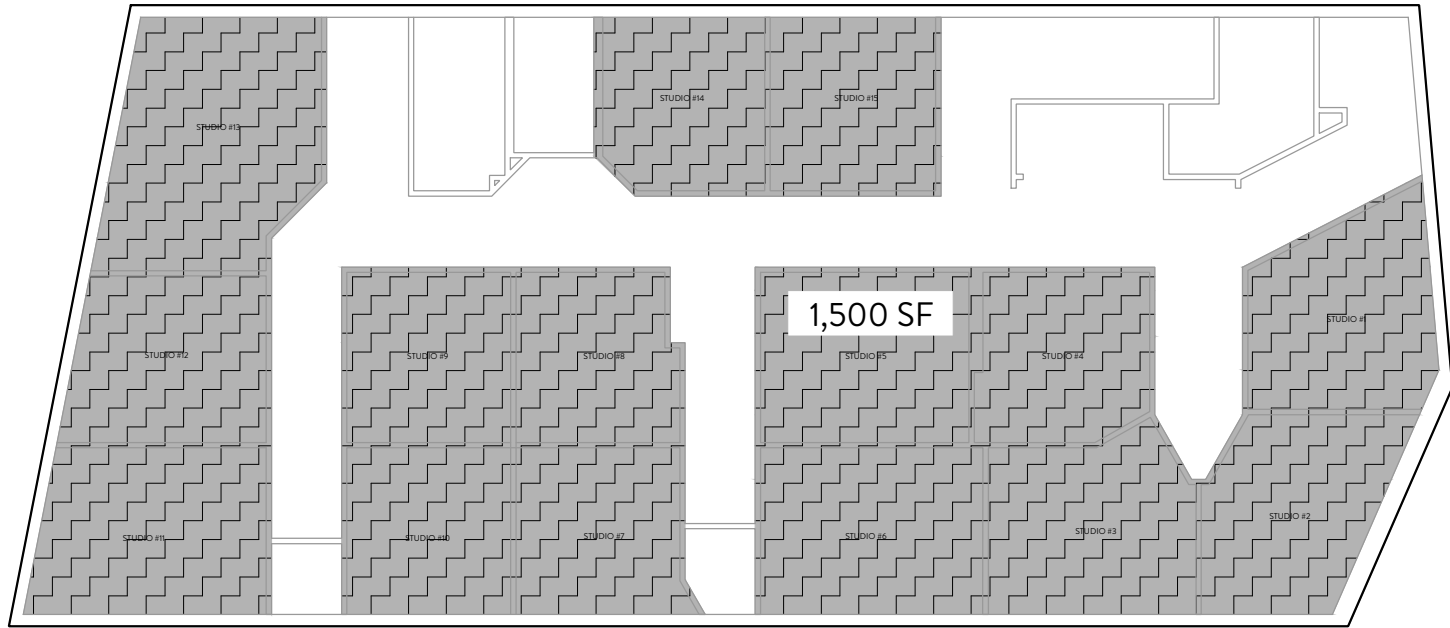
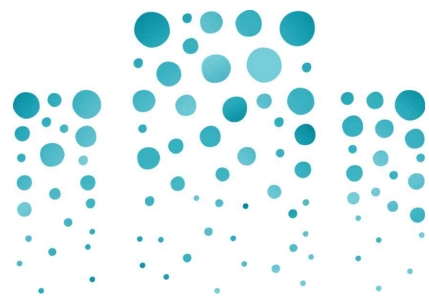


BENNY ERNESTO'S 337 E. MAIN STREET

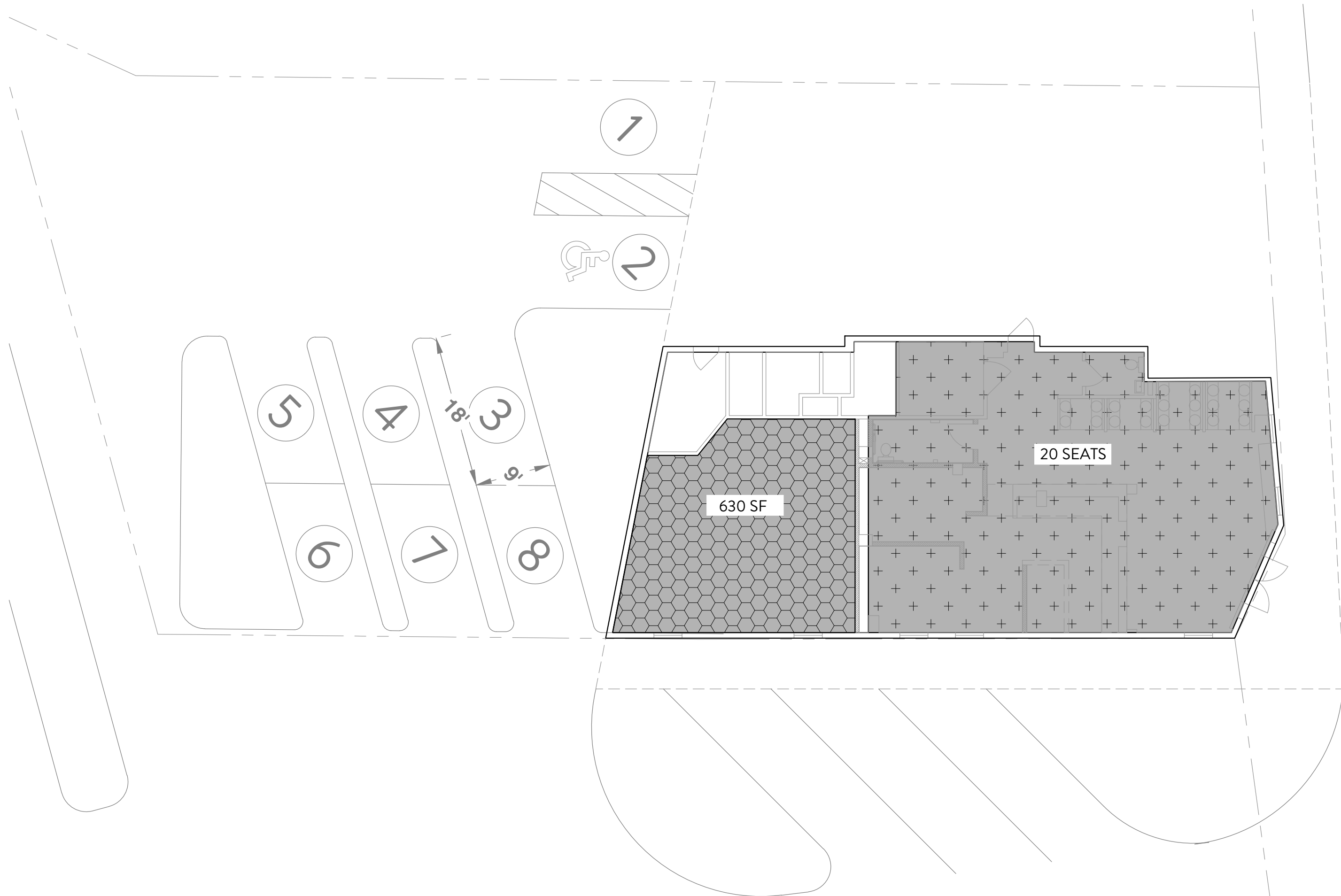
PARKING VARIANCE SUBMITTAL
06.30.2025



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2 SECOND FLOOR USE CATEGORY PLAN
SCALE: NTS

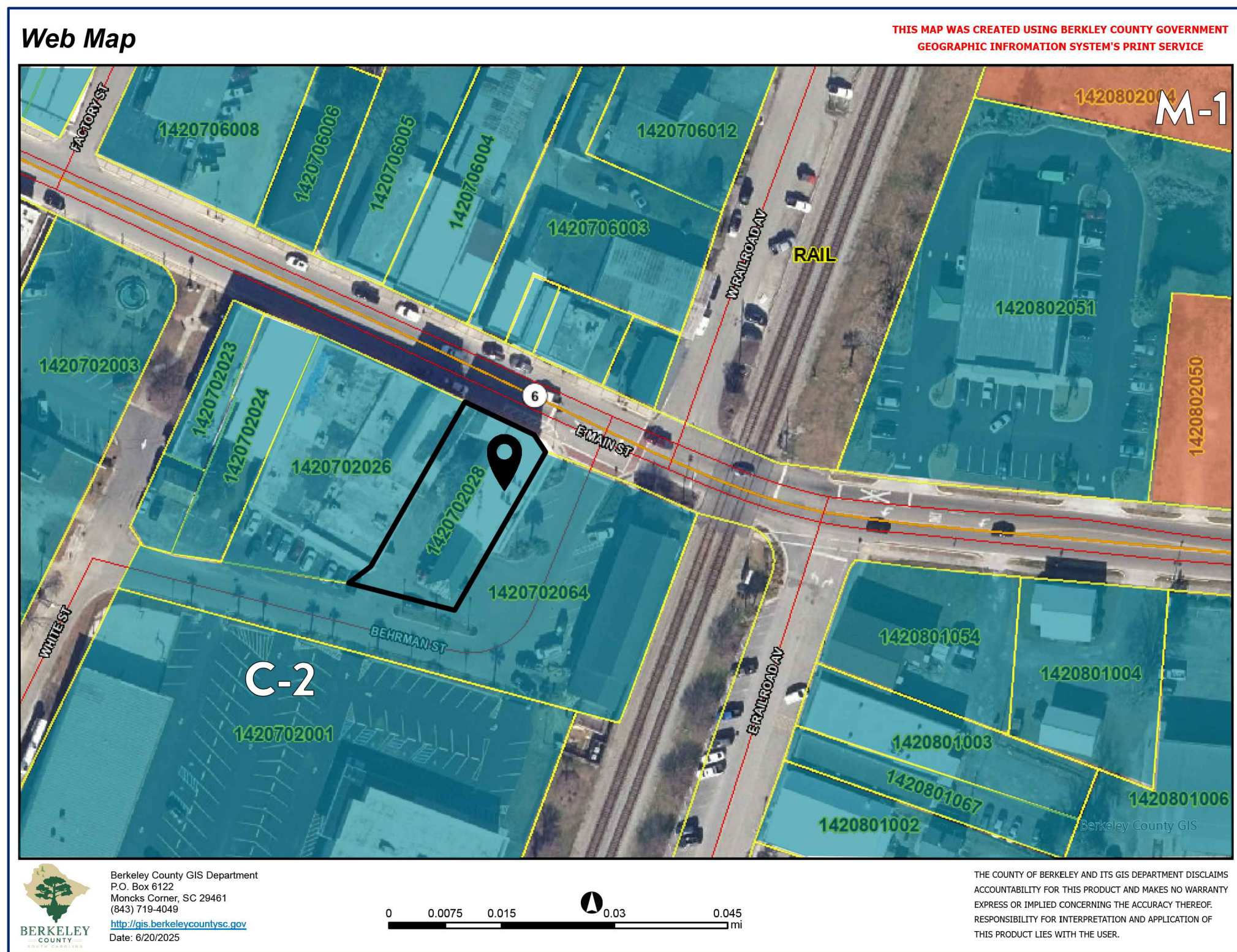


1 FIRST FLOOR USE CATEGORY PLAN
SCALE: NTS

USE CATEGORY LEGEND	
	RESTAURANT
	PUBLIC ASSEMBLY SPACE - VACANT
	EXISTING BUSINESS OCCUPANCY - SALON USE

DEVELOPMENT SUMMARY	
337 E. MAIN STREET - MONCKS CORNER, SC	
TMS#	142-07-02-028
C-2	EXISTING ZONING
9350 SF	TOTAL SITE AREA
N/A	FLOOD ZONE
PROPOSED BUILDING- AREAS	
20 SEATS	FIRST FLOOR- RESTAURANT
630 SF	FIRST FLOOR - PUBLIC ASSEMBLY SPACE (VACANT)
1500 SF	SECOND FLOOR - BUSINESS OCCUPANCY, SALON USE
FIRST FLOOR	
1 PER 4 SEATS	20 SEATS / 4 SEATS = 5 SPACES
1 PER 100 SF	630 / 100 = 7 SPACES
12 SPACES	FIRST FLOOR REQUIRED PARKING
SECOND FLOOR	
1 PER 250 SF	1,500 SF / 250 SF= 6 SPACES
6 SPACES	SECOND FLOOR REQUIRED PARKING
TOTAL PARKING CALCULATIONS	
18 SPACES	ON SITE PARKING REQUIRED
8 SPACES	ON SITE PARKING PROVIDED
10 SPACES	REQUESTED VARIANCE

MAIN ST.



BENNY ERNESTO'S
P I Z Z E R I A
MONCKS CORNER
SOUTH CAROLINA

SHEET TITLE
ZONING & USE
CATEGORY
INFORMATION

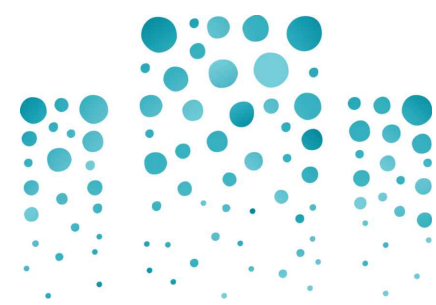
SHEET #
A-001

JOB #: 00000.00
DATE: 06.30.2025
RE: PARKING
VARIANCE

NOT FOR CONSTRUCTION



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BENNY ERNESTO'S
P I Z Z E R I A
MONCK'S CORNER
A SOUTH CAROLINA

SHEET TITLE

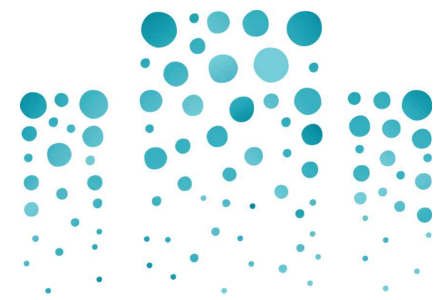
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IMAGES

SHEET #

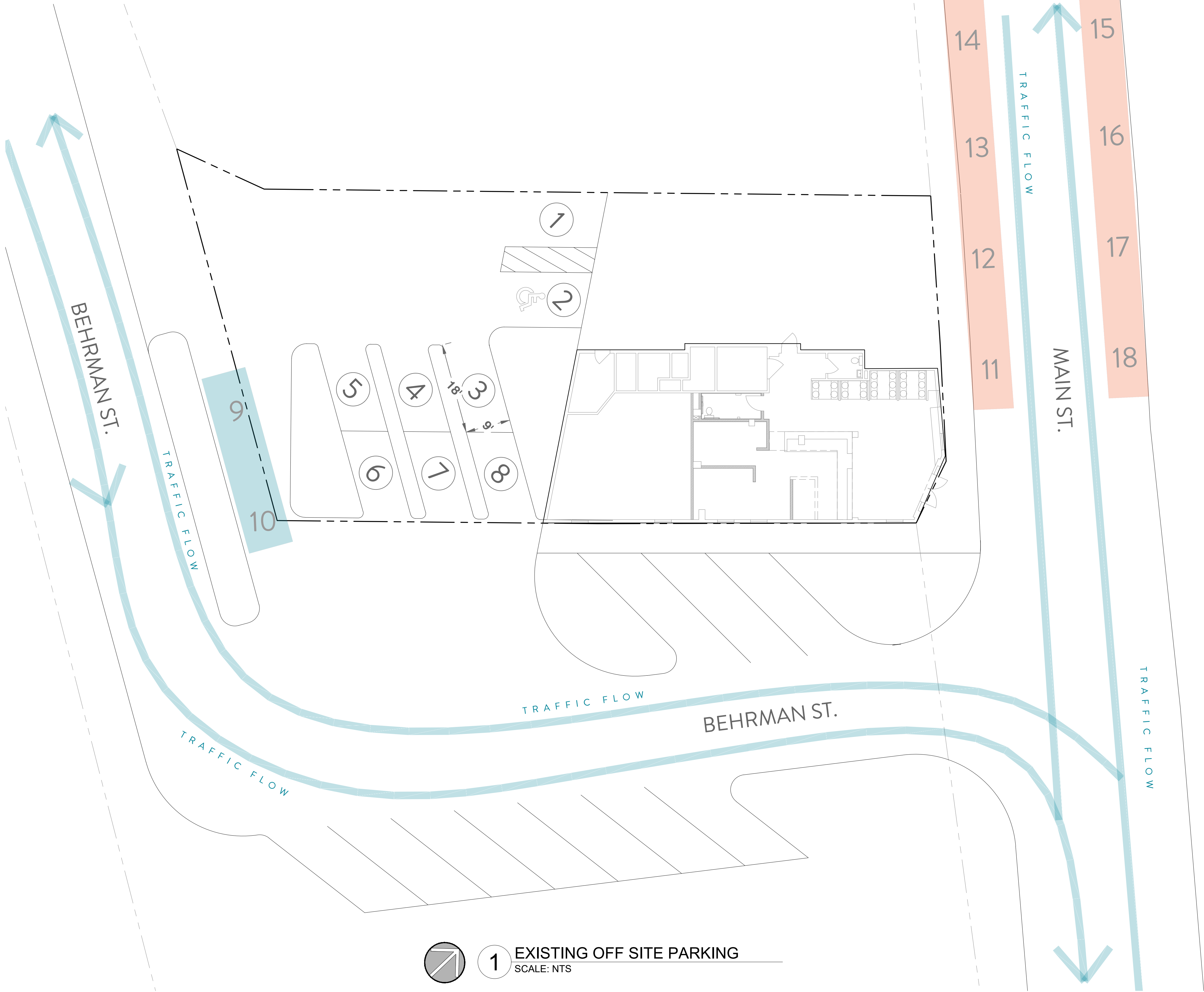
A-002

JOB #: 00000.00
DATE: 06.30.2025
RE: PARKING
VARIANCE

NOT FOR CONSTRUCTION



LEGEND	
<div></div>	PUBLIC PARKING IMMEDIATELY ADJACENT TO SITE- SUPPORTING LOCAL BUSINESSES
<div></div>	PARKING PARTIALLY ON PROPERTY- NOT IN THE RIGHT OF WAY OF TRAFFIC



DEVELOPMENT SUMMARY	
337 E. MAIN STREET - MONCK'S CORNER, SC	
TMS#	142-07-02-028
C-2	EXISTING ZONING
9350 SF	TOTAL SITE AREA
N/A	FLOOD ZONE
PROPOSED BUILDING- AREAS	
20 SEATS	FIRST FLOOR- RESTAURANT
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TOTAL PARKING CALCULATIONS	
18 SPACES	ON SITE PARKING REQUIRED
8 SPACES	ON SITE PARKING PROVIDED
10 SPACES	REQUESTED VARIANCE

VARIANCE NOTES

- THE EXISTING TWO-STORY COMMERCIAL BUILDING IS CURRENTLY IN USE BUT DOES NOT HAVE SUFFICIENT OPEN, UNOBSTRUCTED AREA ON SITE TO ACCOMMODATE THE REQUIRED PARKING. AS A RESULT, THE BUILDING CANNOT BE UTILIZED TO ITS FULL POTENTIAL DUE TO ZONING CODE REQUIREMENTS THAT PROHIBIT OCCUPANCY WITHOUT MEETING MINIMUM PARKING STANDARDS.
- THE MAJORITY OF THE ADJACENT BUILDINGS ARE SINGLE STORY STRUCTURES. IN CONTRAST, THE EXISTING TWO STORY BUILDING ON OUR SITE FACES A SIGNIFICANTLY GREATER CHALLENGE IN MEETING ZONING CODE PARKING REQUIREMENTS, AS IT REQUIRES TWICE THE AMOUNT OF PARKING COMPARED TO NEIGHBORING PROPERTIES DUE TO ITS LARGER USABLE FLOOR AREA.
- THE EXISTING TWO-STORY BUILDING IS A CORNERSTONE OF HISTORIC DOWNTOWN MONCK'S CORNER AND PLAYS A VITAL ROLE IN THE DISTRICT'S ONGOING SUCCESS. ITS HIGHEST AND BEST USES – INCLUDING A RESTAURANT, SALON, AND PUBLIC ASSEMBLY SPACE – NATURALLY REQUIRE SIGNIFICANT PARKING. HOWEVER, THESE ARE PRECISELY THE USES THAT DRAW PEOPLE INTO DOWNTOWN. IF THE REQUESTED PARKING VARIANCE IS NOT GRANTED, ABOUT 30% OF THE BUILDING WOULD REMAIN VACANT, UNDERMINING ITS CONTRIBUTION TO THE AREA. AS THE LARGEST AND MOST SUBSTANTIAL STRUCTURE ON MAIN STREET, ITS ABILITY TO OPERATE FULLY IS CRUCIAL FOR THE CONTINUED GROWTH OF THE DOWNTOWN COMMUNITY.
- THIS AREA OF MONCK'S CORNER FUNCTIONS AS A TRADITIONAL URBAN DOWNTOWN, WHERE ON SITE PARKING IS NOT COMMONLY PROVIDED. INSTEAD, THE AREA IS SUPPORTED BY MULTIPLE MODES OF TRANSPORTATION, AND STREET PARKING IS THE TYPICAL MEANS OF VEHICLE ACCESS. AS SUCH, THE SITE REMAINS ACCESSIBLE WITHOUT DEDICATED ON SITE PARKING, CONSISTENT WITH THE CHARACTER AND INFRASTRUCTURE OF THE SURROUNDING AREA.

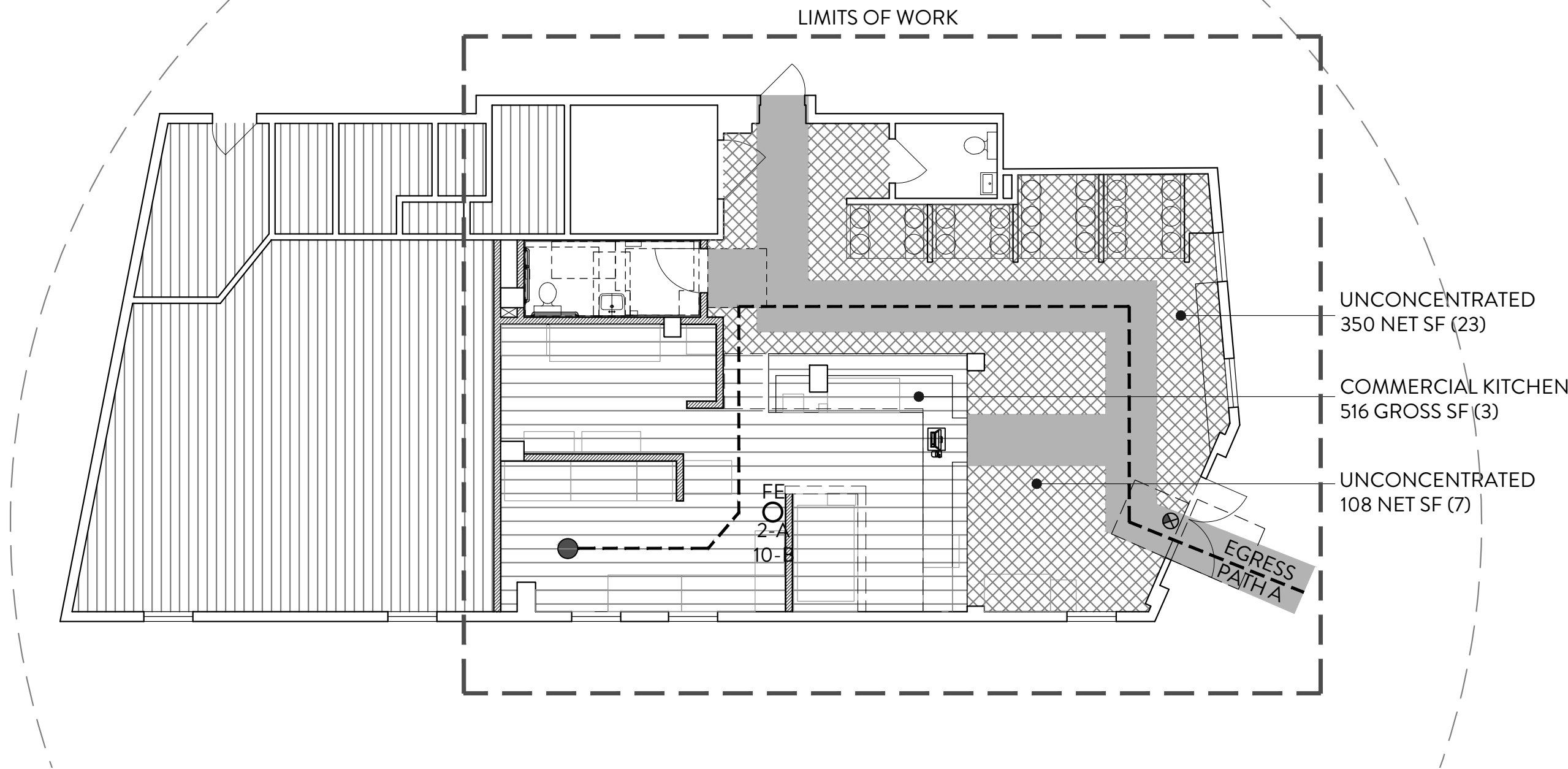
1 EXISTING OFF SITE PARKING
SCALE: NTS

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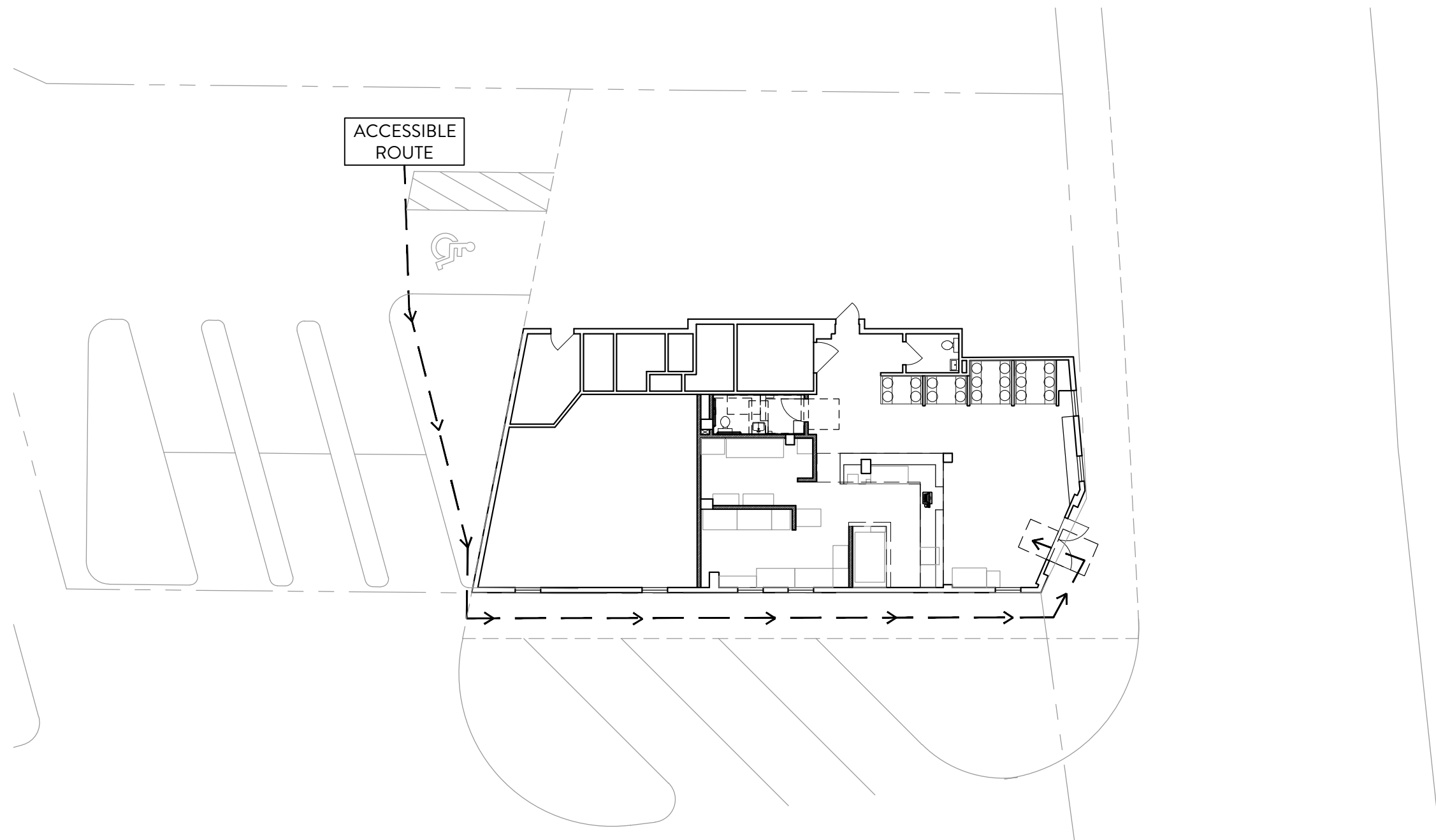
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OCCUPANT LOAD LEGEND	
<div></div>	INDOOR DINING W/O FIXED SEATS - UNCONCENTRATED
<div></div>	COMMERCIAL KITCHEN
<div></div>	UNOCCUPIED (VACANT FOR FUTURE TENANT UPFIT)
<div></div>	aisle - 42" MIN CLEAR PER SCBC 1030.9.1



2 LIFE SAFETY PLAN
SCALE: NTS



1 ACCESSIBILITY SITE PLAN
SCALE: NTS

J. ACCESSIBILITY*
(IBC 2021 CHAPTER 11 / ICC A117.1 - 2017)

ACCESSIBILITY* (CHAPTER 11)
ALL ACCESSIBILITY CLEARANCE FOR DOORWAYS SHOWN IN 1|A-103

ALL COMMERCIAL BATHROOM DOORS ARE ADA ACCESSIBLE AND ARE FOR INDIVIDUAL USE WITH IN-SWING DOORS AS PER ICC A117.1-2017 SEC. 603.2.2 EXCEPTION 2

K. NOTES:

THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED AS REQUIRED BY SCFC 1008.2.

THE EMERGENCY ILLUMINATION IS REQUIRED TO BE ON THE SAME CIRCUIT AS THE GENERAL ILLUMINATION BY THE 2020 NATIONAL ELECTRICAL CODE SECTION 700.12.

A READILY VISIBLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING, "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED." THE SIGN SHALL BE IN 1" TALL LETTERS ON A CONTRASTING BACKGROUND.

EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE EXTERIOR LANDINGS FOR EACH EXIT DISCHARGE DOORWAY PER IFC 1008.3.2 & IFC 1010.1.6

THE EMERGENCY LIGHTING SHALL BE DESIGNED AND INSTALLED SUCH THAT A FAILURE OF ANY INDIVIDUAL LIGHTING ELEMENT CANNOT LEAVE ANY SPACE REQUIRING EMERGENCY LIGHTING IN TOTAL DARKNESS PER NEC 700.16

ILLUMINATION SHALL BE PROVIDED FOR FOR SERVICE EQUIPMENT AREAS, MOTOR CONTROL CENTERS AND ELECTRICAL PANELBOARDS PER IFC 604.2

THE MEANS OF DISCONNECTING FOR EACH SERVICE, FEEDER OR BRANCH CIRCUIT ORIGINATING ON A SWITCHBOARD OR PANEL BOARD SHALL BE LEGIBLY AND DURABLY MARKED TO INDICATE ITS PURPOSE PER IFC 604.3.1

INDIVIDUAL ELECTRIC METERS, SWITCH GEAR AND GAS METERS SHALL BE CLEARLY LABELED TO INDICATE THE SPACE AND AREA SERVED

PROVIDE STRIPING ON THE FLOOR IN FRONT OF ELECTRICAL PANELS TO CLEARLY IDENTIFY A CLEAR FLOOR AREA/NO STORAGE AREA OF NO LESS THAN 36" PER IFC 604.3

EXPOSED GAS VALVES (INTERIOR OR EXTERIOR), SENSITIVE EQUIPMENT(INTERIOR OR EXTERIOR), FIRE HYDRANTS OR FIRE DEPARTMENT CONNECTIONS SHALL BE PROTECTED FROM DAMAGE PER IFC 312.1 & 507.5.6

ALL EMERGENCY EXIT DOORS TO BE PERMANENTLY LABELED ON THE INTERIOR AND THE EXTERIOR AS "EMERGENCY EXIT - DO NOT BLOCK" LETTERING SHALL BE AT LEAST 4' FROM THE THRESHOLD AND CONTRAST THE COLOR OF THE DOOR

ALL EMERGENCY EXIT DOORS TO BE PERMANENTLY LABELED ON THE INTERIOR AND THE EXTERIOR AS "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED" LETTERING SHALL BE 1" TALL AND CONTRAST THE COLOR OF THE DOOR

THE MAXIMUM STORAGE HEIGHT OF STOCK AND DISLAY AREAS SHALL BE CLEARLY LABELED THROUGHOUT THE BUILDING AND BE VISIBLE FROM FLOOR LEVEL

FIRE EXTINGUISHERS TO BE PROVIDED. EXTINGUISHERS SHALL BE TAGGED BY A LICENSED SOUTH CAROLINA FIRE EXTINGUISHER COMPANY. FIRE EXTINGUISHERS SHALL BE POSTED IN A CONTINUOUS, UNOBSTRUCTED AND UNOBSURED LOCATION. MOUNTING HEIGHTS AND TRAVEL DISTANCES PER IFC 906 (906.5, 906.6, 906.9). LOCATION SHOWN IN 2|A-001

F. MEANS OF EGRESS

GENERAL MEANS OF EGRESS

1 EXIT SIGNS (1013)
LOCATION REF. BUILDING EGRESS PLANS.

EXIT ACCESS TRAVEL DISTANCE (TABLE 1006.2.1)

EGRESS PATH "A" 70' (< 75') SHOWN IN 2|A-001

G. GENERAL BUILDING LIMITATIONS (CHAPTERS 5, 6)

TYPES OF CONSTRUCTION	IIIB
ACTUAL BUILDING AREA	3,150 ft ²
ALLOWABLE BUILDING AREA	19,000 ft ²
ACTUAL BUILDING HEIGHT <u>N/A</u> FEET <u>2</u> STORY	
ALLOWABLE BUILDING HEIGHT <u>55'</u> FEET <u>3</u> STORY	
TOTAL FLOOR AREA (ALL STORIES)	6,306 ft ²

H. FIRE RESISTANCE RATING REQUIREMENTS

NOT SPRINKLERED	
BUSINESS - GROUP B:	
INTERIOR EXIT STAIRWAYS, RAMPS & PASSAGEWAYS (NOT SPRINKLERED)	TABLE 803.13 CLASS A
CORRIDORS & ENCLOSURES FOR EXIT ACCESS (NOT SPRINKLERED)	TABLE 803.13 CLASS B
ROOMS & ENCLOSED SPACES (NOT SPRINKLERED)	TABLE 803.13 CLASS C

I. RESTRICTIONS

NO HIGH-PILED COMBUSTIBLE STORAGE PER IFC(GREATER THAN 12')	IFC 2021
NO COMBUSTIBLE DUST PRODUCING OPERATIONS WITHIN THE STRUCTURE	IFC 2021

B. APPLICABLE CODES

2021 SOUTH CAROLINA BUILDING CODE
2021 SOUTH CAROLINA FIRE CODE
2021 SOUTH CAROLINA PLUMBING CODE
2021 SOUTH CAROLINA MECHANICAL CODE
2021 SOUTH CAROLINA FUEL GAS CODE
2020 SOUTH CAROLINA ELECTRIC CODE
ICC A117.1-2017

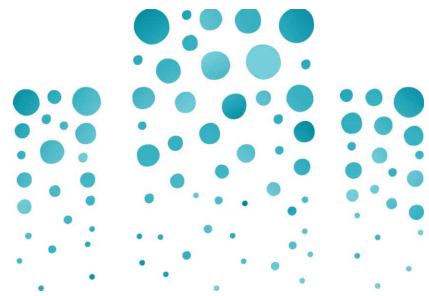
C. AREA CALCULATIONS ZONING INFORMATION

ZONE: C-2 FLOOD ZONE: N/A
PRINCIPAL BUILDING AREA: 3,150 SF

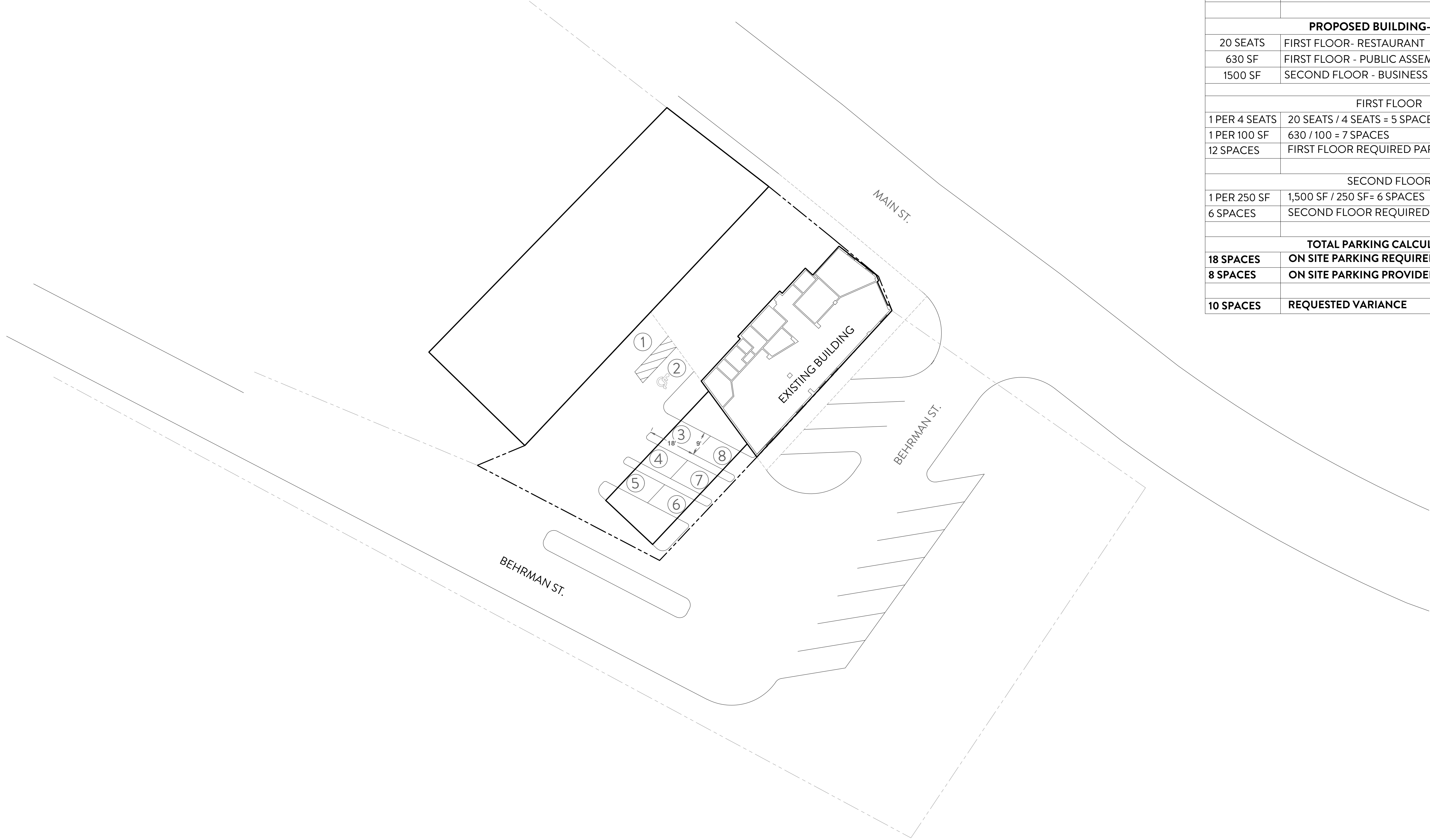
D. OCCUPANT LOAD (SCBC 2021 TABLE 1004.5)			
FIRST FLOOR - BENNY ERNESTO'S - LIMITS OF WORK	OCCUPANTS	AREA	OCCUPANT LOAD FACTOR
COMMERCIAL KITCHEN	3	516 SF	200 SF GROSS PER OCCUPANT
ASSEMBLY W/O FIXED SEATING UNCONCENTRATED	30	458 SF	15 SF NET PER OCCUPANT
TOTAL LIMITS OF WORK OCCUPANT LOAD :			33 OCCUPANTS
SECOND FLOOR - EXISTING BUSINESS - NOT IN LIMITS OF WORK	OCCUPANTS	AREA	OCCUPANT LOAD FACTOR
SALON	10	1,500 SF	150 SF GROSS PER OCCUPANT
TOTAL NOT IN LIMITS OF WORK OCCUPANT LOAD :			10 OCCUPANTS
TOTAL BUILDING FIRE AREA OCCUPANT LOAD:			43 OCCUPANTS

E. PLUMBING FIXTURES (SCBC 2021 TABLE 2902.1)				
BUSINESS - GROUP B - LIMITS OF WORK				
	REQUIRED	EXISTING	PROPOSED	TOTAL
WATER CLOSET - MALE & FEMALE	2 (1:25)	1	1	2
LAVATORIES - MALE & FEMALE	2 (1:40)	1	1	2
DRINKING FOUNTAINS	1 (1:100)	0	0	0
SERVICE SINK	1	0	1	1
EXCEPTION PER IPC 2021 SECTION 410.4				

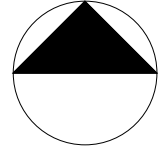
NOT FOR CONSTRUCTION



DEVELOPMENT SUMMARY	
337 E. MAIN STREET - MONCKS CORNER, SC	
TMS#	142-07-02-028
C-2	EXISTING ZONING
9350 SF	TOTAL SITE AREA
N/A	FLOOD ZONE
PROPOSED BUILDING- AREAS	
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NORTH

20'10'0'20'40'60'

SCALE : 1:20 @ 24" X 36"

SCALE : 1:40 @ 12" X 18"



BENNY ERNESTO'S
P I Z Z E R I A
MONCKS CORNER
SOUTH CAROLINA

S H E E T T I T L E

SITE PLAN

S H E E T #

A-100



JOB #: 00000.00
DATE: 06.30.2025
RE: PARKING VARIANCE

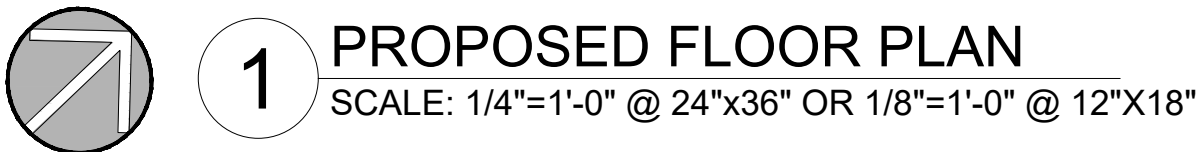
NOT FOR CONSTRUCTION



GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TAKEN FROM THE FACE OF STUD OR THE CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED.
2. IF DISCREPANCIES ARE FOUND IN THE DRAWINGS OR IF ANY DRAWING IS UNCLEAR THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND BE GIVEN DIRECTION OR CLARIFICATION IN ACCORDANCE WITH THE ORIGINAL DESIGN INTENT BY THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2021 SOUTH CAROLINA STATE BUILDING CODE AND ICC A117.1-2017; IN ADDITION, STRICT ATTENTION MUST BE GIVEN TO ALL LOCAL AND STATE ORDINANCES WHICH APPLY TO THIS WORK.
4. ALL NOTES, DIMENSIONS, AND ANNOTATIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.

LEGEND	
	DOOR TAG - REFER TO SHEET A-103 FOR MORE INFORMATION
	WALL TAG - REFER TO SHEET A-501 FOR MORE INFORMATION



synchronicity
LAND • ARCHITECTURE

BENNY ERNESTO'S
P I Z Z E R I A MONCKS CORNER
SOUTH CAROLINA

S H E E T T I T L E

PROPOSED FLOOR PLAN

S H E E T

A-101

JOB #: 00000.00
DATE: 06.30.2025
RE: PARKING
VARIANCE