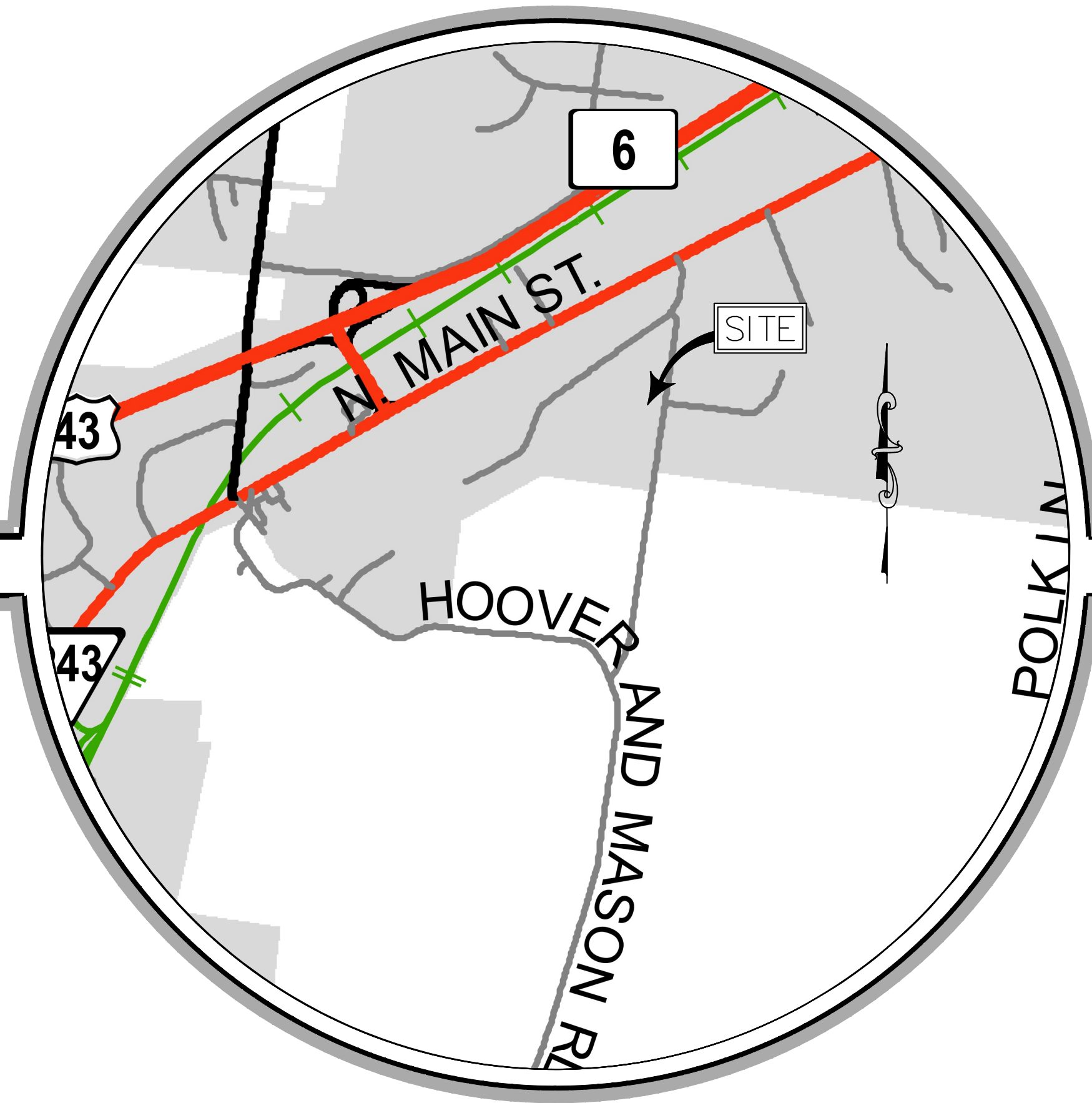


A SITE PLAN FOR LAB LAND HOLDINGS, LLC

HOOVER MASON LN, MT PLEASANT, TENNESSEE
TAX MAP 126, PARCEL 45.16
+/- 4,000 SF INDUSTRIAL BUILDING



LOCATION MAP
NOT TO SCALE
MT PLEASANT, MAURY COUNTY, TENNESSEE

SPECIFIED SEQUENCE OF WORK FOR THE SELECTED CONTRACTOR:

1. INSTALL PHASE 1 OF EROSION PREVENTION & SEDIMENT CONTROL MEASURES.
2. BEGIN SITE EXCAVATION & FILLING TO CONSTRUCT DETENTION BASIN TO FUNCTION AS SEDIMENT TRAP DURING CONSTRUCTION.
3. BEGIN BUILDING CONSTRUCTION & UTILITY CONSTRUCTION.
4. CONSTRUCT / INSTALL PAVEMENT BASE STONE & BINDER ONCE UTILITY CONSTRUCTION IS COMPLETE.
5. COMPLETE SOIL STABILIZATION (FINAL DRESSING SITE) ONCE BUILDING IS NEARING COMPLETION.
6. COMPLETE PUNCH LIST ITEMS, AS-BUILT, INFRASTRUCTURE CERTIFICATIONS AS REQUIRED FOR C.O.

THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE CRITERIA OF THE CITY OF MT PLEASANT, TENNESSEE. THE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNTIL THE RELATIVE PERMIT HAS BEEN ISSUED BY THE MUNICIPALITY. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY THE RELEVANT DEPARTMENT SUPERINTENDANT OR THE PLANNING COMMISSION.

UTILITY COMPANIES:

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA INCLUDE:

MUNICIPALITY:	ELECTRIC:	CABLE TELEVISION:
CITY OF MT. PLEASANT 100 PUBLIC SQUARE MT. PLEASANT, TN 38474 (931) 379-7717	MT. PLEASANT POWER SYSTEM 123 N. MAIN ST. MT. PLEASANT, TN 38474 (931) 379-9233	SPECTRUM 2008 S. MAIN ST. COLUMBIA, TN 38401 (866) 874-2389
STORM WATER:	WATER:	CABLE TELEVISION:
CITY OF MT. PLEASANT 100 PUBLIC SQUARE MT. PLEASANT, TN 38474 (931) 379-7717	CITY OF MT. PLEASANT 100 PUBLIC SQUARE MT. PLEASANT, TN 38474 (931) 379-7717	AT&T 904 S. HIGH ST. COLUMBIA, TN 38401 (931) 380-3448
SANITARY:	TELEPHONE:	GAS:
CITY OF MT. PLEASANT 100 PUBLIC SQUARE MT. PLEASANT, TN 38474 (931) 379-7717	AT&T 618 S. JAMES CAMPBELL BLVD. COLUMBIA, TN 38401 (931) 388-2414	CITY OF MT. PLEASANT 100 PUBLIC SQUARE MT. PLEASANT, TN 38474 (931) 379-7717



SHEET INDEX

C-0.1 C-1.0 C-2.0 C-3.0 C-3.1 C-3.2	COVER (THIS SHEET) LAYOUT & UTILITY PLAN GRADING & DRAINAGE PLAN EPSC PLAN PHASE 1 EPSC PLAN PHASE 2 EPSC DETAILS	C-4.0 C-4.1 C5.0	CONSTRUCTION DETAILS CONSTRUCTION DETAILS LANDSCAPE PLAN
		REFERENCES:	
		1 OF 1 1 OF 1	BOUNDARY SURVEY SITE LIGHTING PHOTOMETRIC PLAN

GENERAL NOTES

1. PROPOSED USE: INDUSTRIAL/DISTRIBUTION FACILITY - HELIOS
2. A PRE CONSTRUCTION MEETING WITH THE MUNICIPALITY IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING AND PROPOSED UTILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION.
4. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS.
5. DEVELOPER SHALL COMPLY WITH TDEC EROSION PREVENTION AND SEDIMENTATION CONTROL HANDBOOK, CURRENT EDITION.
6. UNDERGROUND DRY UTILITIES SHALL BE EXTENDED FROM EXISTING LOCATIONS TO SERVICE THIS SITE AS REQUIRED BY UTILITY COMPANIES.
7. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8. HANDICAP PARKING SPACES SHALL BE MARKED WITH ABOVE GRADE SIGNS IN ACCORDANCE WITH CURRENT ADA STANDARDS. VAN ACCESSIBLE SPACES SHALL BE MARKED AS SUCH.
9. ALL ON-SITE TRAFFIC SIGNS SHALL MEET THE REQUIREMENTS OF THE CITY ENGINEERING REQUIREMENT, ZONING ORDINANCE, & THE MUTCD.
10. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF MT PLEASANT TENNESSEE.
11. UTILITIES AS SHOWN INDICATE THE APPROXIMATE LOCATION OF FACILITIES ONLY AND NO GUARANTEE IS GIVEN TO THE COMPLETENESS OR ACCURACY THEREOF. NO EXCAVATION MAY BE MADE WITHIN 4 FEET OF THESE UTILITIES UNLESS AND UNTIL SUCH UTILITIES HAVE BEEN POSITIVELY LOCATED AS TO HORIZONTAL AND VERTICAL POSITION. CONTRACTOR SHALL CONTACT UTILITY COMPANY AND "TENNESSEE ONE CALL" AT 811 (1-800-351-1111) THREE WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXACT LOCATION OF ALL EXISTING UTILITIES.
12. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NO. 47119C0270E, (ZONE X)
13. THE LIMIT OF CONSTRUCTION IS SHOWN ON THE CONSTRUCTION PLANS. ANY WORK OUTSIDE OF THE LIMIT OF CONSTRUCTION IS TO BE COORDINATED BY THE CONTRACTOR AND PRE-APPROVED BY THE APPROPRIATE PROPERTY OWNER.

SITE DATA

PARCEL NUMBER	TAX MAP 126, PARCEL 45.16 DEED BOOK: R3061, PG 41 PLAT BOOK: 23, PG 544
PARCEL ADDRESS:	HOOVER MASON LANE MT PLEASANT, TENNESSEE 38474
EXISTING ZONING:	IL - LIGHT INDUSTRIAL
ACREAGE OF SITE:	± 3.32 ACRES
DISTURBED ACREAGE:	± 2.65 ACRES
MINIMUM REQUIRED BUILDING SETBACK LINES:	50' FRONT (MINOR) 50' REAR 50' SIDE
PROPOSED PARKING:	CONTRACTOR OFFICE & STORAGE YARD 1 PER 400 OFC & 1 PER 5000 STORAGE OFFICE: 2,000 SF - 5 SPACES STORAGE: 23,685 - 5 SPACES 10 SPACES REQUIRED 10 SPACES PROVIDED
PROPERTY OWNER:	LAB LAND HOLDINGS, LLC 2411 DARKS MILL ROAD COLUMBIA, TN 38401 SAMANTHA LARSON

LAB LAND HOLDINGS (HELIOS)
HOOVER MASON LANE
MT PLEASANT, TENNESSEE

PROPRIETOR

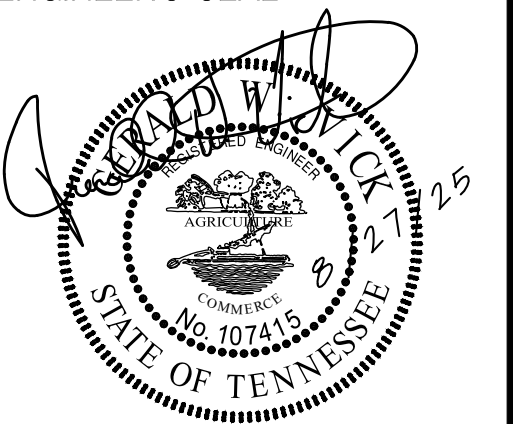
LAB LAND HOLDINGS
2411 DARKS MILL ROAD
COLUMBIA, TN 38401
CONTACT: SAMANTHA LARSON



WES ENGINEERS & SURVEYORS
CIVIL ENGINEERS & LAND SURVEYORS
2486 NASHVILLE HIGHWAY
COLUMBIA, TN 38401
PHONE: (931) 388-2329
www.wesengineers.com

LAB LAND HOLDINGS, LLC (HELIOS)
2411 DARKS MILL ROAD
COLUMBIA, TN 38401

ENGINEER'S SEAL

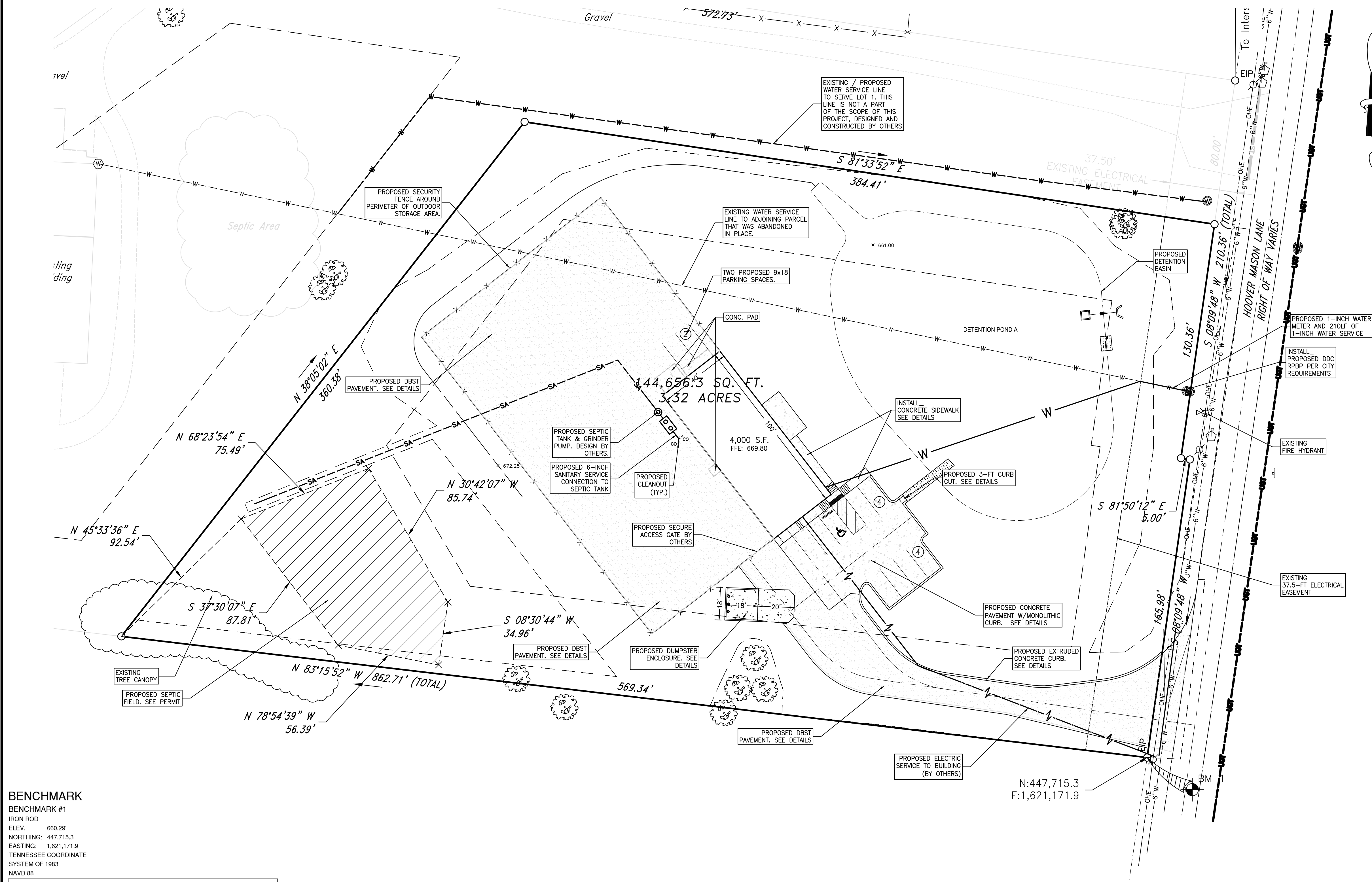


REVISIONS	DATE	PROJECT No.
Addressed Staff Comments	8/28/25	25-526
		SHEET 1 OF 11
		DATE 8/11/2025

gerald@wesengineers.com

RELEASED FOR CONSTRUCTION WHEN
APPROVED BY MUNICIPALITY

SITE LAYOUT & UTILITY PLAN



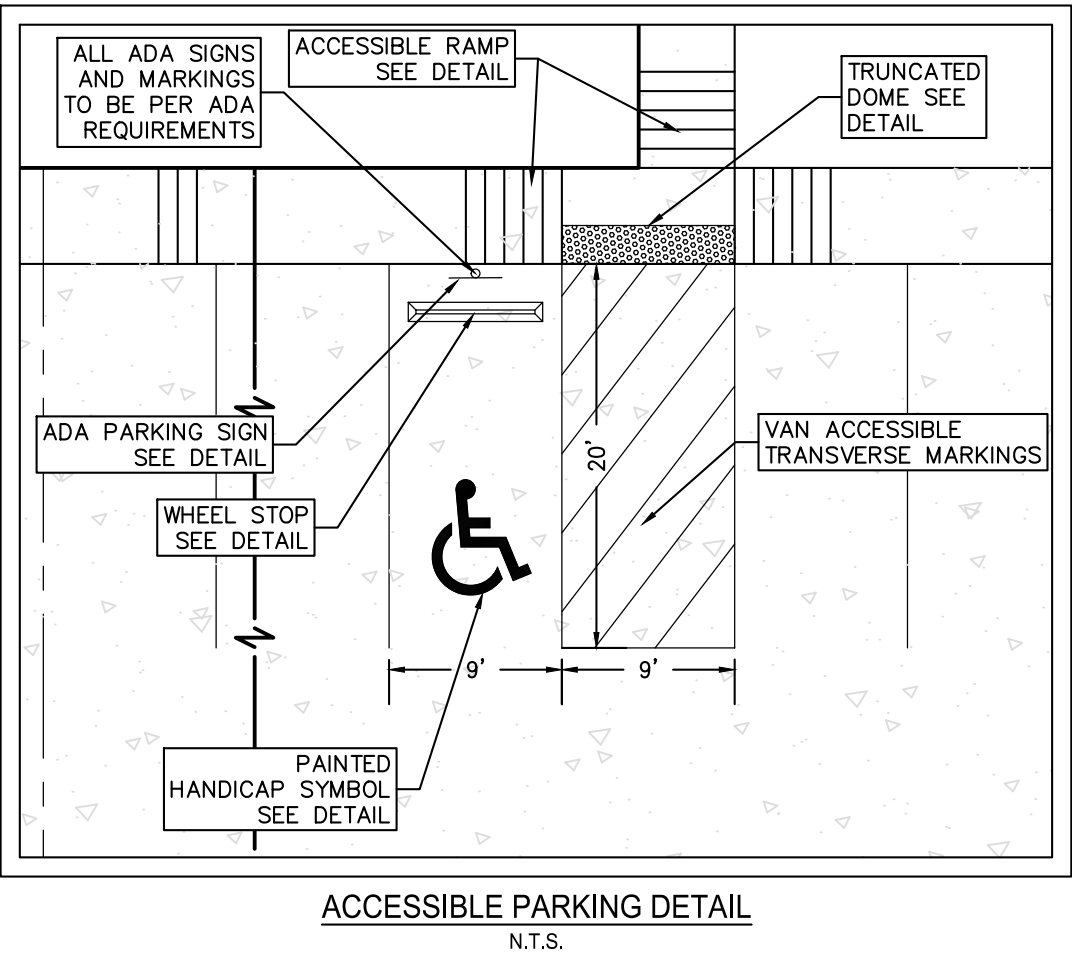
BENCHMARK
BENCHMARK #1
IRON ROD
ELEV. 660.29'
NORTHING: 447,715.3
EASTING: 1,621,171.9
TENNESSEE COORDINATE
SYSTEM OF 1983
NAVD 88

WARNING! UTILITY LINES!
THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

LEGEND

EXISTING	PROPOSED
WATER MAIN	WATER MAIN
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
OVERHEAD	OVERHEAD
FENCE	FENCE
GAS	GAS
DRAINAGE DITCH	DRAINAGE DITCH
TREE PROTECTION FENCE	TREE PROTECTION FENCE
UTILITY POLE	UTILITY POLE
IRON PIN SET	IRON PIN SET
EXISTING IRON PIN	EXISTING IRON PIN
CONCRETE MONUMENT	CONCRETE MONUMENT
DECIDUOUS TREE	DECIDUOUS TREE
GATE VALVE IN BOX	GATE VALVE IN BOX
LIGHT POLE	LIGHT POLE
BENCHMARK	BENCHMARK

ACCESSIBLE PARKING DETAIL
N.T.S.



FLOOD STUDY NOTE:
THE PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM's) MAP NUMBER 47119C0270E DATED APRIL 16, 2007.

- GENERAL NOTES:**
- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS, AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS.
 - THERE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT, 10 FT IN WIDTH ON FRONT AND REAR PROPERTY LINES AND ON ALL PROPERTY LINES PARALLEL TO OR ABUTTING ROADS, AND THERE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT, 5 FT IN WIDTH ON ALL OTHER INTERIOR LOT LINES, EXCEPT AS OTHERWISE SHOWN.
 - TEMPORARY INLET FILTERS SHALL BE INSTALLED IN ALL EXISTING CATCH BASINS IN AREA PRIOR TO EARTH DISRUPTION.
 - EXISTING UTILITIES AS SHOWN INDICATE THE APPROXIMATE LOCATION OF FACILITIES ONLY AND NO GUARANTEE IS GIVEN TO THE COMPLETENESS OR ACCURACY THEREOF. NO EXCAVATION MAY BE MADE WITHIN 5 FEET OF THESE UTILITIES UNLESS AND UNTIL SUCH UTILITIES HAVE BEEN POSITIVELY LOCATED AS TO HORIZONTAL AND VERTICAL POSITION. CONTRACTOR SHALL CONTACT "TENNESSEE ONE CALL" AT 1-800-351-1111 THREE WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 - ALL RADII ARE 3' UNLESS DIMENSIONED.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND ANY UNDERGROUND ELECTRIC LINES DO NOT CONFLICT WITH SEWAGE LINES OR STORM SEWERS. INSTALL ALL UTILITIES PRIOR TO FINAL PAVEMENT CONSTRUCTION.
 - BACKFILL UTILITY TRENCHES UNDER PAVEMENT AREAS WITH CRUSHED STONE, OR GRAVEL, BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL.
 - CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, BUILDINGS, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.
 - THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THESE UNDERGROUND CABLES AND/OR LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.
 - THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBstantiate OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL REPAIR ANY CONTRACTOR CAUSED DAMAGE, ACCORDING TO THE LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL ALSO COORDINATE ALL CONSTRUCTION TO MAINTAIN REQUIRED SERVICES TO THE EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY(IES).

- PAVING NOTES:**
- PROPOSED PAVEMENT CROSS-SECTION TO CONFORM TO CITY OF MT PLEASANT STANDARDS. REFERENCE DETAIL PROVIDED.
 - ALL CURVE RADII = 3' (THREE FEET) UNLESS NOTED OTHERWISE.
 - SURFACES TO RECEIVE MARKING PAINT SHALL BE CLEAN, DRY AND METAL SURFACES ARE TO BE FREE FROM HEAVY RUST.
 - YELLOW CURBING AND BOLLARDS ARE TO RECEIVE 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55300.
 - 4" WIDE TRANSVERSE PAVEMENT MARKING TO RECEIVE TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOW TMS405.
 - ACCESSIBLE SPACES TO RECEIVE TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE.

- STORMWATER NOTES:**
- ROOF DRAINAGE TO SHEET FLOW ACROSS PAVEMENT AT THE REAR OF THE BUILDING, INTO THE PROPOSED DRAINAGE SYSTEM.
 - SUBJECT PROPERTY IS NOT IN A FLOODPLAIN AS PER F.I.R.M. F.E.M.A. COMMUNITY PLAN # 47119C0270E, DATED APRIL 16, 2007.

- WATERMAIN NOTES:**
- COORDINATE INSTALLATION OF PROPOSED WATER SERVICE METER WITH THE MOUNT PLEASANT UTILITY DEPARTMENT.
 - ALL PROPOSED WATER MAINS AND SERVICES TO BE INSTALLED PER THE STANDARD SPECIFICATIONS OF THE CITY OF MT PLEASANT, TENNESSEE.
 - MAINTAIN A 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN THE WATER SERVICE LINES AND OTHER UTILITIES WHERE FEASIBLE.
 - ALL EXISTING UTILITIES ARE TO BE PROTECTED DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT. COORDINATE ALL UTILITY REPAIRS WITH THE RELEVANT UTILITY SERVICE PROVIDERS.

- SANITARY SEWER LEAD NOTES:**
- MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE, AND 10' HORIZONTAL LEARNANCE BETWEEN ALL UTILITIES.
 - ALL MATERIALS AND WORKMANSHIP FOR SANITARY SEWER LEADS SHALL BE IN STRICT COMPLIANCE WITH CURRENT TDEC STANDARDS.
 - SEWER SERVICE LEADS ARE TO BE EXTENDED TO A POINT 5-FT. OUTSIDE THE BUILDING WHERE THE PLUMBING CONTRACTOR WILL COMPLETE THE CONNECTION TO THE BUILDING PLUMBING SYSTEM.
 - ALL SANITARY SEWER LEADS WITHIN A 1:1 INFLUENCE OF EXISTING, PROPOSED, OR FUTURE PAVEMENT SHALL HAVE COMPACTED SAND BACKFILL.
 - SANITARY SEWER SERVICE CONNECTION AND GRINDER PUMP STATION SHALL MEET THE CITY OF MT. PLEASANT STANDARD SEWER SPECIFICATIONS (TDEC APPROVED SPECIFICATIONS DATED 4/25/24).

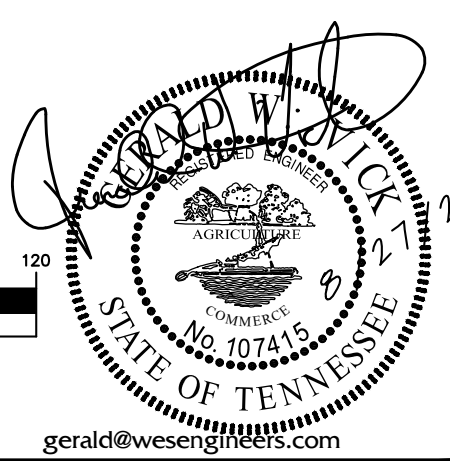
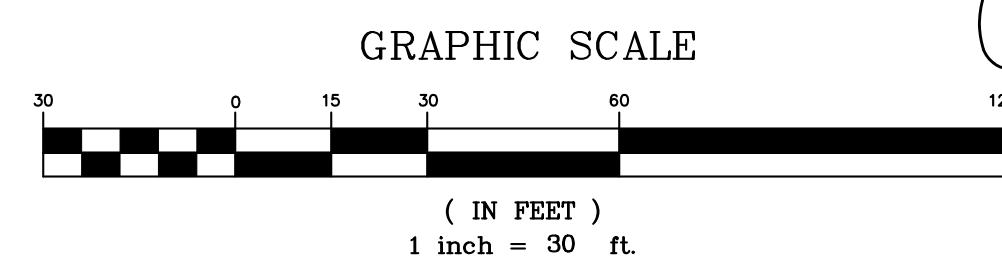
- ELECTRICAL CONDUIT NOTES:**
- ALL BUILDERS, CONTRACTORS, AND ELECTRICIANS MUST MEET WITH MT PLEASANT POWER SYSTEM BEFORE CONSTRUCTION.
 - ALL ELECTRICAL CONNECTIONS AND FACILITIES TO CONFORM TO CURRENT MT PLEASANT POWER SYSTEMS STANDARDS.

GEOTECHNICAL NOTE:
CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT MAY IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER. BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED, ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE AGREEMENT OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

SITE BENCHMARK NOTE:
CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:

WES E ENGINEERS & SURVEYORS
2486 NASHVILLE HWY
COLUMBIA, TENNESSEE 38401
(931) 388-2329



RELEASED FOR CONSTRUCTION WHEN APPROVED BY MUNICIPALITY

WES E ENGINEERS & SURVEYORS
CIVIL ENGINEERS & LAND SURVEYORS
2486 NASHVILLE HIGHWAY
COLUMBIA, TN 38401
PHONE: (931) 388-2329
www.wesengineers.com

LAB LAND HOLDINGS, LLC (HELIOS)
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(615) 229-9407

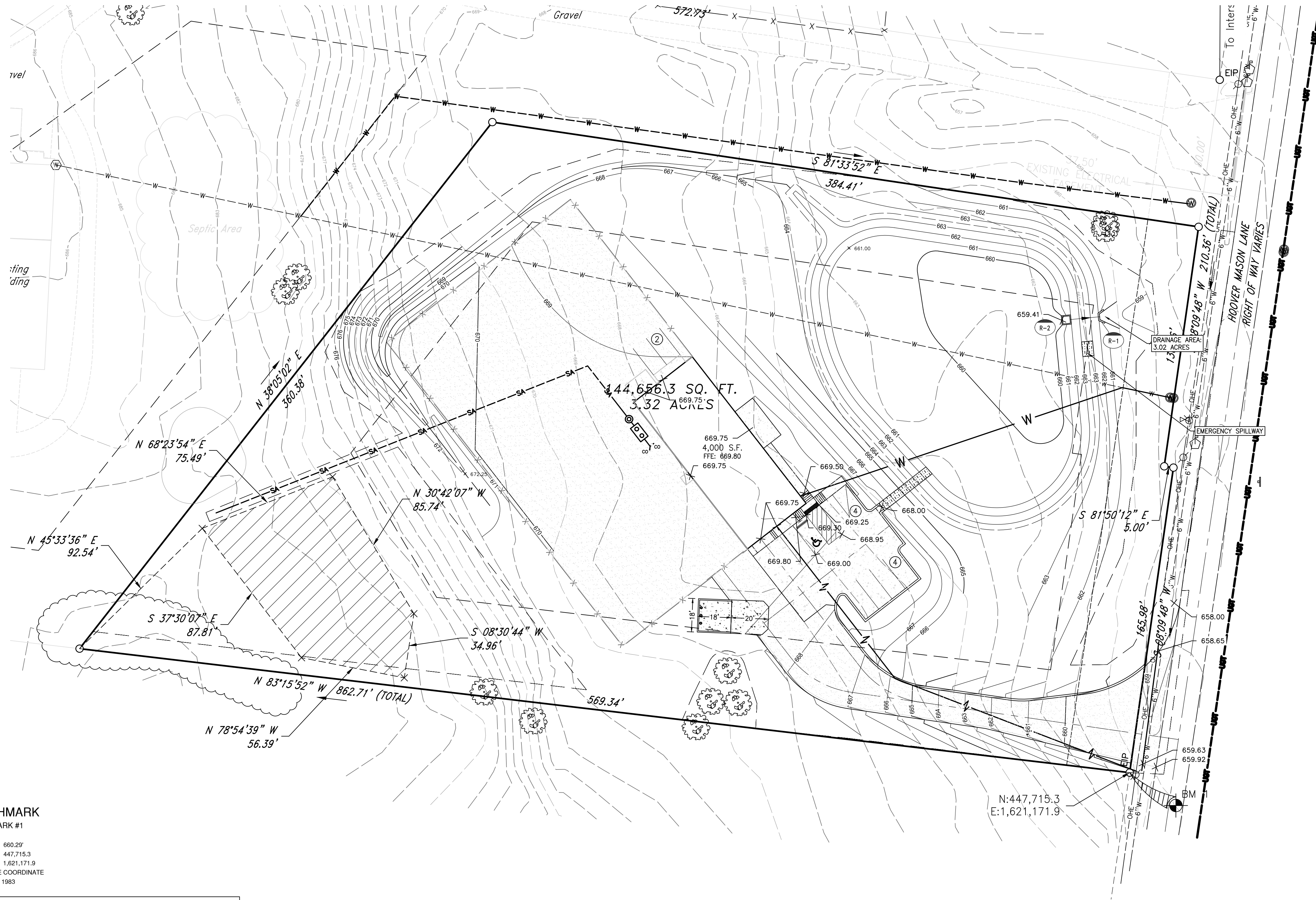
REVISIONS	DATE	Client
Addressed Staff Comments	8/27/25	

Drawn: bo
Checked: ar
Approved: cv
Date: 8/1/2025

Job no. 25526
Scale: Vertical: Horizontal: 1"=30'

C-10

GRADING AND DRAINAGE PLAN

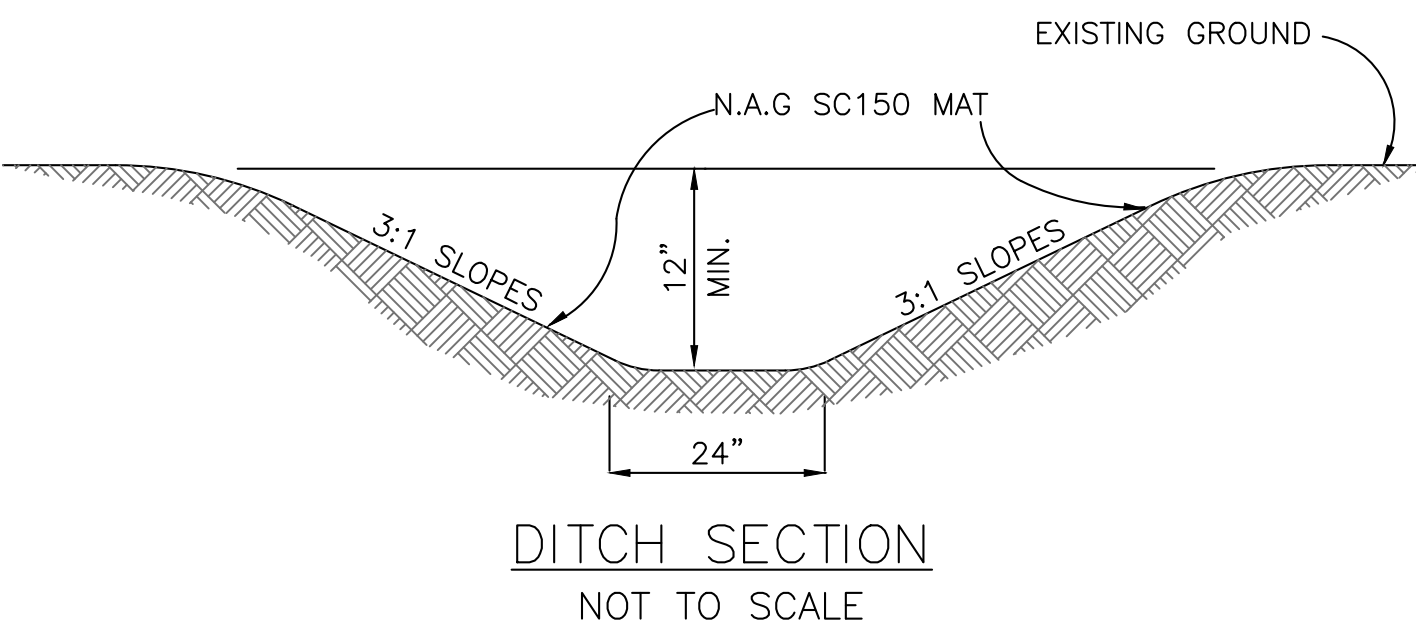


GENERAL GRADING AND DRAINAGE NOTES

- ALL GRADING AND DRAINAGE WORK AS SHOWN ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL ENGINEERING DEPARTMENT.
- THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. THE CONTRACTOR SHALL ALSO COMPLY WITH ALL LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS RELATING TO THE CONSTRUCTION OF THE ITEMS SHOWN ON THESE PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO AVOID DAMAGE TO ALL EXISTING UTILITIES TO REMAIN DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH EXISTING INSTALLATIONS, FULL REPAIR SHALL BE AT THE EXPENSE OF THE CONTRACTOR AND SHALL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATIONS FOR SUCH WORK FOR THE RESPONSIBLE AGENCY.
- THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES (I.E. WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC.) AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION FROM ACTUAL SURVEYS, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES. HOWEVER, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT THE ACTUAL LOCATIONS OF UTILITIES SHOWN MAY VARY SOMEWHAT FROM THE LOCATIONS DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND UTILITIES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE UTILITIES.
- ALL DELETERIOUS MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR AS PER THE INSPECTION AND FINAL APPROVAL OF THE ENGINEER AND OWNER. ALL FILL MATERIAL TO BE USED FOR SITE GRADING SHALL BE AN INORGANIC SOIL, FREE OF DEBRIS AND APPROVED BY THE ENGINEER AND OWNER.
- THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE SOIL AND ROCK ONLY, FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 95% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 12 INCHES BENEATH PAVEMENT AND GRADE SLABS.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC., BEFORE ORDERING MATERIALS AND PROCEEDING WITH WORK, AND IS RESPONSIBLE FOR THE SAME.
- CONTRACTOR IS RESPONSIBLE FOR SECURING WRITTEN APPROVAL FROM ADJOINING PROPERTY OWNER FOR OFF-SITE GRADING WORK THAT RESULTS FROM CONSTRUCTION ACTIVITIES.

BERM CONSTRUCTION NOTES

- AREAS UNDER THE EMBANKMENT OR ANY STRUCTURAL WORKS RELATED TO THE BASIN SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL, TREES, VEGETATION, ROOTS, OR OTHER OBJECTIONABLE MATERIAL. IN ORDER TO FACILITATE CLEANSING AND RESTORATION, THE AREA OF MOST FREQUENT INUNDATION (MEASURED FROM THE TOP OF THE PRINCIPAL SPILLWAY) WILL BE CLEARED OF ALL BRUSH AND TREES.
- THE PLACING AND SPREADING OF EMBANKMENT MATERIALS IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8\"/>



DITCH SECTION
NOT TO SCALE

GEOTECHNICAL NOTE:

CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER. BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED, ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

SITE BENCHMARK NOTE:

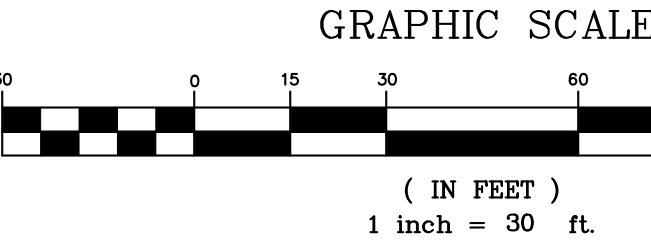
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BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:

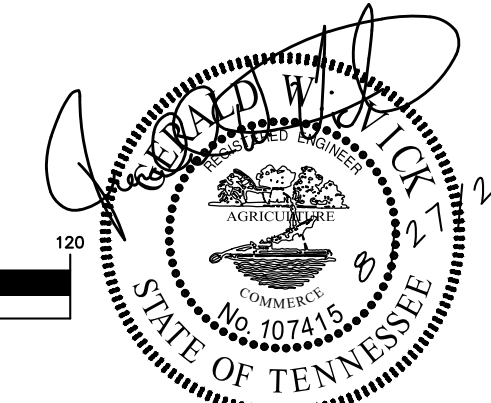
WES E.S. ENGINEERS AND SURVEYORS
2486 NASHVILLE HWY
COLUMBIA, TENNESSEE 38401
(931) 388-2329

FLOOD STUDY NOTE:

THE PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM's) MAP NUMBER 47117C0270E DATED APRIL 16, 2007.



gerald@wesengineers.com



BENCHMARK

BENCHMARK #1
IRON ROD
ELEV. 660.29'
NORTHING: 447,715.3
EASTING: 1,621,171.9
TENNESSEE COORDINATE
SYSTEM OF 1983
NAVD 88

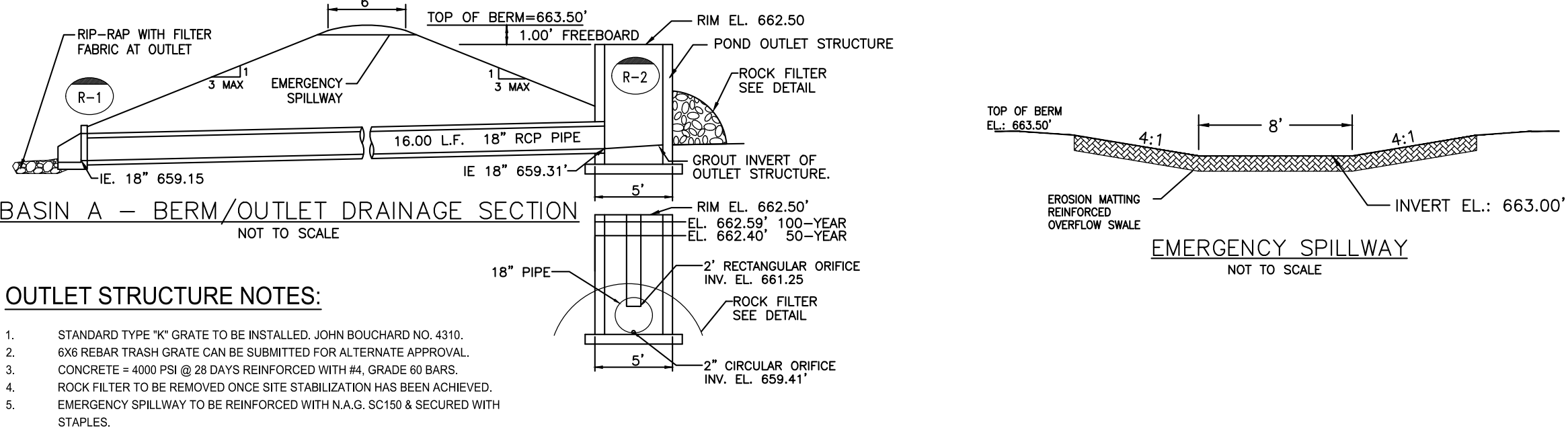
WARNING! UTILITY LINES!

THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

LEGEND

EXISTING	PROPOSED
WATER MAIN	18\"/>
SANITARY SEWER	18\"/>
STORM SEWER	18\"/>
OVERHEAD FENCE	18\"/>
GAS	18\"/>
DRAINAGE DITCH	18\"/>
TREE PROTECTION FENCE	18\"/>
UTILITY POLE	18\"/>
IRON PIN SET	18\"/>
EXISTING IRON PIN	18\"/>
CONCRETE MONUMENT	18\"/>
DECIDUOUS TREE	18\"/>
GATE VALVE IN BOX	18\"/>
LIGHT POLE	18\"/>
BENCHMARK	18\"/>

DETENTION BASIN A DETAILS

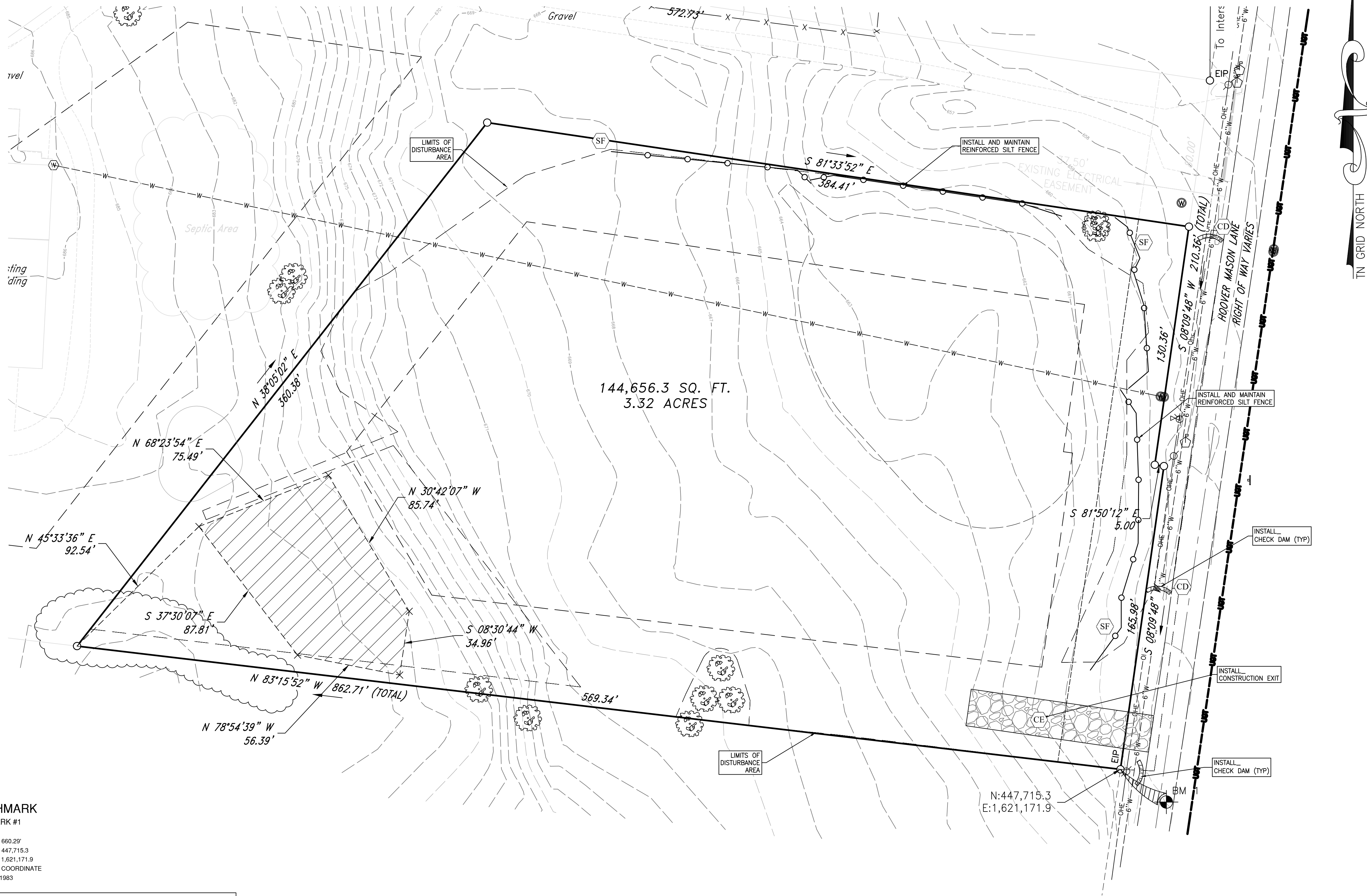


OUTLET STRUCTURE NOTES:

- STANDARD TYPE \"C\" GRATE TO BE INSTALLED. JOHN BOUCHARD NO. 4310.
- 6X6 REBAR TRASH GRATE CAN BE SUBMITTED FOR ALTERNATE APPROVAL.
- CONCRETE = 4000 PSI @ 28 DAYS REINFORCED WITH #4, GRADE 60 BARS.
- ROCK FILTER TO BE REMOVED ONCE SITE STABILIZATION HAS BEEN ACHIEVED.
- EMERGENCY SPILLWAY TO BE REINFORCED WITH N.A.G. SC-150 & SECURED WITH STAPLES.



EROSION PREVENTION AND SEDIMENT CONTROL PLAN PHASE 1



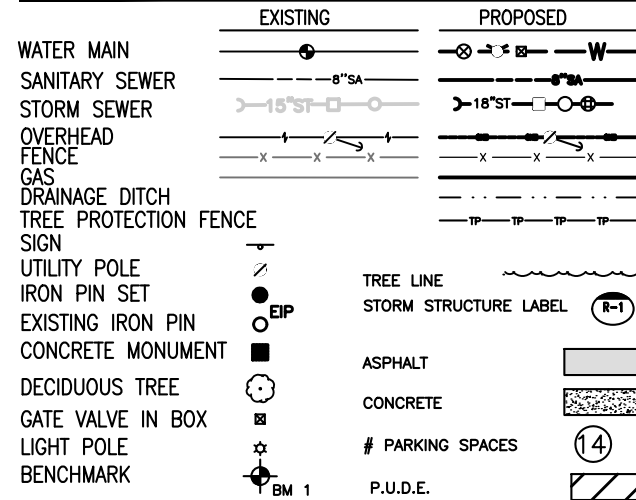
BENCHMARK

BENCHMARK #1
IRON ROD
ELEV. 660.29'
NORTHING: 447,715.3
EASTING: 1,621,171.9
TENNESSEE COORDINATE
SYSTEM OF 1983
NAVD 88

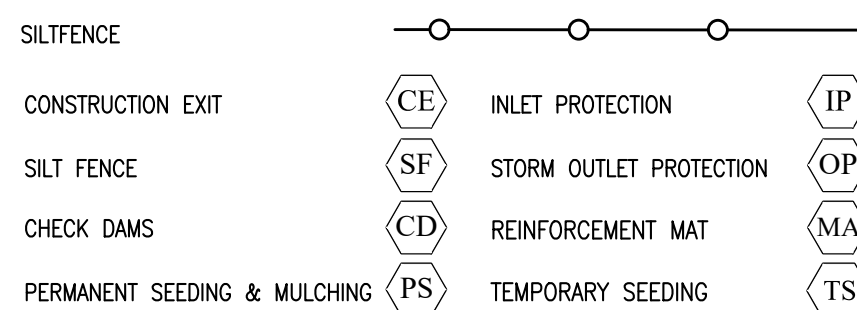
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LEGEND



SOIL EROSION PROTECTION AND CONTROL MEASURES



FLOOD STUDY NOTE:

THE PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD
AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY
FLOOD INSURANCE RATE MAPS (FIRM's) MAP NUMBER
47117C0270E DATED APRIL 16, 2007.

EPSC PHASE 1:

PHASE 1

- CONSTRUCT CONSTRUCTION EXIT AND TEMPORARY EPSC MEASURES.
- CALL THE TOWN OF MT PLEASANT FOR INSPECTION OF EROSION CONTROL INSTALLATION PRIOR TO PROCEEDING.
- TEMPORARY SEED AND STABILIZATION OF EACH DISTURBED AREA BEFORE PROCEEDING TO NEXT AREA.

EROSION/SILTATION CONTROL NOTES

1. EXPOSED AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MINIMUM WHENEVER POSSIBLE.
2. KEEP UPSTAIR WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS AFTER THE TIME OF THE OVERNIGHT REPRESENTATIVE.
3. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
4. NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SLIDATION CONTROL MEASURES SHOWN ON THE PLAN ARE FULLY INSTALLED AND FUNCTIONING IN PLACE. IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SLIDATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH ACTION AS IS REQUIRED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
5. EROSION/SLIDATION FENCING SHOWN IS TO BE USED AS A TEMPORARY SEDIMENT BARRIER. FENCING IS TO BE FIRM AND SECURELY TIED AS SHOWN ON THE INCLUDED DETAIL.
6. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM SEDIMENT LOSS DURING AND UPON COMPLETION OF CONSTRUCTION.
7. THE PROTECTION OF EXISTING VEGETATION AND THE PROTECTION OF A STABLE STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SLIDATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSED AREAS OF THE PROJECT.
8. MINIMUM RAMP WIDTH SHALL BE 10 FEET. MINIMUM RAMP WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. RAMP IS TO BE BASED WITH 6 INCHES INCHES OF ASTM D 488, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
9. EROSION, SEDIMENT CONTROL, MUST BE IMPLEMENTED AND MAINTAINED. PERFORMANCE SHALL BE ACCORDING TO EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES HANDBOOK". AUGUST 2012. FAILURE TO COMPLY TO THESE BMP PRACTICES MAY RESULT IN A STOP WORK ORDER AND FINES.
10. IN AREAS OF 2:1 OR GREATER SLOPE THAT EXCEED 5 FEET IN UNINTERRUPTED EXPOSED ELEVATION COVERED BY THE NORTH AMERICAN GREEN SC150 EROSION CONTROL MAT, SEED FOR STABILIZATION (TEMPORARY OR PERMANENT). FOLLOW STABILIZATION PLAN INCLUDED IN APPROVED SWPPP FOR TEMPORARY & PERMANENT STABILIZATION OF SITE.
11. ALL EXPOSED INLETS WILL BE INSTALLED WITH SLIT FENCE EROSION PROTECTION OR APPROVED MAT TYPE INLET FILTER UNTIL STABILIZATION IS ESTABLISHED.
12. PHASE 1: EROSION CONTROL ADJUSTMENTS TO BE MADE WHEN SLOPE CONSTRUCTION BEGINS TO KEEP SLIT FENCE, TO TOP OF SLOPE.
13. PHASE 2: EROSION CONTROL ADJUSTMENTS TO BE MADE WHEN SLOPE CONSTRUCTION BEGINS TO KEEP SLIT FENCE, TO TOP OF SLOPE.
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85. PHASE 74

BEST MANAGEMENT PRACTICES (BMP) NOTES:

1. LAND CLEARING SHALL TAKE PLACE ONLY IN AREAS WHERE ACTIVE CONSTRUCTION WILL BEGIN WITHIN A REASONABLE AMOUNT OF TIME. LAND CLEARING DURING THE WINTER SEASON SHALL BE AVOIDED IN SENSITIVE AREAS SUCH AS STEEP SLOPES AND AREAS WHERE EROSION IS POSSIBLE.
2. DENuded AREAS, STOCK PILES/STOCKS, DIKES, DAMS, CHANNELS, ETC. ARE TO BE SEEDDED AND MULCHED. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 14 DAYS. SUCH AREAS ARE TO BE IMMEDIATELY RECEIVE SEED AND MULCH STABILIZATION FOLLOWING THIS TIME PERIOD. ON STEEP SLOPES, STABILIZATION SHALL BE MATTING SHALL BE USED. ON FLAT AREAS, MATTING WITH WIRE STAPLES OR WOOD PEGS, WHERE SURFACE WATER CANNOT BE DIVERTED FROM FLOWING OVER THE FACE OF SLOPES, INSTALL A STRIP OF EROSION CONTROL MATTING AND FASTEN TIGHT ALONG THE CROWN OR TOP OF THE SLOPE FOR EXTRA PROTECTION AGAINST EROSION.
3. STEEP AND UNSTABLE SLOPES SHALL NOT BE DISTURBED IF THEY ARE OUTSIDE OF THE APPROVED GRADING PLAN AREA. RUNOFF SHALL BE CONVEYED FROM THE TOP OF THE SLOPE IN A SAFE MANNER ENSURING THAT THE SLOPE IS STABILIZED AS SOON AS POSSIBLE. RUNOFF SHALL BE CONVEYED TO A STABLE LOCATION WHERE IT SHALL BE FREE OF EXCESSIVE SEDIMENT, AND OTHER POLLUTANTS.
4. STREET AND/OR CURB INLET PROTECTION DEVICES SHALL BE PLACED AROUND ALL INLETS UPON THE CONSTRUCTION OF THE STORM WATER SEWER SYSTEM.
5. ALL MATTED AREAS TO RECEIVE PERMANENT SEEDING.
6. PLEASE ADVISE THE LOCAL AGENCY OF ANY INSPECTION OF EROSION CONTROL MEASURES BEFORE GRADING COMMENCES.

SUPPLEMENTAL NOTES

1. THE CONTRACTOR MUST OBTAIN AND REVIEW A COPY OF THE APPROVED STORM WATER POLLUTION PLAN SUBMITTED TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION. CONTRACTOR IS EXPECTED TO READ AND FOLLOW THIS PLAN DURING THE CONSTRUCTION OF THIS PROJECT. THE APPROVED SWPPP IS CONSIDERED TO BE A PART OF THE FINAL CONSTRUCTION DOCUMENTS.
2. THE EROSION PREVENTION & SEDIMENT CONTROL MEASURES INCLUDED ON THIS PLAN SHALL REPRESENT THE MINIMUM MEASURES TO BE INSTALLED PRIOR TO THE START OF EARTH DISTURBANCE IN THE AFFECTED AREA.
ADJUSTMENTS TO THE EPC MEASURES WILL BE REQUIRED DURING NORMAL PROGRESSION OF THE PROJECT. REVIEW ALL PHASES OF THE EPC PLANS INCLUDED IN THE SWPPP FOR ADDITIONAL INFORMATION. STAGES ASSOCIATED WITH THESE ADJUSTMENTS ARE TO BE INCLUDED IN OTHER ITEMS OF CONSTRUCTION.
4. UNDERCUT / REPLACEMENT OF SOFT SOILS SHALL BE PERFORMED AT THE DIRECTION OF THE OWNER AND FOLLOWING THE REQUIREMENTS ESTABLISHED BY THE GEOTECHNICAL ENGINEER. THE REPLACEMENT OF MATERIAL MAY INCLUDE EXISTING SOILS MEETING THE GEOTECHNICAL REQUIREMENTS.
5. CONTRACTOR IS TO MARK THE LIMIT OF DISTURBANCE PRIOR TO START OF CONSTRUCTION AND OBSERVE THESE LIMITS FOR THE DURATION OF THE PROJECT.
6. MAINTAIN EROSION CONTROL MEASURES AS INDICATED IN THE SWPPP BETWEEN PHASES AND REPLACE BMP MATERIALS BEFORE FAILURE RESULTS DUE TO DEGRADATION.


GEOTECHNICAL NOTE:

CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN, IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIATION OR ADDRESSING OF THE CONDITIONS. IN ALL AGREES TO THE PROCESS OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN THE AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.


SITE BENCHMARK NOTE:

CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

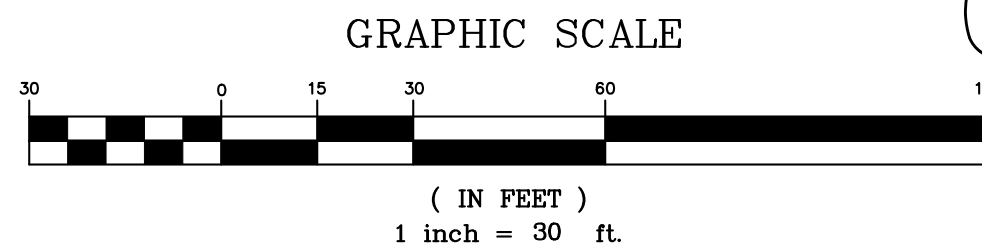
BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY

**WES**
ENGINEERS & SURVEYORS

W.E.S. ENGINEERS AND SURVEYORS
2486 NASHVILLE HWY
COLUMBIA, TENNESSEE 38401
(931) 388-2329



W.E.S. ENGINEERS AND SURVEYORS
2486 NASHVILLE HWY
COLUMBIA, TENNESSEE 38401
(931) 388-2329



gerald@wesengineers.com

RELEASED FOR CONSTRUCTION WHEN
APPROVED BY MUNICIPALITY

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COLUMBIA, TN 38401
PHONE: (931) 388-2329
www.wesengineers.com

Client
LAB LAND HOLDINGS, LLC
2411 DARKS MILL ROAD
COLUMBIA, TN 38401
(763) 229-9407

REVISIONS	DATE
Addressed Staff Comments	8/27/25

LAB LAND HOLDINGS, LLC (HELIOS)

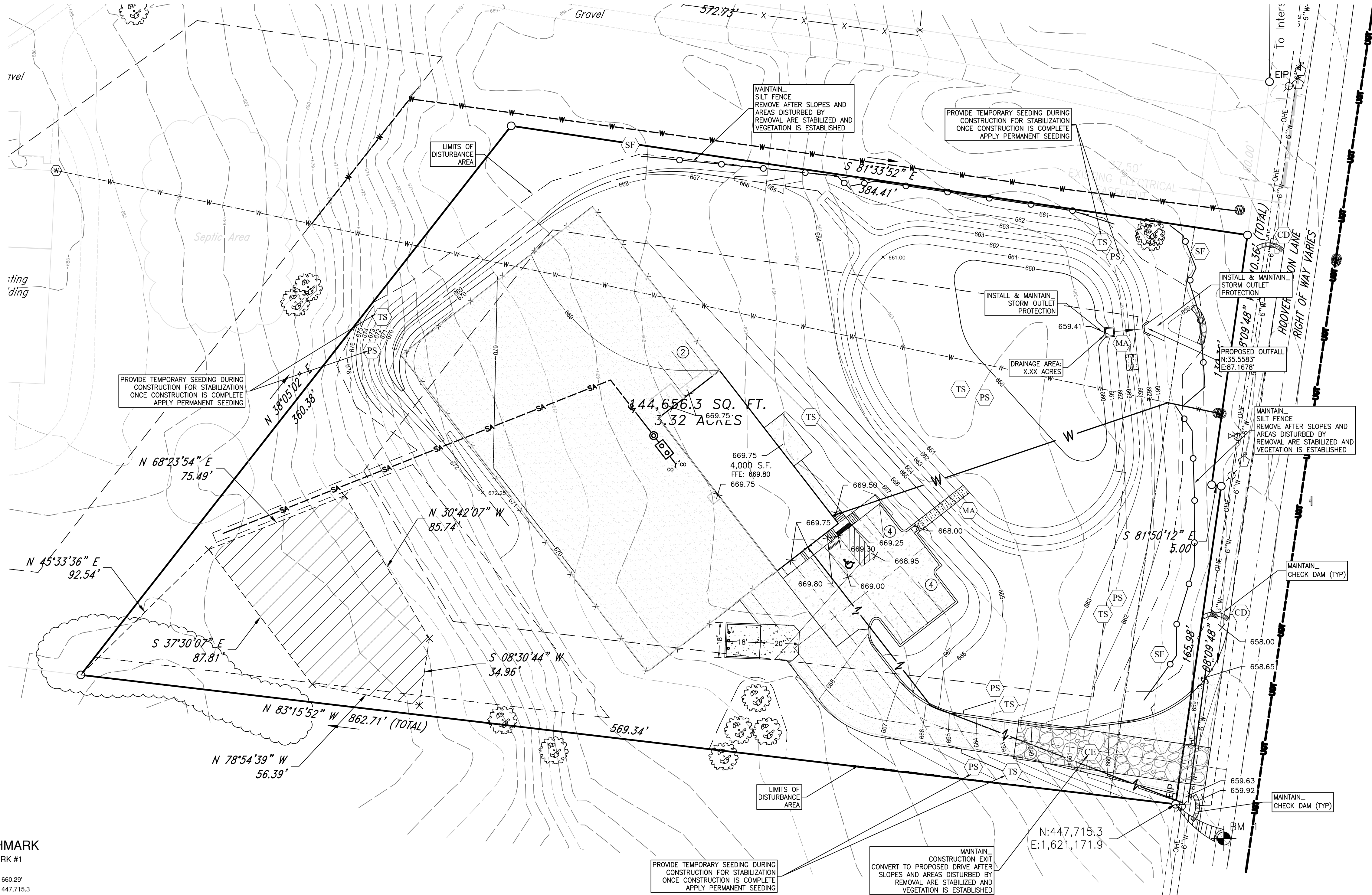
6920 HOOVER MASON LANE
MOUNT PLEASANT, MAURY COUNTY, TENNESSEE 38474

EROSION PREVENTION AND SEDIMENT CONTROL PLAN PHASE 1

Subj. no.	25526
Scale:	_____
Vertical:	_____
Horizontal:	1°=30'
Drawn: bo	
Checked: gv	
Approved: gv	
Date: 8/11/2025	

C-3.0

EROSION PREVENTION AND SEDIMENT CONTROL PLAN PHASE 2



WARNING! UTILITY LINES!

THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

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SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
OVERHEAD FENCE	OVERHEAD FENCE
GAS	GAS
DRAINAGE DITCH	DRAINAGE DITCH
TRIPLE PROTECTION FENCE	TRIPLE PROTECTION FENCE
SIGN	SIGN
UTILITY POLE	UTILITY POLE
IRON PIN SET	IRON PIN SET
EXISTING IRON PIN	EXISTING IRON PIN
CONCRETE MONUMENT	CONCRETE MONUMENT
DECIDUOUS TREE	DECIDUOUS TREE
GATE VALVE IN BOX	GATE VALVE IN BOX
LIGHT POLE	LIGHT POLE
BENCHMARK	BENCHMARK

SOIL EROSION PROTECTION AND CONTROL MEASURES

MEASURE	SYMBOL
SILT FENCE	SF
CONSTRUCTION EXIT	CE
SILT FENCE	SF
CHECK DAMS	CD
PERMANENT SEEDING & MULCHING	PS
INLET PROTECTION	IP
STORM OUTLET PROTECTION	OP
REINFORCEMENT MAT	MA
TEMPORARY SEEDING	TS

LEGEND

SYMBOL	DESCRIPTION
Tree	TREE LINE
Storm Structure	STORM STRUCTURE LABEL
Asphalt	ASPHALT
Concrete	CONCRETE
Parking Spaces	PARKING SPACES
P.U.E.	P.U.E.

BENCHMARK

BENCHMARK #1

IRON ROD

ELEV. 660.29'

NORTHING: 447,715.3

EASTING: 1,621,171.9

TENNESSEE COORDINATE SYSTEM OF 1983

NAVD 88

FLOOD STUDY NOTE:

THE PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM'S) MAP NUMBER 47117C0270E DATED APRIL 16, 2007.

- EROSION/SILTATION CONTROL NOTES**
- EXPOSED AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MINIMUM WHENEVER POSSIBLE.
 - KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS APPROVED BY THE OWNER'S REPRESENTATIVE.
 - DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
 - NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
 - AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
 - EROSION/SILTATION FENCING SHOWN IS TO BE USED AS A TEMPORARY SEDIMENT BARRIER. FENCING IS TO BE FIRM AND SECURELY TIED AS SHOWN ON THE INCLUDED DETAIL.
 - USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM SEDIMENT LOSS DURING AND UPON COMPLETION OF CONSTRUCTION.
 - UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD & ACCEPTABLE STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSSED AREAS OF THE PROJECT.
 - A STONE ACCESS RAMP IS TO BE CONSTRUCTED WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. RAMP IS TO BE BASED WITH 6 INCHES INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - EROSION AND SEDIMENT CONTROL MUST BE IMPLEMENTED AND MAINTAINED. PERFORM ALL WORK IN ACCORDANCE WITH THE "TDEC EROSION AND SEDIMENT CONTROL HANDBOOK", AUGUST 2012. FAILURE TO COMPLY TO THESE BMP PRACTICES MAY RESULT IN A STOP WORK ORDER AND FINES.
 - IN AREAS OF 2:1 OR GREATER SLOPE THAT EXCEED 5-FEET IN UNINTERRUPTED VERTICAL ELEVATION CHANGE WILL RECEIVE NORTH AMERICAN GREEN SC150 EROSION CONTROL MAT SEED FOR STABILIZATION (TEMPORARY OR PERMANENT). FOLLOW STABILIZATION PLAN INCLUDED IN APPROVED SWPPP FOR TEMPORARY & PERMANENT STABILIZATION OF SITE.
 - ALL PROPOSED INLETS WILL BE INSTALLED WITH SILT FENCE EROSION PROTECTION OR APPROVED MAT TYPE INLET FILTER UNTIL STABILIZATION IS ESTABLISHED.
 - PHASE I EP&SC SHOWN. ADJUSTMENTS TO BE MADE WHEN SLOPE CONSTRUCTION BEGINS TO KEEP SILT FENCE @ TOE OF SLOPE.
 - ALL OPEN FLOW CHANNELS AND OUTLET STRUCTURES ARE TO RECEIVE NORTH AMERICAN GREEN SC150 EROSION CONTROL MATTING FOR STABILIZATION.

- BEST MANAGEMENT PRACTICES (BMP) NOTES:**
- LAND CLEARING SHALL TAKE PLACE ONLY IN AREAS WHERE ACTIVE CONSTRUCTION WILL BEGIN WITHIN A REASONABLE AMOUNT OF TIME. LAND CLEARING DURING THE RAINY SEASON SHALL BE AVOIDED IN SENSITIVE AREAS SUCH AS STEEP SLOPES AND BUFFERS, IF POSSIBLE.
 - DENUDED AREAS, SOIL STOCKPILES, DIKES, DAMS, CHANNELS, ETC., ARE TO BE SEEDED AND MULCHED. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 14 DAYS. SUCH AREAS ARE TO IMMEDIATELY RECEIVE SEED AND MULCH STABILIZATION FOLLOWING THIS METHOD. ON STEEP SLOPES AND CHANNELS, MATTING SHALL BE FASTENED TO THE GROUND WITH WIRE STAPLES OR WOOD PEGS. WHERE SURFACE WATER CANNOT BE DIVERTED FROM FLOWING OVER THE FACE OF SLOPES, INSTALL A STRIP OF EROSION CONTROL MATTING AND FASTEN TIGHT ALONG THE CROWN OR TOP OF THE SLOPE FOR EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOIL.
 - STEEP AND UNSTABLE SLOPES SHALL NOT BE DISTURBED IF THEY ARE OUTSIDE OF THE APPROVED GRADING PLAN AREA. RUNOFF SHALL BE CONVEYED FROM THE TOP OF THE SLOPE IN A SAFE MANNER ENSURING THAT THE SLOPE IS STABILIZED AS SOON AS POSSIBLE. ALL RUNOFF EXITING THE CONSTRUCTION SITE SHALL BE FREE OF EXCESSIVE SEDIMENT, AND OTHER POLLUTANTS.
 - STREET AND/OR CURB INLET PROTECTION DEVICES SHALL BE PLACED AROUND ALL INLETS UPON THE CONSTRUCTION OF THE STORM WATER SEWER SYSTEM.
 - ALL MATTED AREAS TO RECEIVE PERMANENT SEEDING.
 - PLEASE CALL THE LOCAL JURISDICTION FOR INSPECTION OF EROSION CONTROL MEASURES BEFORE GRADING COMMENCES.

- SUPPLEMENTAL NOTES**
- THE CONTRACTOR MUST OBTAIN AND REVIEW A COPY OF THE APPROVED STORM WATER POLLUTION PLAN SUBMITTED TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION. CONTRACTOR IS EXPECTED TO READ AND FOLLOW THIS PLAN DURING THE CONSTRUCTION OF THIS PROJECT. THE APPROVED SWPPP IS CONSIDERED TO BE A PART OF THE FINAL CONSTRUCTION DOCUMENTS.
 - THE EROSION PREVENTION & SEDIMENT CONTROL MEASURES INCLUDED ON THIS SHEET REPRESENT PHASE 2 ONLY AND ARE REQUIRED TO BE INSTALLED PRIOR TO THE START OF EARTH DISTURBANCE IN THE AFFECTED AREA.
 - ADJUSTMENTS TO THE EPSC MEASURES WILL BE REQUIRED DURING NORMAL PROGRESSION OF THE PROJECT. REVIEW ALL PHASES OF THE EPSC PLANS INCLUDED IN THE SWPPP FOR ADDITIONAL INFORMATION. COST ASSOCIATED WITH THESE ADJUSTMENTS ARE TO BE INCLUDED IN OTHER ITEMS OF CONSTRUCTION.
 - UNDERCUT / REPLACEMENT OF SOFT SOILS SHALL BE PERFORMED AT THE DIRECTION OF THE OWNER AND FOLLOWING THE REQUIREMENTS ESTABLISHED BY THE GEOTECHNICAL ENGINEER. THE REPLACEMENT OF MATERIAL MAY INCLUDE EXISTING SOILS MEETING THE GEOTECHNICAL REQUIREMENTS.
 - CONTRACTOR IS TO MARK THE LIMIT OF DISTURBANCE PRIOR TO START OF CONSTRUCTION AND OBSERVE THESE LIMITS FOR THE DURATION OF THE PROJECT.
 - MAINTAIN EROSION CONTROL MEASURES AS INDICATED IN THE SWPPP BETWEEN PHASES AND REPLACE BMP MATERIALS BEFORE FAILURE RESULTS DUE TO DEGRADATION.

GEOTECHNICAL NOTE:

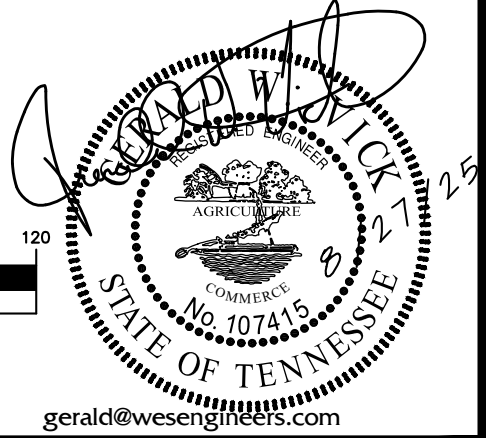
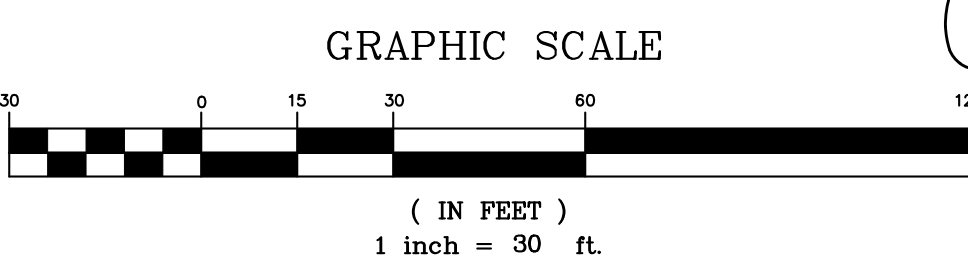
CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER. BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED, ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAXIMUM OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

SITE BENCHMARK NOTE:

CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:

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2486 NASHVILLE HWY
COLUMBIA, TENNESSEE 38401
(931) 388-2329



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Client

DATE 8/27/25

Addressed Staff Comments

REVISIONS

Drawn: bo

Checked: ar

Approved: cv

Date: 8/11/2025

Scale

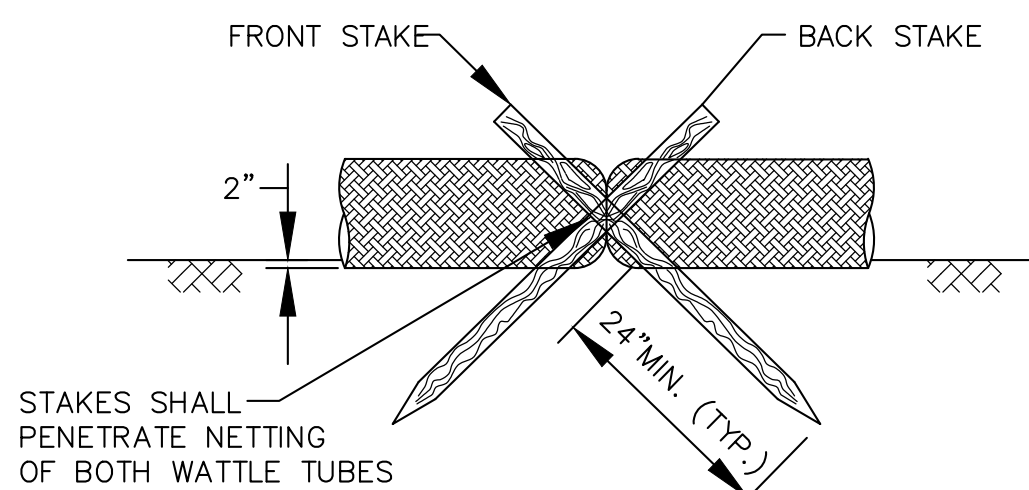
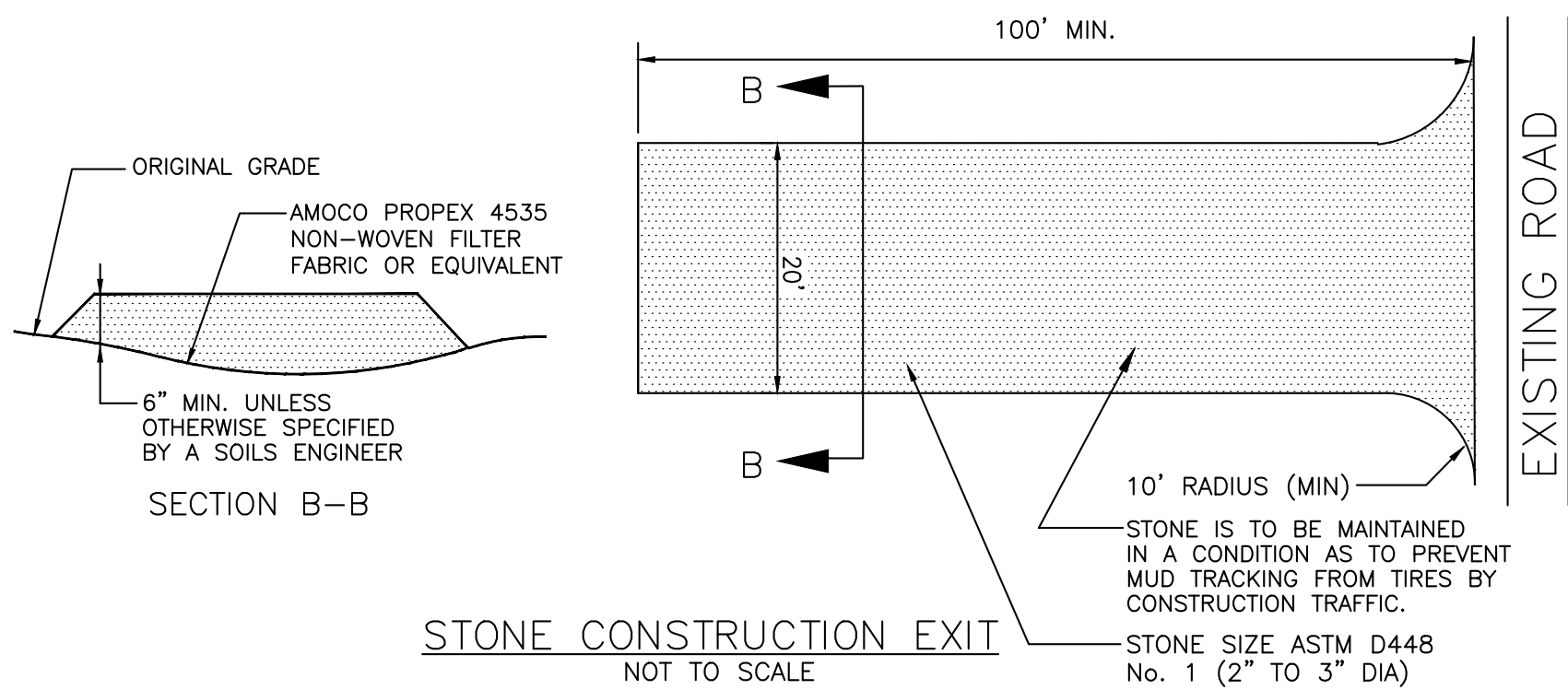
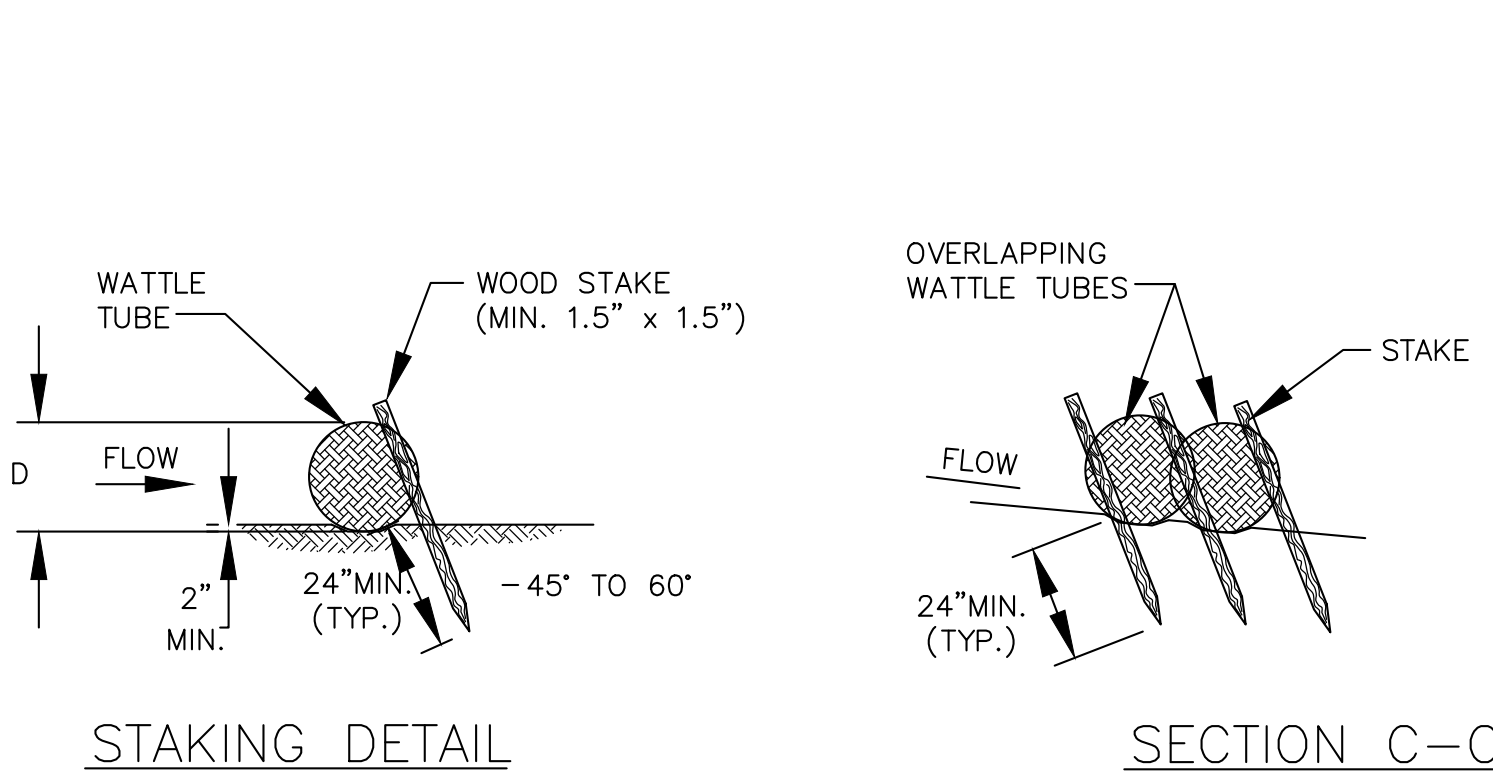
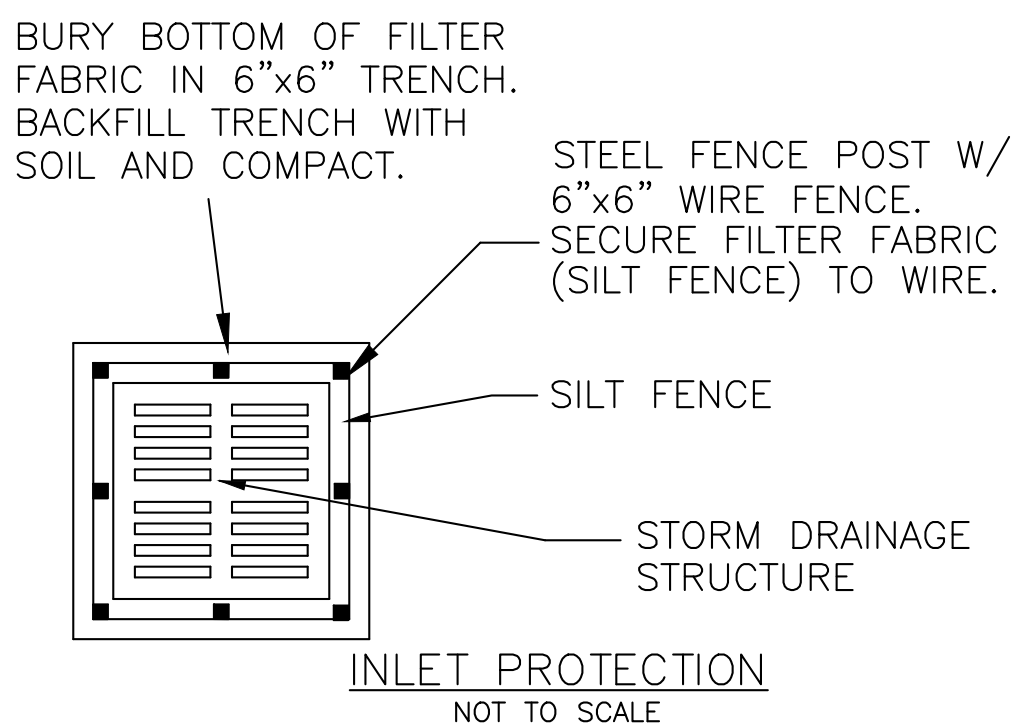
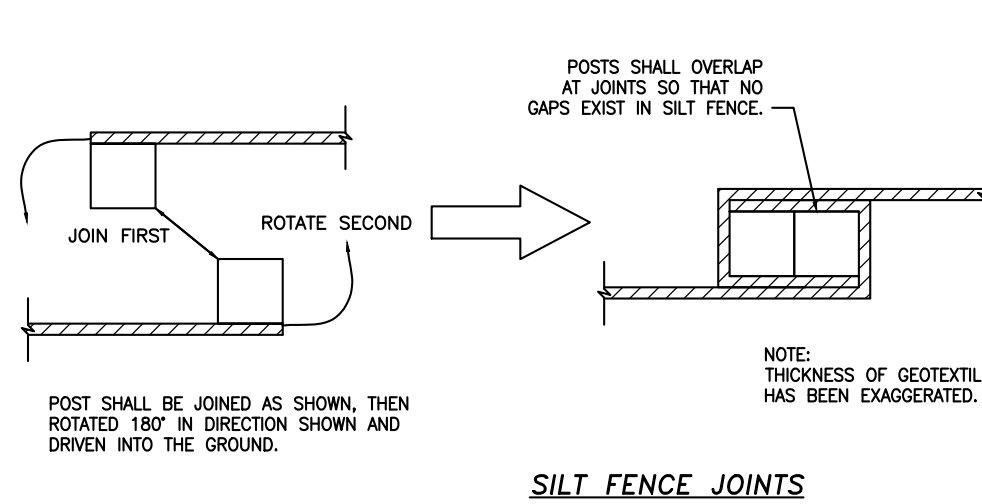
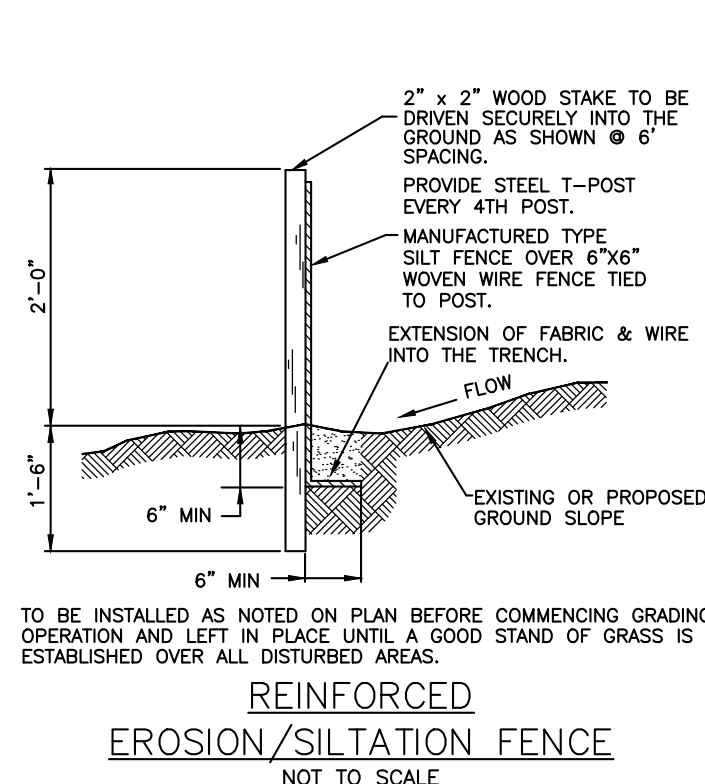
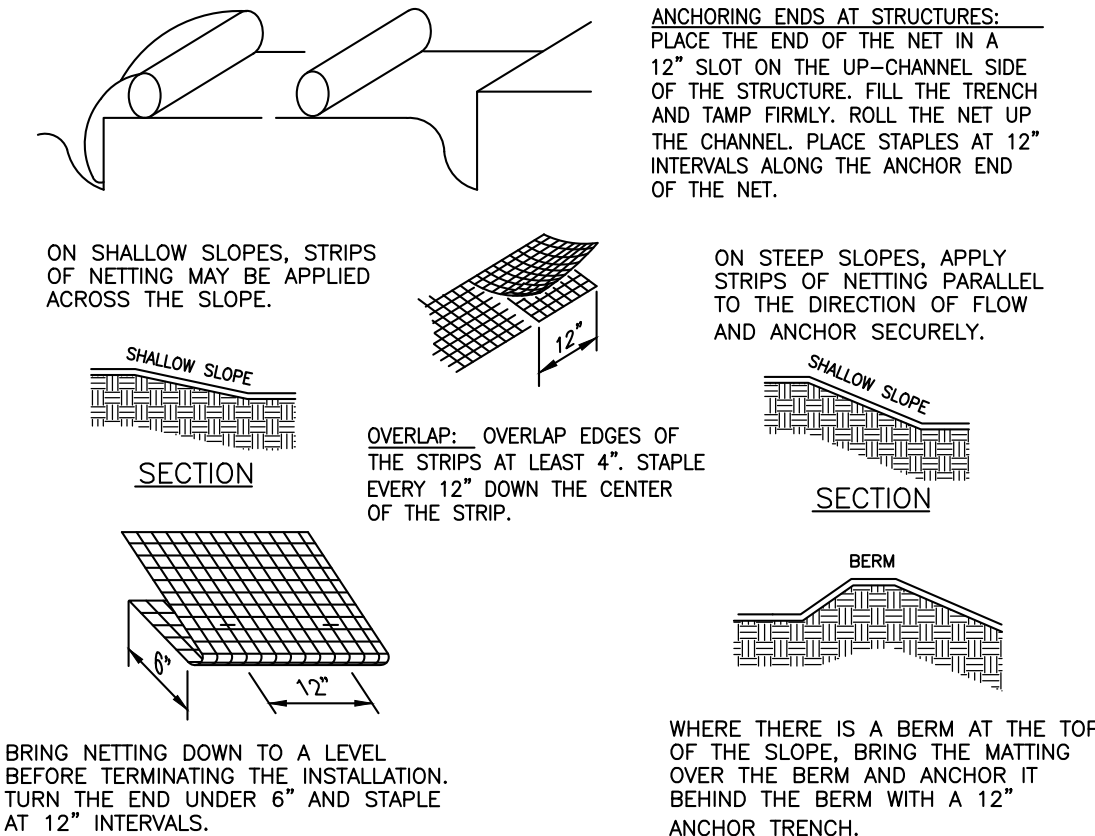
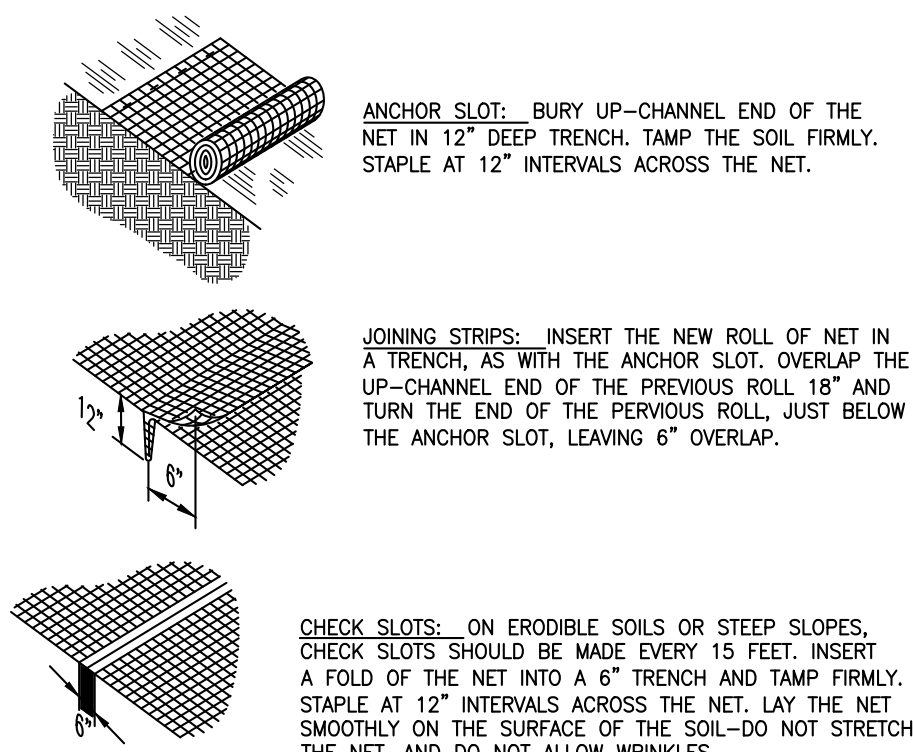
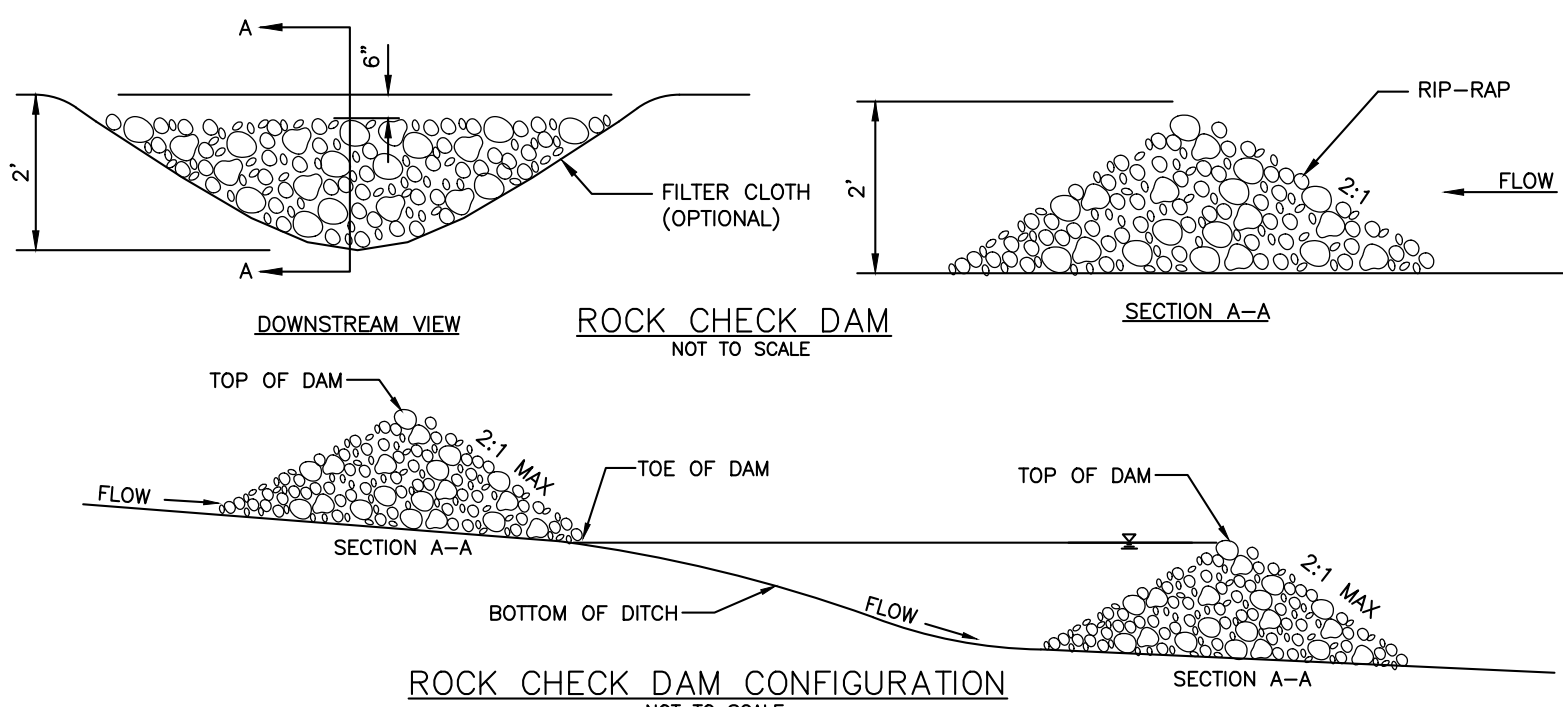
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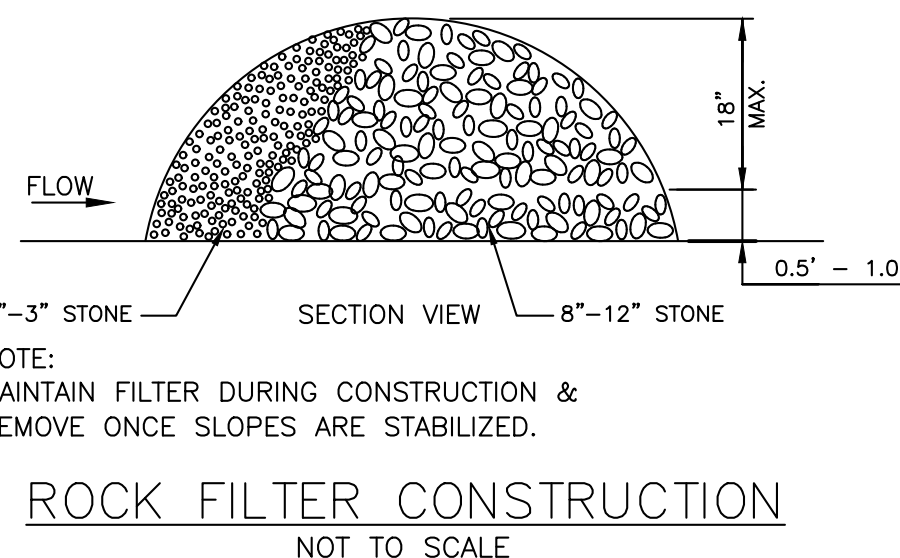
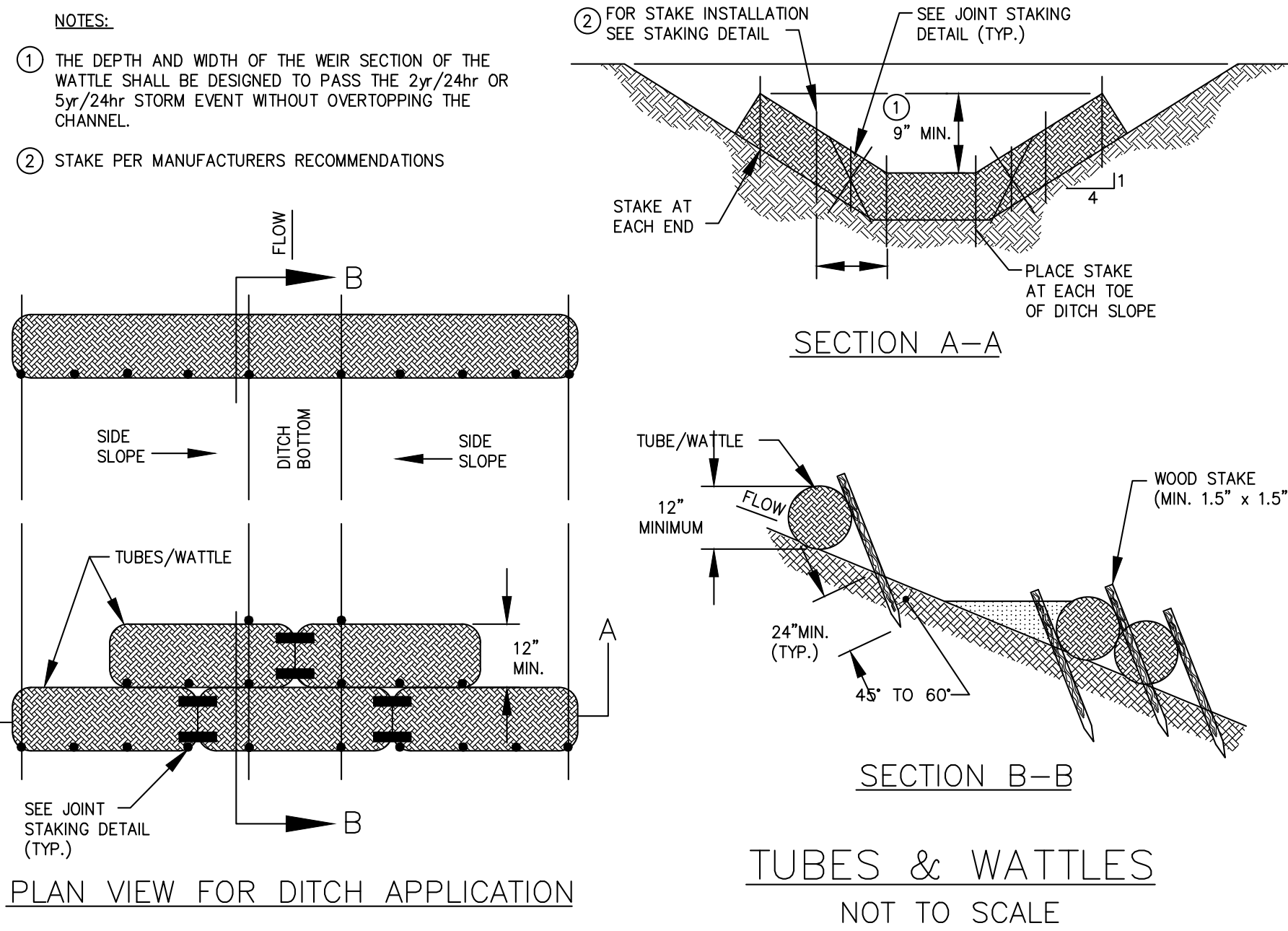
Job no. 25526

C-31

EROSION PREVENTION AND SEDIMENT CONTROL DETAILS



JOINT STAKING DETAIL



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DATE	8/27/25
REVISIONS	Addressed Staff Comments

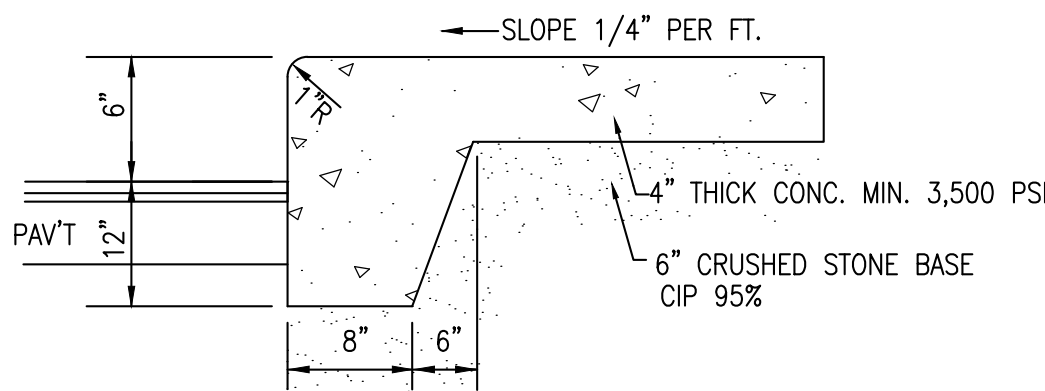
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EROSION PREVENTION AND SEDIMENT CONTROL DETAILS

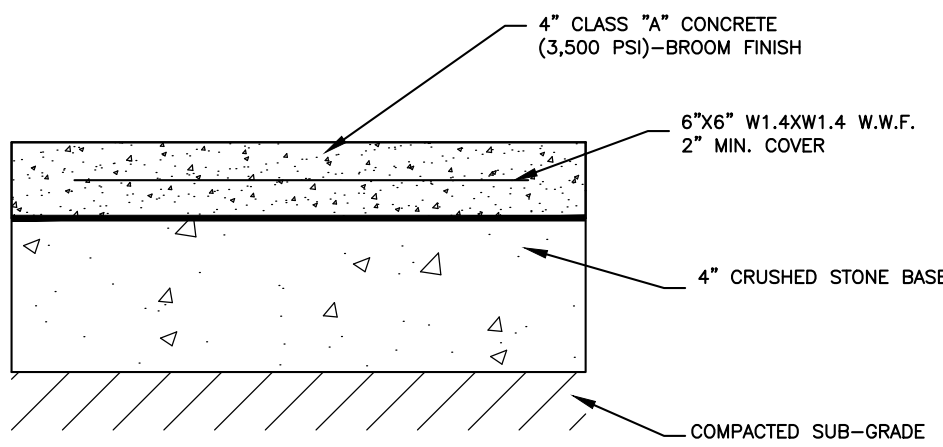
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Job no. 25526	Scale	Vertical	Horizontal

C-32

CONSTRUCTION DETAILS

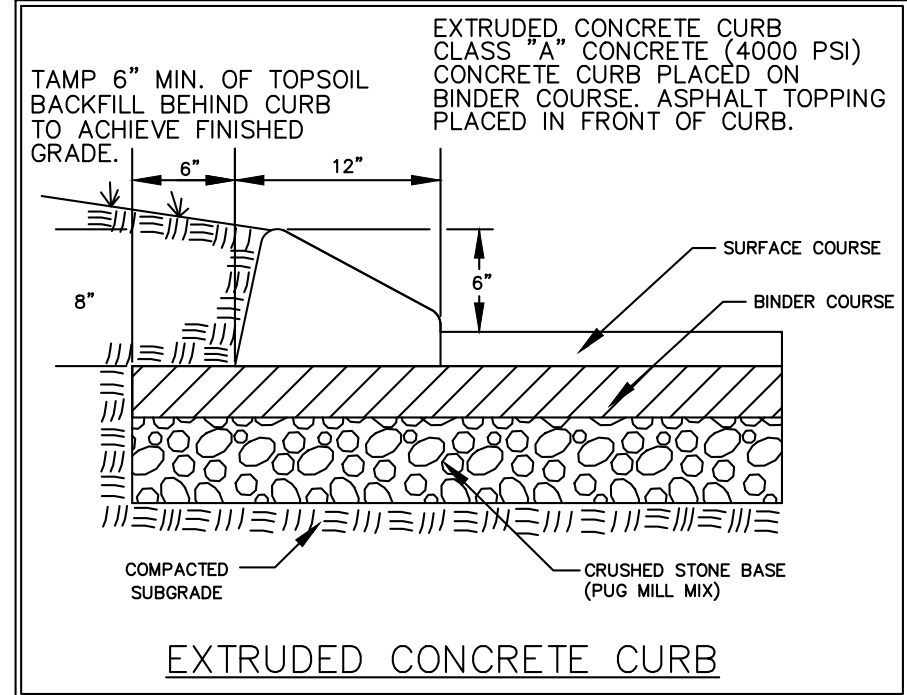


CONC. WALK/CURB DETAIL
NOT TO SCALE

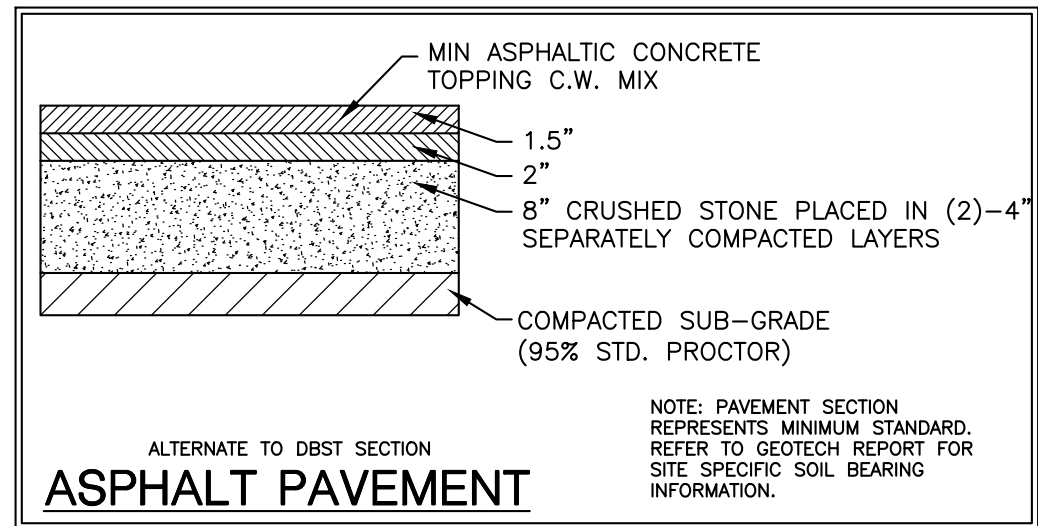


CONCRETE SIDEWALK

NOTE: CONTROL JOINT EVERY 5' EXPANSION JOINT EVERY 25' UNLESS OTHERWISE NOTED.



EXTRUDED CONCRETE CURB

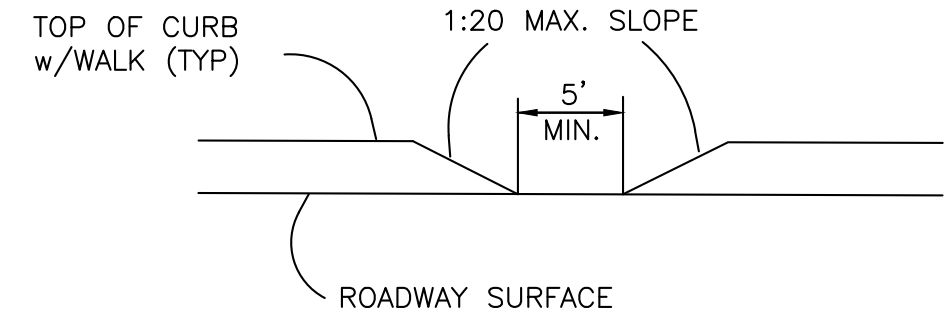


ASPHALT PAVEMENT

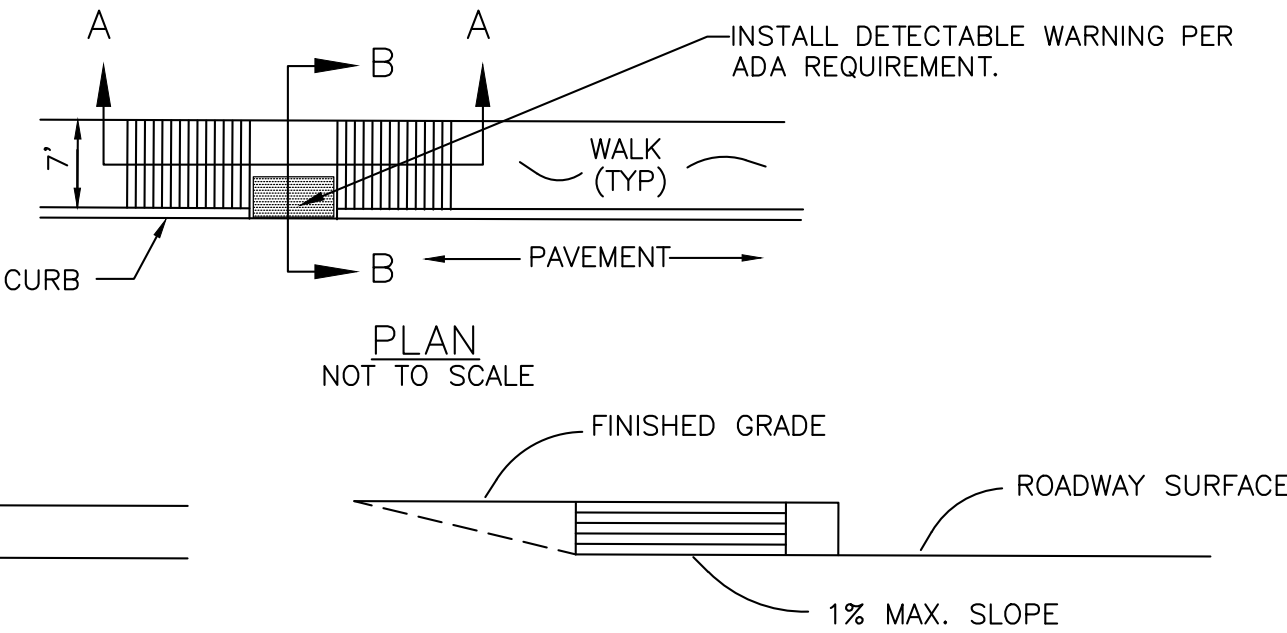
NOTE: PAVEMENT SECTION REPRESENTS MINIMUM STANDARD. REFER TO GEOTECH REPORT FOR SITE SPECIFIC SOIL BEARING INFORMATION.

NOTES:

1. FOLLOW ADA REQUIREMENTS FOR REQUIRED LOCATIONS AND PLACEMENT OF DETECTABLE WARNINGS.

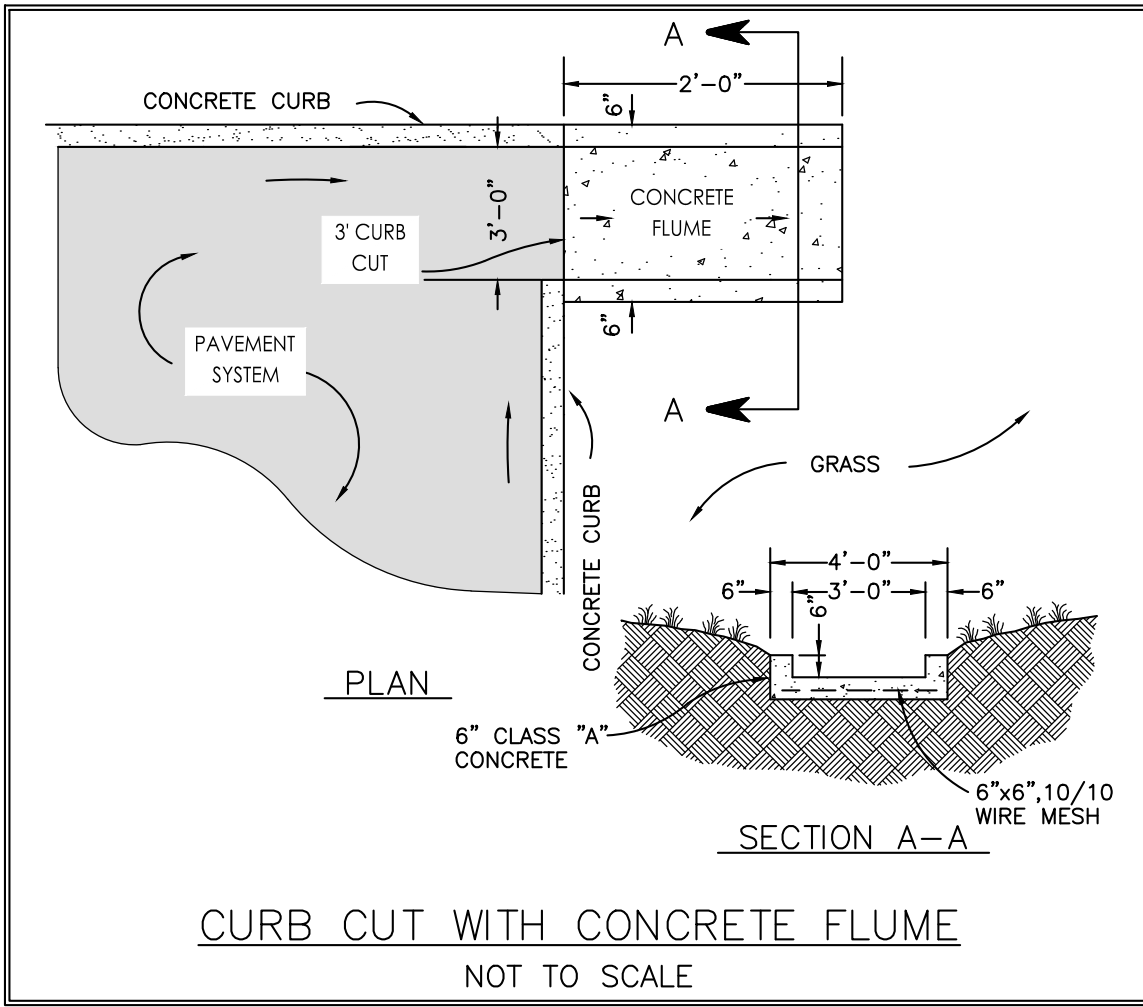


SECTION A-A
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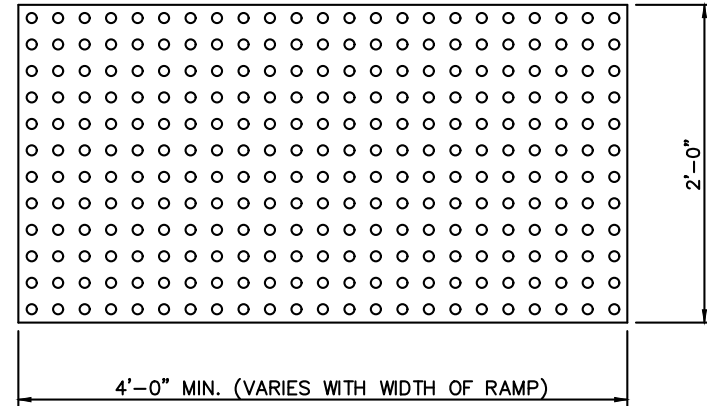


ACCESSIBLE RAMP DETAIL
NOT TO SCALE

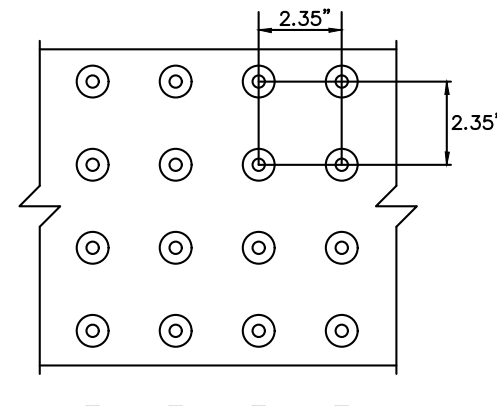
SECTION B-B
NOT TO SCALE



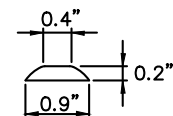
CURB CUT WITH CONCRETE FLUME
NOT TO SCALE



TRUNCATED DOME PLAN VIEW



TRUNCATED DOME SPACING

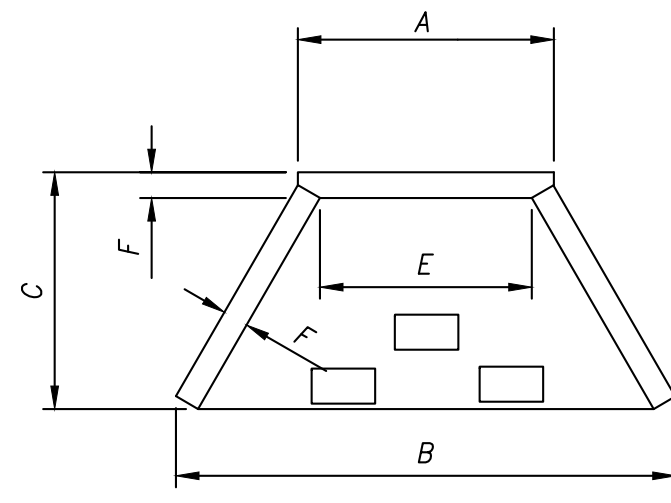


TRUNCATED DOME SECTION

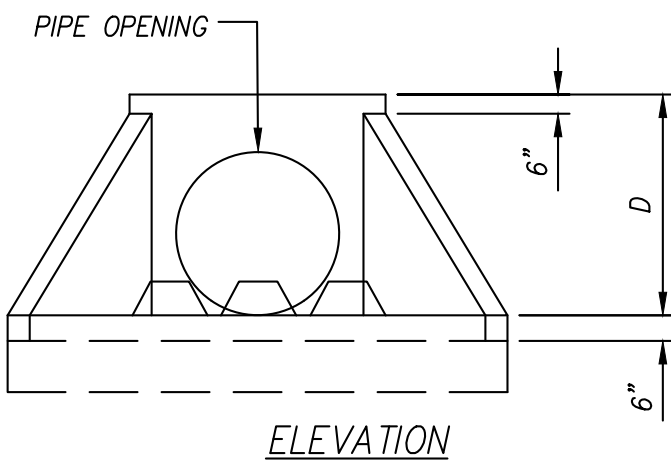
- NOTES:
1. DETECTABLE WARNINGS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 2. WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET AND VARY WITH WIDTH OF RAMP.
 3. LENGTH OF DETECTABLE WARNING AREA SHALL BE 2 FEET REGARDLESS OF SECTION WIDTH.
 4. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
 5. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SERVICE.
 6. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.
 7. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% CONTRAST IN PERCENT IS DETERMINED BY:

$$\text{CONTRAST} = [(B1-B2)/B1] \times 100$$

WHERE B1= LIGHT REFLECTANCE VALUE (LRV) OF THE LIGHTER AREA AND B2 = LIGHT REFLECTANCE VALUE (LRV) OF THE DARKER AREA. (NOTE THAT IN ANY APPLICATION BOTH WHITE AND BLACK ARE NEVER ABSOLUTE; THUS, B1 NEVER EQUALS 100 AND B2 IS ALWAYS GREATER THAN 0.



PLAN

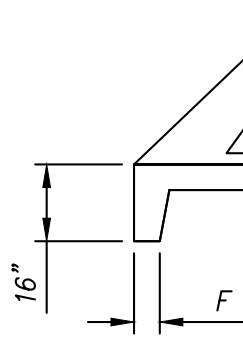


ELEVATION

SIZE	AW	BW	CW	DW
A	32"	48"	80"	99"
B	48"	72"	102"	120"
C	30"	44"	54"	56"
D	26"	36"	60"	66"
E	24"	36"	64"	83"
F	6"	8"	8"	8"
MAX. OPENING	22"	32"	55"	75"
WT/*	1,380	3,100	8,100	11,400

NOTES:

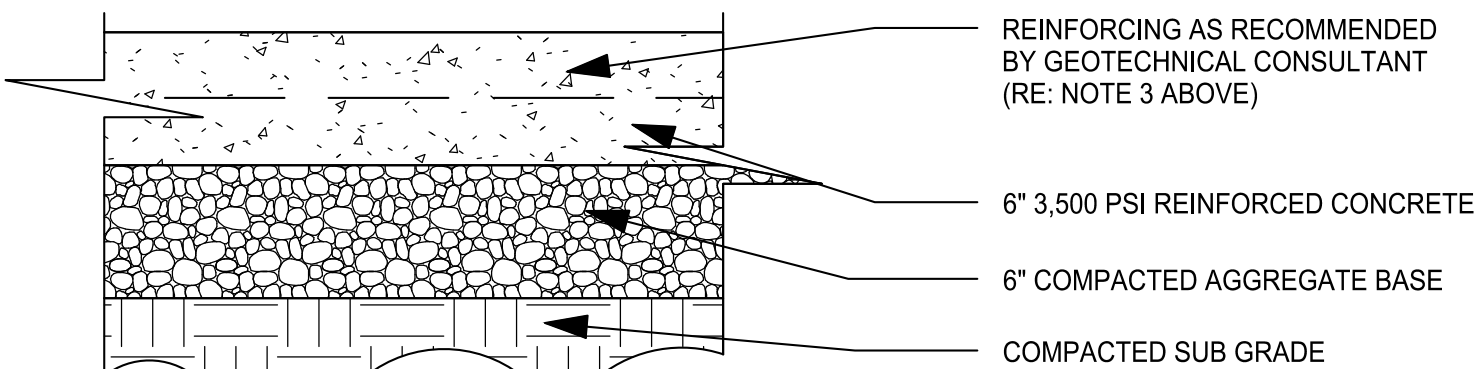
1. MINIMUM 2" CONCRETE COVER ON REBAR.
2. CONCRETE: CLASS A - 3500 PSI @ 28 DAYS W/ AIR ENTRAINMENT.
3. ALL PICK UP POINTS AND PIPE OPENINGS TO BE GROUTED BY CONTRACTOR WITH NON-SHRINK GROUT.
4. 3/4" CHAMFER ON ALL EXPOSED EDGES.



TOE DETAIL

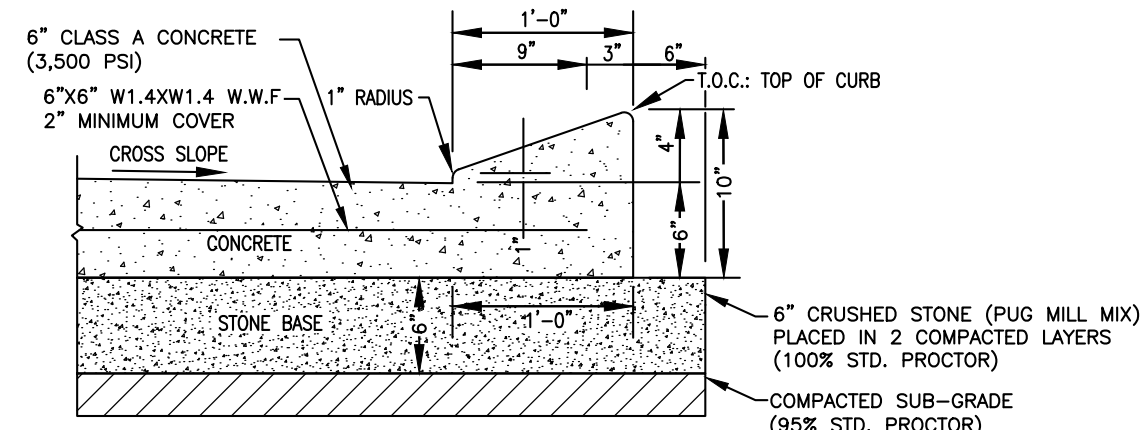
CONCRETE HEADWALL W/ENERGY DISSIPATORS
NOT TO SCALE

1. THE SUBGRADE MATERIALS SHALL BE PROOF ROLLED AND/OR SCARIFIED AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. WHERE EXISTING SUBGRADE MATERIALS ARE UNSUITABLE, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
2. CONCRETE PAVEMENT JOINTING PLAN SHALL BE PROVIDED TO ENGINEER FOR PRIOR APPROVAL. ALL JOINTS MUST BE SEALED WITH AN APPROVED SEALANT. STEEL REINFORCING SHALL BE USED AT JOINTS. REFER TO ACI 330R (GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS) FOR JOINT DESIGN AND LAYOUT. REFER TO ADDITIONAL CONCRETE PAVEMENT DETAILS INCLUDED IN THE CONSTRUCTION DOCUMENTS.
3. CONCRETE PAVEMENT AND ROLLOVER CURB TO BE MONOLITHIC CLASS 'A' CONCRETE (4,000 PSI) PLACED ON PUG MILL MIX.
4. ALL TRANSVERSE JOINTS ARE TO BE SAW JOINTS AT A DEPTH OF 7/4 AT THE SPACING INDICATED IN THE DETAILS.
5. ALL SAW JOINTS TO BE SEALED WITH LOW MODULUS HOT-POURED POLYMERIC SEALANT TYPE COMPOUND.
6. ALL TRANSVERSE JOINTS ARE UNDOVELLED AND EDGE SUPPORT IS REQUIRED (TIED CURB AND GUTTER).
7. ALL ISOLATION JOINTS ARE TO BE DOVELLED AND THICKENED AS SHOWN IN THE DETAILS. ISOLATION JOINT FILLER AND SEALER IS REQUIRED AT ALL ISOLATION JOINTS.
8. ISOLATE ALL STRUCTURES THAT ARE LOCATED IN OR PROTRUDE INTO THE CONCRETE PAVEMENT.
9. PROVIDE ISOLATION JOINTS BEFORE RADII OF ALL INTERSECTIONS WITHIN THE PROJECT. SPACE ISOLATION JOINTS TO COORDINATE WITH THE TRANSVERSE JOINTS.
10. FIBER REINFORCEMENT REQUIRED AS INDICATED IN DETAILS.
11. INSTALLATION TO FOLLOW TDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 2006



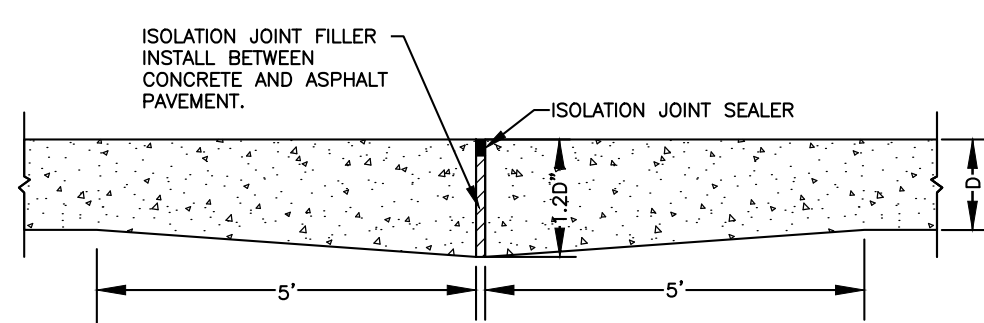
CONCRETE PAVEMENT DETAIL

SCALE: NOT TO SCALE



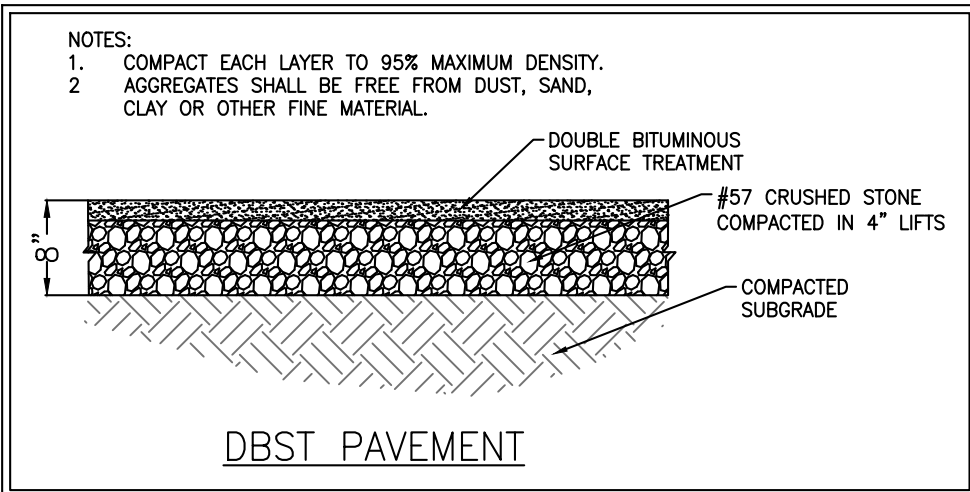
MONOLITHIC CURB DETAIL

SCALE: NOT TO SCALE



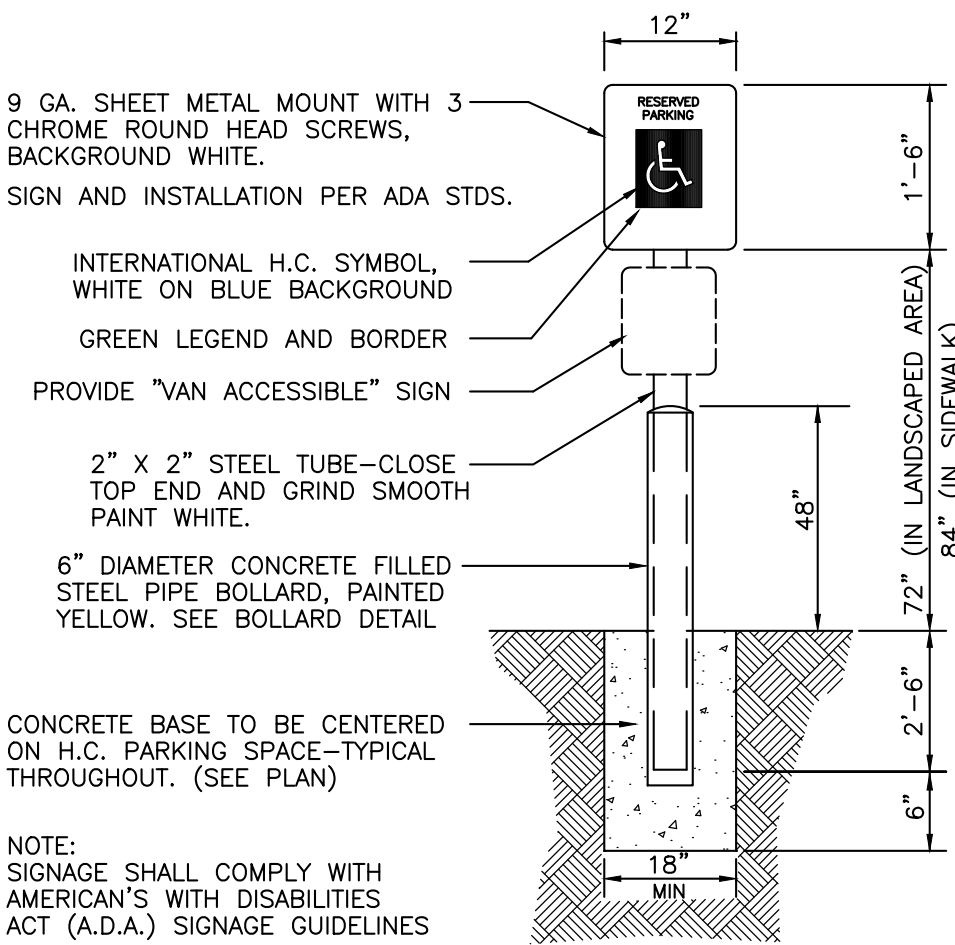
THICKENED EDGE ISOLATION JOINT DETAIL

SCALE: NOT TO SCALE



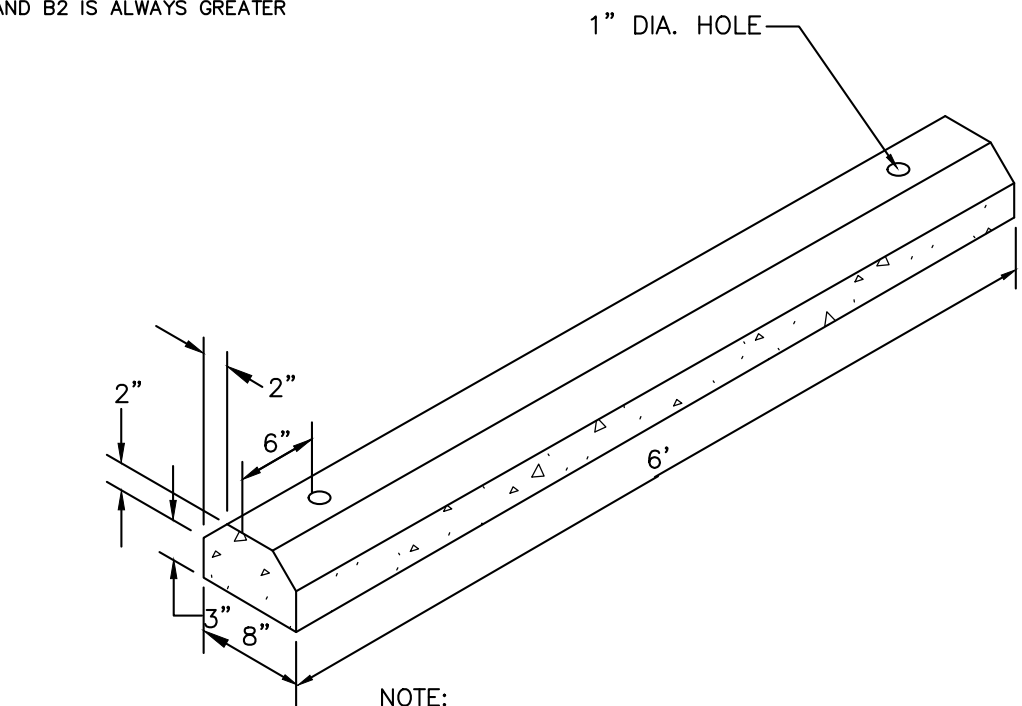
DBST PAVEMENT

- NOTES:
1. COMPACT EACH LAYER TO 95% MAXIMUM DENSITY.
 2. AGGREGATES SHALL BE FREE FROM DUST, SAND, CLAY OR OTHER FINE MATERIAL.



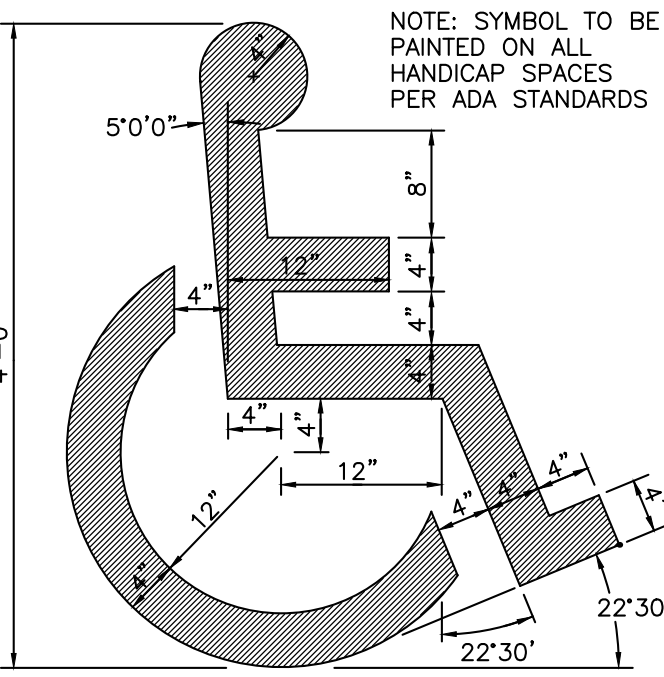
ACCESSIBLE SIGN

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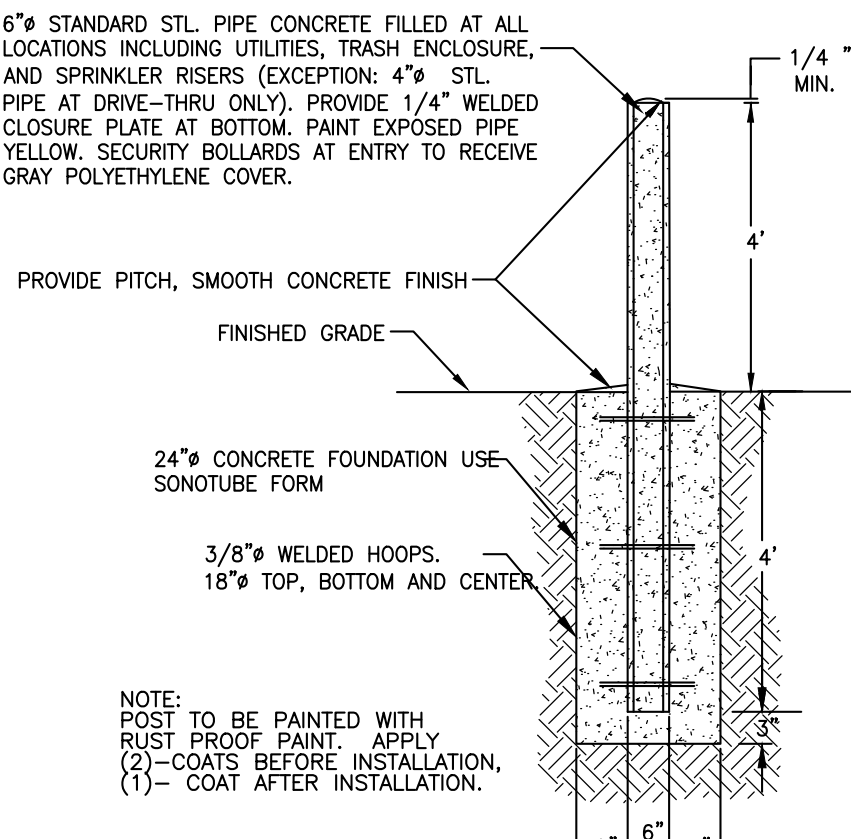
CONCRETE WHEEL STOP

NOT TO SCALE



PAINTED HANDICAP SYMBOL

NOT TO SCALE



CONCRETE FILLED BOLLARD

NOT TO SCALE



gerald@wesengineers.com

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REVISIONS	DATE	Comments
Addressed Staff	8/27/25	

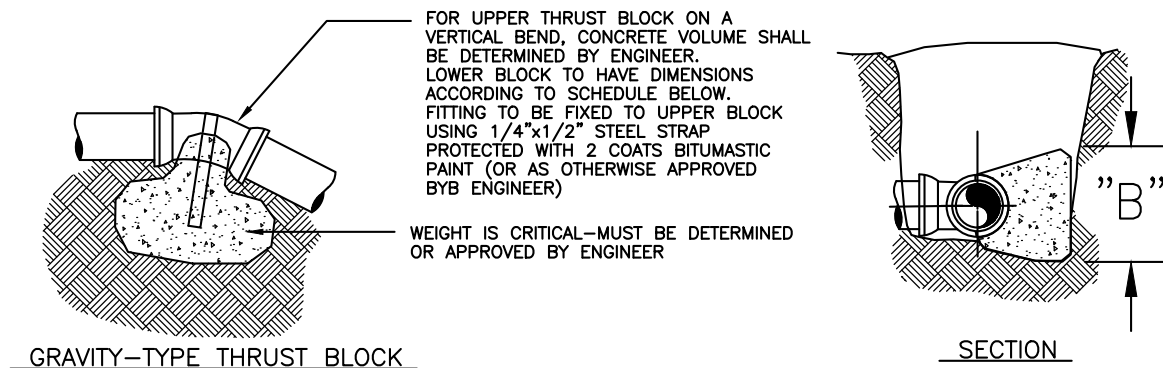
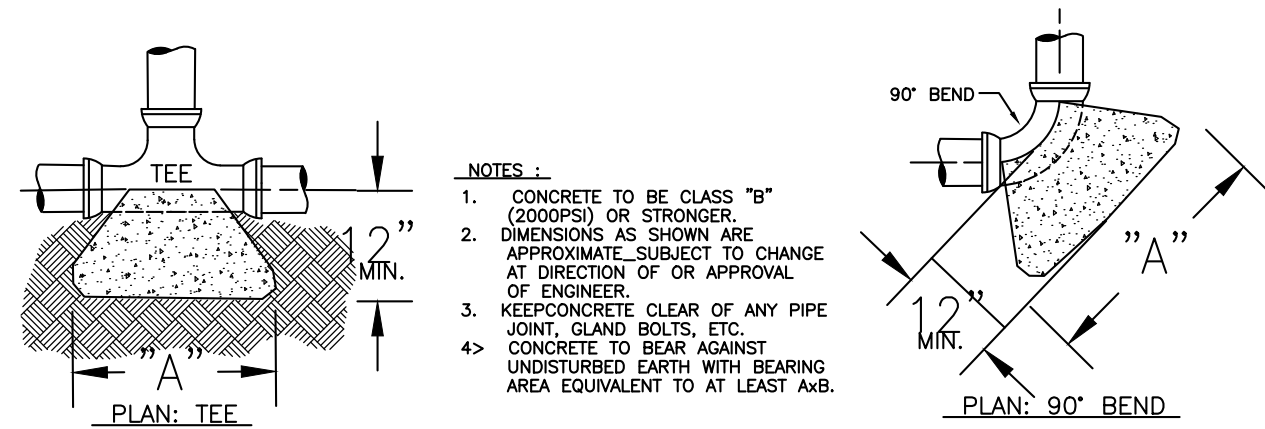
LAB LAND HOLDINGS, LLC (HELIOS)

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MOUNT PLEASANT, MAURY COUNTY, TENNESSEE 38474
CONSTRUCTION DETAILS

Drawn: bo	Checked: ar	Approved: cv	Date: 8/1/2025
Job no. 25526	Scale	Vertical	Horizontal
NOT TO SCALE			

C-40

FILE: \\WES_Engineers_Surveyors_2025\25526 - Helios\Draws\Engineering\25526 - Hoover Mason base.dwg

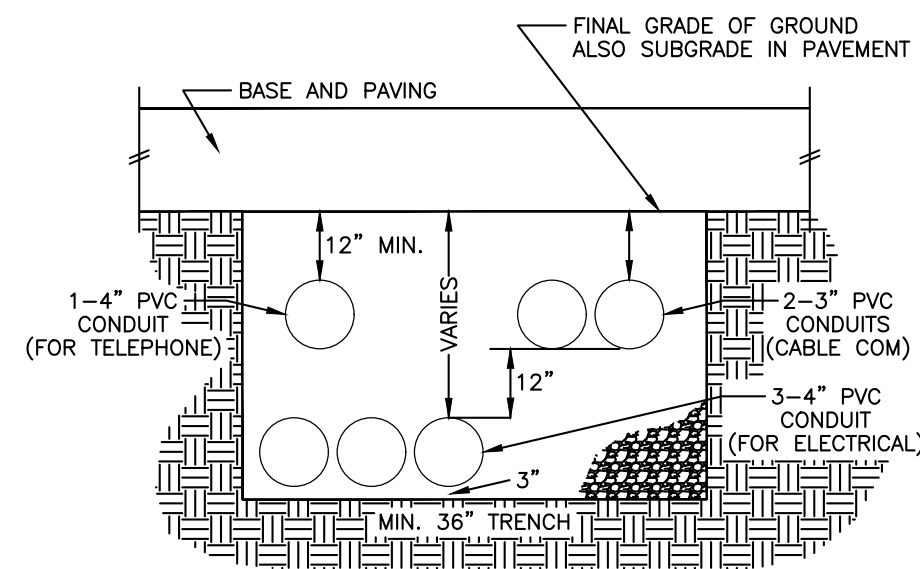


SCHEDULE OF MINIMUM BEARING AREA REQUIRED BASED ON 2000 PSI INTERNAL PRESSURE AND 4000 PSI SOIL BEARING CAPACITY *					
PIPE SIZE	TEE OR DEAD END	90° BEND	45° BEND	22 1/2° BEND	11 1/2° BEND
4"	1.0	1.5	1.0	1.0	1.0
6"	2.5	3.0	2.0	1.0	1.0
8"	4.0	5.5	3.0	1.5	1.0
10"	6.0	8.5	4.5	2.5	1.5
12"	8.5	12.0	6.5	3.0	2.0
16"	15.0	21.5	11.0	6.0	3.0

VALUES ARE TABULATED IN SQUARE FEET

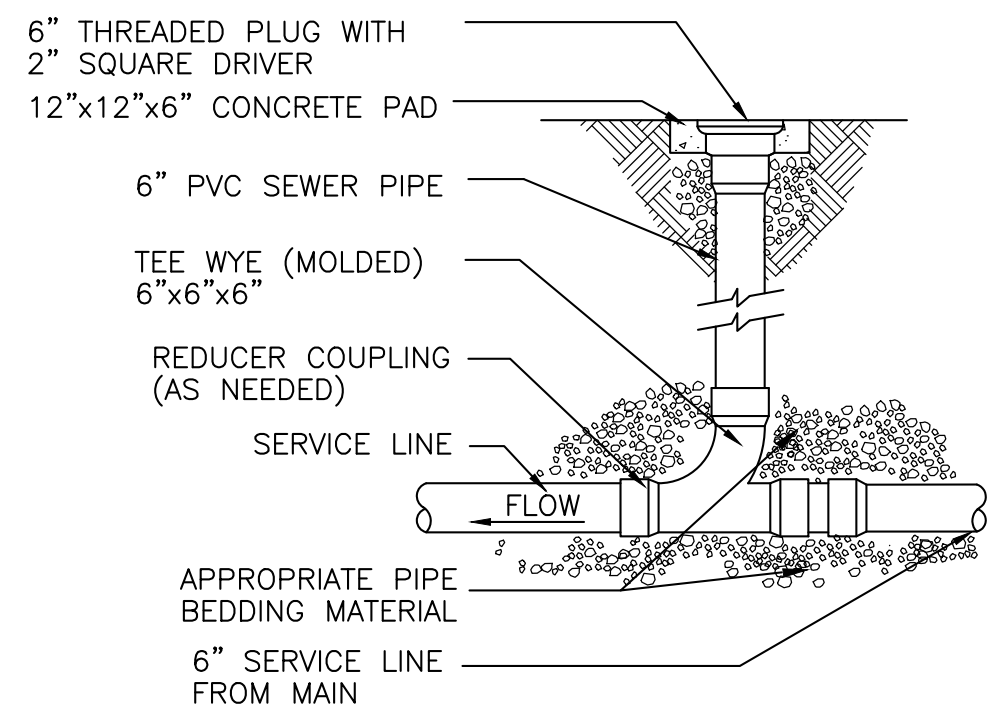
* ENGINEER TO CONFIRM ACTUAL REQUIREMENTS BEFORE CONSTRUCTION OF THE THRUST BLOCK. BEARING AREA (SQUARE FEET) = A(Feet)xB(Feet) .

CONCRETE THRUST BLOCK
NOT TO SCALE



NOTE: ALL UTILITY CROSSINGS IN PAVEMENT MUST BE BACKFILLED WITH CRUSHED STONE!

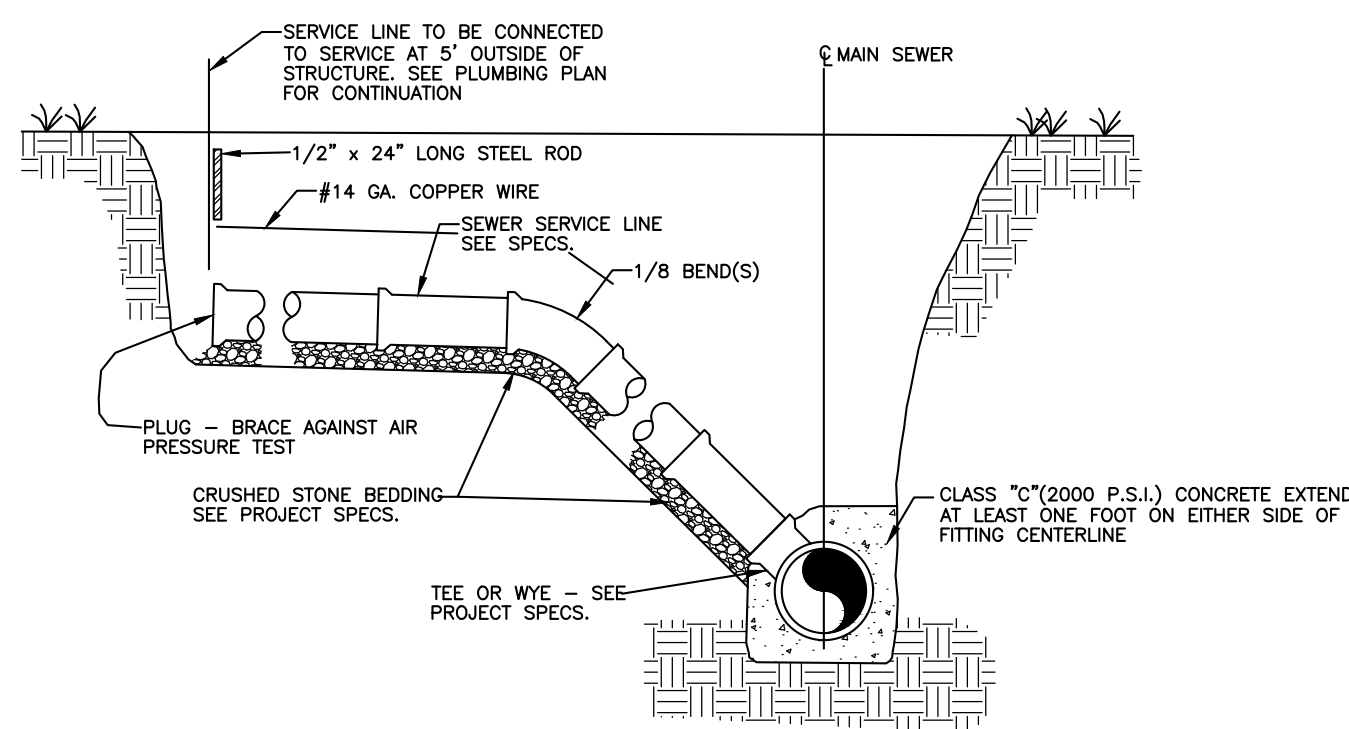
CONDUIT BANK DETAIL
NOT TO SCALE



NOTES:

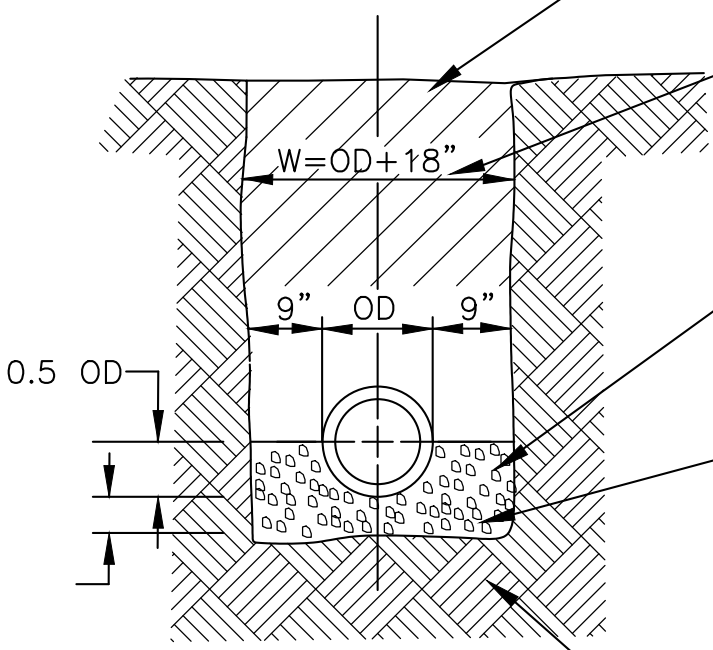
1. ALL FITTINGS AND LINES TO BE PVC. SOLVENT WELD (SDR-33).
2. WHEN SERVICE LINE FROM MAIN LINE IS 4", ALL FITTINGS AND LINES TO BE 4".

CLEANOUT
NOT TO SCALE



DEEP SEWER SERVICE
USE WHERE DIRECTED BY ENGINEER

SEWER SERVICE
NOT TO SCALE



PIPE INSTALLATION
NOT TO SCALE

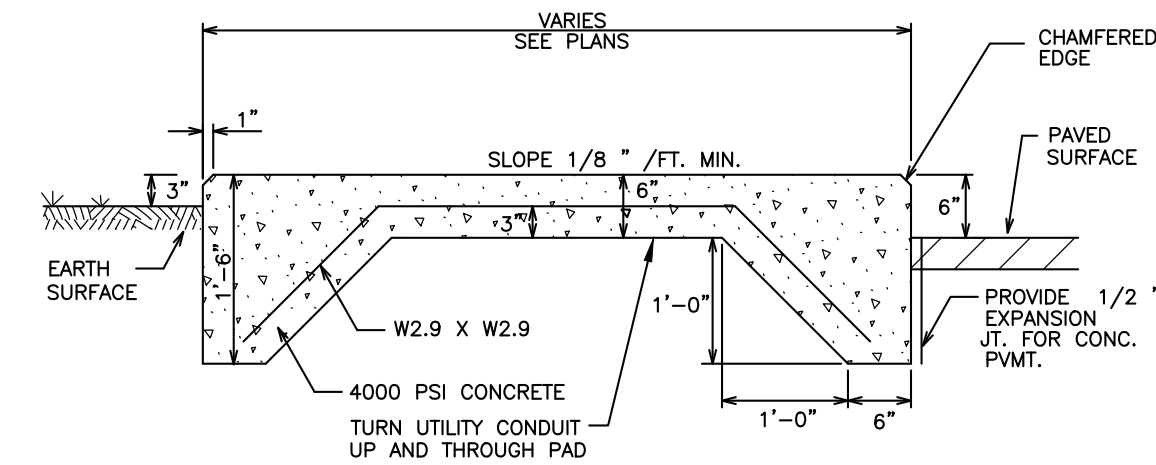
ROADWAY AREAS:
COMPACTED BACKFILL AT A MINIMUM OF 95% DENSITY COMPACTION. BACKFILL SHALL BE CRUSHER-RUN STONE (WET)

GRASSED AREAS:
COMPACTED BACKFILL AT A MINIMUM OF 95% DENSITY COMPACTION. BACKFILL SHALL BE EARTH FREE OF LARGE STONES, TRASH, OR DEBRIS.

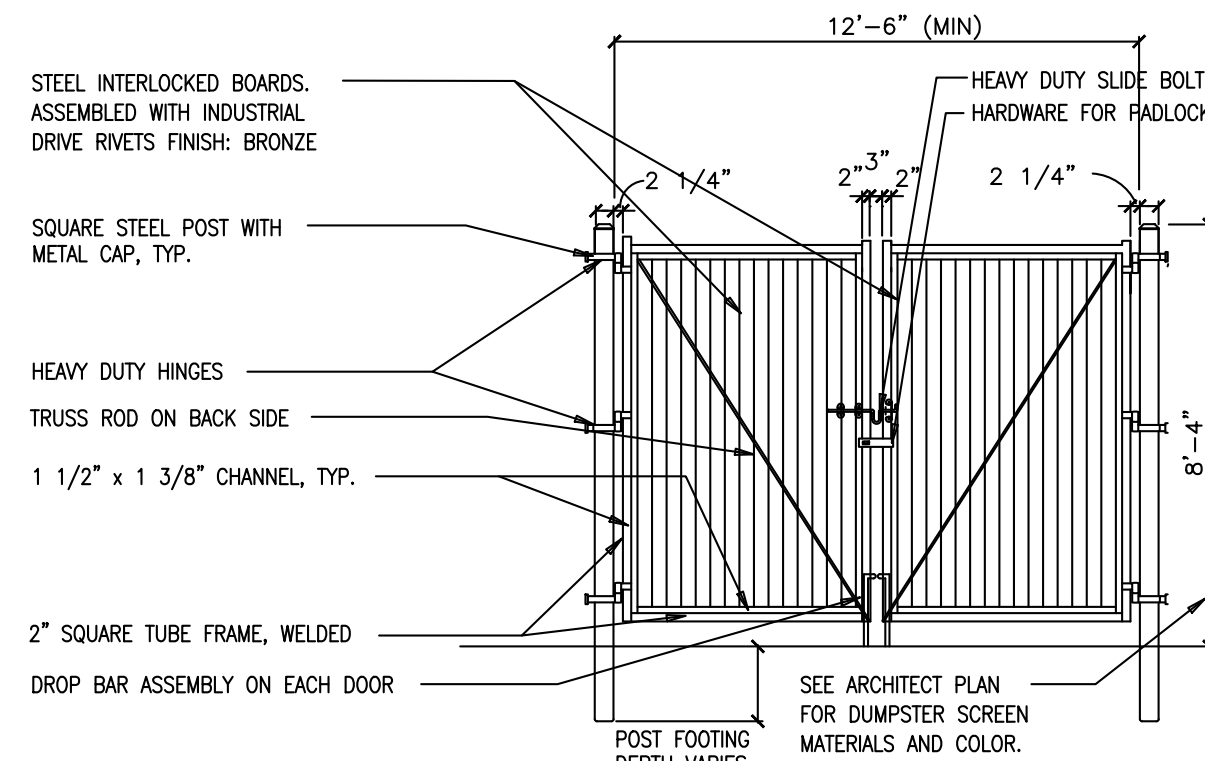
ROADWAY AREAS:
COMPACTED GRANULAR BEDDING, CRUSHED STONE DOT SIZE #67.

GRASSED AREAS:
COMPACTED BACKFILL AT A MINIMUM OF 95% DENSITY COMPACTION. BACKFILL SHALL BE EARTH FREE OF LARGE STONES, TRASH, OR DEBRIS. OR COMPACTED GRANULAR BEDDING, CRUSHED STONE DOT SIZE #67 IF REQUIRED BY REGULATING UTILITY.

UNDISTURBED EARTH

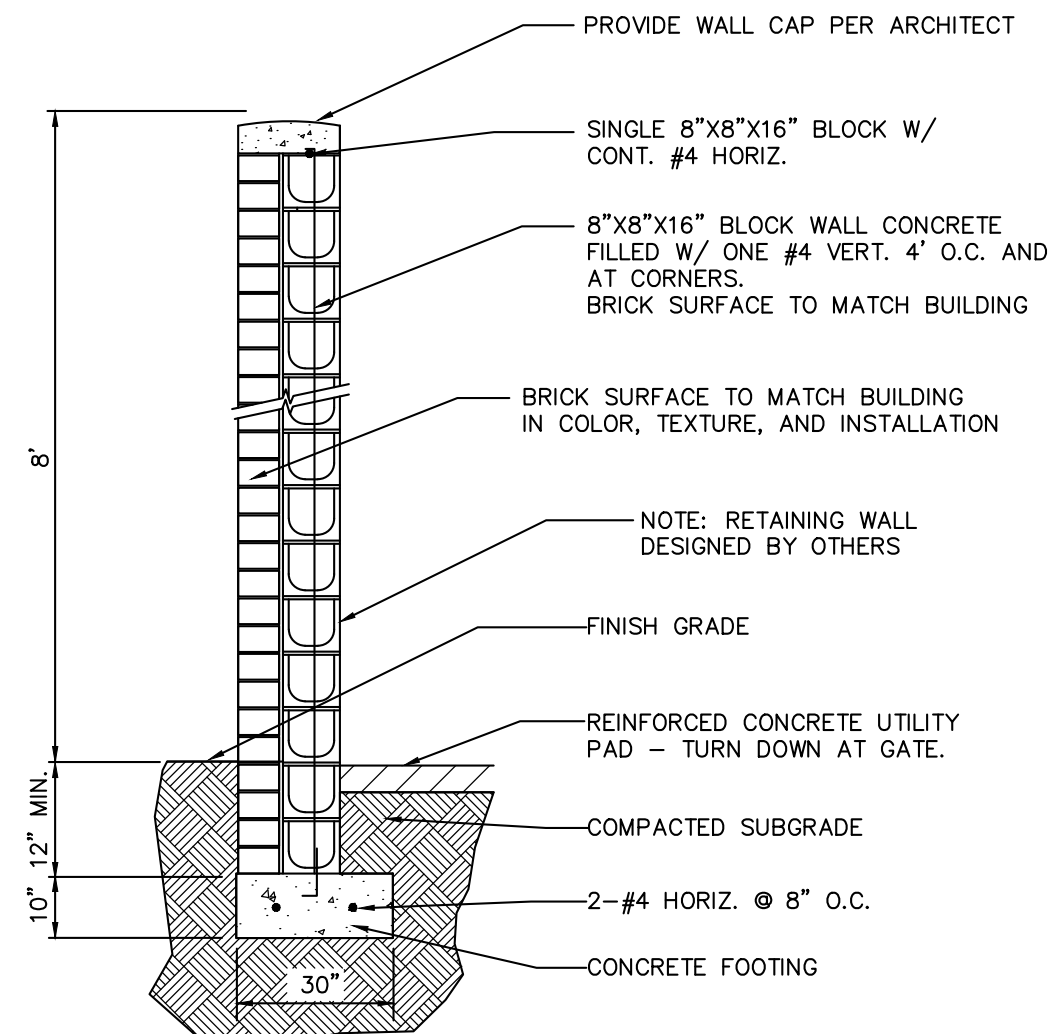


CONCRETE UTILITY PAD
NOT TO SCALE

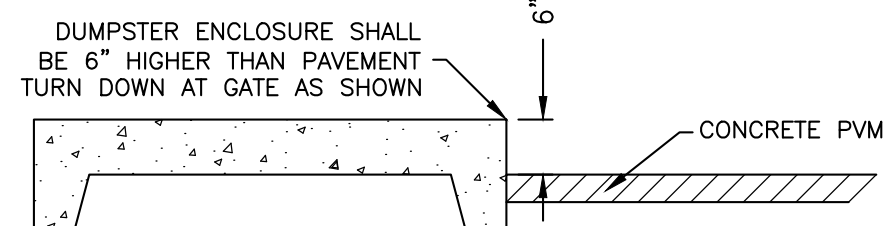
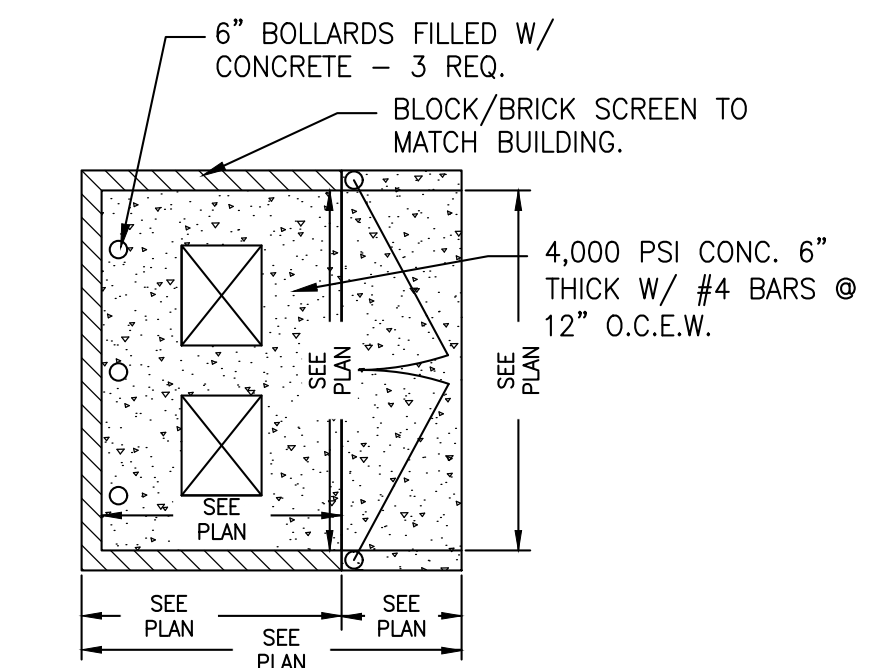


NOTE:
ALL DUMPSTER ENCLOSURES TO BE CONSTRUCTED OF BLOCK TO MATCH BUILDING UNLESS OTHERWISE NOTED ON PLANS.

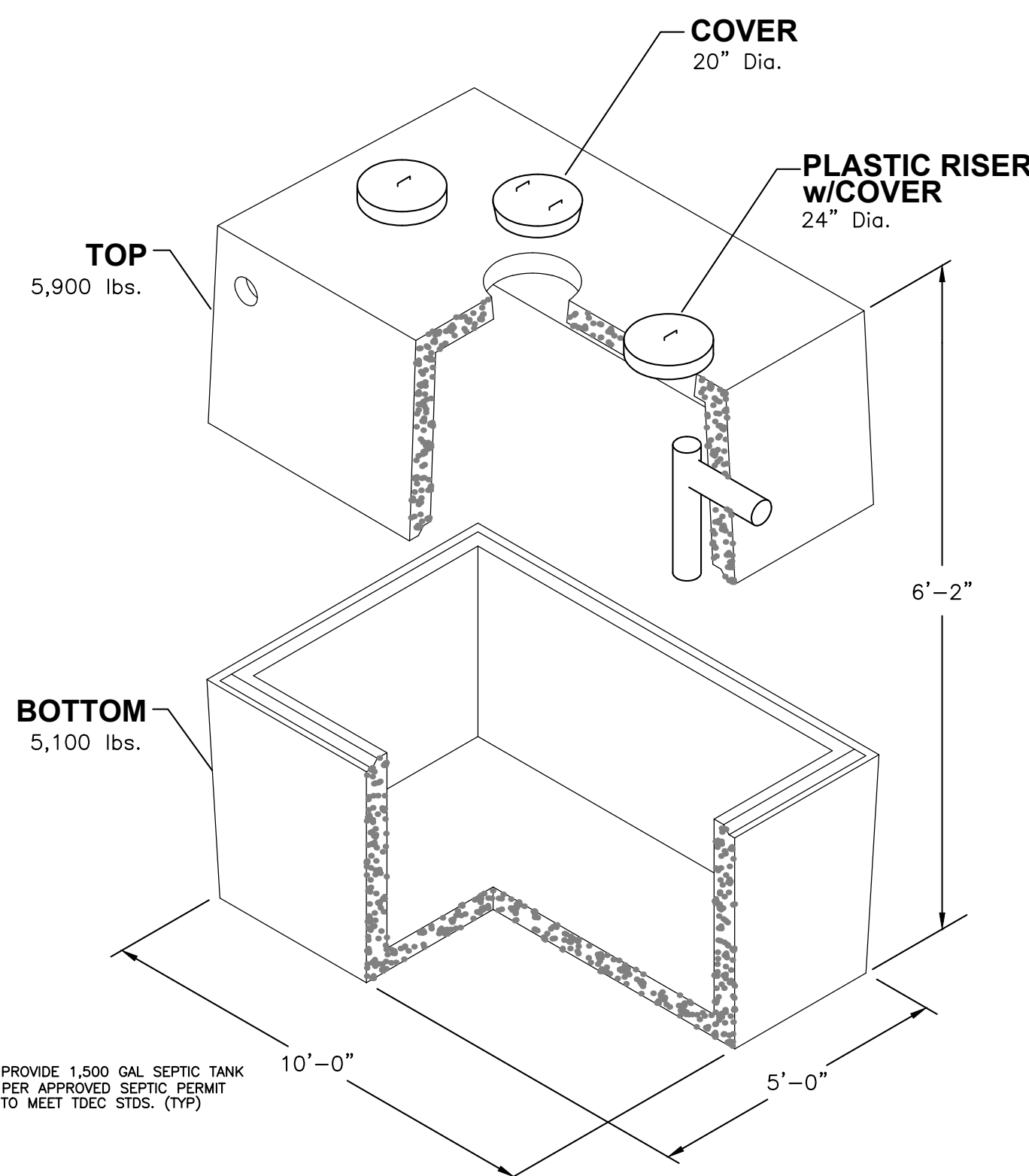
DUMPSTER SCREEN GATE ELEVATION
NOT TO SCALE



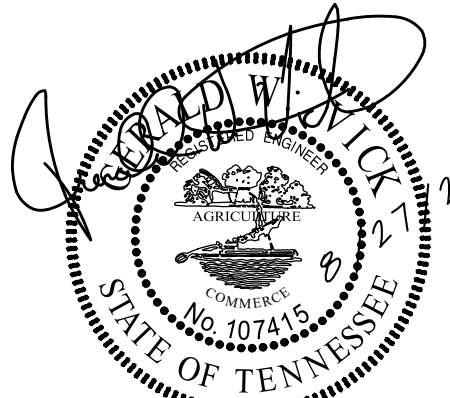
ENCLOSURE WALL SCREEN SECTION
NOT TO SCALE



DUMPSTER PAD/ENCLOSURE
NOT TO SCALE



SEPTIC TANK
NOT TO SCALE



gerald@wesengineers.com

RELEASED FOR CONSTRUCTION WHEN
APPROVED BY MUNICIPALITY

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WES E ENGINEERS & SURVEYORS

Client
LAB LAND HOLDINGS, LLC
2411 DARKS MILL ROAD
COLUMBIA, TN 38401
(763) 229-9407

DATE
8/27/25

REVISIONS
Addressed Staff Comments

LAB LAND HOLDINGS, LLC (HELIOS)

6920 HOOVER MASON LANE
MOUNT PLEASANT, MAURY COUNTY, TENNESSEE 38474
CONSTRUCTION DETAILS

Job no. 25526

Drawn: bo

Checked: av

Approved: cv

Date: 8/11/2025

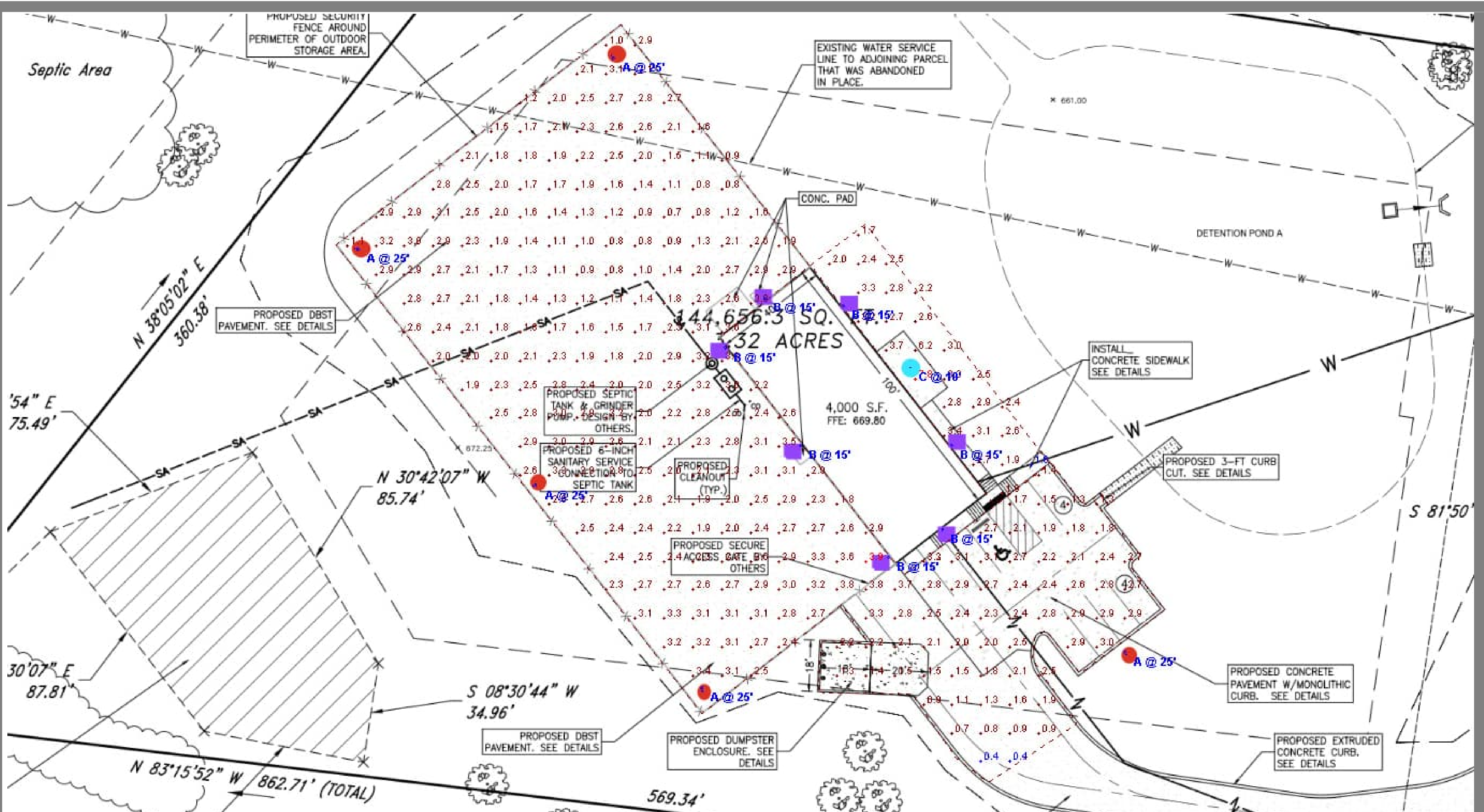
Scale Vertical: NOT TO SCALE

Horizontal:

C-41



Layout



Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	A	5	Industrial Lighting Products Inc	SAS-15L-U-40-T3	Skyline Small, 15,000 Lumens, 4000K, Type 3 Optic	1	16982	0.9	110.5
	B	7	Industrial Lighting Products LLC	SWM-6L-U-40-T4	Skyline Wall Pack Medium, 6000L, 4000K, T4 Lens	1	6096	0.9	42.6
	C	1	ILP		CP-3L-U-40	1	3476	0.9	28.4

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Paved Area	+	2.2 fc	3.9 fc	0.4 fc	9.8:1	5.5:1
Building Front	+	3.0 fc	7.8 fc	1.6 fc	4.9:1	1.9:1

Note

1. Dimensions:
2. Mounting Height: 10, 15, 25
3. Calc Zone: 0
4. Reflectances:

Calculations provided are estimates only.

Designer
Bryan Schneider
Date
08/22/2025
Scale
Not to Scale
Drawing No.

Summary