)		2-YEAR (2.86")	10-YEAR (4.24")	100-YEAR (7.21")	
	1	2.23		0.98	3.21	—	
2	0.00	0.58	0.58	—	—	—	EXISTING BASIN
3	0.00	0.52	0.52	1.17	2.26	4.76	SHEET FLOWS NORTH OFFSITE
4	0.00	0.96	0.96	1.63	3.00	6.06	SHEET FLOWS NORTH OFFSITE
5	0.00	0.20	0.20	0.35	0.64	1.26	SHEET FLOWS WEST TO PROTOLABS
6	0.31	0.09	0.40	1.55	2.40	4.26	SHEET FLOWS WEST TO PROTOLABS
7	0.02	0.10	0.12	0.32	0.58	1.17	SHEET FLOWS SOUTH OFFSITE
EXISTING BASIN	—	—	—	6.25	8.21	11.24	DRAIN TO EXISTING REGIONAL POND
TOTAL	2.56	3.43	5.99	11.27	17.09	28.75	

DRAINAGE AREA	PROPOSED DRAINAGE AREAS		TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT			ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)		2-YEAR (2.86")	10-YEAR (4.24")	100-YEAR (7.21")	
	1	2.23		1.30	3.53	—	
2	0.00	1.74	1.74	—	—	—	BIOFILTRATION BASIN
3	0.02	0.39	0.41	0.97	1.84	3.82	SHEET FLOWS SOUTH OFFSITE
4	0.00	0.31	0.31	0.69	1.34	2.82	SHEET FLOWS NORTH OFFSITE
BIOFILTRATION BASIN	—	—	—	5.41	8.68	12.90	DRAIN TO EXISTING REGIONAL POND
TOTAL	2.25	3.74	5.99	7.07	11.86	19.54	

DRAINAGE AREA	STORMWATER RUNOFF SUMMARY		
	2-YR STORM (2.86") RUNOFF (CFS)	10-YR STORM (4.24") RUNOFF (CFS)	100-YR STORM (7.21") RUNOFF (CFS)
EXISTING SITE	11.27	17.09	28.75
PROPOSED SITE	7.07	11.86	19.54

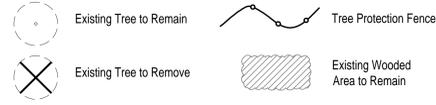


**WOLD ARCHITECTS  
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Saint Paul, MN 55101  
woldae.com | 651 227 7773

**BKBM**  
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6120 Earle Brown Dr., Suite 700  
Minneapolis, MN 55340  
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**CALYX  
DESIGN GROUP**  
Landscape Architecture | Planning  
475 Cleveland Ave. N, Suite 101A  
St. Paul, MN 55104  
Phone: (651) 788-9018  
www.calyxdesigngroup.com

**LANDSCAPE MATERIALS LEGEND:**



**TREE PRESERVATION REQUIREMENTS:**

**Assumption: All Trees to be removed were previous owner planted trees in accordance with the 2016 landscape plan.**

Sec. 10-669 - Applicability.  
A tree preservation plan shall be submitted to and approved by the City and implemented in accordance there with in connection with any of the following:  
When 30 percent of the total diameter inches of all trees and significant trees on the property are to be considered for removal.

Significant Tree: means a healthy tree meeting one of the following:  
A. Hardwood deciduous trees, as defined herein, measuring a minimum of six inches in diameter;  
B. All other deciduous tree (common), measuring a minimum of 12 inches in diameter;  
C. Coniferous (evergreen) tree, having a minimum height of 12 feet; and  
D. Ornamental trees, six inches in diameter.

Sec. 10-672 - Tree Removal.  
Up to 30 percent of the total diameter inches of the tree inventory (trees and significant trees) may be removed without a replacement plan.

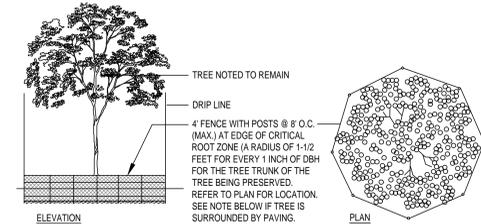
Sec. 10-676 - Tree replacement schedule.  
A. Replace 50 percent of the total diameter inches of all significant trees lost.  
B. Replace 25 percent of total diameter inches of all other types of trees including coniferous, common and ornamental.  
Species requirement is where ten or more replacement trees are required, not more than 50 percent of the replacement trees shall be of the same species.

**GENERAL NOTES:**

1. Refer to Civil Engineer's plans for site plan layout, dimensions, grading, drainage and concrete specifications.
2. Contractor to Coordinate all work with Owner.
3. Protect adjacent areas from damage during construction.
4. See written specifications for additional requirements.
5. Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. See specifications.
6. All fine grading of turf areas shall be the responsibility of the sod sub-contractor(s), including sub-cut work. Field verify disturbance upon mobilization - actual sod areas may differ from anticipated limits shown on plan.
7. See Civil Engineer's Plans for proposed grading & utilities.
8. See Sheet for L2.001 & L2.002 for Landscape Details, Notes, and Schedule.

**TREE REPLACEMENT SUMMARY:**

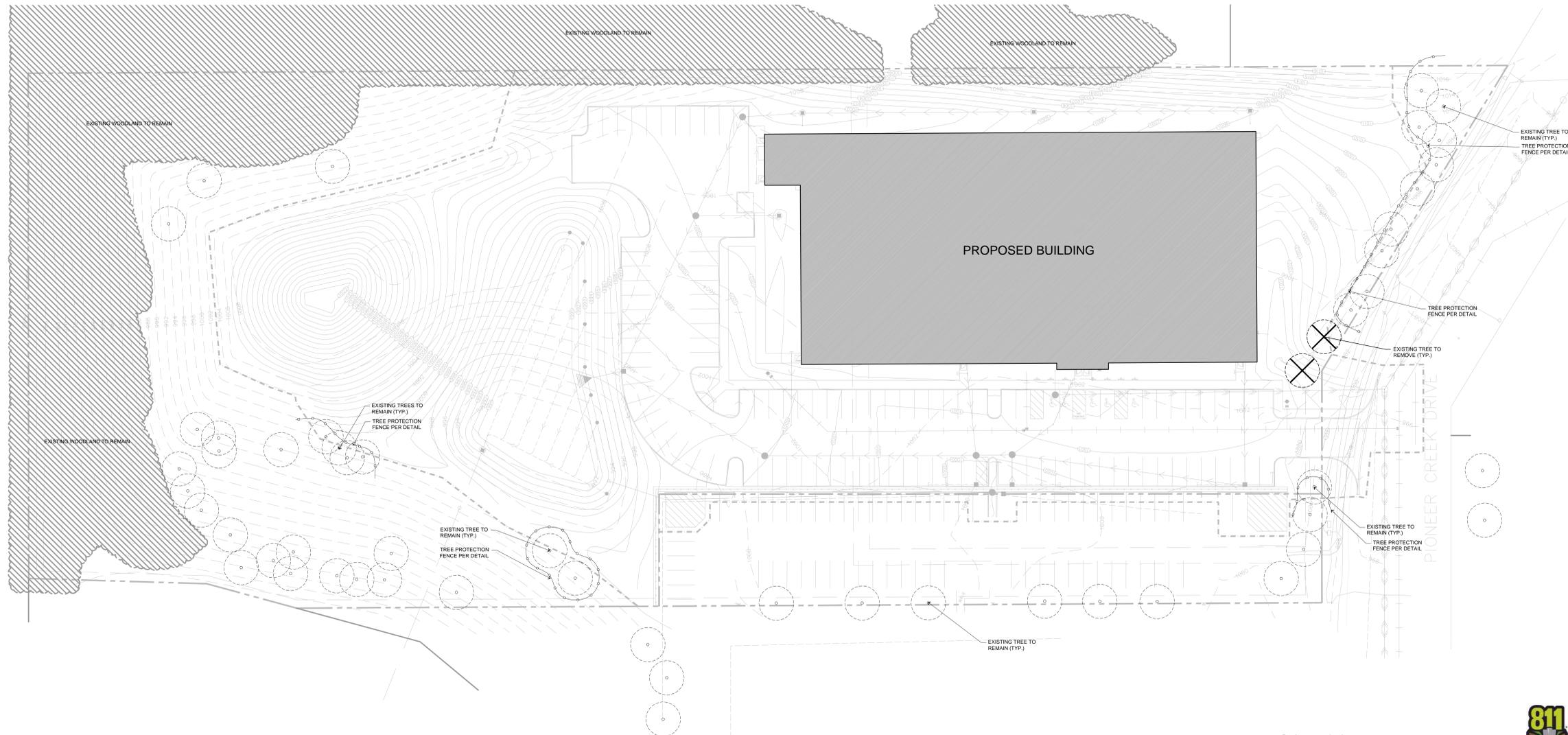
EXISTING SIGNIFICANT INCHES ON SITE: 58  
EXISTING SIGNIFICANT INCHES TO BE REMOVED: 7  
TOTAL INCHES REQUIRED FOR MITIGATION: 0  
REPLACEMENT INCHES PROPOSED: 10



NOTE: TREE PROTECTION SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED TO AID IN SURVIVABILITY OF EXISTING TREES TO REMAIN. DO NOT STORE MATERIALS OR DRIVE EQUIPMENT WITHIN THE TREE DRIP LINE AS DESIGNATED ABOVE. MAINTAIN THE FENCE INTEGRITY AT ALL TIMES THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCE SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.

**1 EXISTING TREE PROTECTION DETAIL**  
NOT TO SCALE



**NOTE:** Refer to Civil 'Existing Conditions & Removals' Plan for Tree Removals. Unless otherwise noted on civil plans, grind stumps to a minimum of 30" below grade.



**75% CD SET**  
**NOT FOR CONSTRUCTION**



I hereby certify that this plan, drawing or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL LANDSCAPE ARCHITECT under the laws of the State of MN

Benjamin D. Hartberg  
License Number: 48084 Date: xx/xx/xxxx

Revisions		
Description	Date	Num
Owner Requested Changes	11/14/2025	1

Comm: 252103  
Date: 08/01/2025  
Drawn: AL  
Check: BH



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I hereby certify that I am a duly licensed and qualified professional  
prepared by me or under my direct supervision and that I am  
a duly licensed  
**PROFESSIONAL LANDSCAPE ARCHITECT**  
under the laws of the State of MN

Benjamin D. Hartberg  
License Number: 48084 Date: xxx/xx/xxxx

Revisions		
Description	Date	Num
Owner Requested Changes	11/14/2025	1

Comm: 252103  
Date: 08/01/2025  
Drawn: AL  
Check: BH

LANDSCAPE  
PLAN

L1.000

**LANDSCAPE MATERIALS LEGEND:**

- Proposed Turf Sod per Landscape Notes
- Live Plugs per Schedule
- Proposed Native Seed per Notes & Specifications
- Proposed Rock Mulch per Notes & Specifications
- Existing Tree to Remain
- Proposed Landscape Edger per Landscape Notes
- Tree Protection Fence
- Existing Wooded Area to Remain
- Fence per Detail & Specifications | Fence Type as noted per Plan

**LANDSCAPE REQUIREMENTS:**

City of Maple Plain Municipal Code: ARTICLE 4 - ZONING Sec. 10-543. - "MU" Mixed-Use District

- Landscaping.**
- All land area not occupied by buildings, parking, driveways, sidewalks or other hard surfaces shall be sodded or mulched and landscaped with approved ground cover, flowers, shrubbery or trees;
  - At least ten percent of the total land area within the perimeter of a private parking and driveway areas having over 40 stalls shall be landscaped. Landscaped areas provided within the setback areas may be credited toward this ten percent landscaping requirement, for up to half of the requirement, or five percent;
  - Parking lot landscaped islands shall be a minimum of 250 square feet in area and include at least one overstory or evergreen tree meeting the requirements of this article. Landscaped islands shall be located, at a minimum, every 30 stalls; and
  - The landscape plan shall include a full complement of overstory, ornamental trees, evergreens, shrubbery and ground covers which are hardy and appropriate for the locations in which they are planted, and which provide year round color interest.

Landscaping. In all zoning districts the lot area remaining after providing for parking, driveways, loading sidewalks, or other requirements shall be planted and maintained in grass, sodding, shrubs, or other acceptable vegetation of landscaping techniques.

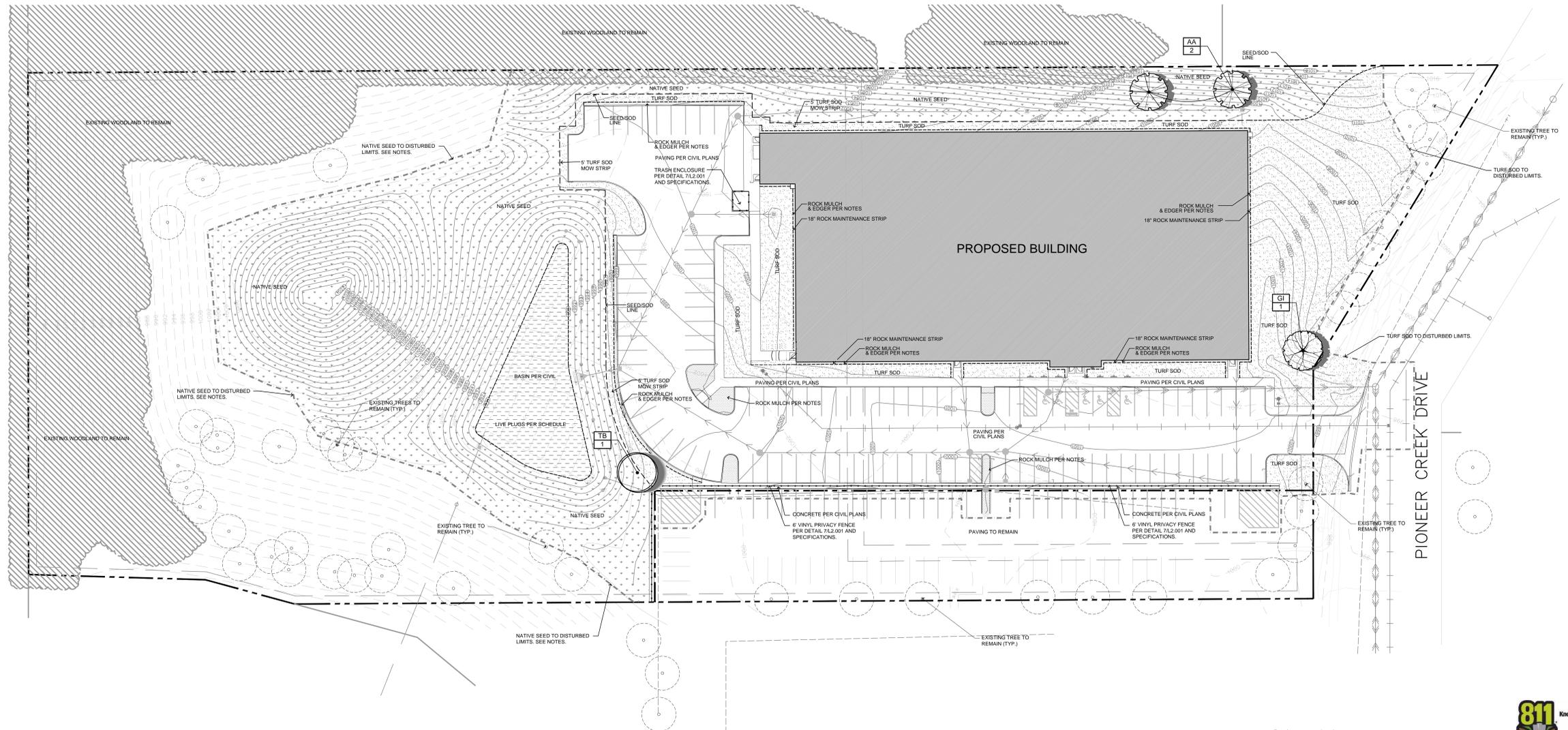
Minimum landscaping requirements include all open areas of a lot which are not used or improved for required parking areas, drives or storage shall be landscaped with a combination of overstory trees, ornamental trees, shrubs, flowers, ground cover, decorative walks or other similar site design materials in a quantity and placement suitable for the site. A reasonable attempt shall be made to preserve as many existing trees as is practicable and to incorporate them into the development.

**LANDSCAPE SUMMARY:**

EXISTING SIGNIFICANT INCHES ON SITE: 58  
EXISTING SIGNIFICANT INCHES TO BE REMOVED: 7  
TOTAL TREES REQUIRED FOR MITIGATION: 0  
TOTAL TREES PROPOSED: 4 Overstory Trees (10 Inches)

**GENERAL NOTES:**

- Refer to Civil Engineer's plans for site plan layout, dimensions, grading, drainage and concrete specifications.
- Contractor to Coordinate all work with Owner.
- Protect adjacent areas from damage during construction.
- See written specifications for additional requirements.
- Place topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. See specifications.
- All fine grading of turf areas shall be the responsibility of the sod sub-contractor(s), including sub-cut work. Field verify disturbance upon mobilization - actual sod areas may differ from anticipated limits shown on plan.
- See Civil Engineer's Plans for proposed grading & utilities.
- See Sheet for L2.001 & L2.002 for Landscape Details, Notes, and Schedule.



**NOTE:** Refer to Civil 'Existing Conditions & Removals' Plan for Tree Removals. Unless otherwise noted on civil plans, grind stumps to a minimum of 30" below grade.



**75% CD SET  
NOT FOR CONSTRUCTION**



LANDSCAPE PLAN:

# MAPLE PLAIN INDUSTRIAL PARK 6TH ADDITION

R.T.DOC.NO. \_\_\_\_\_

KNOW ALL PERSONS BY THESE PRESENTS: That Proto Labs, Inc, a Minnesota corporation, fee owner of the following described property:

Lots 1 and 2, Block 1, MAPLE PLAIN INDUSTRIAL PARK 5TH ADDITION

Has caused the same to be surveyed and platted as MAPLE PLAIN INDUSTRIAL PARK 6TH ADDITION, and does hereby dedicate to the public for public use the drainage and utility easements, as created by this plat.

In witness whereof said Proto Labs, Inc, a Minnesota corporation, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signed: Proto Labs, Inc

By \_\_\_\_\_

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_ of Proto Labs, Inc, a Minnesota corporation, on behalf of the corporation.

Signature \_\_\_\_\_ Notary's printed name \_\_\_\_\_  
Notary Public, \_\_\_\_\_ County \_\_\_\_\_  
My commission expires \_\_\_\_\_

I Mark S. Gronberg do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mark S. Gronberg, Licensed Land Surveyor  
Minnesota License Number 12755

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Mark S. Gronberg.

Signature \_\_\_\_\_ Notary's printed name \_\_\_\_\_  
Notary Public, \_\_\_\_\_ County \_\_\_\_\_  
My commission expires \_\_\_\_\_

City Council, City of Maple Plain, Minnesota

This plat of MAPLE PLAIN INDUSTRIAL PARK 6TH ADDITION was approved and accepted by the City Council of the City of Maple Plain, Minnesota, at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City Of Maple Plain, Minnesota

\_\_\_\_\_, Mayor \_\_\_\_\_, Clerk

COUNTY AUDITOR, Hennepin County, Minnesota

I hereby certify that taxes payable in 20\_\_\_\_ and prior years have been paid for land described on this plat, dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Daniel Rogan, County Auditor By \_\_\_\_\_ Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565, (1969), this plat has been approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chris F. Mavis, County Surveyor By \_\_\_\_\_

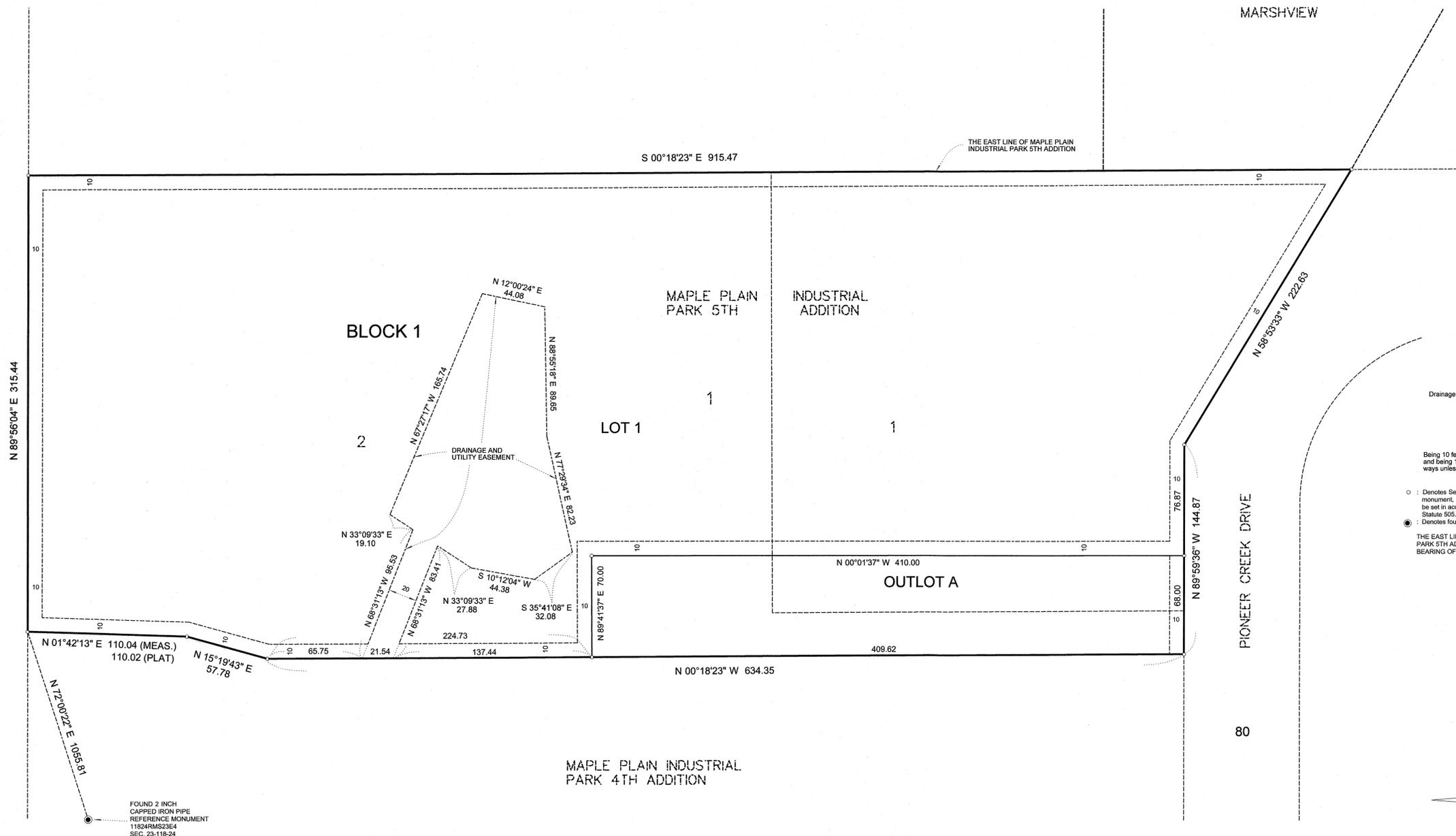
REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of MAPLE PLAIN INDUSTRIAL PARK 6TH ADDITION was filed in this office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_m.

Amber Bougie, Registrar of Titles By \_\_\_\_\_ Deputy

# MAPLE PLAIN INDUSTRIAL PARK 6TH ADDITION

R.T.DOC.NO. \_\_\_\_\_



Drainage and utility easements shown thus:



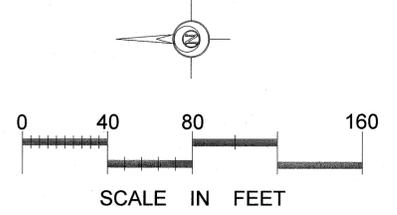
Being 10 feet in width, and adjoining side lot lines, and being 10 feet in width, and adjoining public ways unless otherwise indicated on this plat.

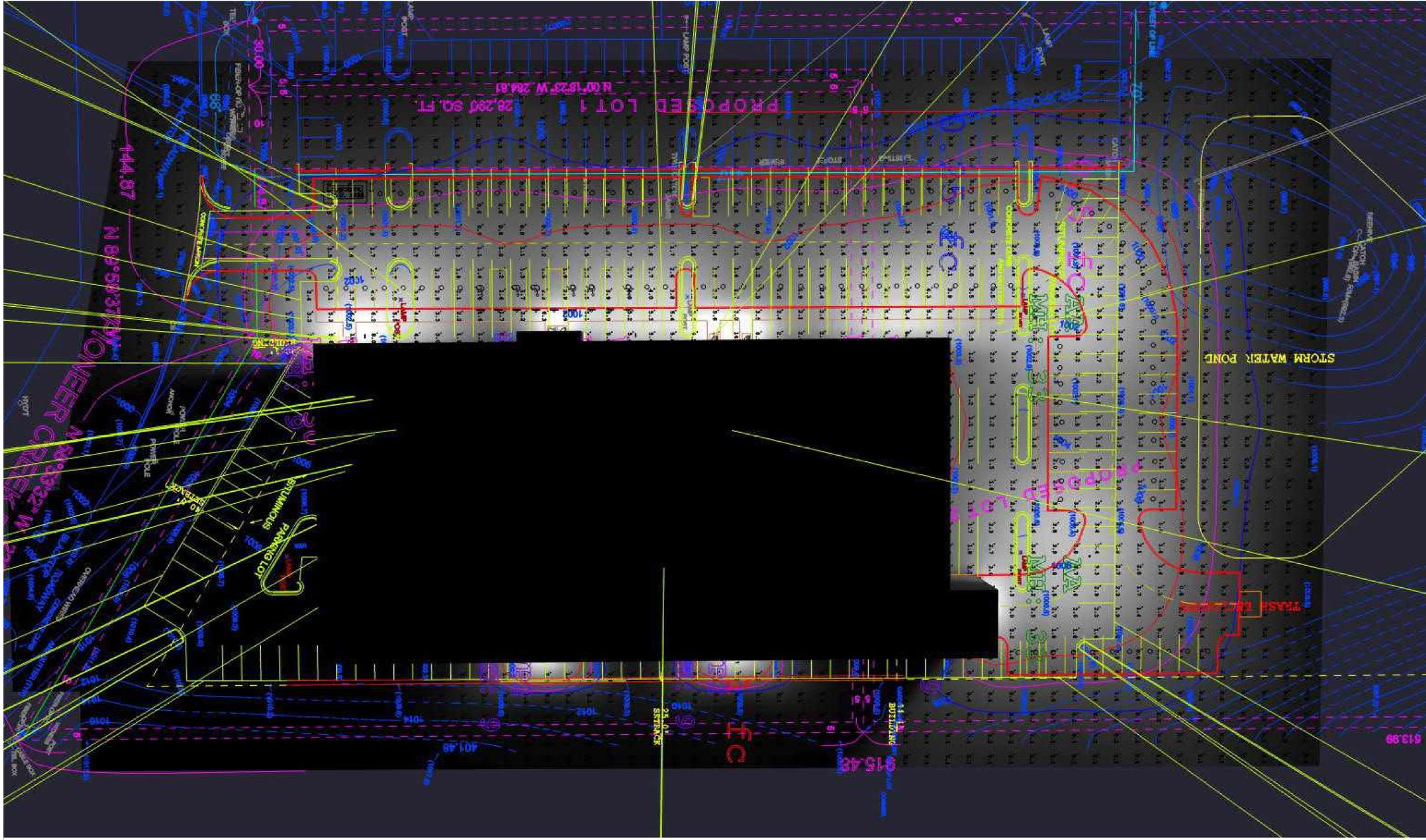
NOT TO SCALE

- : Denotes Set 1/2 inch by 14 inch iron pipe monument, marked by MN Lic. No. 12755, to be set in accordance with Minnesota State Statute 505.021, subd. 10
- : Denotes found Henn. Co. monument, as noted

THE EAST LINE OF MAPLE PLAIN INDUSTRIAL PARK 5TH ADDITION IS ASSUMED TO HAVE A BEARING OF S 00°18'23" E

FOUND 2 INCH CAPPED IRON PIPE REFERENCE MONUMENT 11824RMS23E4 SEC. 23-118-24





Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground_Planar	Illuminance	Fc	0.84	15.3	0.0	N.A.	N.A.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
□	7	WP2	Single	WFM 40 G3 4K	0.910	3900	27	189
□	3	WP	Single	ALF LS250 T4 G2 FSK-25000lm-40K	0.910	25598	158.3	474.9
□	2	AA	Single	ALF LS500 T5 G2 FSK-33500lm-40K	0.910	33660	198	396

# North Shore Gymnastics

Drawn By: Daniel Budke  
 Checked By:  
 Date: 7/16/2025

Scale:

#	Date	Comments
Revisions		



KEY PLAN

BUILDING 1 GYM

BUILDING 2 LOADING DOCK

FRAMED OPENING SCHEDULE

ID	QTY	WIDTH	HEIGHT	SILL HEIGHT	LOCATED
1	2	3'-4"	7'-2"	0'-0"	FACTORY
2	3	3'-0"	4'-0"	16'-0"	FACTORY
3	1	6'-4"	7'-2"	0'-0"	FACTORY
4	2	3'-0"	4'-0"	3'-0"	FACTORY

Preliminary Color Choices

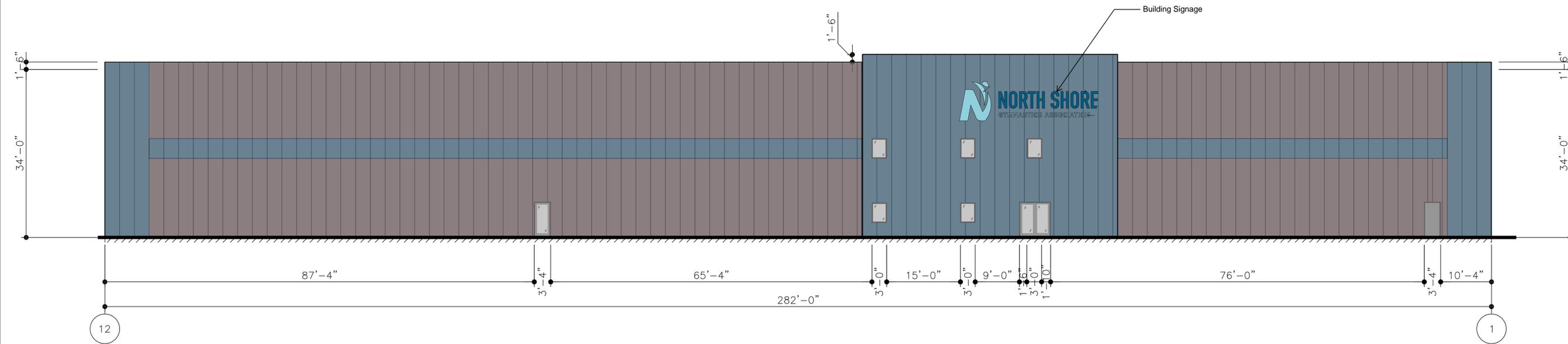


Aztec Blue (AB)

Charcoal (CH)



Drawings Generated By eQuote



WALL SHEETING ELEVATION AT LINE A  
 PANELS: 26 GA. REVERSE R-PANEL - PEARL GRAY (PVDF)

PROJECT NAME:

NORTH SHORE GYMNASTICS

MAPLE PLAIN, MN

CUSTOMER NAME:

YANIK COMPANIES

SPRING PARK, MN

DO NOT USE FOR FINAL CONSTRUCTION

SHEET TITLE: PRELIMINARY SHEETING ELEVATIONS

SHEET NUMBER: WS8

QUOTE NUMBER: MON-25221 A1

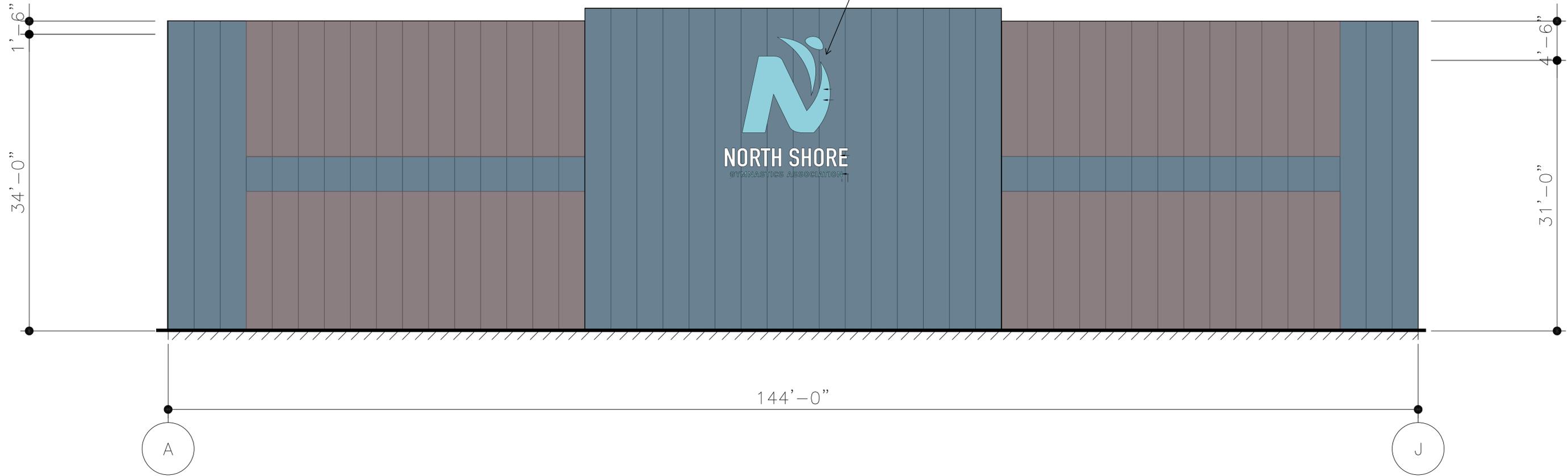
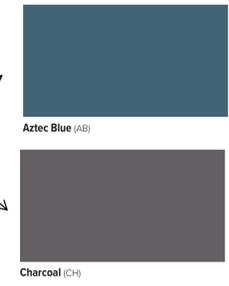
11/10/2025 12:05 PM

KEY PLAN

BUILDING 1 GYM

BUILDING 2 LOADING DOCK

Preliminary Color Choices



WALL SHEETING ELEVATION AT LINE 1  
PANELS: 26 GA. REVERSE R-PANEL - PEARL GRAY (PVDF)



PROJECT NAME:  
NORTH SHORE GYMNASTICS  
MAPLE PLAIN, MN

CUSTOMER NAME:  
YANIK COMPANIES  
SPRING PARK, MN

DO NOT USE FOR FINAL CONSTRUCTION  
SHEET TITLE:  
PRELIMINARY SHEETING ELEVATIONS

11/10/2025 12:04 PM

SHEET NUMBER:  
WS5  
QUOTE NUMBER:  
MON-25221 A1

KEY PLAN

BUILDING 1 GYM

BUILDING 2 LOADING DOCK

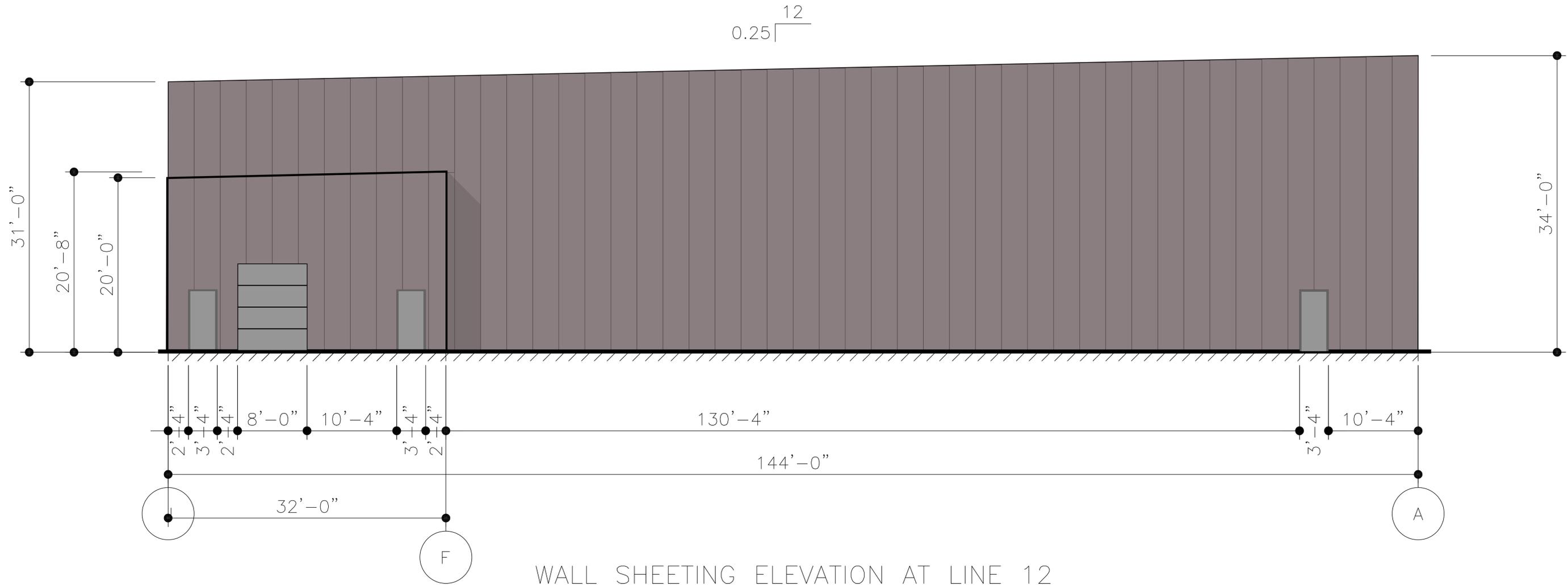
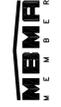
FRAMED OPENING SCHEDULE

ID	QTY	WIDTH	HEIGHT	SILL HEIGHT	LOCATED
1	1	3'-4"	7'-2"	0'-0"	FACTORY

Preliminary Color Choices



Charcoal (CH)



WALL SHEETING ELEVATION AT LINE 12  
 PANELS: 26 GA. REVERSE R-PANEL - PEARL GRAY (PVDF)

PROJECT NAME:

NORTH SHORE GYMNASTICS

MAPLE PLAIN, MN

CUSTOMER NAME:

YANIK COMPANIES

SPRING PARK, MN

DO NOT USE FOR FINAL CONSTRUCTION

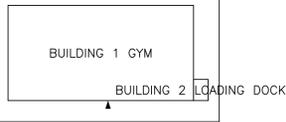
SHEET TITLE: PRELIMINARY SHEETING ELEVATIONS

SHEET NUMBER: WS7

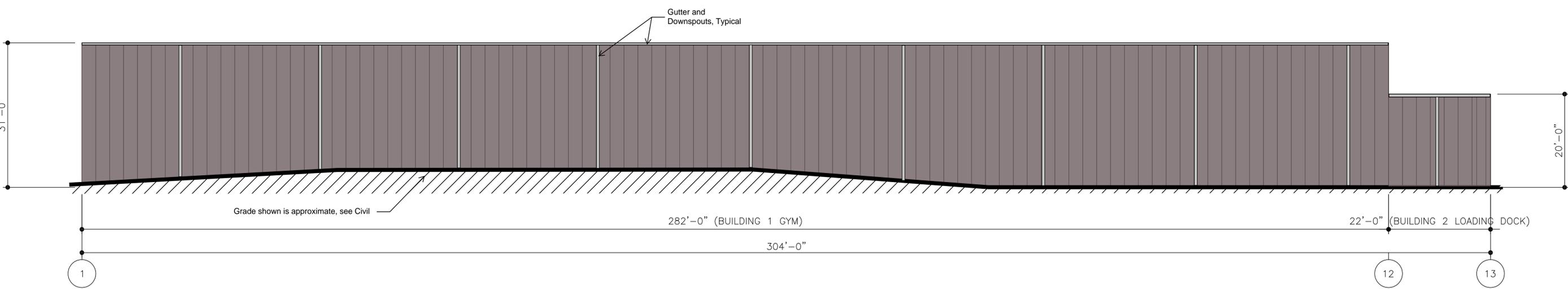
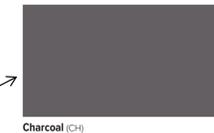
QUOTE NUMBER: MON-25221 A1

11/11/2025 2:51 PM

KEY PLAN



Preliminary Color Choices



WALL SHEETING ELEVATION AT LINE J  
 PANELS: 26 GA. REVERSE R-PANEL - PEARL GRAY (PVDF)

PROJECT NAME:

NORTH SHORE GYMNASTICS  
MAPLE PLAIN, MN

CUSTOMER NAME:

YANIK COMPANIES  
SPRING PARK, MN

DO NOT USE FOR FINAL CONSTRUCTION

SHEET TITLE: PRELIMINARY SHEETING ELEVATIONS

11/11/2025 2:51 PM

SHEET NUMBER: WS6

QUOTE NUMBER: MON-25221 A1

# Nucor Buildings Group A-Panel Metal Wall Panel System

The architectural features of the A-Panel wall make it ideal for fascias and decorative wall designs. The recessed fasteners provide a clean exterior appearance, and the deep rib configuration creates an attractive shadow pattern. Fasteners for are semi-concealed.



## Panel Credentials

- ASTM E283 Test Method for Determining Air Leakage Through Wall Systems
- ASTM E331 Test Method for Water Penetration of Exterior Wall Systems
- State of Florida Product Approval
- UL263 Fire Tests of Building Construction and Materials
- ASTM C1363-11 Test Method for Thermal Performance of Building Materials and Envelope Assemblies by Means of a Hot Box Apparatus

## Panel Specifications

Gage	Thickness (in.)	Yield (ksi)	Tensile (ksi)	Panel Wt. (psf)	I <sub>x</sub> (Gross) (in <sup>4</sup> )	TOP IN COMPRESSION		BOTTOM IN COMPRESSION	
						S <sub>x</sub> (eff.) (in <sup>3</sup> )	M <sub>a</sub> (kip-in)	S <sub>x</sub> (eff.) (in <sup>3</sup> )	M <sub>a</sub> (kip-in)
26	0.0177	80	82	0.86	0.0320	0.0417	1.500	0.0367	1.3167
24	0.0222	80	82	1.08	0.0400	0.0537	1.9267	0.0493	1.7700

## Panel Capacity (psf)

SPAN (ft.)	26 GAGE		24 GAGE	
	Pressure <sup>7</sup>	Suction <sup>4,8</sup>	Pressure <sup>7</sup>	Suction <sup>4,8</sup>
3.0	78	72	119	75
3.5	67	62	102	64
4.0	58	54	89	56
4.5	52	48	72	50
5.0	43	43	59	45
5.5	36	40	48	41
6.0	30	34	41	38
6.5	26	29	35	35
7.0	22	25	30	32
7.5	19	22	26	28

## NOTES

1. Section properties were calculated in accordance with AISI S100/CSA S136, 2016 Edition.
2. Panels were checked for bending, shear, combined bending and shear, web crippling, deflection and panel pullover.
3. Deflection is limited to Span/60.
4. Panel pullover limits are based on d'w = 0.44".
5. Thermal load has not been considered.
6. Capacities are based on a 3-span condition with equal length spans.
7. "Pressure" load is applied inward on the outer surface towards supports.
8. "Suction" load is applied outward on the inner surface away from panel supports.