

VICINITY MAP
Not to Scale

SITE LEGEND

- BOUNDARY LINE
- ADJOINING BOUNDARY LINE
- X X FENCE
- T T OVERHEAD TELEPHONE LINE
- P P OVERHEAD UTILITY LINE
- SA SA SANITARY SEWER LINE
- ST ST STORM LINE
- CURB LINE
- EDGE OF PAVEMENT
- W W WATER LINE
- G G GAS LINE
- UGF UGF FIBER OPTICS

- WATER METER
- WATER VALVE
- ELECTRIC METER/TRANSFORMER
- UTILITY POLE
- FIRE HYDRANT
- FIRE DEPT. CONNECTION
- CLEAN-OUT
- PULL BOX
- STORM MANHOLE
- UTILITY MISC.
- AREA DRAIN
- GUY ANCHOR
- SINGLE POST SIGN
- BOLLARD
- UTILITY POLE WITH LIGHT
- AIR CONDITIONING UNIT
- GAS METER
- GAS VALVE
- CATCH BASIN
- TELEPHONE PEDESTAL
- MAILBOX
- SANITARY SEWER MANHOLE
- MISCELLANEOUS MANHOLE
- LIGHT
- HIGH-PRESSURE GAS LINE MARKER

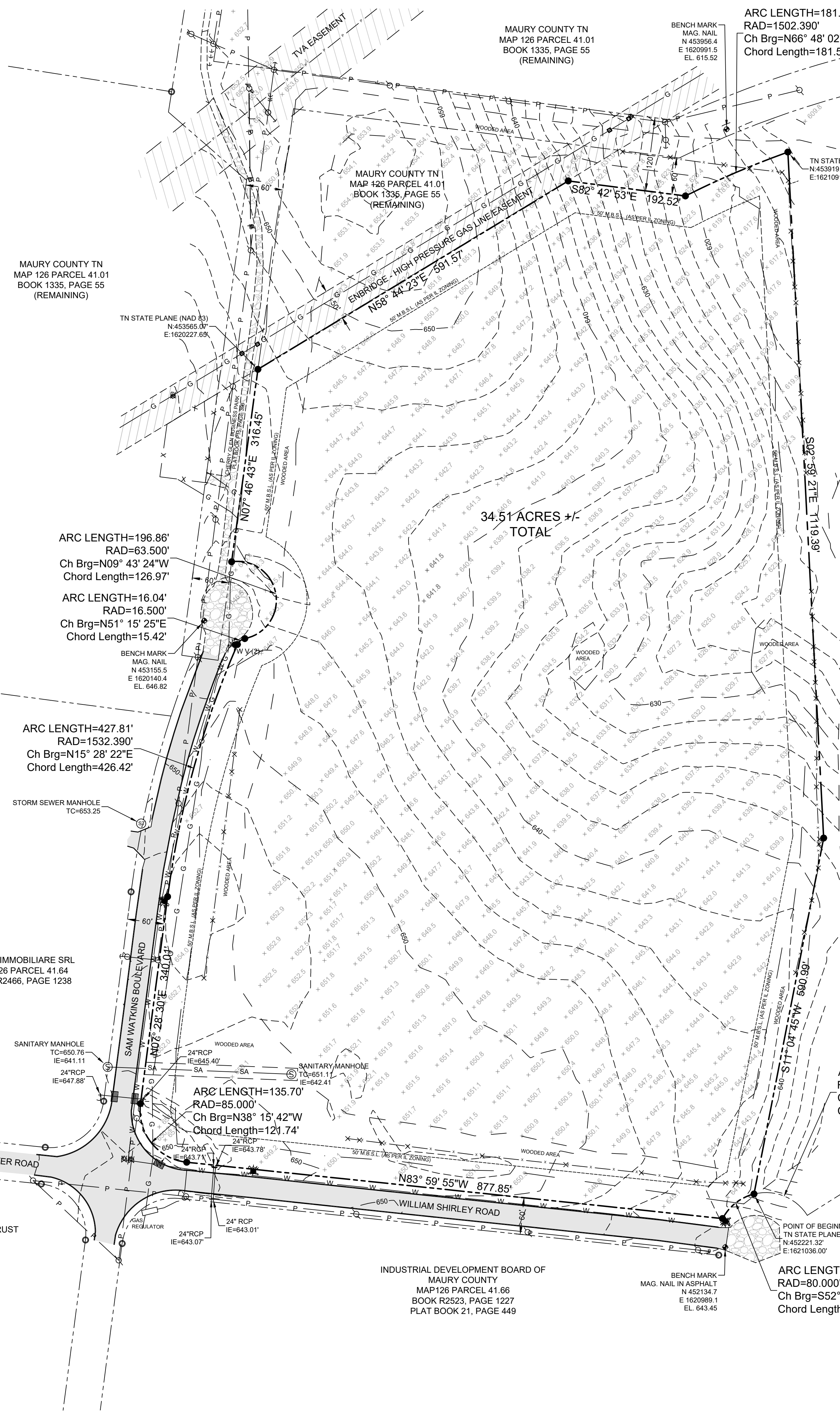
- MONUMENT FOUND (3/4" REBAR, UNLESS NOTED OTHERWISE)
- MONUMENT SET (1/2" REBAR CAPPED "TTL")
- CONCRETE MONUMENT
- PK - PARKER-KALON NAIL (FOUND)
- DS - DOWN SPOUT
- ASPHALT AREA
- CONCRETE AREA
- GRAVEL AREA

FFE = FINISH FLOOR ELEVATION
 TC = TOP OF CASTING
 IE = INVERT ELEVATION
 RCP = REINFORCED CONCRETE PIPE
 CMP = CORRUGATED METAL PIPE
 HDPE = HIGH DENSITY POLYETHYLENE PIPE
 ROW = RIGHT OF WAY
 N.A.D. = NORTH AMERICAN DATUM
 N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
 AC = AIR CONDITIONING UNIT
 MBSL = MINIMUM BUILDING SETBACK LINE
 SA = SANITARY SEWER
 ROMST = REGISTER OFFICE MAURY COUNTY, TENNESSEE
 PUDE = PUBLIC UTILITY & DRAINAGE EASEMENT
 GPS = GLOBAL POSITIONING SYSTEM
 GIS = GEOGRAPHIC INFORMATION SYSTEM

SURVEYOR NOTES:

- The location of the property boundaries depicted hereon, based on the appropriate boundary law principles governed by the facts and evidence gathered during the course of this survey. Per accuracy and precision required by the State of Tennessee, in the opinion of this surveyor the monuments shown represents corners of the property. Corners have been found or set as indicated hereon. As a professional opinion, this survey carries no guarantees or warranties, expressed or implied.
- Any improvements depicted may be demolished. The depiction of any improvement on this plat does not create any easement, setback, building pad, or other matter and is for informational purposes only.
- Survey not final without Seal and Signature of Surveyor.
- All set property corners are marked with 1/2" diameter rebar with a TTL, Inc. cap.
- This survey may not be reproduced, altered, or copied without written permission of TTL, Inc.
- This property has direct access to a dedicated public right-of-way.
- This parcel is within Flood Hazard Zone "X". Map Number 47119C0260E, Dated: April 16, 2007.
- All matters shown on recorded plats are shown on survey.
- Subject property is zoned: IL (Light Industrial)
- The surveyor's liability for this document shall be limited to the original purchaser and does not extend to any unnamed persons or entities without an express re-certification by the surveyor whose name appears hereon.
- Property is subject to covenants, easements, rights of ways and restrictions of record and not of record.
- This survey does not address the existence or non-existence of wetland areas.
- Topographic features were derived from field measurements using random shots. Contour intervals are 2 foot.

UTILITY DISCLAIMER:
 TTL, Inc and Land surveyor does not guarantee accuracy of marked underground utility locations on surface and location of all underground utilities not visible including underground services lines shall not be relied upon without verification from proper utility authority having jurisdiction. TTL, Inc has not physically located the underground utilities, above grade and underground utilities shown were taken from visible appurtenances at the site, public records and /or maps prepared by others. TTL, Inc. makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. TTL, Inc further does not warrant that the underground utilities are in the exact location indicated. Therefore, reliance upon size and location of utilities shown shall be done so with this circumstance considered. Detailed verification of existence, location and depth must be made prior to any decisions relative thereto are made. Availability and cost of service should be confirmed with the appropriate utility company. In Tennessee, it is a requirement, per "The Underground Utility Damage Prevention Act", that anyone who engages in excavation must notify all known underground utility owners, no less than three (3) or more than (10) working days prior to the date of their intent to excavate and also to avoid any possible hazard or conflict. TENNESSEE ONE CALL 811



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MAURY COUNTY TN
 MAP 126 PARCEL 41.01
 BOOK 1335, PAGE 55
 (REMAINING)

BENCH MARK
 MAG. NAIL
 N 453956.4
 E 1620991.5
 EL. 615.52

CHERRY GLEN BUSINESS PARK
 SUBSTATION AND POWER LINE EASEMENT
 PLAT BOOK P15, PAGE 396

TN STATE PLANE (NAD 83)
 N:453919.17'
 E:1621091.20'

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MAURY COUNTY TN
 MAP 126 PARCEL 41.64
 BOOK R2466, PAGE 1238

JOHN M. THOMASON, FAMILY TRUST
 MAP 126 PARCEL 41.56
 BOOK R2489, PAGE 46

INDUSTRIAL DEVELOPMENT BOARD OF
 MAURY COUNTY
 MAP 126 PARCEL 41.66
 BOOK R2523, PAGE 1227
 PLAT BOOK 21, PAGE 449

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 Ch Brg=N68° 09' 37"W
 Chord Length=93.62'

ARC LENGTH=67.04'
 RAD=80.000'
 Ch Brg=S52° 01' 27"W
 Chord Length=65.09'

ARC LENGTH=16.04'
 RAD=16.500'
 Ch Brg=N51° 15' 25"E
 Chord Length=15.42'

ARC LENGTH=427.81'
 RAD=1532.390'
 Ch Brg=N15° 28' 22"E
 Chord Length=426.42'

ARC LENGTH=196.86'
 RAD=63.500'
 Ch Brg=N09° 43' 24"W
 Chord Length=126.97'

ARC LENGTH=181.69'
 RAD=1502.390'
 Ch Brg=N66° 48' 02"E
 Chord Length=181.58'

ARC LENGTH=100.00'
 RAD=80.000'
 Ch Brg=N68° 09' 37"W
 Chord Length=93.62'

ARC LENGTH=67.04'
 RAD=80.000'
 Ch Brg=S52° 01' 27"W
 Chord Length=65.09'

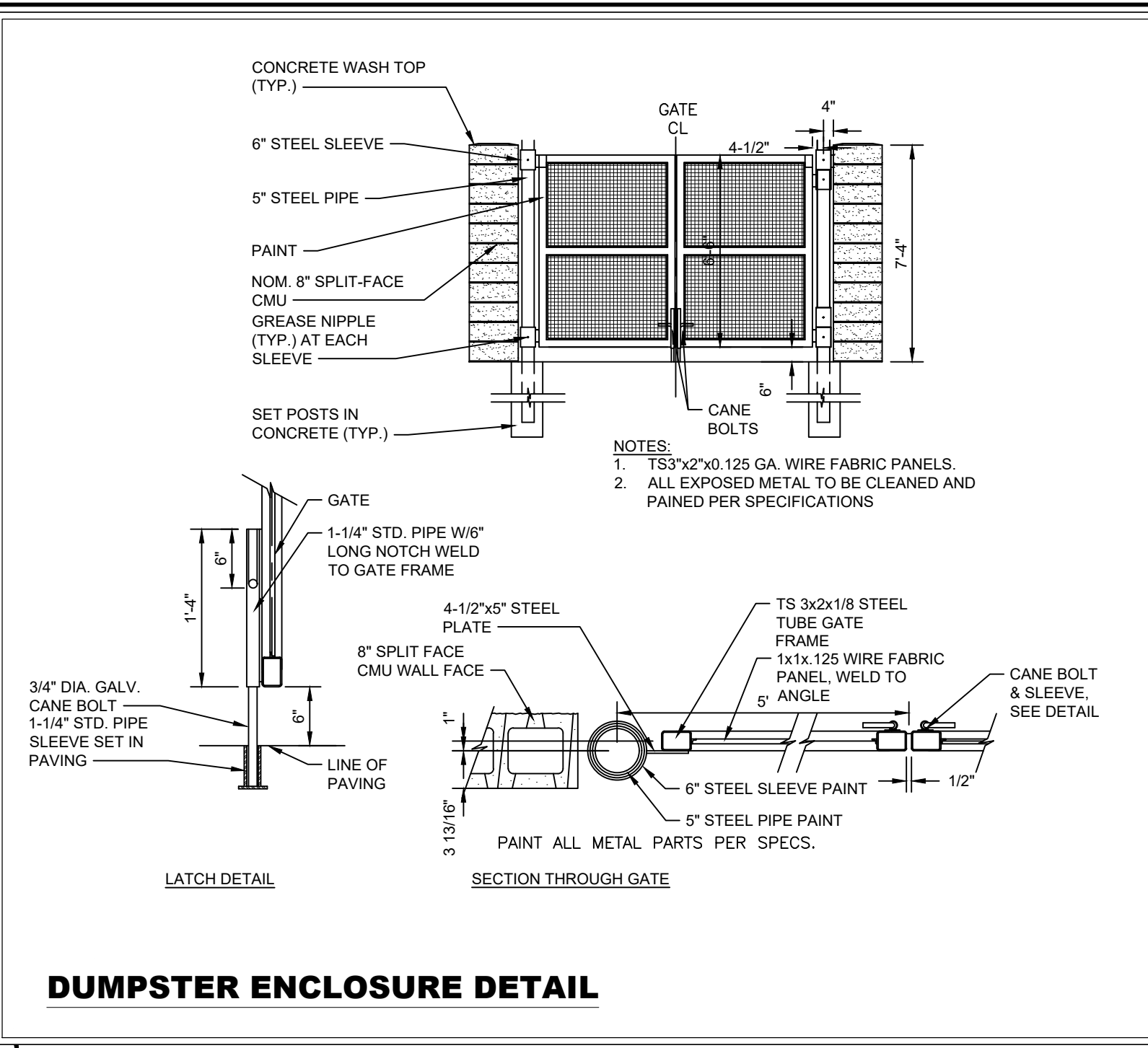
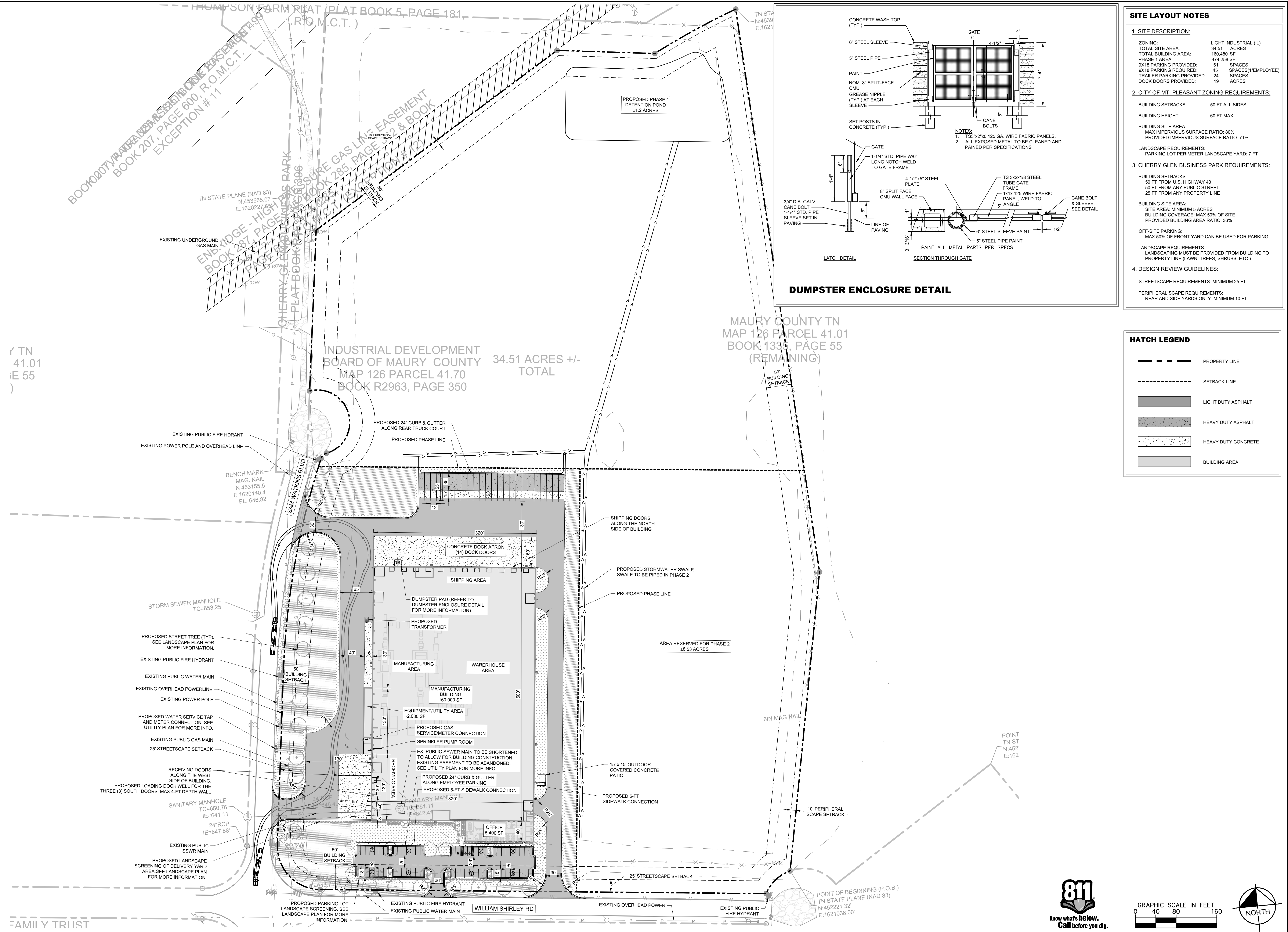
ARC LENGTH=16.04'
 RAD=16.500'
 Ch Brg=N51° 15' 25"E
 Chord Length=15.42'

ARC LENGTH=427.81'
 RAD=1532.390'
 Ch Brg=N15° 28' 22"E
 Chord Length=426.42'

ARC LENGTH=135.70'
 RAD=85.000'
 Ch Brg=N38° 15' 42"W
 Chord Length=121.74'

ARC LENGTH=100.00'
 RAD=80.000'
 Ch Brg=N68° 09' 37"W
 Chord Length

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SITE LAYOUT NOTES

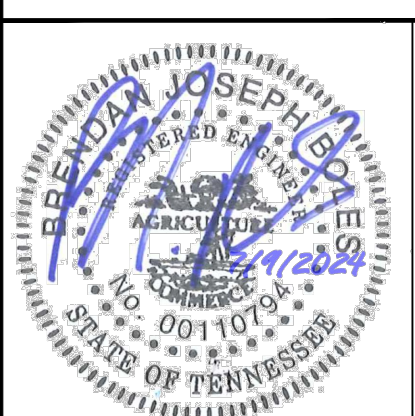
- SITE DESCRIPTION:**
 - ZONING: LIGHT INDUSTRIAL (IL)
 - TOTAL SITE AREA: 34.51 ACRES
 - TOTAL BUILDING AREA: 160,480 SF
 - PHASE 1 AREA: 474,258 SF
 - 9X18 PARKING PROVIDED: 61 SPACES
 - 9X18 PARKING REQUIRED: 45 SPACES (EMPLOYEE)
 - TRAILER PARKING PROVIDED: 24 SPACES
 - DOCK DOORS PROVIDED: 19 ACRES
- CITY OF MT. PLEASANT ZONING REQUIREMENTS:**
 - BUILDING SETBACKS: 50 FT ALL SIDES
 - BUILDING HEIGHT: 60 FT MAX.
 - BUILDING SITE AREA:
 - MAX IMPERVIOUS SURFACE RATIO: 80%
 - PROVIDED IMPERVIOUS SURFACE RATIO: 71%
 - LANDSCAPE REQUIREMENTS:
 - PARKING LOT PERIMETER LANDSCAPE YARD: 7 FT
- CHERRY GLEN BUSINESS PARK REQUIREMENTS:**
 - BUILDING SETBACKS:
 - 50 FT FROM U.S. HIGHWAY 43
 - 50 FT FROM ANY PUBLIC STREET
 - 25 FT FROM ANY PROPERTY LINE
 - BUILDING SITE AREA:
 - SITE AREA: MINIMUM 5 ACRES
 - BUILDING COVERAGE: MAX 50% OF SITE
 - PROVIDED BUILDING AREA RATIO: 36%
 - OFF-SITE PARKING:
 - MAX 50% OF FRONT YARD CAN BE USED FOR PARKING
 - LANDSCAPE REQUIREMENTS:
 - LANDSCAPING MUST BE PROVIDED FROM BUILDING TO PROPERTY LINE (LAWN, TREES, SHRUBS, ETC.)
- DESIGN REVIEW GUIDELINES:**
 - STREETSCAPE REQUIREMENTS: MINIMUM 25 FT
 - PERIPHERAL SCAPE REQUIREMENTS:
 - REAR AND SIDE YARDS ONLY: MINIMUM 10 FT

HATCH LEGEND

	PROPERTY LINE
	SETBACK LINE
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	HEAVY DUTY CONCRETE
	BUILDING AREA

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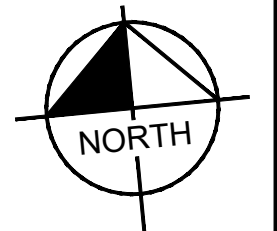
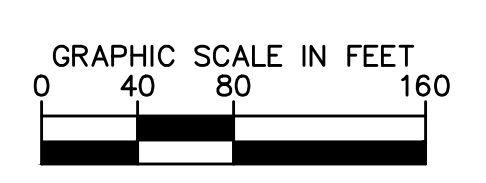
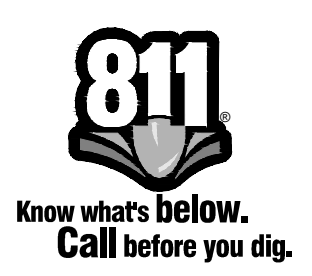
XXENTRIA PHASE 1
CHERRY GLEN INDUSTRIAL PARK
MOUNT PLEASANT, TN 38474



NO.	DATE	BY	REVISIONS
1	07.25.2024	CS	CITY SITE PLAN RESUBMITTAL

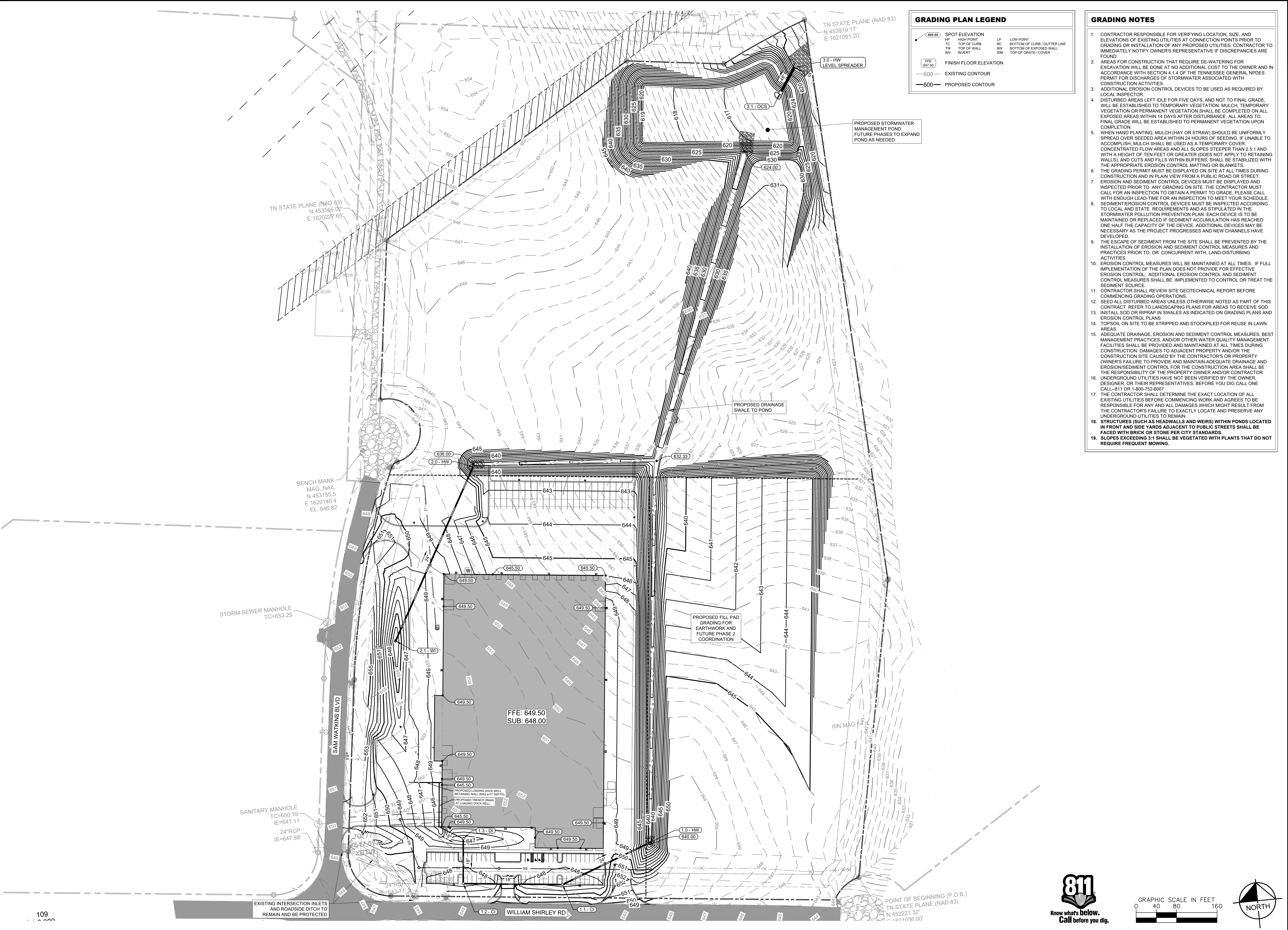
DESIGNED BY:	CS
DRAWN BY:	GB
CHECKED BY:	BB
DATE:	07/25/2024
KIMLEY-HORN PROJECT NO. 017693000	

SITE PLAN
SHEET NUMBER
C2-00



FAMII Y TRIST

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GRADING PLAN LEGEND

SPOT ELEVATION	LP	LOW POINT
HP	BC	BOTTOM OF CURB / GUTTER LINE
TC	BW	BOTTOM OF EXPOSED WALL
TI	RM	TOP OF GRATE / COVER
INVERT		
FINISH FLOOR ELEVATION		
600		EXISTING CONTOUR
600		PROPOSED CONTOUR

- GRADING NOTES**
- CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
 - AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.1.4 OF THE TENNESSEE GENERAL NPDES PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
 - DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
 - WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
 - THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
 - EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
 - SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
 - SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOD.
 - INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
 - TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
 - ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
 - UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-752-6007.
 - THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
 - STRUCTURES (SUCH AS HEADWALLS AND WEIRS) WITHIN PONDS LOCATED IN FRONT AND SIDE YARDS ADJACENT TO PUBLIC STREETS SHALL BE FACED WITH BRICK OR STONE PER CITY STANDARDS.
 - SLOPES EXCEEDING 3:1 SHALL BE VEGETATED WITH PLANTS THAT DO NOT REQUIRE FREQUENT MOWING.

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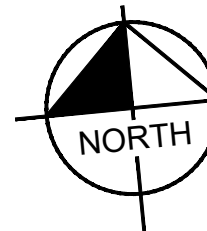
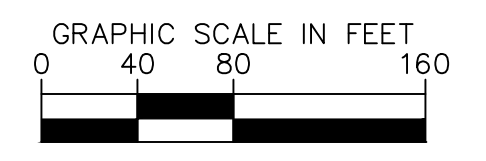
XXENTRIA PHASE 1
CHERRY GLEN INDUSTRIAL PARK
MOUNT PLEASANT, TN 38474



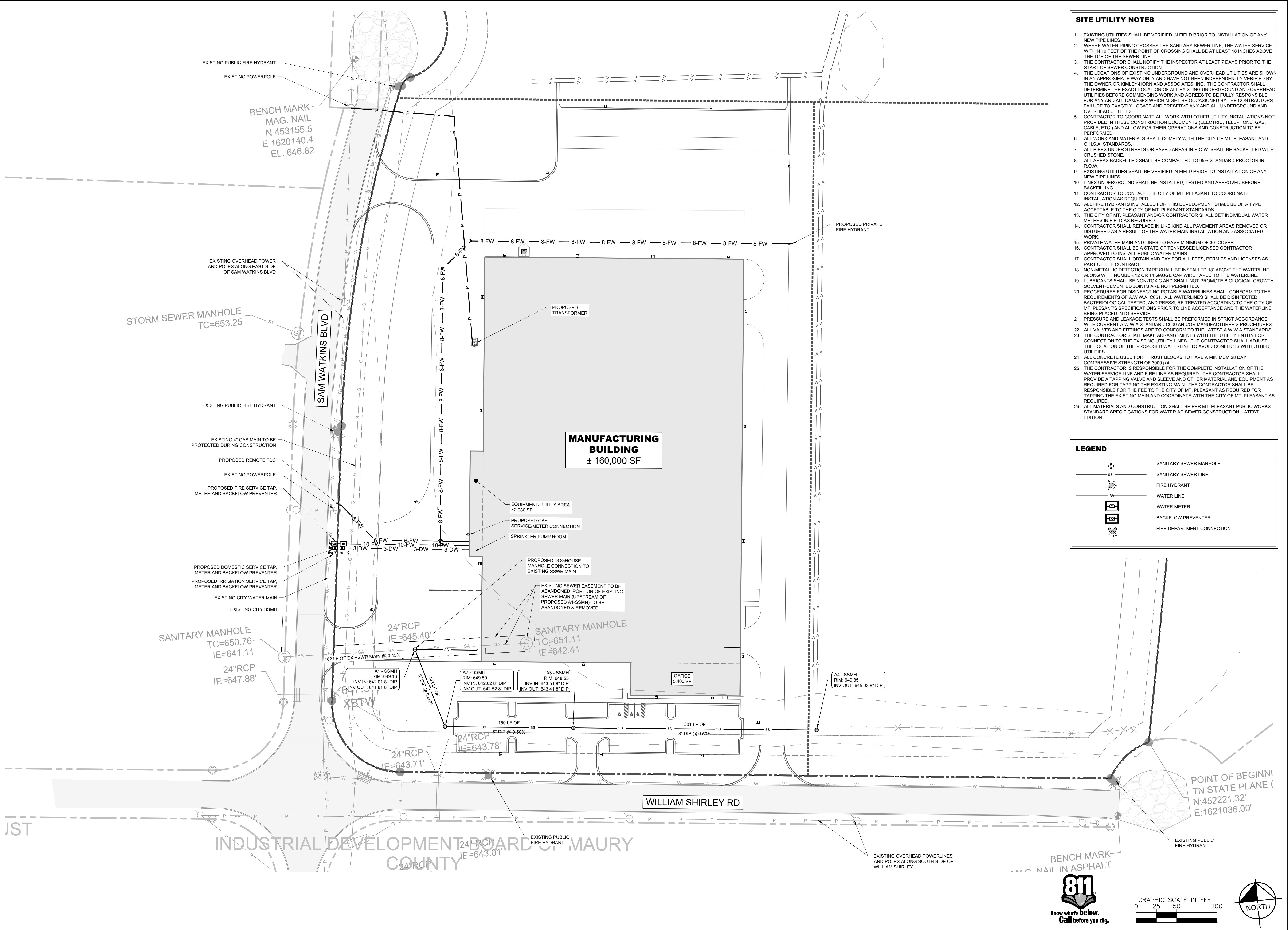
REVISIONS	DATE	BY
1	07.25.2024	CS
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10		

CITY SITE PLAN RESUBMITTAL

DESIGNED BY: CS
DRAWN BY: GB
CHECKED BY: BB
DATE: 07/25/2024
KIMLEY-HORN PROJECT NO. 017893000
GRADING AND DRAINAGE PLAN
SHEET NUMBER
C3-00



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- ### SITE UTILITY NOTES
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW PIPE LINES.
 - WHERE WATER PIPING CROSSES THE SANITARY SEWER LINE, THE WATER SERVICE WITHIN 10 FEET OF THE POINT OF CROSSING SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE.
 - THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AT LEAST 7 DAYS PRIOR TO THE START OF SEWER CONSTRUCTION.
 - THE LOCATIONS OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND AND OVERHEAD UTILITIES.
 - CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT PROVIDED IN THESE CONSTRUCTION DOCUMENTS (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PERFORMED.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF MT. PLEASANT AND O.H.S.A. STANDARDS.
 - ALL PIPES UNDER STREETS OR PAVED AREAS IN R.O.W. SHALL BE BACKFILLED WITH CRUSHED STONE.
 - ALL AREAS BACKFILLED SHALL BE COMPACTED TO 95% STANDARD PROCTOR IN R.O.W.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW PIPE LINES.
 - LINES UNDERGROUND SHALL BE INSTALLED, TESTED AND APPROVED BEFORE BACKFILLING.
 - CONTRACTOR TO CONTACT THE CITY OF MT. PLEASANT TO COORDINATE INSTALLATION AS REQUIRED.
 - ALL FIRE HYDRANTS INSTALLED FOR THIS DEVELOPMENT SHALL BE OF A TYPE ACCEPTABLE TO THE CITY OF MT. PLEASANT STANDARDS.
 - THE CITY OF MT. PLEASANT AND/OR CONTRACTOR SHALL SET INDIVIDUAL WATER METERS IN FIELD AS REQUIRED.
 - CONTRACTOR SHALL REPLACE IN LIKE KIND ALL PAVEMENT AREAS REMOVED OR DISTURBED AS A RESULT OF THE WATER MAIN INSTALLATION AND ASSOCIATED WORK.
 - PRIVATE WATER MAIN AND LINES TO HAVE MINIMUM OF 30" COVER.
 - CONTRACTOR SHALL BE A STATE OF TENNESSEE LICENSED CONTRACTOR APPROVED TO INSTALL PUBLIC WATER MAINS.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FEES, PERMITS AND LICENSES AS PART OF THE CONTRACT.
 - NON-METALLIC DETECTION TAPE SHALL BE INSTALLED 18" ABOVE THE WATERLINE, ALONG WITH NUMBER 12 OR 14 GAUGE CAP WIRE TAPED TO THE WATERLINE.
 - LUBRICANTS SHALL BE NON-TOXIC AND SHALL NOT PROMOTE BIOLOGICAL GROWTH. SOLVENT-CEMENTED JOINTS ARE NOT PERMITTED.
 - PROCEDURES FOR DISINFECTING POTABLE WATERLINES SHALL CONFORM TO THE REQUIREMENTS OF A.W.W.A. C651. ALL WATERLINES SHALL BE DISINFECTED, BACTERIOLOGICAL TESTED, AND PRESSURE TREATED ACCORDING TO THE CITY OF MT. PLEASANT'S SPECIFICATIONS PRIOR TO LINE ACCEPTANCE AND THE WATERLINE BEING PLACED INTO SERVICE.
 - PRESSURE AND LEAKAGE TESTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CURRENT A.W.W.A. STANDARD C600 AND/OR MANUFACTURER'S PROCEDURES.
 - ALL VALVES AND FITTINGS ARE TO CONFORM TO THE LATEST A.W.W.A. STANDARDS.
 - THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE UTILITY ENTITY FOR CONNECTION TO THE EXISTING UTILITY LINES. THE CONTRACTOR SHALL ADJUST THE LOCATION OF THE PROPOSED WATERLINE TO AVOID CONFLICTS WITH OTHER UTILITIES.
 - ALL CONCRETE USED FOR THRUST BLOCKS TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 psi.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE INSTALLATION OF THE WATER SERVICE LINE AND FIRE LINE AS REQUIRED. THE CONTRACTOR SHALL PROVIDE A TAPPING VALVE AND SLEEVE AND OTHER MATERIAL AND EQUIPMENT AS REQUIRED FOR TAPPING THE EXISTING MAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FEE TO THE CITY OF MT. PLEASANT AS REQUIRED FOR TAPPING THE EXISTING MAIN AND COORDINATE WITH THE CITY OF MT. PLEASANT AS REQUIRED.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE PER MT. PLEASANT PUBLIC WORKS STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION, LATEST EDITION.

LEGEND

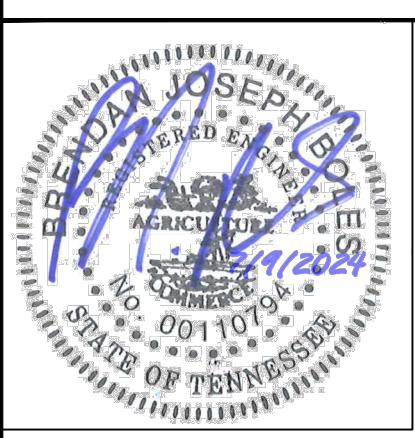
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	FIRE HYDRANT
	WATER LINE
	WATER METER
	BACKFLOW PREVENTER
	FIRE DEPARTMENT CONNECTION

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XXENTRIA PHASE 1

CHERRY GLEN INDUSTRIAL PARK
MOUNT PLEASANT, TN 38474



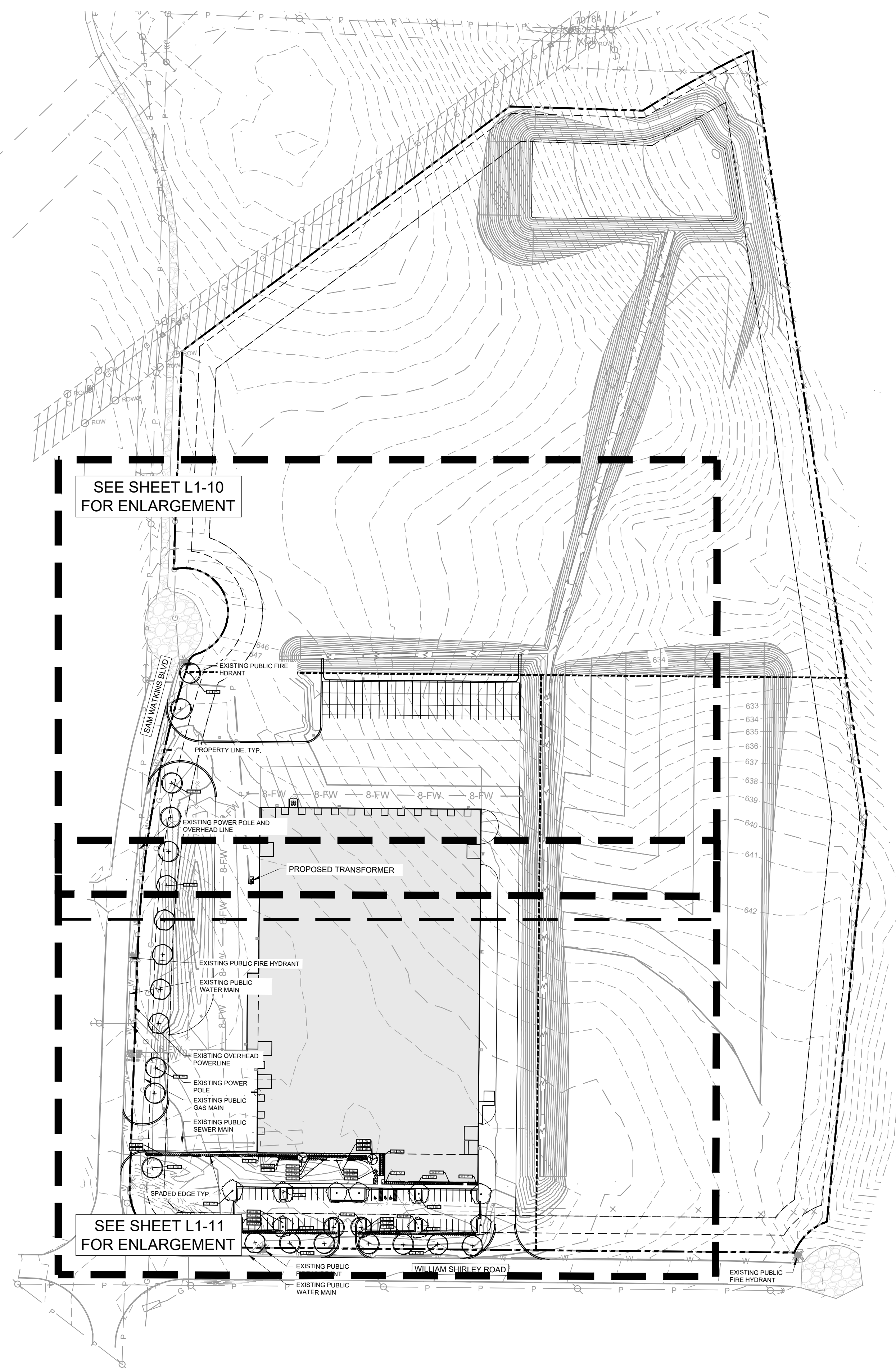
NO.	DATE	BY	REVISIONS
1	07.25.2024	CS	CITY SITE PLAN RESUBMITTAL

DESIGNED BY: CS
DRAWN BY: GB
CHECKED BY: BB
DATE: 07/25/2024
KIMLEY-HORN PROJECT NO. 017893000

UTILITY PLAN
SHEET NUMBER
C4-00

GRAPHIC SCALE IN FEET
0 25 50 100

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LANDSCAPE REQUIREMENTS

GROUNDCOVERS USED FOR THIS PURPOSE SHALL BE PLANTED WITH SUFFICIENTLY TIGHT SPACING TO PROVIDE 100 PERCENT COVERAGE WITHIN THE FIRST YEAR

BUILDING FOUNDATION PLANTING

- LANDSCAPE SHALL BE PLACED ON ALL SIDES THAT ARE VISIBLE FROM PUBLIC AREA.
- 1' OF PLANTING AREA WIDTH ADJACENT TO BUILDINGS HAVING TWO OR MORE STORIES.

PARKING LOT PERIMETER LANDSCAPE YARD

- LANDSCAPE YARD SHALL RUN THE FULL LENGTH OF THE PARKING LOT BOUNDARY EXCEPT ON SIDES THAT ARE NOT EXPOSED TO THE PUBLIC.
- PERIMETER LANDSCAPE YARD SHALL BE 7' IN WIDTH

INTERIOR PARKING LOT LANDSCAPING

- 10% OF TOTAL PARKING AREA SHALL BE LANDSCAPED WITH PARKING ISLANDS AND LANDSCAPED AREAS.
- ONE SHADE TREE PER 2,000 SQUARE FEET OF VUA.
- WITHIN THE INDUSTRIAL ZONING, INTERIOR LANDSCAPE ISLAND ARE NOT REQUIRED.
- MINIMUM OF 33% OF EVERY PARKING ISLAND SHALL BE PLANTED IN TURF OR OTHER LIVE GROUNDCOVER, PERENNIALS, OR ORNAMENTAL GRASSES.

STREET YARD

- STREET YARDS SHALL BE REQUIRED WHERE THE SITE ADJOINS THE PUBLIC STREET RIGHT-OF-WAY.
- STREET YARDS SHALL BE 10' IN DEPTH MEASURED FROM THE PROPERTY LINE TOWARDS THE INTERIOR OF THE PROPERTY.
- SHRUBS REQUIRED FOR SCREENING OF VEHICLE USE AREA MAY BE LOCATED WITHIN THE YARD.

BUFFER YARDS

- NO BUFFER YARDS ARE REQUIRED
- EXISTING LAND USE: INDUSTRIAL
- PROPOSED LAND USE: INDUSTRIAL

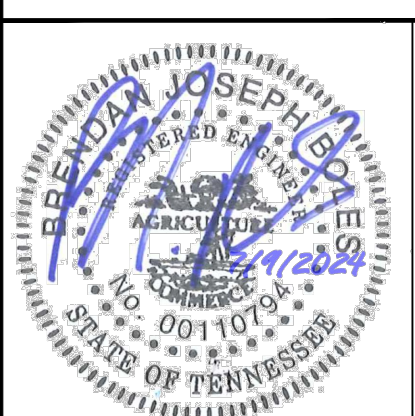
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION
CANOPY TREES							
	AR	11	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	AS SHOWN	2" CAL. MIN; 8'-10' HT.	B&B FULL CANOPY, MATCHED
	PA	14	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	AS SHOWN	2" CAL. MIN; 8'-10' HT.	B&B FULL CANOPY, MATCHED
	QP	10	QUERCUS PALUSTRIS	PIN OAK	AS SHOWN	2" CAL. MIN; 8'-10' HT.	B&B FULL CANOPY, MATCHED
EVERGREEN TREES							
	JV	14	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR EASTERN REDCEDAR	AS SHOWN	2" CAL.; 6-8' HT.	B&B STRAIGHT CENTRAL LEADER, FULL CANOPY, MATCHED
UNDERSTORY TREES							
	AC	2	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	AS SHOWN	2" CAL. PER STEM; 6-8' HT.	B&B 3 STEMS, MATCHED, FULL
EVERGREEN SHRUBS							
	BG	78	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	AS SHOWN	18" MIN. HT.	3 GAL. MATCHED, FULL TO GROUND
	IC	107	ILEX CORNUTA 'SOFT TOUCH'	SOFT TOUCH HOLLY	AS SHOWN	18" MIN. HT.	3 GAL. MATCHED, FULL, FREE OF WEEDS
ORNAMENTAL GRASSES							
	CKF	57	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	AS SHOWN	18" MIN. HT.	3 GAL. MATCHED, FULL, FREE OF WEEDS
	PK	52	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	AS SHOWN	18" MIN. HT.	3 GAL. MATCHED, FULL, FREE OF WEEDS
GROUND COVERS							
	BB	616	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	18" O.C.	TRAY	CONT. MATCHED, FULL, FREE OF WEEDS
SOD/SEED							
	SEED	110,772 SF	SEED	TALL FESCUE SEED MIX	-	-	SEED -
	TB	40,682 SF	TALL FESCUE SOD	-	SOD	ROLLS OR SQUARES	SOD/TURF TIGHT, SAND ROLLED JOINTS, FREE OF WEEDS & DEBRIS

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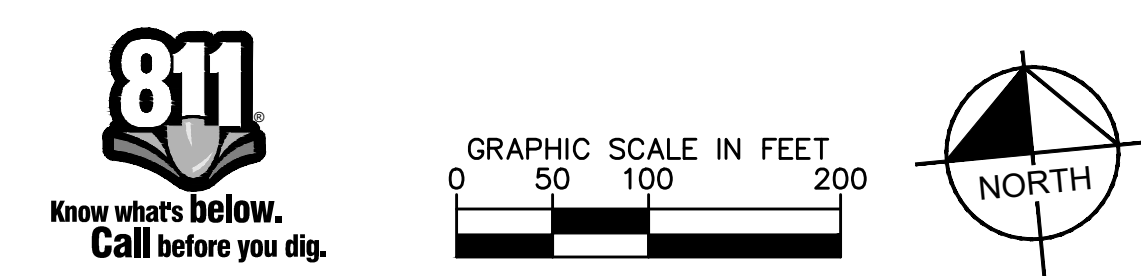
XXENTRIA PHASE 1
CHERRY GLEN INDUSTRIAL PARK
MOUNT PLEASANT, TN 38474



NO.	REVISIONS	DATE	BY
1	CITY SITE PLAN RESUBMITTAL	07/25/2024	CS
2			
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DESIGNED BY: OGB
DRAWN BY: OGB
CHECKED BY: JBB
DATE: 07/25/2024
KIMLEY-HORN PROJECT NO. 017693000

LANDSCAPE PLAN - OVERALL
SHEET NUMBER
L1-00



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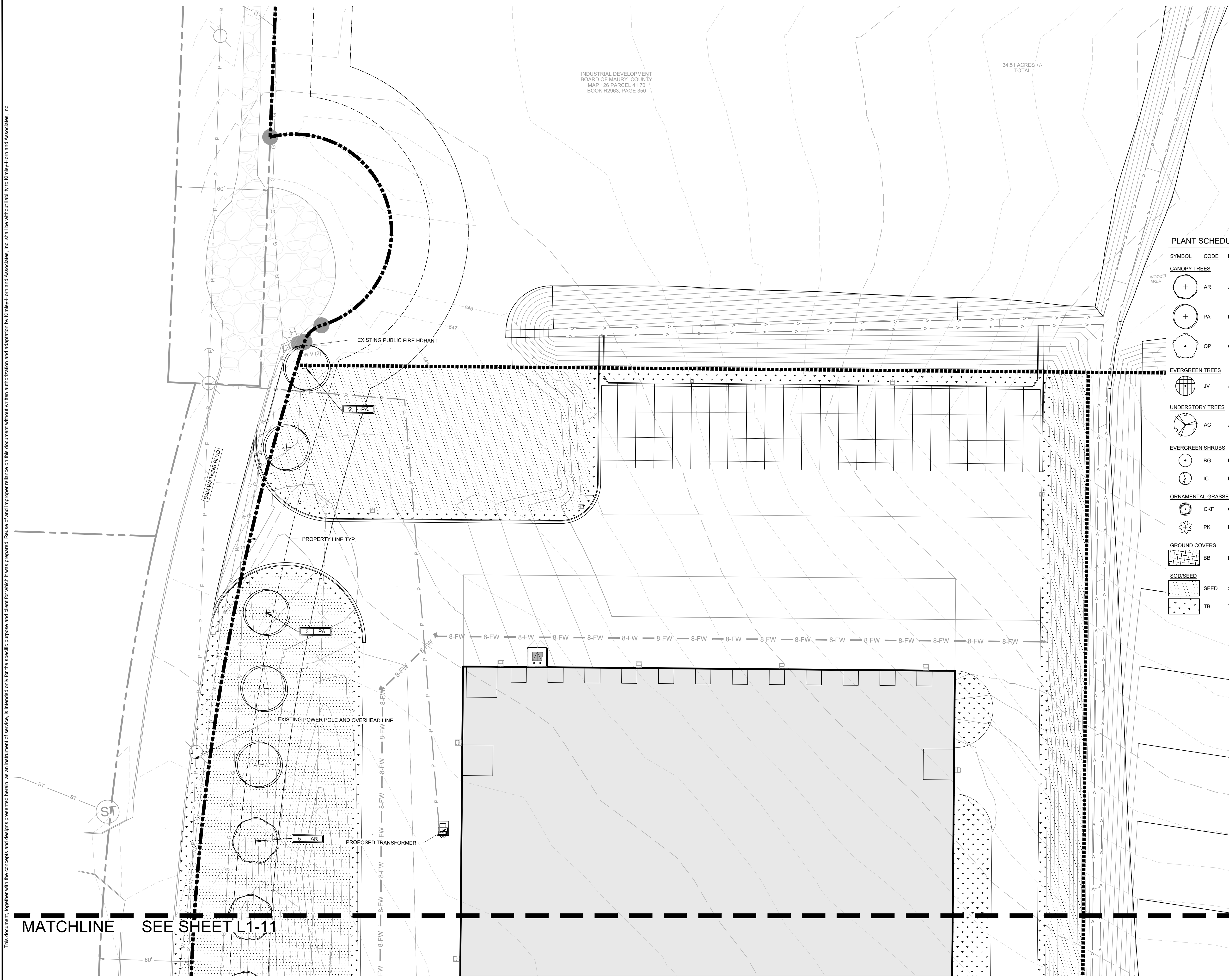
INDUSTRIAL DEVELOPMENT
BOARD OF MAURY COUNTY
MAP 126 PARCEL 41.70
BOOK R2963, PAGE 390

34.51 ACRES +/-
TOTAL

LANDSCAPE REQUIREMENTS	
BUILDING FOUNDATION PLANTING	<ul style="list-style-type: none"> LANDSCAPE SHALL BE PLACED ON ALL SIDES THAT ARE VISIBLE FROM PUBLIC AREA. 10' OF PLANTING AREA WIDTH ADJACENT TO BUILDINGS HAVING TWO OR MORE STORIES.
PARKING LOT PERIMETER LANDSCAPE YARD	<ul style="list-style-type: none"> LANDSCAPE YARD SHALL RUN THE FULL LENGTH OF THE PARKING LOT BOUNDARY EXCEPT ON SIDES THAT ARE NOT EXPOSED TO THE PUBLIC. PERIMETER LANDSCAPE YARD SHALL BE 7' IN WIDTH
INTERIOR PARKING LOT LANDSCAPING	<ul style="list-style-type: none"> 10% OF TOTAL PARKING AREA SHALL BE LANDSCAPED WITH PARKING ISLANDS AND LANDSCAPED AREAS. ONE SHADE TREE PER 2,000 SQUARE FEET OF VUA. WITHIN THE INDUSTRIAL ZONING, INTERIOR LANDSCAPE ISLAND ARE NOT REQUIRED. MINIMUM OF 33% OF EVERY PARKING ISLAND SHALL BE PLANTED IN TURF OR OTHER LIVE GROUNDCOVER, PERENNIALS, OR ORNAMENTAL GRASSES.
STREET YARD	<ul style="list-style-type: none"> STREET YARDS SHALL BE REQUIRED WHERE THE SITE ADJOINS THE PUBLIC STREET RIGHT-OF-WAY. STREET YARDS SHALL BE 10' IN DEPTH MEASURED FROM THE PROPERTY LINE TOWARDS THE INTERIOR OF THE PROPERTY. SHRUBS REQUIRED FOR SCREENING OF VEHICLE USE AREA MAY BE LOCATED WITHIN THE YARD.
BUFFER YARDS	<ul style="list-style-type: none"> NO BUFFER YARDS ARE REQUIRED EXISTING LAND USE: INDUSTRIAL PROPOSED LAND USE: INDUSTRIAL

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
CANOPY TREES			
	AR	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE
	PA	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE
	QP	QUERCUS PALUSTRIS	PIN OAK
EVERGREEN TREES			
	JV	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR EASTERN REDCEDAR
UNDERSTORY TREES			
	AC	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY
EVERGREEN SHRUBS			
	BG	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD
	IC	ILEX CORNUTA 'SOFT TOUCH'	SOFT TOUCH HOLLY
ORNAMENTAL GRASSES			
	CKF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS
	PK	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS
GROUND COVERS			
	BB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF
	SEED	SEED	TALL FESCUE SEED MIX
	TB	TALL FESCUE SOD	



MATCHLINE SEE SHEET L1-11

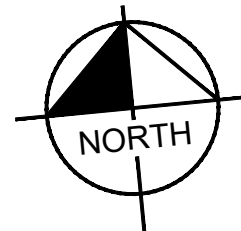
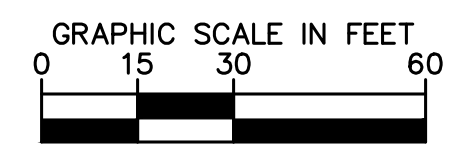
Kimley»Horn
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Main: 615.564.2701 | www.kimley-horn.com
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XXENTRIA PHASE 1
CHERRY GLEN INDUSTRIAL PARK
MOUNT PLEASANT, TN 38474

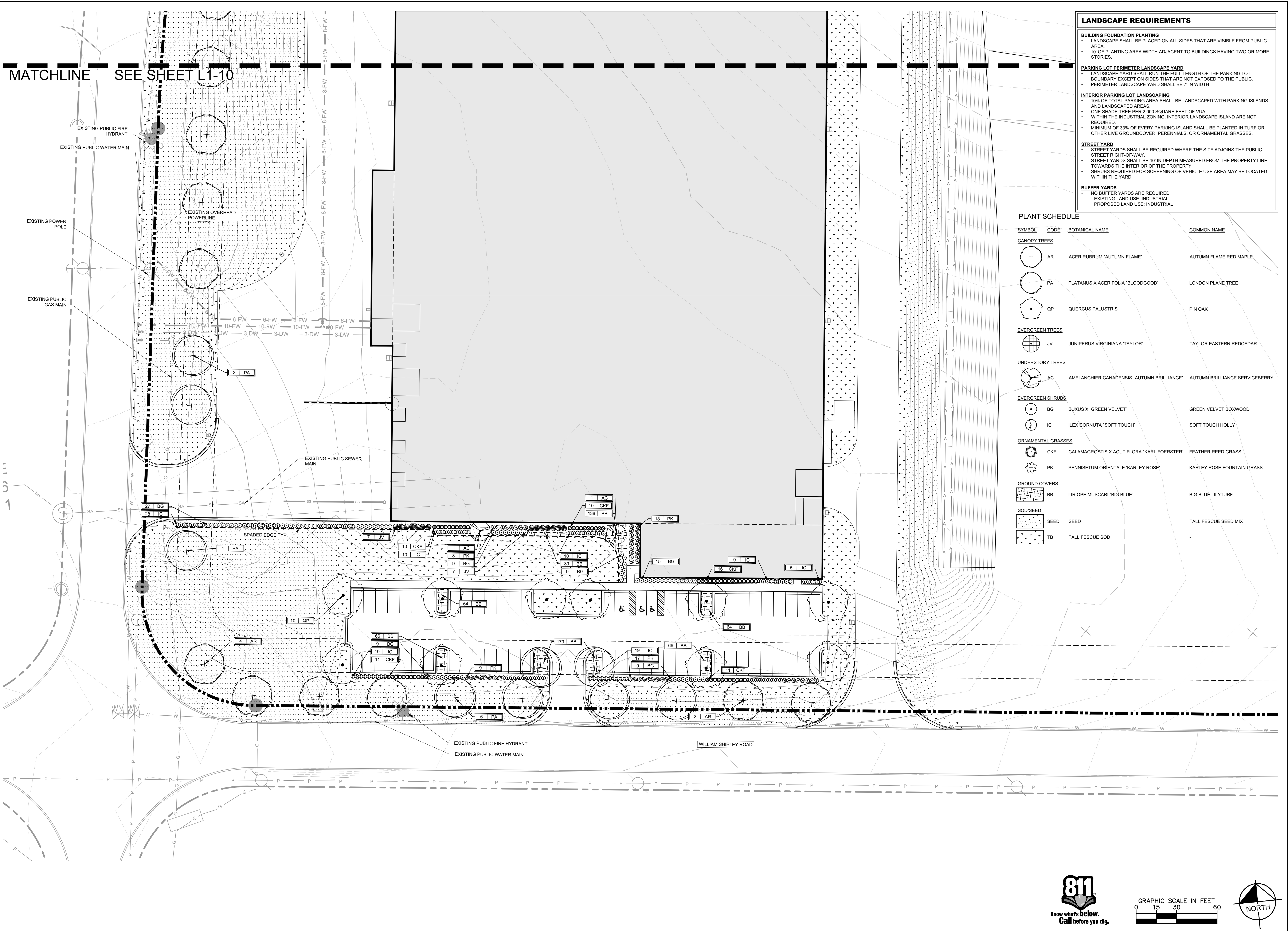
NO.	REVISIONS	DATE	BY
1	CITY SITE PLAN RESUBMITTAL	07.25.2024	CS
2			
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9			
10			

DESIGNED BY: CS
DRAWN BY: GB
CHECKED BY: BB
DATE: 07/25/2024
KIMLEY-HORN PROJECT NO. 017693000

LANDSCAPE PLAN - ENLARGEMENT
SHEET NUMBER
L1-10



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LANDSCAPE REQUIREMENTS

BUILDING FOUNDATION PLANTING

- LANDSCAPE SHALL BE PLACED ON ALL SIDES THAT ARE VISIBLE FROM PUBLIC AREA.
- 10' OF PLANTING AREA WIDTH ADJACENT TO BUILDINGS HAVING TWO OR MORE STORIES.

PARKING LOT PERIMETER LANDSCAPE YARD

- LANDSCAPE YARD SHALL RUN THE FULL LENGTH OF THE PARKING LOT BOUNDARY EXCEPT ON SIDES THAT ARE NOT EXPOSED TO THE PUBLIC.
- PERIMETER LANDSCAPE YARD SHALL BE 7' IN WIDTH

INTERIOR PARKING LOT LANDSCAPING

- 10% OF TOTAL PARKING AREA SHALL BE LANDSCAPED WITH PARKING ISLANDS AND LANDSCAPED AREAS.
- ONE SHADE TREE PER 2,000 SQUARE FEET OF VUA.
- WITHIN THE INDUSTRIAL ZONING, INTERIOR LANDSCAPE ISLAND ARE NOT REQUIRED.
- MINIMUM OF 33% OF EVERY PARKING ISLAND SHALL BE PLANTED IN TURF OR OTHER LIVE GROUNDCOVER, PERENNIALS, OR ORNAMENTAL GRASSES.

STREET YARD

- STREET YARDS SHALL BE REQUIRED WHERE THE SITE ADJOINS THE PUBLIC STREET RIGHT-OF-WAY.
- STREET YARDS SHALL BE 10' IN DEPTH MEASURED FROM THE PROPERTY LINE TOWARDS THE INTERIOR OF THE PROPERTY.
- SHRUBS REQUIRED FOR SCREENING OF VEHICLE USE AREA MAY BE LOCATED WITHIN THE YARD.

BUFFER YARDS

- NO BUFFER YARDS ARE REQUIRED
- EXISTING LAND USE: INDUSTRIAL
- PROPOSED LAND USE: INDUSTRIAL

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
CANOPY TREES			
	AR	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE
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GROUND COVERS			
	BB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF
SOD/SEED			
	SEED		TALL FESCUE SEED MIX
	TB		TALL FESCUE SOD

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CHERRY GLEN INDUSTRIAL PARK

MOUNT PLEASANT, TN 38474

NO.	REVISIONS	DATE	BY
1	CITY SITE PLAN RESUBMITTAL	07/25/2024	CS
2			
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10			

DESIGNED BY:	CS
DRAWN BY:	GB
CHECKED BY:	BB
DATE:	07/25/2024
KIMLEY-HORN PROJECT NO.	017893000

LANDSCAPE PLAN - ENLARGEMENT

SHEET NUMBER

L1-11

811
Know what's below.
Call before you dig.

GRAPHIC SCALE IN FEET

0 15 30 60

NORTH

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

1.01 SCOPE OF WORK

- A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
C. THE CONTRACTOR SHALL CONTACT THE OWNER AND TENNESSEE ONE CALL AT (615) 351-1111, TWO (2) FULL BUSINESS DAYS PRIOR TO THE BEGINNING OF WORK.
D. THE CITY MUST APPROVE ALL WORK HOURS AND LANE CLOSURE REQUESTS AT LEAST TWO (2) FULL WORKING DAYS IN ADVANCE OF THE START OF ANY SUCH WORK ON A LOCATION BY LOCATION BASIS. THE INDIVIDUAL(S) INSTALLING THE MAINTENANCE OF TRAFFIC SETUP SHALL HAVE COMPLETED A TDOT APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE. DOCUMENTATION SHALL BE FURNISHED TO THE CITY AT THE PRE-CONSTRUCTION MEETING OR PRIOR TO START OF WORK.
E. ALL LANDSCAPE MATERIAL SHALL BE INSTALLED AND MAINTAINED IN A MANNER WHEREBY TRAFFIC CONTROL, SIGNAGE AND DEVICES ARE VISIBLE TO MOTORISTS AND PEDESTRIANS.

1.02 PROTECTION OF EXISTING STRUCTURES

- A. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND AT NO COST TO THE OWNER.
B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO TDOT, COUNTY, OR CITY STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF COMPLIANCE WITH THIS SECTION WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

1.03 PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

1.04 MATERIALS

- A. GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE LANDSCAPE ARCHITECT. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

Table with 2 columns: MATERIAL, SAMPLE SIZE. Rows include MULCH (ONE (1) CUBIC FOOT), TOPSOIL MIX (ONE (1) CUBIC FOOT), PLANTS (ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)).

B. PLANT MATERIALS

- 1. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS SET FORTH IN ANSI Z601.2-2014-AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER, WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
2. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE ROOTBALL OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
3. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

1.05 SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 1/2 LOOSE COMPOST (NO GREATER THAN 1" SIV), 1/3 PEAT AND 1/2 SAND, AS DESCRIBED BELOW.
B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR APPROVAL BY THE OWNER.
D. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE, AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

1.06 WATER

- A. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

1.07 FERTILIZER

- A. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

1.08 MULCH

- A. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES FOR ALL PLANTINGS UNLESS OTHERWISE NOTED. MULCH AT ALL PLANTING BEDS SHALL BE TRIPLE SHREDDED HARDWOOD.

1.09 DIGGING AND HANDLING

- A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT.
B. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
C. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES. ALL TREES SHALL BE PLANTED AS INDICATED ON DRAWINGS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH OF PLANTING SOIL.

1.10 CONTAINER GROWN STOCK

- A. ALL TREES SPECIFIED SHALL BE BALL AND BURLAP, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
B. ALL SHRUB SPECIES SHALL BE CONTAINER GROWN.
C. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
D. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
E. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.

1.11 MATERIALS LIST

- A. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

1.12 FINE GRADING

- A. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
B. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

1.13 PLANTING PROCEDURES

- A. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL, IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
B. SUBGRADE EXCAVATION: THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" AT TREES AND 18" AT SHRUBS AND PERENNIALS. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISH GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" AND DEEP EXCAVATION BY THE CONTRACTOR AND POSITIVE DRAINAGE CANNOT BE ACHIEVED, THE CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
C. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, UTILITY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CONTACT TENNESSEE ONE CALL AT (615) 351-1111 TO LOCATE ALL UTILITIES.
D. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
E. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
F. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
G. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z601.2-2014 - AMERICAN STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
H. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
I. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 1.05 OF THESE SPECIFICATIONS.
J. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
K. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOW ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 12", REMOVE AND DISPOSE ALL DEBRIS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH, MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
L. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
M. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS, PRIOR TO FINAL INSPECTION. TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

1.14 LAWN SODDING

- A. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
B. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH, DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
C. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP, HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
D. SODDING
1. THE CONTRACTOR SHALL SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS NOT COVERED BY HARDSCAPE OR VEGETATIVE MATERIAL, UNLESS SPECIFICALLY NOTED OTHERWISE.
2. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED, IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
3. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
E. LAWN MAINTENANCE
1. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING RE-GRADING IF NECESSARY).
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

1.15 CLEANUP

- A. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

1.16 PLANT MATERIAL MAINTENANCE

- A. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.

1.17 FINAL INSPECTION AND ACCEPTANCE OF WORK

- A. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

1.18 WARRANTY

- A. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL, INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
B. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION DURING THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED WITHIN TEN (10) DAYS OF NOTICE, OR BETWEEN SEPTEMBER-NOVEMBER, MARCH-MAY. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
C. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

Kimley»Horn

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XXENTRIA PHASE 1
CHERRY GLEN INDUSTRIAL PARK
MOUNT PLEASANT, TN 38474

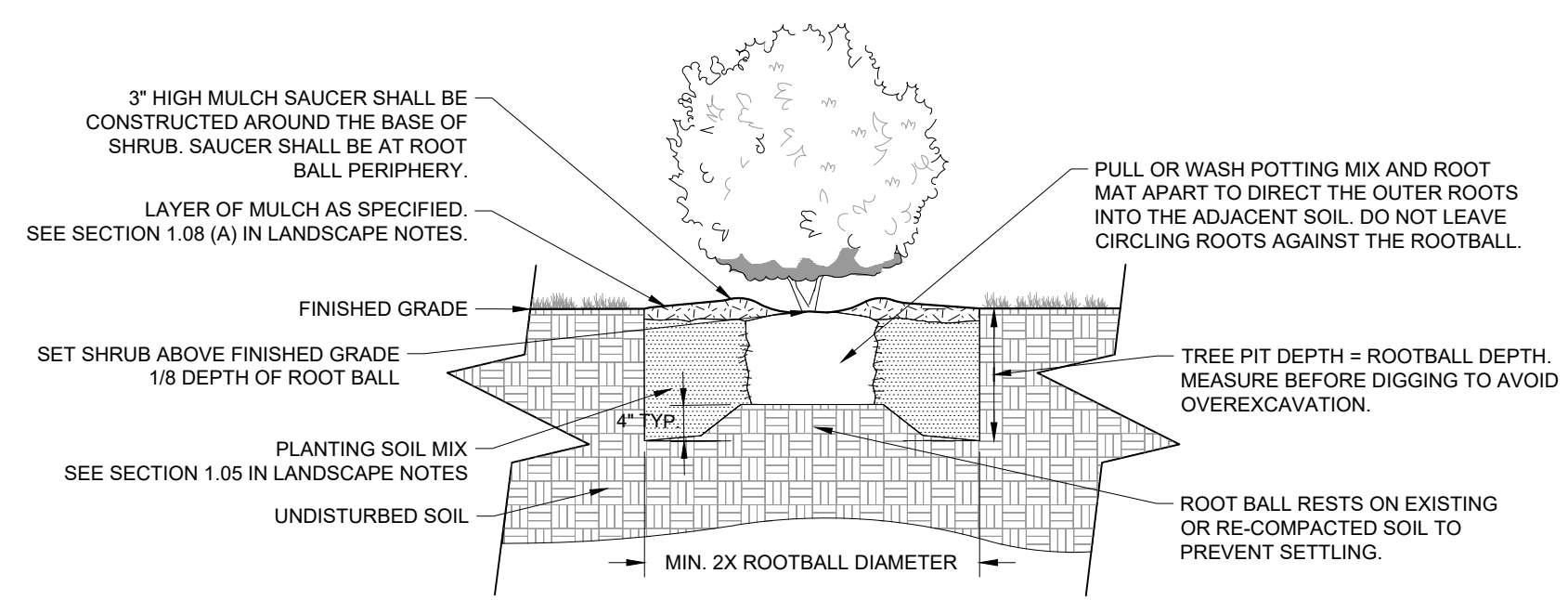
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Table with 2 columns: No., DESIGNED BY: CS, DRAWN BY: GB, CHECKED BY: BB, DATE: 07/25/2024, KIMLEY-HORN PROJECT NO. 017693000

LANDSCAPE NOTES
SHEET NUMBER
L1-50



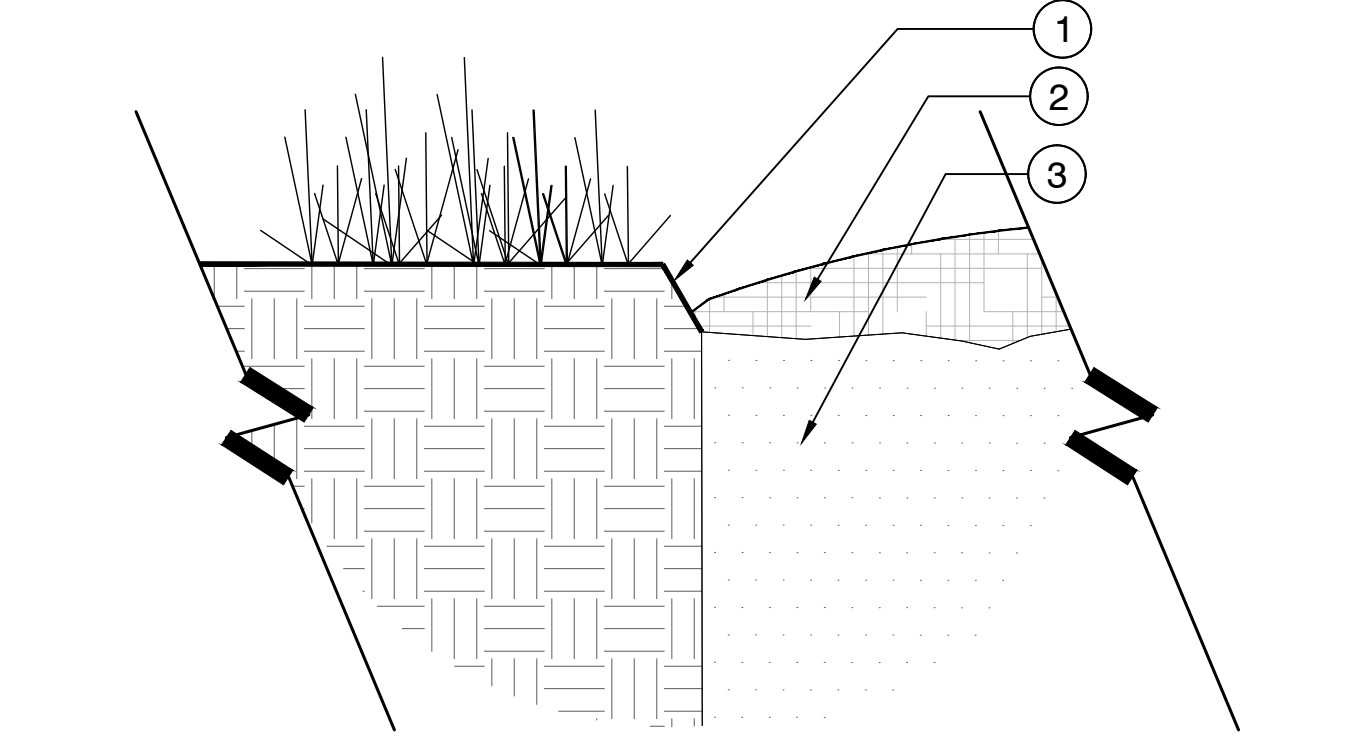
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1 CONTAINER SHRUB PLANTING

NOT TO SCALE

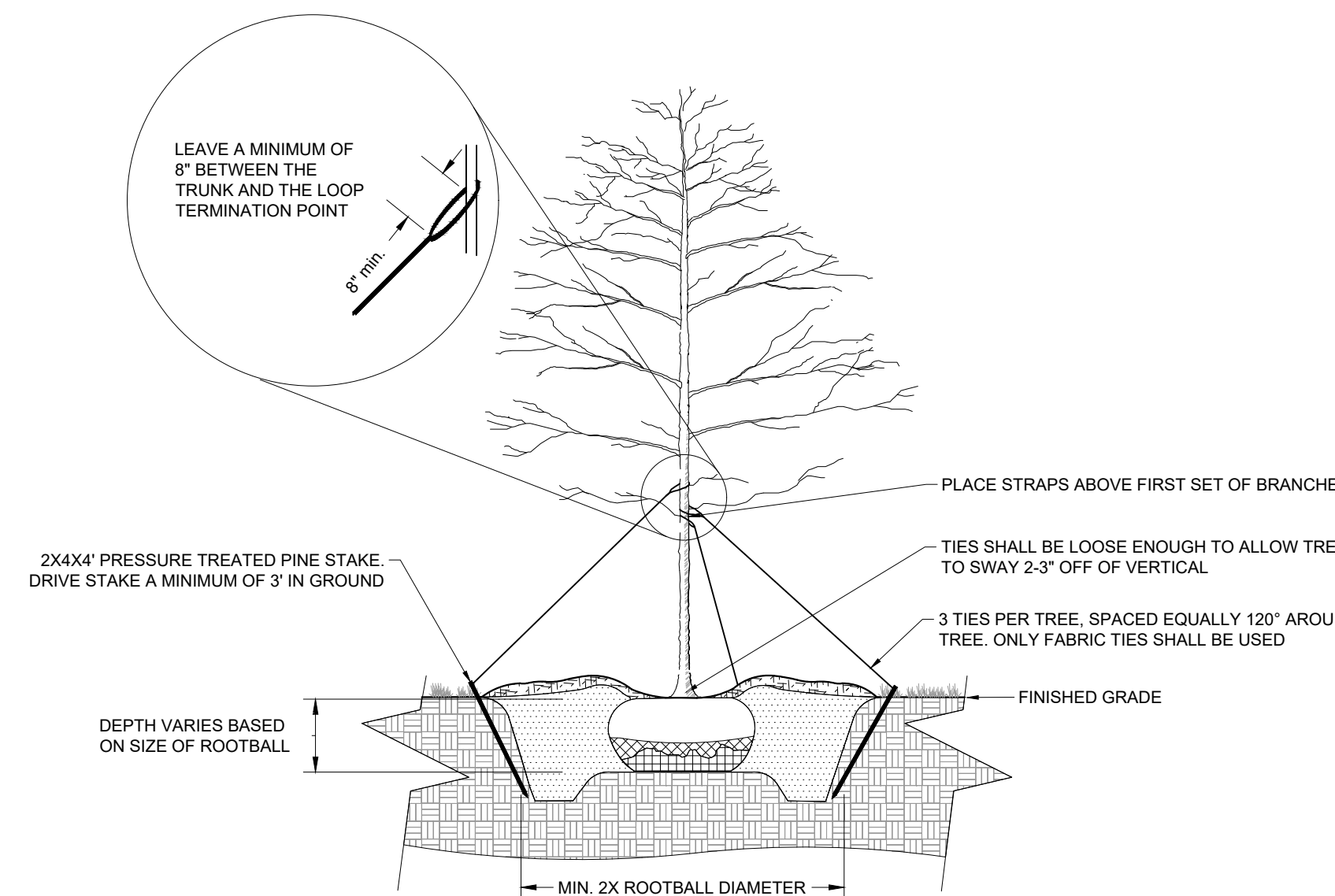
- 1 SPADED LANDSCAPE BED EDGE
- 2 3" HIGH MULCH SAUCER SHALL BE CONSTRUCTED AROUND THE BASE OF SHRUB/TREE
- 3 PLANTING SOIL MIX SEE SECTION 1.05 IN LANDSCAPE NOTES



4 SPADED EDGE

1 1/2" = 1'-0"

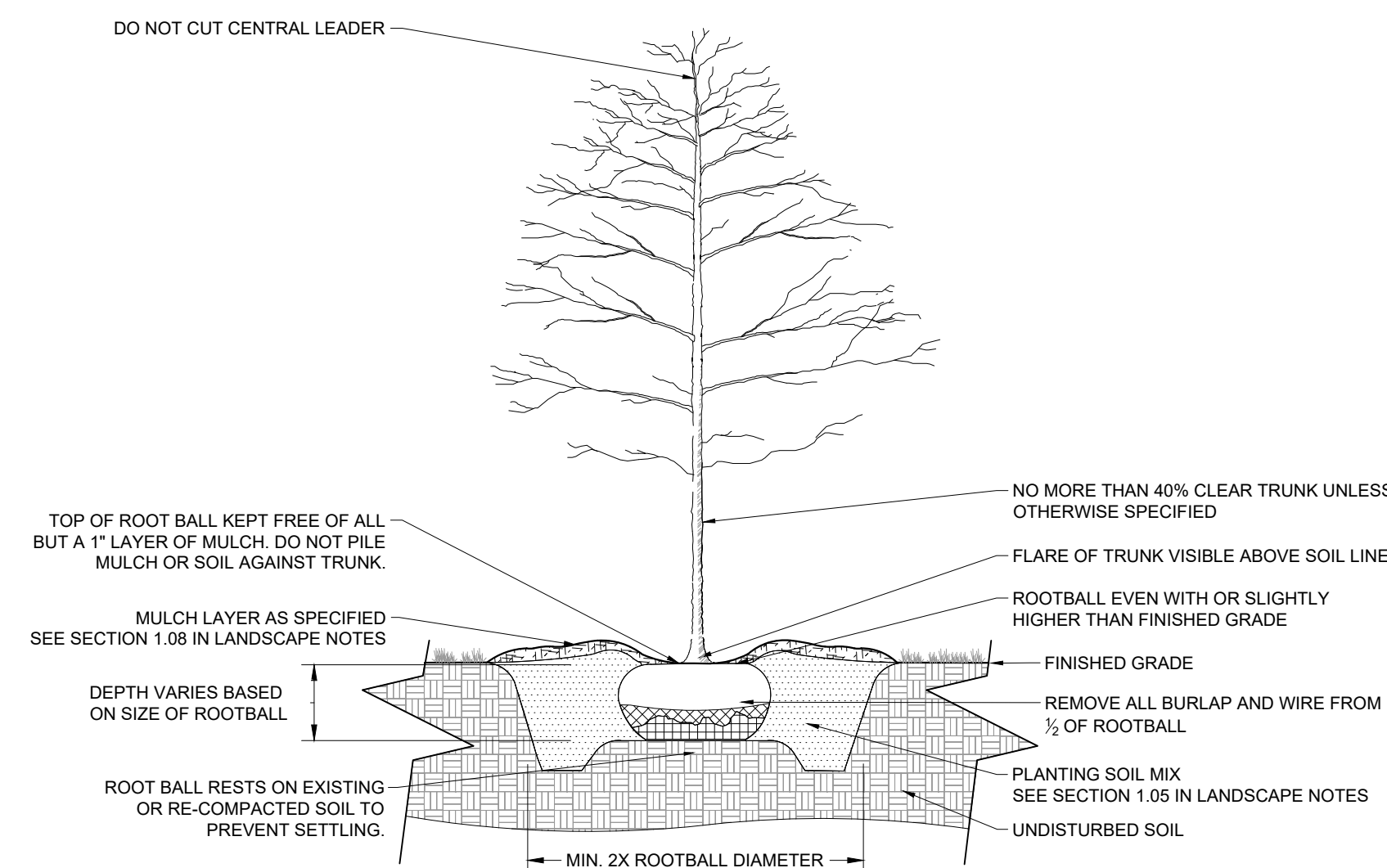
PO-MT1-06



2 TREE STAKING

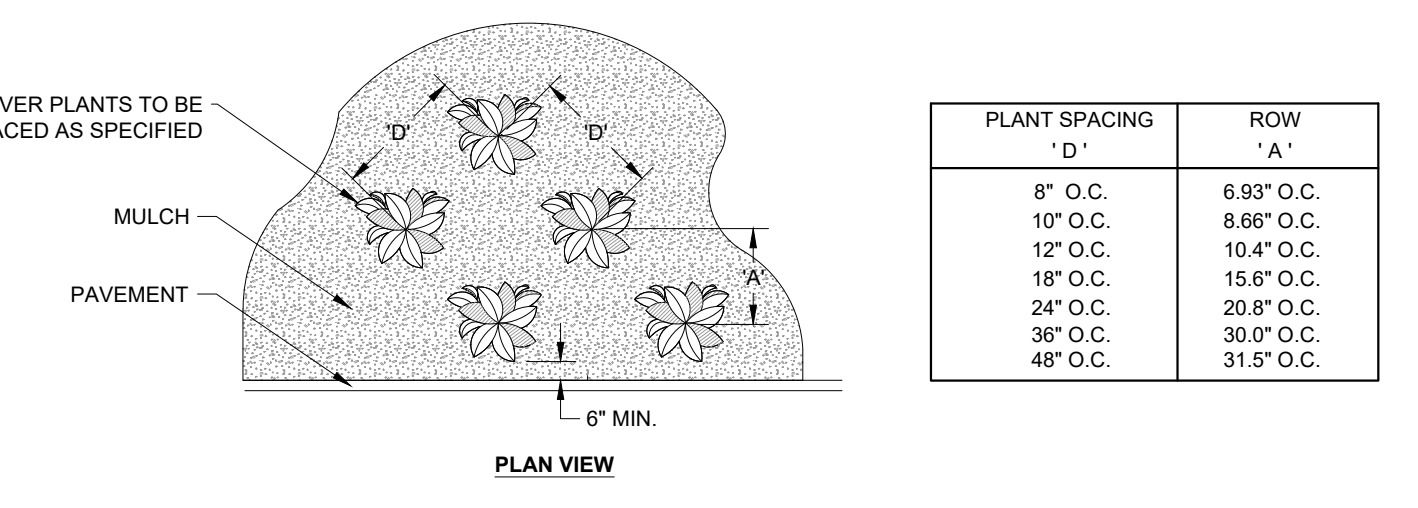
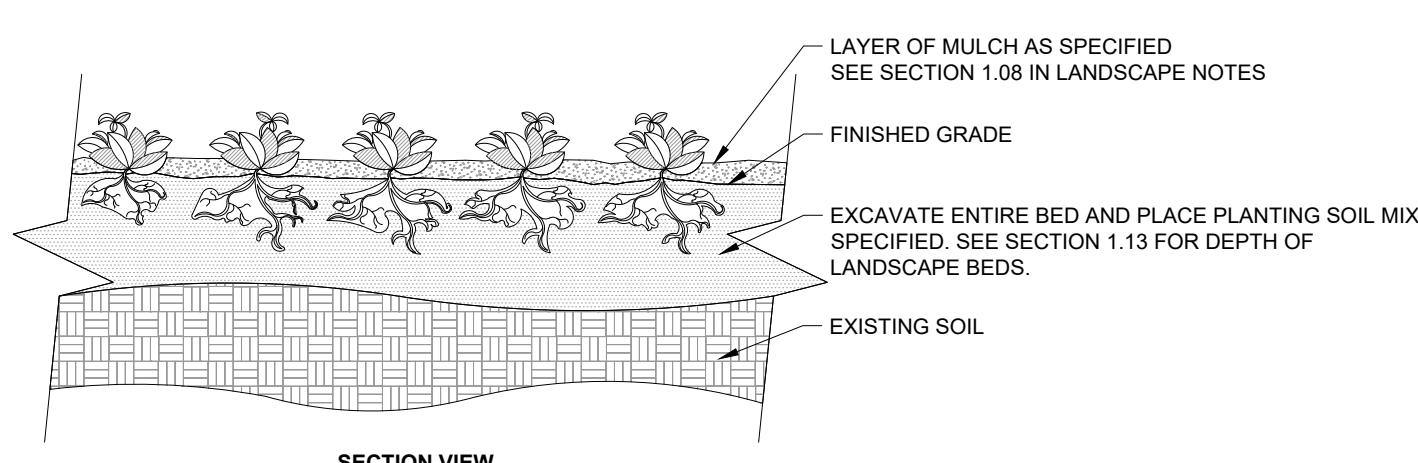
NOT TO SCALE

NOTE: TREE STAKING MAY BE USED ONLY ON TREES LARGER THAN 3" CAL., UNLESS OTHERWISE APPROVED BY THE CITY LANDSCAPE ARCHITECT.



3 B&B TREE PLANTING

NOT TO SCALE



PLANT SPACING 'D'	ROW 'A'
8" O.C.	6.93" O.C.
10" O.C.	8.66" O.C.
12" O.C.	10.4" O.C.
18" O.C.	15.6" O.C.
24" O.C.	20.8" O.C.
36" O.C.	30.0" O.C.
48" O.C.	31.5" O.C.

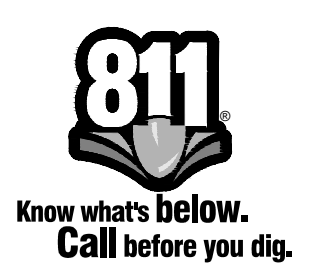
- NOTES:
- 1 SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
 - 2 SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.

5 GROUNDCOVER PLANTING

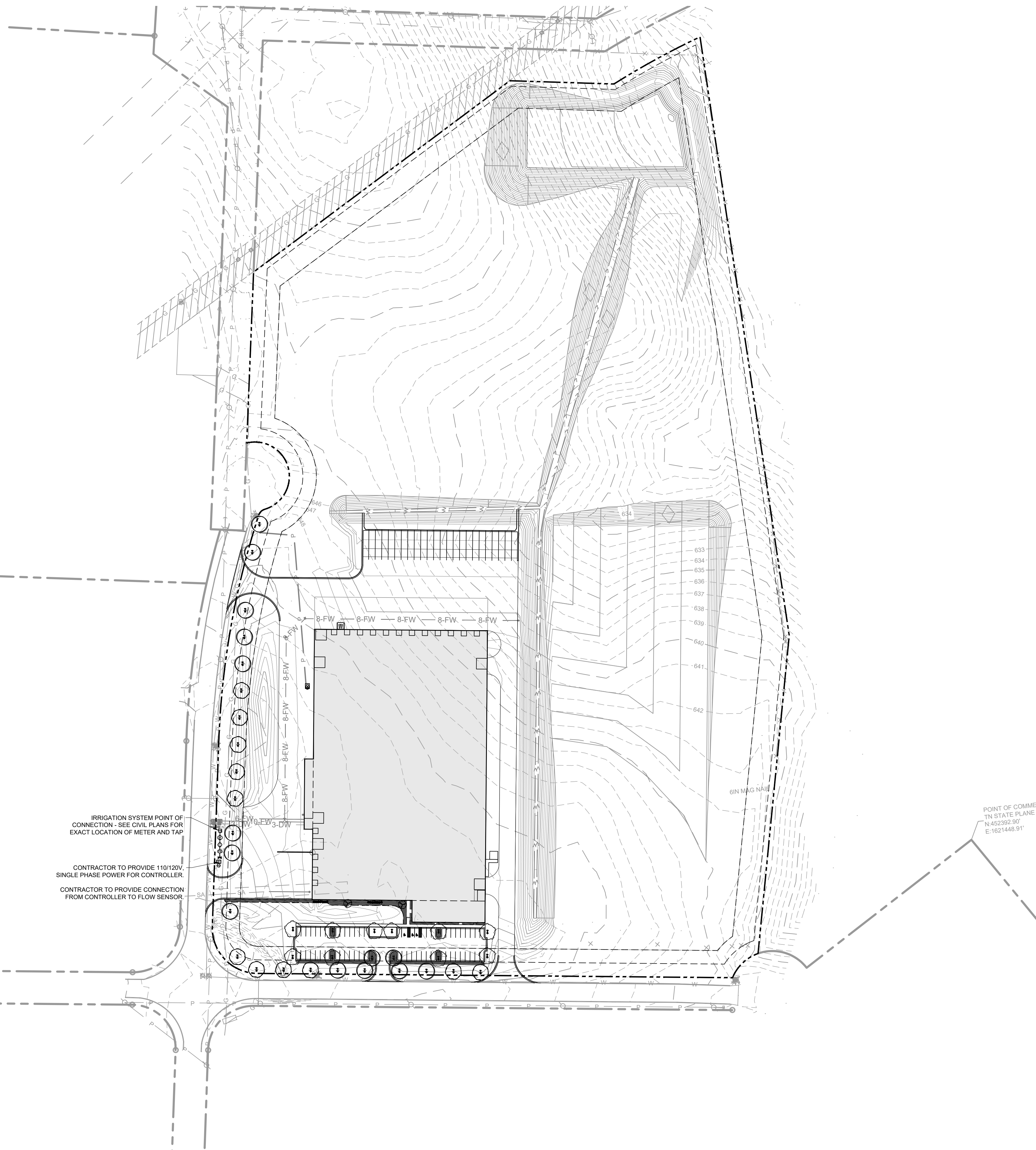
NOT TO SCALE

NO.	REVISIONS	DATE	BY
1	CITY SITE PLAN RESUBMITTAL	07/25/2024	CS
2			
3			
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DESIGNED BY: CS
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CHECKED BY: BB
DATE: 07/25/2024
KIMLEY-HORN PROJECT NO. 017893000



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- ### IRRIGATION NOTES
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL STORMWATER PIPES AND UTILITY LINE LOCATIONS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND STORMWATER PIPES AND UTILITY LINES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC WHICH OCCURS AS A RESULT OF THE IRRIGATION CONSTRUCTION TO OWNER'S SATISFACTION, AT NO ADDITIONAL COST.
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE OF ALL PROPOSED LANDSCAPED AREAS OF THE SITE INDICATED PER THE LANDSCAPE PLAN.
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED TO BE AUTOMATICALLY CONTROLLED AND SHALL NOT BE DESIGNED TO HAVE SPRAY HEADS AND ROTARY HEADS ON THE SAME ZONE.
 - THE CONTRACTOR IS TO PROVIDE A FIRST YEAR WATERING SCHEDULE, THAT CAN BE UTILIZED TO PROVIDE THE INITIAL SETTINGS FOR THE IRRIGATION CONTROLLER PRIOR TO CONSTRUCTION FOR OWNER APPROVAL.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A LAMINATED IRRIGATION SCHEDULE ATTACHED TO THE IRRIGATION CONTROLLER.
 - THE CONTRACTOR IS RESPONSIBLE FOR SIZING ALL VALVES, HEADS, LATERAL LINES, AND THE MAINLINE TO ENSURE A FULLY FUNCTIONING IRRIGATION SYSTEM.
 - THE CONTRACTOR IS RESPONSIBLE TO SUBMIT FINAL IRRIGATION PLAN TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QUANTITY
1401, 1402, 1404	RAIN BIRD 1804-PRS-1400 FLOOD FLOOD BUBBLER 4IN. POPUP WITH PRESSURE REGULATING DEVICE. INSTALL W/ PA-80 ADAPTER.	70
[Hatched Box]	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-CV-09-18 XFS-CV SUB-SURFACE AND ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 4.3 PSI CHECK VALVE, 0.9 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART. WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SPECIFY XF INSERT FITTINGS.	4,157 L.F.
[X Symbol]	SHUT OFF VALVE SHUT OFF VALVE TO MATCH MAINLINE SIZING	1
[MV Symbol]	RAIN BIRD EFB-CP-PRS-D 1-1/2" 1IN., 1-1/4", 1-1/2IN., 2IN. BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF, W/SELF-FLUSHING FILTER SCREEN, GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE, AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE. WITH PRESSURE REGULATOR.	1
[BF Symbol]	FEBCO 825Y 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER	1
[C Symbol]	RAIN BIRD ESPLXME2-LXMMSS W/ (1) ESPLXMSM12 24 STATION, TRADITIONALLY WIRED, COMMERCIAL CONTROLLER. (1) ESPLXME2 12-STATION, INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE W/ (1) ESPLXMSM12 - 12-STATION EXPANSION MODULES. INSTALL IN LXMMSS STAINLESS STEEL CABINET.	1
[RS Symbol]	RAIN BIRD WR2-RFC WIRELESS RAIN AND FREEZE SENSOR COMBO, INCLUDES 1 RECEIVER AND 1 RAIN/FREEZE SENSOR TRANSMITTER.	1
[FS Symbol]	RAIN BIRD FS-150-B 1-1/2IN. FLOW SENSOR, BRASS MODEL. SUGGESTED OPERATING RANGE 4.0 GPM TO 80.0 GPM. SIZE FOR FLOW NOT ACCORDING TO PIPE SIZE. RAIN BIRD COMPATIBLE CONTROLLERS: ESP-LXW(P) LXD LXME2(P) ME3. OR CONTROLLERS ACCEPTING CUSTOM K-FACTOR AND OFFSET. INSTALL IN RAIN BIRD VALVE BOX.	1
[WM Symbol]	WATER METER 1-1/2"	1
[Dashed Line]	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	50.4 L.F.

Valve Callout

Valve Number

Valve Flow

Valve Size

NO.	REVISIONS	DATE	BY
1	CITY SITE PLAN RESUBMITTAL	07.25.2024	CS
2			
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7			
8			
9			
10			

DESIGNED BY: CS

DRAWN BY: GB

CHECKED BY: BB

DATE: 07/25/2024

KIMLEY-HORN PROJECT NO. 017893000

Know what's below.
Call before you dig.

GRAPHIC SCALE IN FEET

NORTH

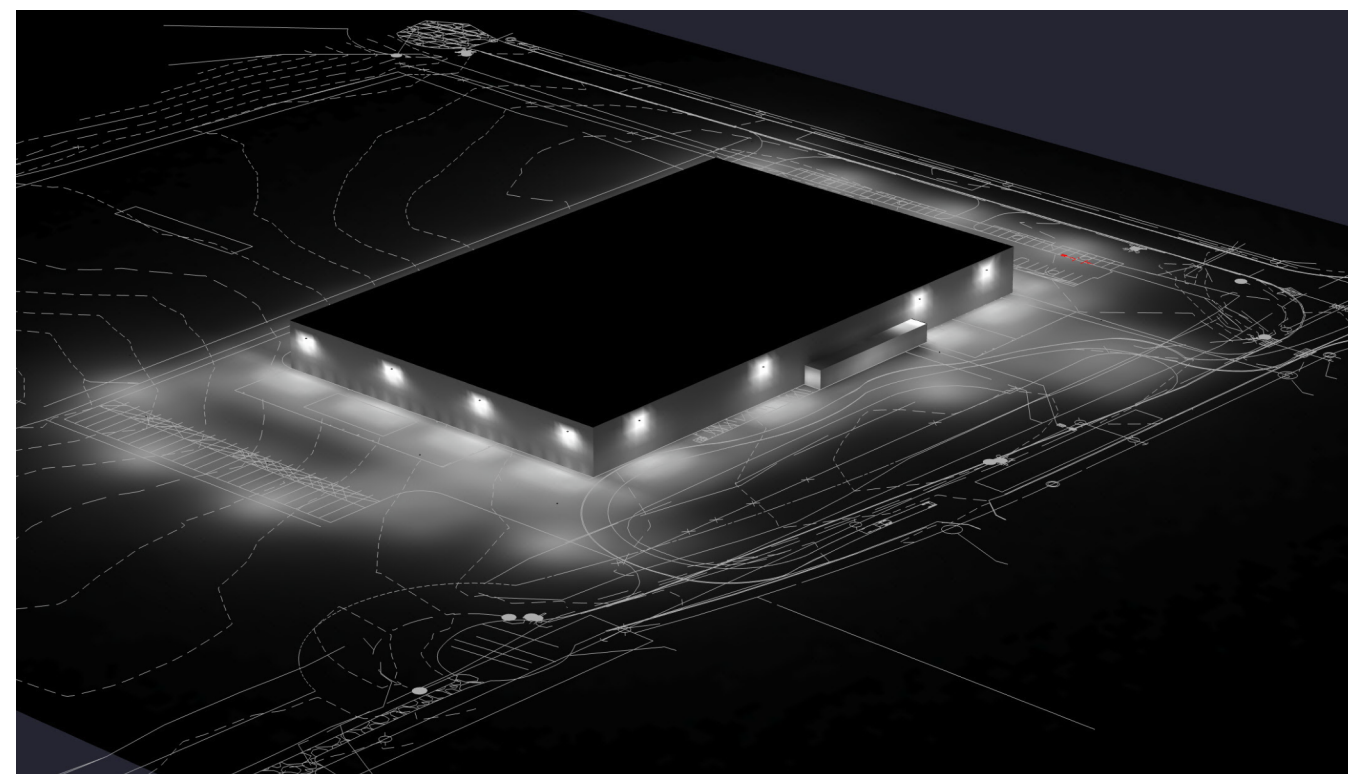
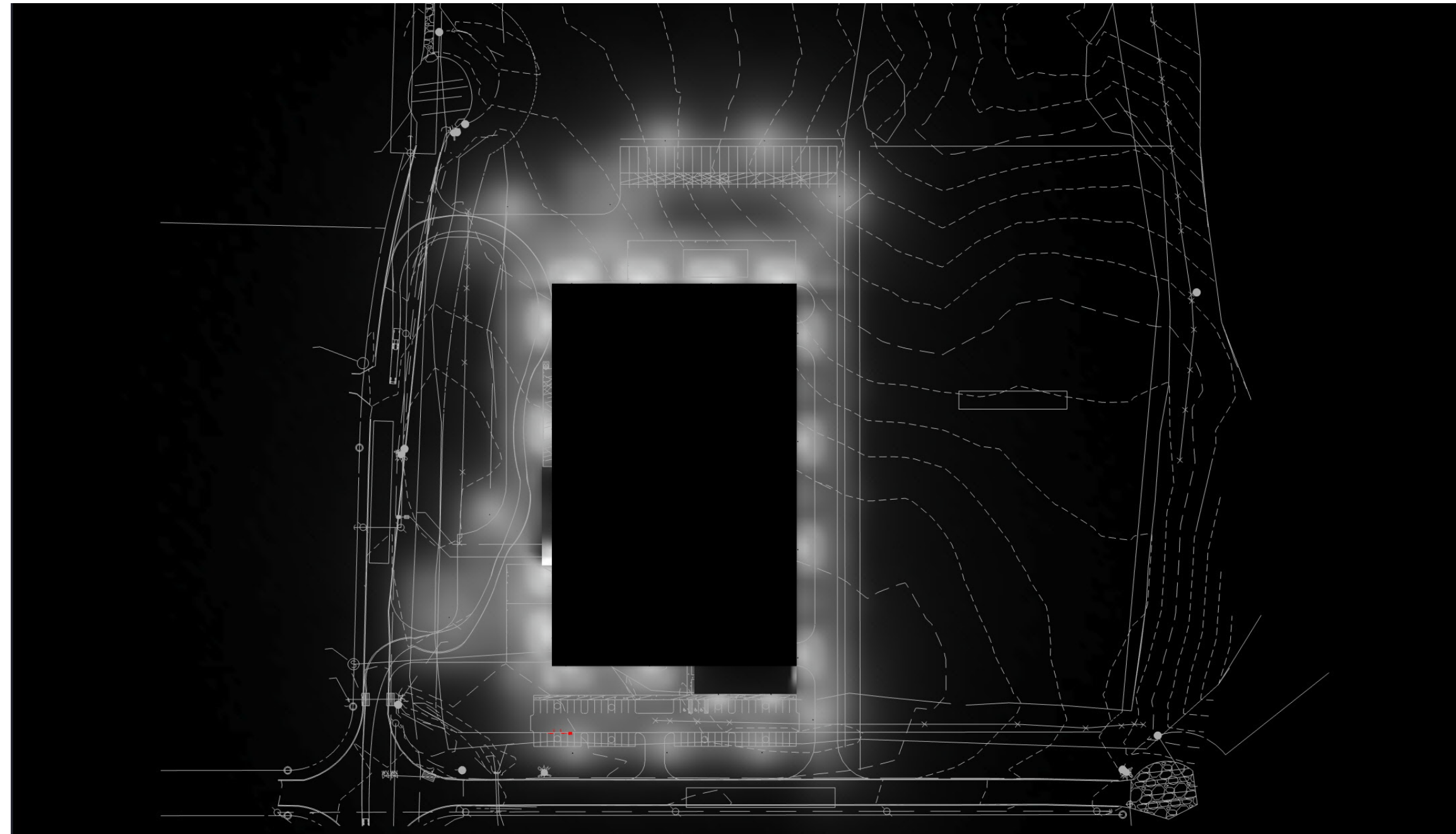
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Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Luminaire Watts	Total Watts	Description	
	8	A1	Single	29231	1.000	272	2176	VMS-1 T4 80LC 10 4K ies	
	2	A2	Single	7362	1.000	52	104	VMS-1 T4 48LC 3 4K ies	
	6	A3	Single	20959	1.000	177	1062	VMS-1 T4 80LC 7 4K ies	
	5	B1	Single	22225	1.000	167.1	835.5	VSX-II T4L 25L 4K	
	4	B2	Single	14958	1.000	134	536	VSX-II T4L 20L 4K CLS ies	
	2	B3	Single	24421	1.000	167	334	VSX-II T5LS 25L 4K	

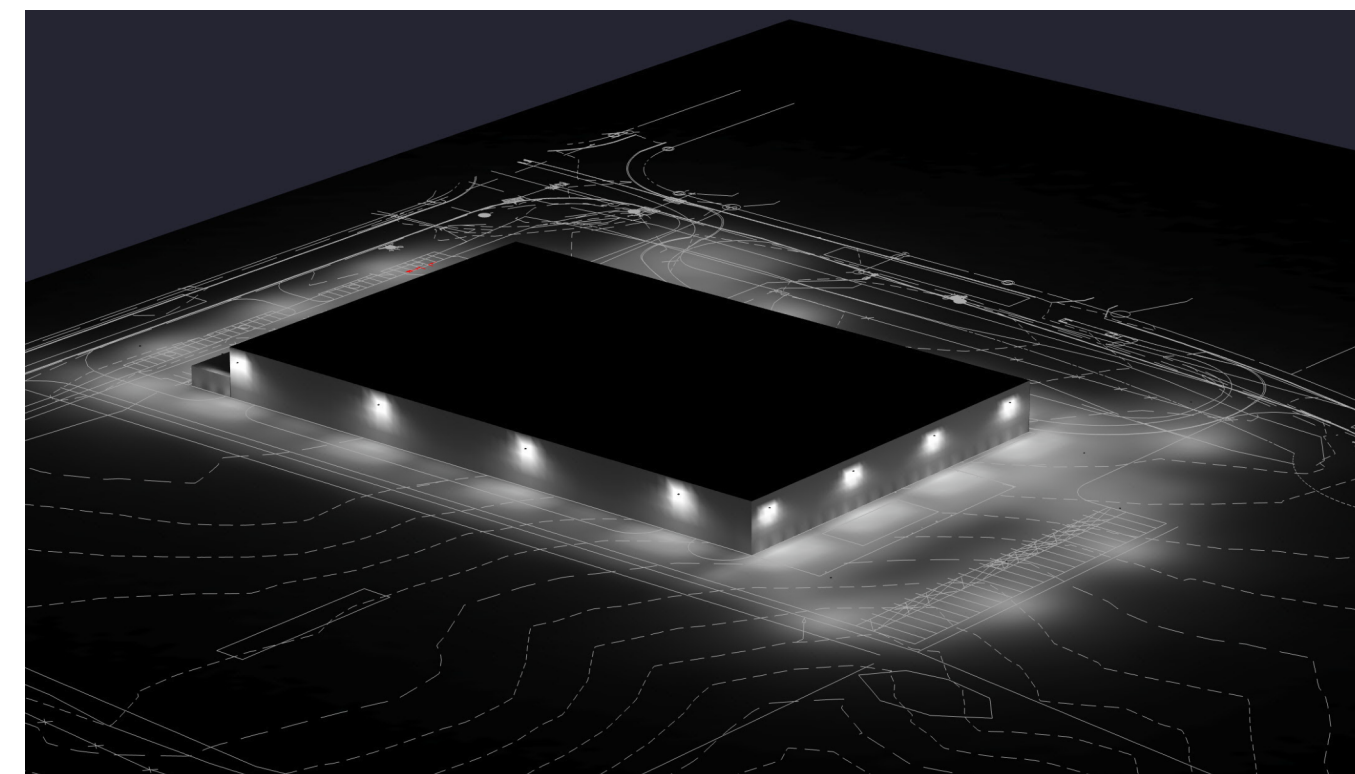
Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z	
CONCRETE APRON 2	Illuminance	Fc	3.69	7.7	1.3	2.84	5.92	0	
CONCRETE DOCK APRON	Illuminance	Fc	3.74	7.4	1.8	2.08	4.11	0	
EAST DRIVE	Illuminance	Fc	1.71	5.3	0.5	3.42	10.60	0	
NORTH PARKING	Illuminance	Fc	1.83	7.6	0.5	3.66	15.20	0	
OFFICE SIDEWALK	Illuminance	Fc	2.21	5.8	1.2	1.84	4.83	0	
PROPERTY LINE	Illuminance	Fc	0.05	0.5	0.0	N.A.	N.A.	N.A.	
SOUTH PARKING	Illuminance	Fc	1.73	4.2	0.5	3.46	8.40	0	
WEST DRIVE	Illuminance	Fc	1.77	7.1	0.2	8.85	35.50	0	

TARGETING:
 PROPERTY LINE: 1 FC MAX
 PARKING: 2.5 FC AVG MAX
 0.2 FC MIN
 10 FC MAX
 20:1 MAX/MIN

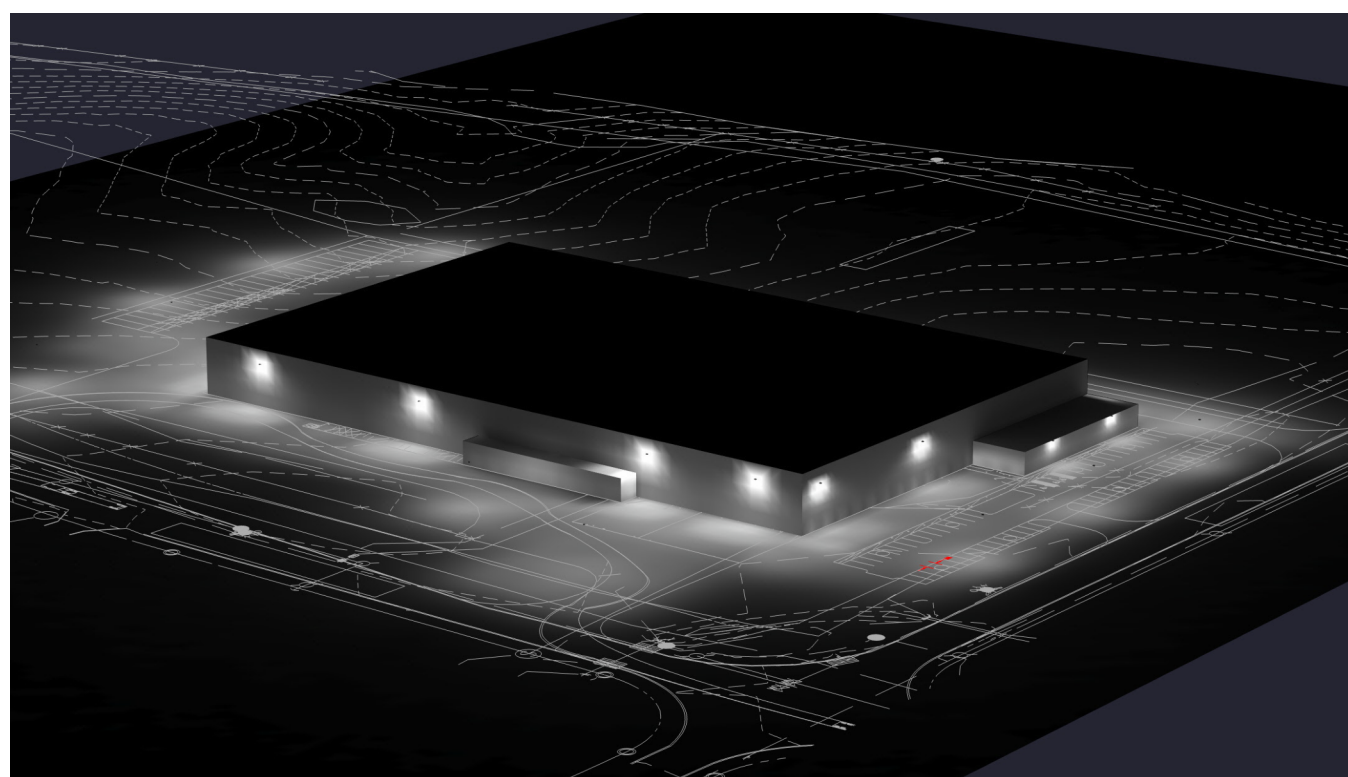
- NOTES:
 - WHEN THE LLF IS NOT .9 OR 1.0 THE WATTAGE INFORMATION WILL NOT BE CORRECT
 - BACKGROUND CONVERTED FROM PDF SO ALL LOCATIONS TO BE CONSIDERED APPROXIMATE
 - LUMINAIRES PLACED APPROXIMATELY IN SPECIFIED LOCATIONS PER PDF MARKUP AND PROPOSED LOCATIONS
 - LUMINAIRES USE PROPOSED OUTPUTS
 - LUMINAIRE SYMBOLS MAGNIFIED FOR CLARITY



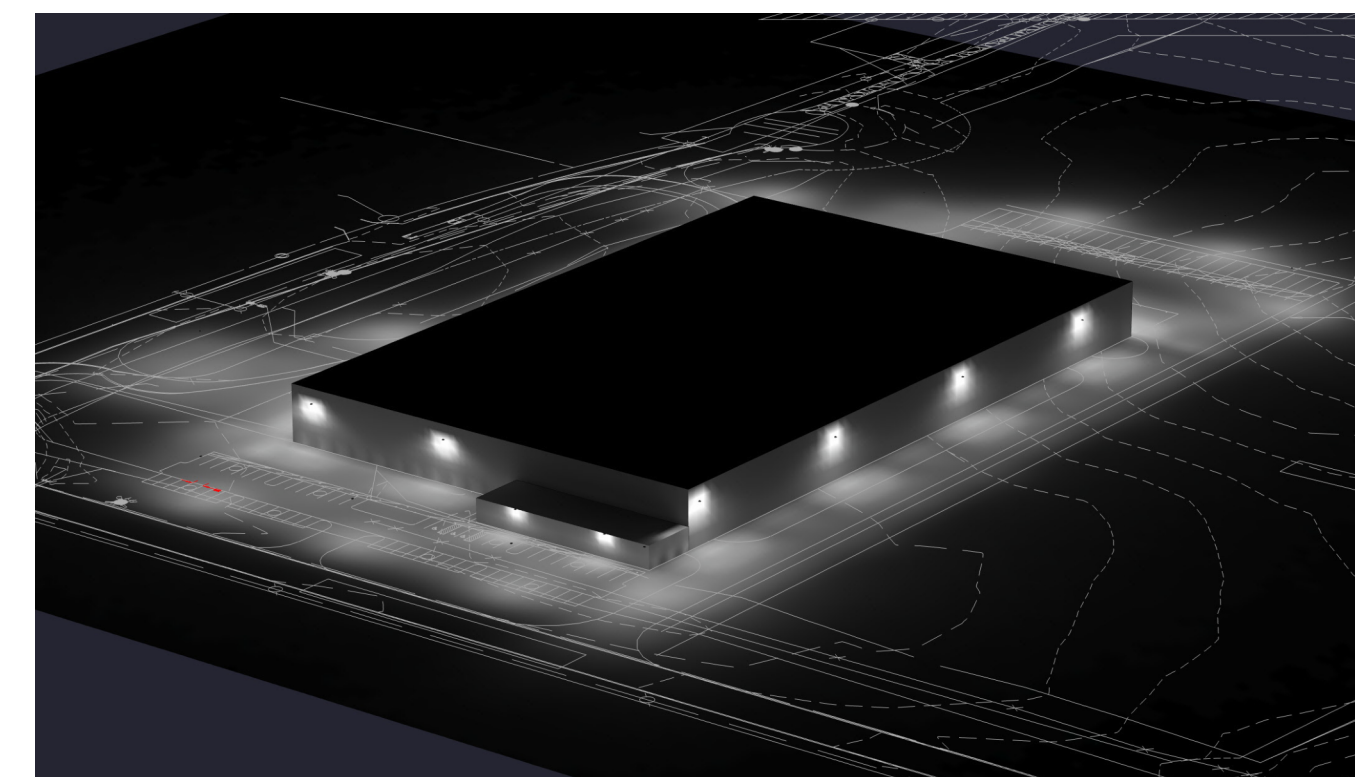
NORTHWEST CORNER



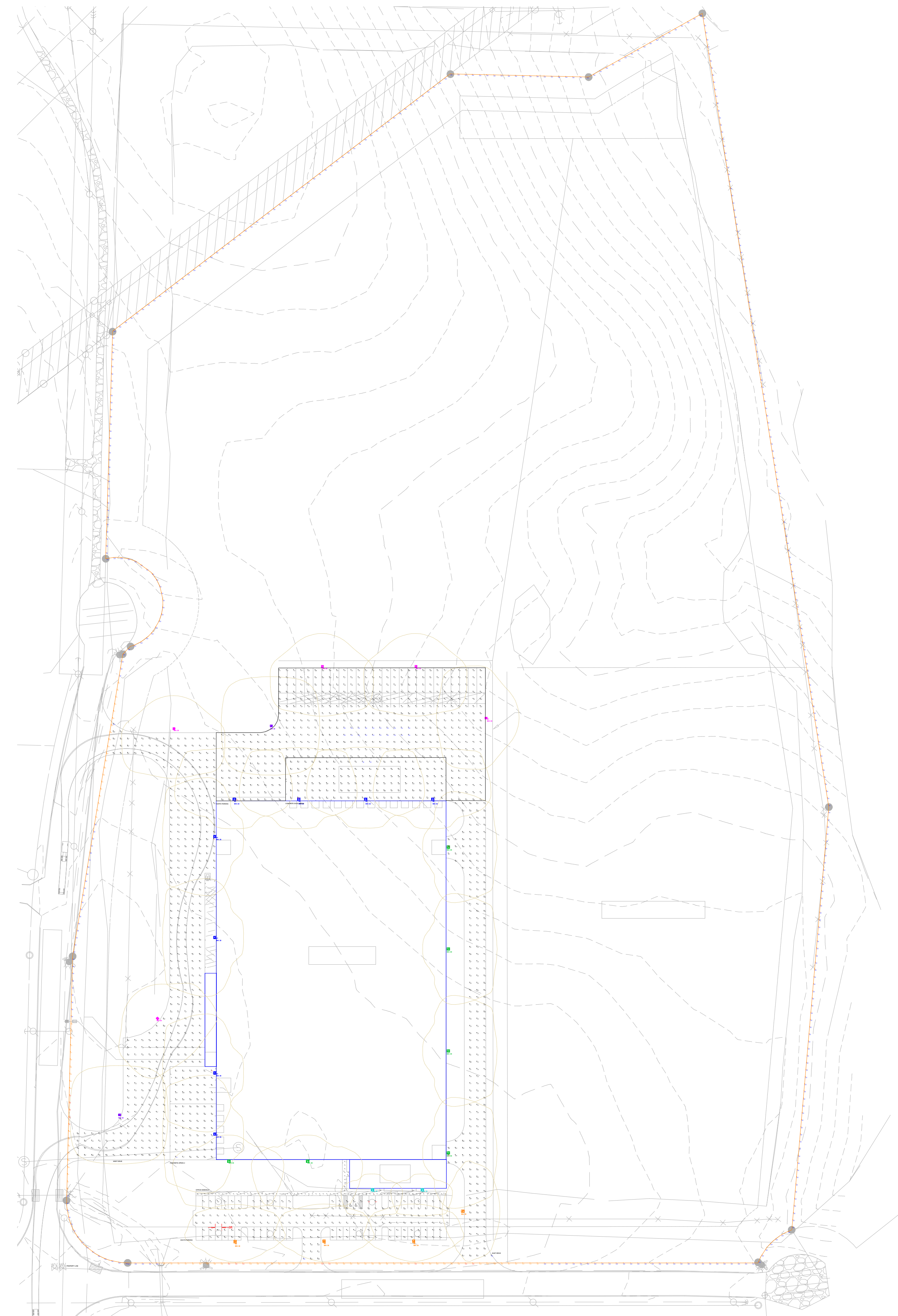
NORTHEAST CORNER



SOUTHWEST CORNER



SOUTHEAST CORNER



PHOTOMETRY - COMPREHENSIVE SITE
 Scale: 1 inch= 90 Ft.

No.	DATE	BY	REVISIONS									
			1	2	3	4	5	6	7	8	9	10
DESIGNED BY:	KIMLEY-HORN											
DRAWN BY:	SESCO LIGHTING											
CHECKED BY:	KIMLEY-HORN											
DATE:	07/25/2024											
KIMLEY-HORN PROJECT NO. 017893000												

