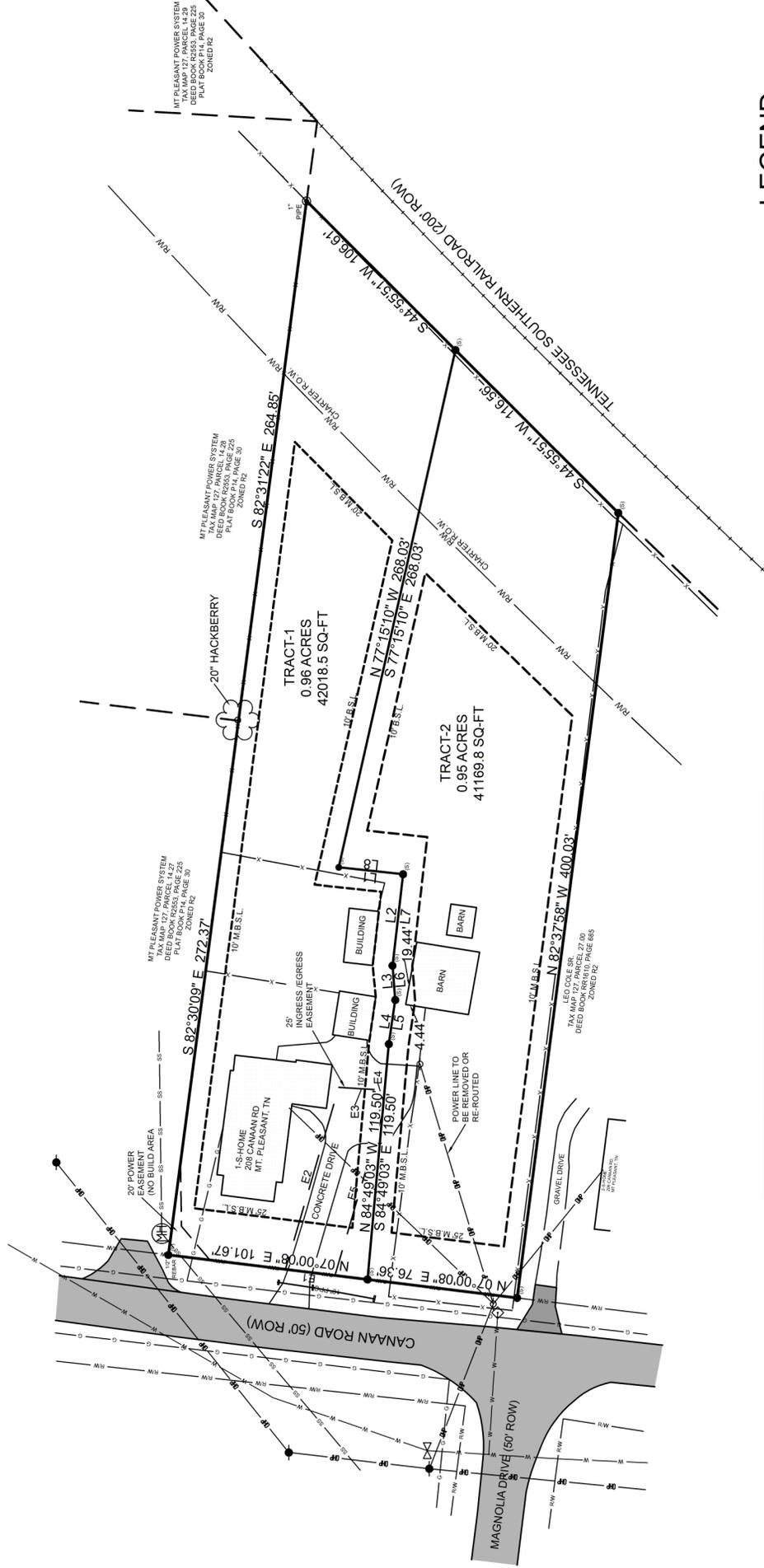


NOTES:

1. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE TAX MAP 127, PARCEL 26.00, DEED BOOK 669, PAGE 364. THIS SURVEY IS PROVIDED TO SAM HINSON (OWNER).
2. I, TRACY SEIBER, HEREBY CERTIFY THAT THIS IS AN ACTUAL GPS SURVEY PERFORMED ON 1/19/2026 CONFORMING WITH STATE OF TENNESSEE MINIMUM STANDARDS OF PRACTICE AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
 - A. TYPE OF SURVEY: RTK
 - B. POSITIONAL ACCURACY: 0.05"
 - C. PUBLISHED/FIXED CONTROL: TDOT CORS NETWORK (MSM, NEAR)
 - D. DATUM/EPOCH: NAD83(2011)
 - E. DISTANCE GRID (GRID TO GROUND)
 - F. FACTOR: 1.0000617253279
 - G. GPS: CARLSON BRX7 (BASE/ROVER)
3. SUBJECT PARCELS ARE NOT WITHIN A FLOOD ZONE ACCORDING TO FIRM MAP 47119C0265E DATED 4/16/2007.
4. PROPERTY IS ZONED R3 CITY OF MT. PLEASANT ZONING ORDINANCE. BUILDING SETBACKS: FRONT 20' REAR 20' SIDE 10'
5. THIS PROPERTY IS SUBJECT TO ANY AND ALL RIGHT-OF-WAYS, EASEMENTS, EXCEPTIONS, AND/OR RESTRICTIONS, UNRECORDED, WHICH MAY AFFECT THIS PROPERTY:
 6. PROPERTY ADDRESS: 208 CANAAN RD MT PLEASANT TN 38474
 7. ALL UNDERGROUND UTILITIES ARE NOT VERIFIED BY UTILITY OWNERS AND BASED ONLY ON FIELD EVIDENCE AND SCALED FROM UTILITY OWNER MAPS. CALL 811 BEFORE ANY EXCAVATION.
 8. UTILITIES PROVIDED BY MOUNT PLEASANT POWER SYSTEM 123 N. MAIN ST MOUNT PLEASANT, TN 38474
 9. OWNERS AND ADDRESS BILLY H. SMITH 208 CANAAN RD MT PLEASANT TN 38474
 10. THIS SURVEY IS BASED ON FIELD EVIDENCE AND CURRENT DEEDS OF RECORD. THE SURVEY IS A STATEMENT OF PROFESSIONAL OPINION BASED ON FIELD EVIDENCE, EXPERIENCE, AND DOCUMENTS OF RECORD AT THE COUNTY REGISTER OF DEEDS OFFICE. THIS SURVEY IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
 11. THE FEATURES AND IMPROVEMENTS SHOWN ON THIS MAP THAT ARE LOCATED ON SURVEYED PROPERTY ARE NOT INTENDED TO REPRESENT A FULL AS-BUILT SURVEY OF THE PARCELS AND EASEMENTS SHOWN BUT ARE INCLUDED FOR VISUAL AND REFERENCE PURPOSES ONLY.
 12. ALL AREAS SHOWN ON THIS PLAT WERE CALCULATED BY COORDINATE COMPUTATIONS.
 13. ALL RIGHT OF WAYS WERE DETERMINED FROM TDOT ROW PLANS FOR STATE AND FEDERAL HIGHWAYS AND REFERENCE DEEDS FOR ALL LOCAL ROADS.
 14. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY, IF ANY, NAMED ON THE CERTIFICATE HEREON. SURVEYED PERSONS DOES NOT EXTEND ANY UNWARRANTED PERSON WITHOUT AND EXPRESS REIFICATION TO THE SURVEY NAMING SAID PERSON.
 15. ALL IRON PINS SET ARE 1/2" REBAR WITH CAP STAMPED SEIBER, 2397.

FINAL PLAT
SUBDIVISION OF THE
BILLY H. & PATRICIA E. SMITH PROPERTY
7TH CIVIL DISTRICT OF MAURY COUNTY
TAX MAP 127, PARCEL 26.00
DEED BOOK 669, PAGE 364
R.O.M.C.



LINE	BEARING	DISTANCE
E1	N 07°00'08" E	25.34'
E2	S 73°34'21" E	95.90'
E3	S 03°25'12" W	23.24'
E4	N 84°49'03" W	12.06'
E5	N 73°34'21" W	85.15'

LINE	BEARING	DISTANCE
L1	S 06°06'34" W	32.78'
L2	N 83°24'27" W	46.51'
L3	S 85°29'43" W	17.39'
L4	N 81°42'31" W	22.51'
L5	S 81°42'31" E	22.51'
L6	N 85°29'43" E	17.39'
L7	S 83°24'27" E	46.51'
L8	N 06°06'34" E	32.78'

LEGEND

- (R) IRON PIN SET
- (F) IRON PIN FOUND
- ⊙ 1" IRON PIPE
- ⊕ TREE
- ⊕ POWER POLE
- ⊕ SEWER MANHOLE
- ⊕ UTILITY POLE
- ⊕ WATER VALVE
- ⊕ WATER METER
- FENCE
- BUILDING SETBACK LINE (M.B.S.L.)
- GAS LINE
- RAILROAD CENTERLINE
- RIGHT-OF-WAY
- SEWER LINE
- OVERHEAD POWER
- WATERLINE



CERTIFICATE OF OWNERSHIP AND DEDICATION
 I hereby certify that I am the owner of the property shown and described hereon as evidence recorded in Book Number 669, Page 364, Maury County Register's Office, and that I hereby adopt this plan of subdivision with my heirs, assigns, and assigns forever, for the purpose of dedicating to the public irrevocable dedication for all public ways, public easements, utilities, and other facilities have been filed.

DATE: BILLY H. SMITH
 PATRICIA E. SMITH

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the City of Mount Pleasant Subdivision Regulations, with the exception of such variances, if any, as are noted in the Minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register.

DATE: SECRETARY MOUNT PLEASANT MUNICIPAL PLANNING COMMISSION

CERTIFICATE OF APPROVAL OF WATER SYSTEM
 I hereby certify that the water system(s) outlined or indicated on the plat hereon is/are in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

DATE: CITY OF MOUNT PLEASANT

CERTIFICATE OF APPROVAL FOR SEWER SYSTEM
 I hereby certify that the sewer system outlined or indicated on this final subdivision plat has been installed in accordance with the current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

DATE: DIRECTOR OF WASTE WATER DEPARTMENT MOUNT PLEASANT

E-911 PROGRAM CERTIFICATION OF APPROVAL
 This is to certify that this plat has been reviewed and is in compliance with the Maury County E-911 Program

DATE: E-911 DIRECTOR



102 AVALON DRIVE
 COLUMBIA, TN 38401
 SEIBERSURVEYING@GMAIL.COM (931)446-6677
 DRAWING BY: T. SEIBER DATE: 1/19/2026
 SCALE: 1"=50' JOB NO.: 01-2026
 DRAWING 01-2026 HINSON.DWG RT SHEET 1 OF 1



SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE HEREIN SHOWN SURVEY REPRESENTS A TRUE AND CORRECT APPROVED SURVEY HAVING A 98% CONFIDENCE LEVEL AND IS TRUE AND CORRECT APPROVED MONUMENTS HAVE BEEN PLACED AS INDICATED. ALL SIDE LOT LINES ARE AT RIGHT ANGLES OR RADIAL TO A STREET UNLESS OTHERWISE NOTED.

DATE: 1/19/2026
 TRACY SEIBER, RLS 2397