

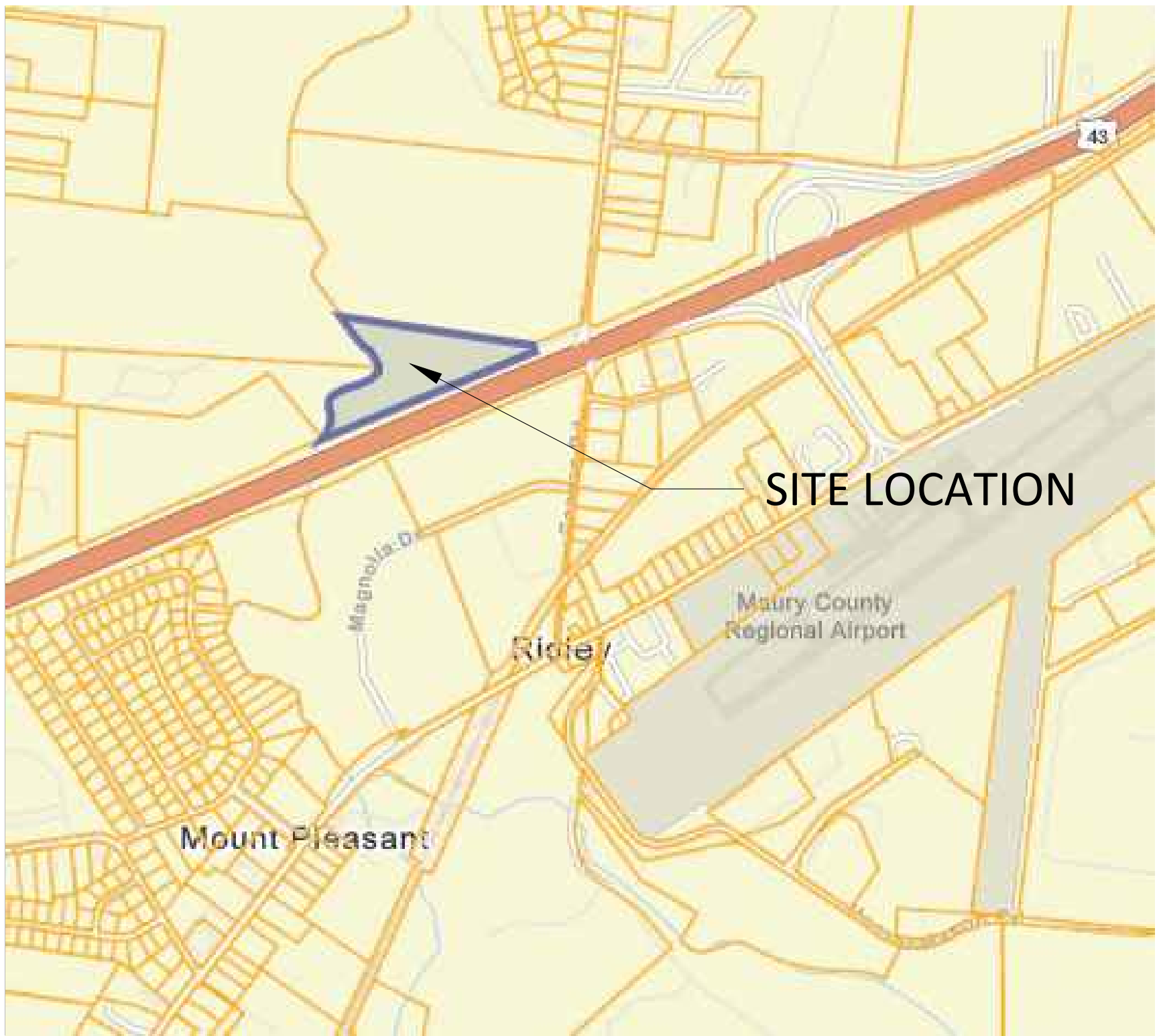
SITE PLAN AMENDMENT

FOR

CBC PROPERTIES, LLC

EXISTING SITE DATA	
PROPERTY ADDRESS :	301 CANAAN ROAD MT. PLEASANT, TN 38474
PROPERTY OWNER :	CBC PROPERTIES, LLC
MAP & PARCEL ID :	TAX MAP 127, PARCEL 25.01
CURRENT ZONING :	IL (LIGHT INDUSTRIAL)
CURRENT LAND USE :	COMMERCIAL BUSINESS
GOVERNING MUNICIPALITY :	CITY OF MT. PLEASANT

SITE DATA TABLE		
AREA	CURRENT	PROPOSED
TOTAL AREA	±13.76 ACRES	±13.76 ACRES
IMPERVIOUS AREA	±6.77 ACRES	±6.77 ACRES
PERVIOUS AREA	±6.99 ACRES	±6.99 ACRES
ZONING REQUIREMENTS (BUILDING)	REQUIRED	PROPOSED
HEIGHT	60 FT. (MAX)	26.5 FT.
# OF STORIES	N/A	1
ZONING REQUIREMENTS (SETBACKS)	REQUIRED	PROPOSED
BUILDING		
FRONT	100 FT. (MIN)	100 FT.
SIDE	100 FT. (MIN)	100 FT.
REAR	100 FT. (MIN)	100 FT.
YARD		
FRONT	N/A	N/A
SIDE	N/A	N/A
REAR	N/A	N/A



VICINITY MAP
(1"=1000')

PROPERTY ADDRESS
301 CANAAN ROAD
MT. PLEASANT, TN 38474
MAURY COUNTY, TN

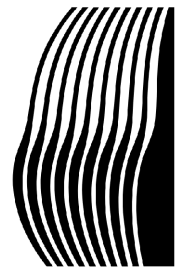
OWNER
CBC PROPERTIES, LLC
P.O. BOX 369
MT. PLEASANT, TN 38474

STRUCTURAL ENGINEER
RHODES ENGINEERING & ENVIRONMENTAL
CONSULTANTS, LLC
807 NASHVILLE HWY SOUTH, SUITE 1
COLUMBIA, TN 38401

SURVEYOR
SEIBER SURVEYING
102 AVALON DR
COLUMBIA, TN 38401

*PORTIONS OF THE SUBJECT PARCEL LIES WITHIN "ZONE A" & "ZONE AE" WHICH IS AN AREA DETERMINED TO BE SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD PER FEMA FIRM MAP **47119C0265E**.

SHEET LIST TABLE	
SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C1.0	SURVEY
C2.0	SITE LAYOUT
C2.1	ELEVATION RENDERINGS
C2.2	SITE LIGHTING
C3.0	GRADING & DRAINAGE
C3.1	EPSC PLAN
DX-1	DRAINAGE EXHIBIT



CRC CONSULTING
ENGINEERING & DEVELOPMENT

WWW.CONSULTINGCRC.COM
PH:(931)797-5079

REVISIONS

Description

No. Date By

SITE PLAN AMENDMENT

FOR

CBC PROPERTIES, LLC

301 CANAAN ROAD
MT. PLEASANT, TN



DATE: 07/23/25

DRAWN BY: CRC

COVER SHEET

SHEET NO. **C0.0**

GENERAL NOTES

1. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT, IF APPLICABLE. IF CONDITIONS ENCOUNTERED DURING SITE VISIT ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY.
2. EXISTING SURVEY WAS PROVIDED BY OTHERS.
3. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF DEMO, CONSTRUCTION OR EARTH-MOVING OPERATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE ENGINEER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
4. 72 HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: TENNESSEE 811 AND ALL OTHER AGENCIES THAT MAY HAVE UNDERGROUND UTILITIES IN THE VICINITY OF THIS PROJECT.
5. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF THE PUBLIC, PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
6. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE NECESSARY PERMITS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES AND PERFORM SAID ACTIVITIES IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL & OSHA REGULATIONS.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
9. ALL WORK PERFORMED IN THE LOCAL RIGHT OF WAYS (R.O.W.) SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS (R.O.W.).
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC) FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS. OWNER WILL OBTAIN NPDES PERMIT.
11. CONTRACTOR TO IMPLEMENT AND MAINTAIN ALL SOIL AND EROSION CONTROL, PRACTICES REQUIRED BY CITY OF MT. PLEASANT AND TDEC.
12. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH SPECIFICATIONS.
13. CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE T.D.O.T. CONSTRUCTION AND MATERIAL SPECIFICATIONS (LATEST EDITION), AND LIKEWISE ALL CONSTRUCTION SHALL BE DONE ACCORDING TO SAID SPECIFICATIONS AND IN ACCORDANCE WITH APPLICABLE STANDARDS OF CITY OF MT. PLEASANT, AS APPROVED BY THESE PLANS. WHEN IN CONFLICT, THE COUNTY/CITY REQUIREMENTS SHALL PREVAIL.
14. ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA: STANDARDS FOR ACCESSIBLE DESIGN)
15. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY. ANY CONFLICTS SHALL BE MADE KNOWN TO THE OWNER AND THE ENGINEER. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THEY ARE NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
16. SITE SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
17. CONSTRUCTION OF ALL ROADWAYS AND SIDEWALKS ARE TO BE IN COMPLIANCE WITH THE LOCAL REQUIREMENTS CONSTRUCTION CRITERIA AND STANDARD DETAILS.
18. ANY APPLICABLE TEMPORARY TRAFFIC CONTROL MEASURES WILL BE PROVIDED AND MAINTAINED, IN ACCORDANCE WITH STATE & LOCAL REQUIREMENTS, WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. CONTRACTOR TO BE RESPONSIBLE FOR SUPPLYING, COORDINATION AND APPROVAL OF SUCH.

DEMOLITION

1. ANY AREAS OUTSIDE OF THE LIMITS OF CONSTRUCTION ARE TO REMAIN UNDISTURBED UNLESS EXPLICITLY AUTHORIZED BY OWNER OR OWNER'S REP. CONTRACTOR TO BE RESPONSIBLE FOR SEEKING AUTHORIZATION.
2. ANY AND ALL AREAS TO BE DEMOED, CLEARED & GRUBBED TO BE VISIBLY MARKED BY CONTRACTOR ON-SITE.
3. CONTRACTOR TO ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL DEMOLITION ACTIVITIES.
4. ALL BURNING OF TREES, BRUSH AND DEBRIS SHALL BE DONE IN CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES.
5. THE CONTRACTOR TO BE RESPONSIBLE FOR APPROPRIATE METHODS FOR MITIGATION OF DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITIES.
6. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
7. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY. ALL REPAIRS TO BE MADE IN COORDINATION WITH LOCAL UTILITY COMPANY.
8. EROSION & SEDIMENT CONTROL MEASURES SHALL BE PROPERLY INSTALLED AND FUNCTION PROPERLY PRIOR TO DEMOLITION ACTIVITIES BEGINNING.
9. HAZARDOUS MATERIALS ARE TO BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR IS RESPONSIBLE OF NOTIFYING OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
10. ANY BUILDINGS TO BE DEMOLISHED DURING CLEARING OPERATIONS SHALL BE DONE SO ACCORDING TO

ALL APPLICABLE LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING AN ASBESTOS SURVEY OF THE STRUCTURE, OBTAINING AIR QUALITY PERMITS AND COORDINATING WITH UTILITY OWNERS TO SHUTDOWN SERVICE.

11. CONTRACTOR TO PROTECT ANY AND ALL FEATURES TO REMAIN, ANY DAMAGE TO SUCH FEATURES, STRUCTURES, OR AREAS TO REMAIN WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.

GRADING & DRAINAGE

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING AND FINAL GRADES, DIMENSIONS, ETC., AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY ERRORS OR DISCREPANCIES.
2. PROTECT TREES NOT MARKED FOR REMOVAL OR LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION. IF A TREE TRUNK OR BRANCH IS CUT OR SCARRED THEN THE AFFECTED AREA SHALL BE TREATED WITH A WOUND PAINT TO PREVENT DISEASE.
3. THE AREA WITHIN THE LIMITS OF GRADING SHALL BE GRUBBED TO A MINIMUM DEPTH OF TWELVE (12) INCHES BELOW EXISTING GROUND LINE ELEVATIONS TO REMOVE GRASS, ROOTS, AND OTHER ORGANIC MATERIALS. THE TOP NINE (9) INCHES OF EXPOSED SUBGRADE, AFTER CUTTING TO DESIRED SUBGRADE ELEVATION AND/OR BEFORE PLACEMENT OF FILL, SHOULD BE SCARIFIED AND RECOMPACTED TO THE COMPACTION REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. SEE EROSION PROTECTION AND SEDIMENT CONTROL (EPSC) PLANS FOR ADDITIONAL INFORMATION.
5. IN NO CASE SHALL SLOPE HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH, INCLUDING TRENCH CONSTRUCTION, EXCEED THOSE SPECIFIED IN LOCAL, STATE, AND FEDERAL REGULATIONS, SPECIFICALLY THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS (29 CRF PART 1926) SHALL BE FOLLOWED
6. THE CONTRACTOR SHALL CONSTRUCT THE STORM WATER DETENTION FACILITIES PRIOR TO BEGINNING ANY OTHER GRADING OPERATIONS.
7. FILL MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:

MINIMUM DRY DENSITY = 95 PCF
LIQUID LIMIT LESS THAN 30
PLASTICITY LIMIT LESS THAN 15
UPPER 12" OF FILL: PARTICLE SIZE 9"Ø MAXIMUM
FILL BELOW UPPER 12": PARTICLE SIZE 12"Ø MAXIMUM
PROVIDE THE OWNER WITH TEST RESULTS OF OFF-SITE BORROW MATERIAL FOR APPROVAL PRIOR TO BRINGING SUCH MATERIAL ON-SITE.
8. COHESIVE FILL SHALL BE PLACED IN LOOSE LIFTS OF 6" TO 8" AND COMPACTED WITH VIBRATORY SHEEPS FOOT ROLLER. CLAY FILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DRY DENSITY IN ACCORDANCE WITH ASTM D698. GRANULAR FILL SHALL BE PLACED IN LOOSE LIFTS OF 8" TO 10" AND COMPACTED/CONSOLIDATED TO 98% MAXIMUM STANDARD PROCTOR DRY DENSITY IN ACCORDANCE WITH ASTM D1557.
9. COMPACT ALL FILL TO A MINIMUM OF 95% OF THE MAXIMUM STANDARD PROCTOR (ASTM D-698) DRY DENSITY. COMPACT THE UPPER 12" OF FILL IN NON-LANDSCAPED AREAS TO A MINIMUM OF 100% OF THE MAXIMUM STANDARD PROCTOR DRY DENSITY. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL BE WITHIN ±2% OF THE OPTIMUM MOISTURE. THE MOISTURE CONTENT OF GRANULAR SOIL SHALL BE BETWEEN ±3% OF THE OPTIMUM MOISTURE.
10. ALL STORM WATER CONSTRUCTION MATERIALS ARE AS SPECIFIED WITHIN THE CONSTRUCTION PLANS, DETAILS, ETC.,. PIPE MATERIAL, BEDDING & BACKFILL SHALL BE AS SPECIFIED HEREIN AND IN ACCORDANCE WITH TDOT GUIDELINES. ALL PIPE CLASSIFIED & LABELED AS "RCP" SHALL BE REINFORCED CONCRETE PIPE.
11. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS. SUBGRADE SOFTENED BY PERCHED WATER IN FOUNDATIONS AND PAVEMENT AREAS MUST BE UNDERCUT AND COMPACTED WITH SUITABLE FILL MATERIAL AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
12. THE SLOPES OF ALL EXCAVATED AREAS, DITCHES, WATERWAYS, CHANNELS, BORROW PITS, AND EMBANKMENTS SHALL BE SO TRIMMED AND SHAPED AS TO BE IN REASONABLY CLOSE CONFORMITY WITH THE LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
13. THE CONTRACTOR SHALL BE REQUIRED TO EMPLOY A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF TENNESSEE TO ENSURE THAT EMBANKMENTS ARE BEING CONSTRUCTED IN ACCORDANCE WITH THE PLANS.
14. ALL PROPOSED GRADES SHOWN ARE TO BE INTERPRETED AS FINISHED GRADE ELEVATIONS, TOP OF GROUND LEVEL, TOP OF PAVEMENT, OR CASTING ELEVATION, UNLESS OTHERWISE NOTED, AND SHALL BE CONSTRUCTED AS INDICATED ON PLANS.
15. THE CONTRACTOR SHALL BE REQUIRED TO PLACE TOPSOIL TO A DEPTH OF SIX (6) INCHES ON ALL DISTURBED AREAS. PERMANENT EROSION CONTROL MEASURES (SEEDED AND MULCHED) SHALL BE INITIATED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING.
16. UNLESS OTHERWISE SPECIFIED ON THE PLANS, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEEDING AND MULCH. MULCH MATERIALS CAN CONSIST OF HAY OR STRAW AT THE APPROXIMATE RATE OF 75 POUNDS PER 1000 SQUARE FEET AND HELD IN PLACE BY THE USE OF A MULCH BINDER.
17. DURING PERIODS OF EXTREME DRYNESS, THE CONTRACTOR SHALL KEEP AREAS BEING GRADED DAMPENED BY WATERING TO MINIMIZE THE EFFECTS OF DUST ON ADJOINING PROPERTIES.
18. ALL DITCHES AND BASINS SHALL BE MATTED UNLESS OTHERWISE NOTED. MATTING SHALL BE TYPE S 150 (NORTH AMERICAN GREEN) OR EQUIVALENT AND SHOULD BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
19. ALL PROPOSED SPOT ELEVATIONS ARE TO FINISH GRADE OF ASPHALT IN PARKING AREAS OR FINISH GRADE OF DIRT IN GRASS AREAS UNLESS NOTED OTHERWISE. SEE SURFACE MATERIALS SHEET.
20. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF NEW PAVEMENT.
21. CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE, NOR STORE MATERIALS WITHIN THE DRIP LINES OF TREES OR OUTSIDE THE LIMIT OF GRADING.

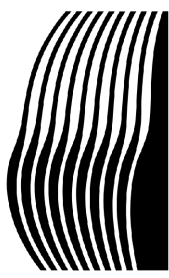
EROSION & SEDIMENT CONTROL

1. LAYOUT OF ALL EROSION CONTROL MEAURES TO BE CLEARLY MARKED ON-SITE BEFORE INSTALLATION OF SUCH DEVICES ARE COMMENCED.

2. EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL A PERMANENT GROUND COVER IS ESTABLISHED. SEEDED AREAS MUST HAVE A MINIMUM 70% COVERAGE PRIOR TO REMOVAL OF THE TEMPORARY EROSION CONTROL DEVICES. FINAL SEEDING AND ESTABLISHMENT OF GROUND COVER SHALL BE APPLIED TO ANY AREA DISTURBED AS A RESULT OF THE REMOVAL OF THE EROSION CONTROL MEASURES.
3. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH TDEC SEDIMENT AND EROSION CONTROL HANDBOOK, LATEST EDITION.
4. SEE EPSC SHEETS FOR ADDITIONAL SITE-SPECIFIC NOTES.

UTILITY NOTES

1. ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND DETAILS FOR THE DEVELOPMENT STANDARDS OF THE CITY OF MT. PLEASANT AND ITS LOCAL UTILITY COMPANIES.
2. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL NECESSARY STANDARDS AND PERMITS FROM ANY FEDERAL, STATE, AND/OR LOCAL AUTHORITY HAVING JURISDICTION OVER ANY PHASE OF CONSTRUCTION ASSOCIATED WITH THE PROJECT.
3. THE TYPES AND LOCATIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PRESERVING EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION. REPAIRS OR REPLACEMENTS TO ANY MUNICIPAL UTILITY DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL PAYMENT ALLOWED.
4. THE CONTRACTOR SHALL NOTIFY THE CITY OF MT. PLEASANT AND DOCUMENT ANY PRE-EXISTING DAMAGE OR CONDITIONS PRIOR TO BEGINNING WORK.
5. MAINTAIN PROPER VERTICAL AND HORIZONTAL SEPARATION BETWEEN WATER AND SANITARY SEWER MAINS. FOR MORE INFORMATION SEE TDEC DESIGN CRITERIA FOR SEWAGE WORKS SECTION 2.4.1.2 RELATION TO WATER MAINS & COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA SECTION 9.2 SEPARATION OF WATER MAINS AND SEWERS. WHEN A CONFLICT EXISTS AND PROPER SEPARATION IS NOT ATTAINABLE, THE CONTRACTOR SHALL COORDINATE WITH CITY OF MT. PLEASANT FOR THE NECESSARY MEASURES TO ENSURE SYSTEM INTEGRITY.
6. THE CONTRACTOR SHALL VERIFY THE SIZE AND MATERIAL FOR EACH WATER SERVICE LINE AND RECONNECT ALL LIVE WATER SERVICES, WHETHER INDICATED ON THE DRAWING OR NOT.
7. WATER SERVICE LINES 2-1/2 INCHES IN DIAMETER AND SMALLER SHALL BE REPLACED FROM THE WATER MAIN TO THE METER WITH COPPER.
8. WATER SERVICE LINES GREATER THAN 2-1/2 INCHES IN DIAMETER SHALL BE REPLACED FROM THE WATER MAIN TO THE PROPERTY LINE VALVE OR METER WITH DUCTILE IRON PIPE.
9. WHEN EXISTING METER BOXES REQUIRE ADJUSTING AND/OR RELOCATING, WATER METERS AND SHUTOFFS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 32" BELOW FINISHED GRADE.
10. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE PROPER CITY/UTILITY ENTITY INSPECTION PERSONNEL PRIOR TO ANY WORK OR CONNECTIONS BEING CONDUCTED ON THE MUNICIPAL SYSTEM.
11. THE CONTRACTOR SHALL NOT OPERATE ANY VALVES ON THE EXISTING WATER SYSTEM AND/OR WATER MAINS PLACED IN SERVICE WITHOUT PRIOR APPROVAL AND ONLY UNDER THE SUPERVISION OF THE LOCAL AUTHORITY. OPERATING VALVES SHALL BE SCHEDULED IN WRITING BY THE CONTRACTOR AND MUST BE APPROVED IN ADVANCE BY THE LOCAL AUTHORITY.
12. THE CONTRACTOR SHALL NOT MAKE CONNECTIONS TO THE EXISTING WATER SYSTEM UNTIL APPLICABLE TESTS, INCLUDING: DISINFECTION, HYDROSTATIC, ETC., HAVE BEEN PERFORMED AND REPORTED TO THE LOCAL AUTHORITY AND FOUND TO BE IN COMPLIANCE. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVES WILL BE REQUIRED ON ALL TEST AND FILL LINES NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE LOCAL AUTHORITY.
13. ALL PIPE, PIPE FITTINGS, PLUMBING FITTINGS, AND FIXTURES INCLUDING, BUT NOT LIMITED TO, COATED OR UNCOATED BRASS OR BRONZE MATERIALS THAT COULD COME INTO CONTACT WITH DRINKING WATER SHALL BE IN ACCORDANCE WITH THE 2011 REDUCTION OF LEAD IN DRINKING WATER ACT THAT AMENDS THE SAFE DRINKING WATER ACT, SECTION 1417 EFFECTIVE JANUARY 4, 2014. THE FOLLOWING INTERNET LINK PROVIDES FURTHER CLARIFICATION AND DIRECTION ON THE REQUIREMENT: [HTTP://NEPIS.EPA.GOV/ADOBE/PDF/P100GRDZ.PDF](http://nepis.epa.gov/ADOBE/PDF/P100GRDZ.PDF).
14. IF A WATER MAIN, OR OTHER MUNICIPAL SYSTEM COMPONENT, REQUIRES RELOCATION OR ADDITION AND IS NOT INDICATED ON THE APPROVED DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY IMMEDIATELY. PRIOR TO RELOCATION, THE DRAWINGS SHALL REQUIRE: MODIFICATION DEPICTING THE RELOCATION, APPROVAL FROM A REGISTERED PROFESSIONAL ENGINEER AND THE APPROPRIATE REGULATORY AGENCIES.
15. IF A WATER SERVICE LINE IS DISCONNECTED, THE PROPER DISINFECTION PROTOCOL SHALL BE IMPLEMENTED PRIOR TO THE SERVICE LINE BEING RECONNECTED TO THE EXISTING WATER SYSTEM.
16. NO DISCHARGE OF WASTEWATER OR DEBRIS SHALL BE RELEASED TO THE ENVIRONMENT. SHOULD THE CONTRACTOR'S ACTIONS CAUSE AN OVERFLOW OR BYPASS OF WASTEWATER TO THE ENVIRONMENT, SITE CLEANUP WILL BE THE RESPONSIBILITY OF THE CONTRACTOR CONSISTENT WITH THE LOCAL AUTHORITY'S SPILL AND OVERFLOW RESPONSE PLAN.
17. PRIOR TO IMPLEMENTING THE PLUGGING OF ANY LINE, BYPASS PUMPING, OR SIMILAR ACTIONS, THE CONTRACTOR SHALL PROVIDE A DETAILED PLAN OF APPROACH TO THE LOCAL AUTHORITY FOR REVIEW AND COMMENT. MUNICIPAL APPROVAL OF ANY SUCH PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR THE ADEQUACY OF THE PLAN OF PROPER EXECUTION.
18. THE CONTRACTOR SHALL COMPLETE ALL WORK IN FULL COMPLIANCE WITH THE MUNICIPALITY'S STORMWATER MANAGEMENT REGULATIONS, SO AS TO CREATE NO STORMWATER QUALITY OR QUANTITY COMPLIANCE ISSUES. ILLICIT DISCHARGES OF POLLUTANTS, EITHER DIRECT OR INDIRECT, TO A STORM SEWER, STORMWATER CONVEYANCE, OR STREAM WITHIN THE CITY OF MT. PLEASANT ARE PROHIBITED.



CRC CONSULTING
ENGINEERING & DEVELOPMENT

WWW.CONSULTINGCRC.COM

PH: (931) 797-5079

REVISIONS

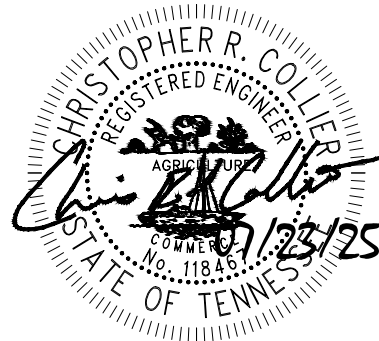
No.	Date	By	Description

SITE PLAN AMENDMENT

FOR

CBC PROPERTIES, LLC

301 CANAAN ROAD
MT. PLEASANT, TN



DATE: 07/23/25

DRAWN BY: CRC

GENERAL
NOTES

SHEET NO. C0.1

NOTES:
1. THE PURPOSE OF THIS SURVEY & TOPO IS THE ILLUSTRATE TAX MAP 127, PARCEL 25.01, DEED BOOK R2805, PAGE 1075. THIS SURVEY IS PROVIDED TO CBC PROPERTIES LLC. (OWNER).

2. I, TRACY SEIBER, HEREBY CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL GPS SURVEY, CONFORMING WITH STATE OF TENNESSEE MINIMUM STANDARDS OF PRACTICE AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- A. TYPE OF SURVEY: RTK
B. POSITIONAL ACCURACY: 0.05'
C. PUBLISHED/FIXED CONTROL: TDOT CORS NETWORK
D. GEOID MODEL: GEOD 18
E. DATUM/EPOCH: NAD83(2011)
F. DISTANCE: GRID
G. GPS: CARLSON BRX7 (BASE/ROVER)

3. PORTIONS OF THE SUBJECT IS WITHIN A FLOOD ZONE ACCORDING TO FIRM MAP 47119C0265E DATED 4/16/2007.

4. PROPERTY IS ZONED IH CITY OF MT. PLEASANT ZONING ORDINANCE. BUILDING SETBACKS:
FRONT 100'
REAR 100'
SIDE 100'

5. THIS PROPERTY IS SUBJECT TO ANY AND ALL RIGHT-OF-WAYS, EASEMENTS, EXCEPTIONS, AND/OR RESTRICTIONS, RECORDED AND UNRECORDED, WHICH MAY AFFECT THIS PROPERTY.

6. PROPERTY ADDRESS:
301 CANAAN RD
MOUNT PLEASANT, TN 38474

7. PROPERTY OWNER & ADDRESS
CBC PROPERTIES LLC,
P.O. BOX 369
MOUNT PLEASANT, TN 38474

8. ALL UNDERGROUND UTILITIES ARE NOT VERIFIED BY UTILITY OWNERS AND BASED ONLY ON FIELD EVIDENCE AND SCALED FROM UTILITY OWNER MAPS. CALL 811 BEFORE ANY EXCAVATION.

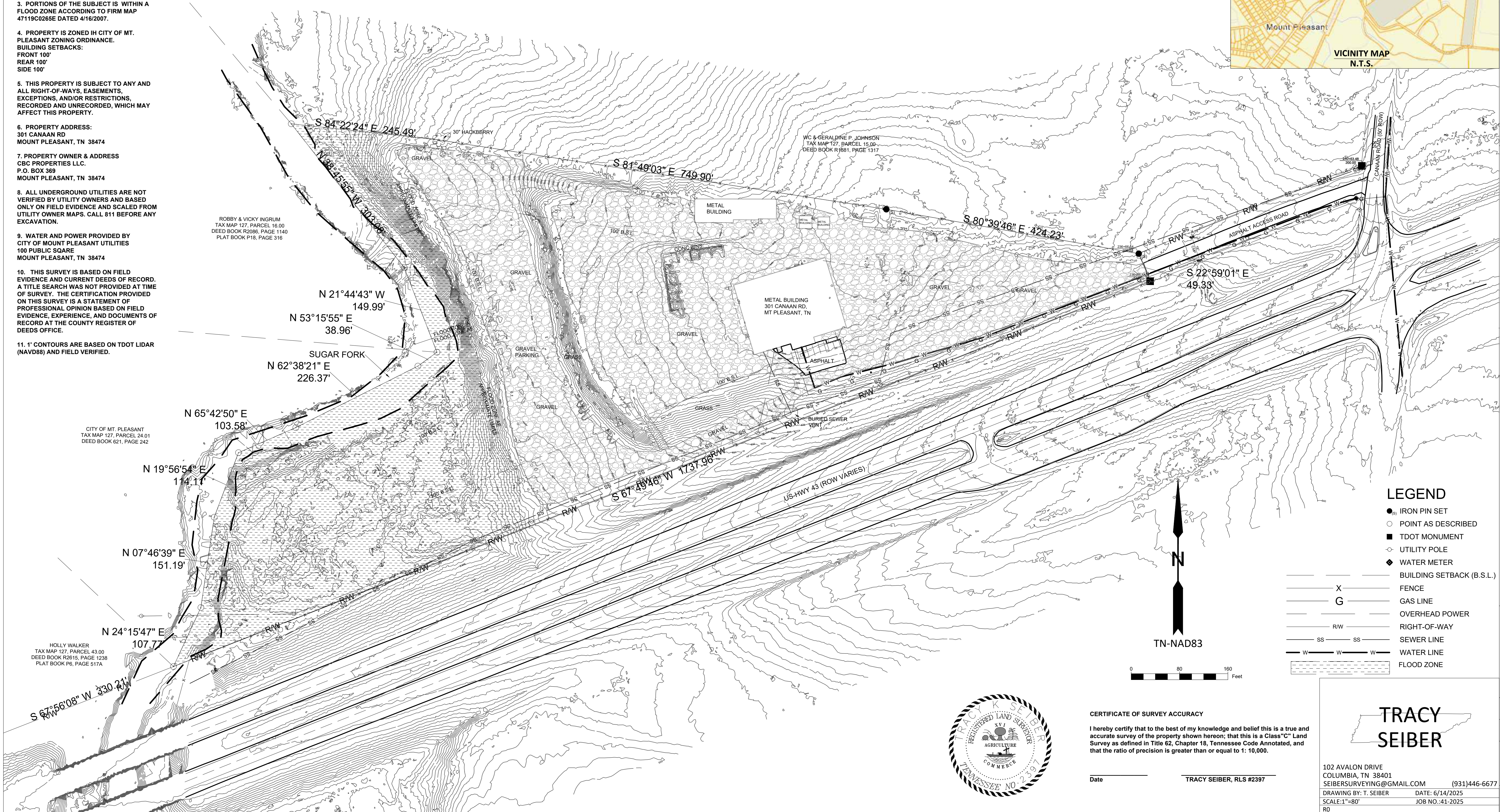
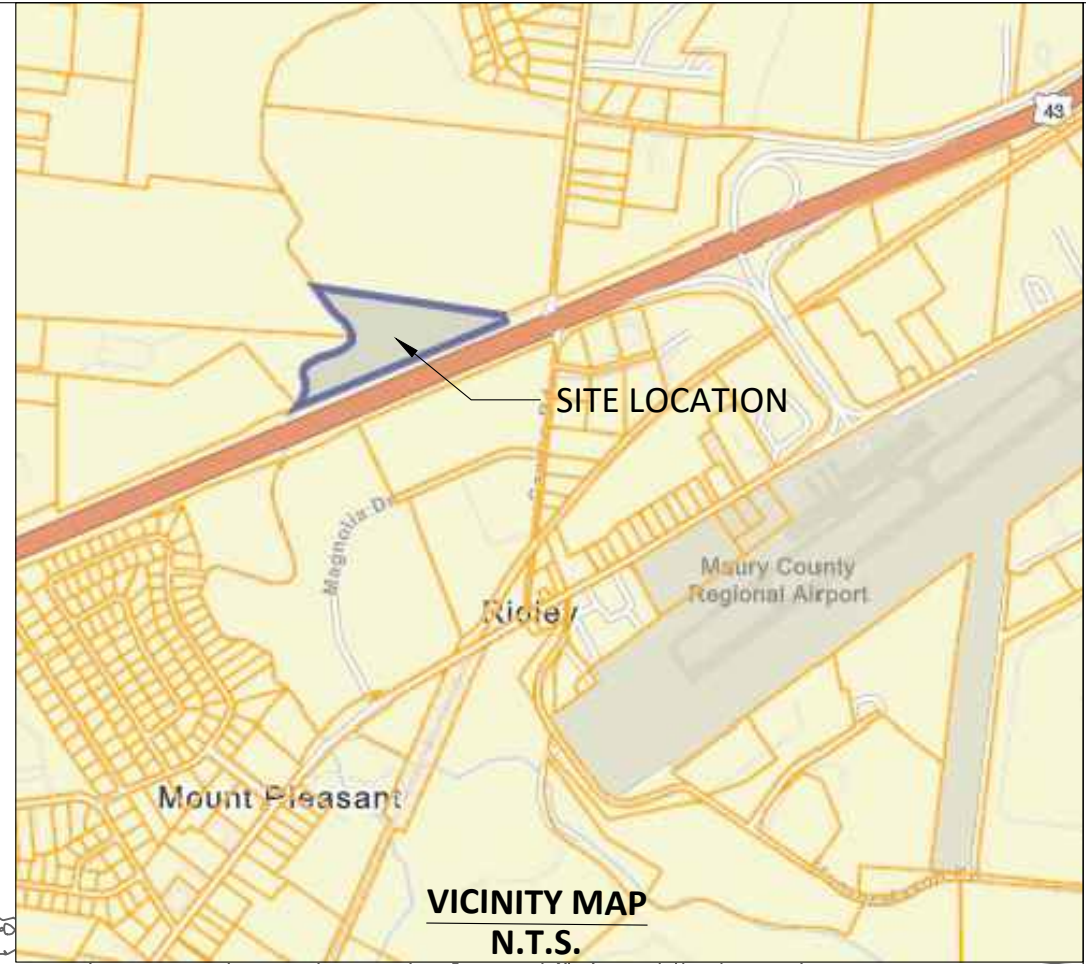
9. WATER AND POWER PROVIDED BY CITY OF MOUNT PLEASANT UTILITIES
100 PUBLIC SQUARE
MOUNT PLEASANT, TN 38474

10. THIS SURVEY IS BASED ON FIELD EVIDENCE AND CURRENT DEEDS OF RECORD. A TITLE SEARCH WAS NOT PROVIDED AT TIME OF SURVEY. THE CERTIFICATION PROVIDED ON THIS SURVEY IS A STATEMENT OF PROFESSIONAL OPINION BASED ON FIELD EVIDENCE, EXPERIENCE, AND DOCUMENTS OF RECORD AT THE COUNTY REGISTER OF DEEDS OFFICE.

11. 1' CONTOURS ARE BASED ON TDOT LIDAR (NAVD88) AND FIELD VERIFIED.

TOPOGRAPHIC SURVEY

CBC PROPERTIES LLC. PROPERTY
7TH CIVIL DISTRICT OF MAURY COUNTY
TAX MAP 127, PARCEL 25.01
DEED BOOK R2805, PAGE 1075
R.O.M.C.



LEGEND

- IRON PIN SET
- POINT AS DESCRIBED
- TDOT MONUMENT
- UTILITY POLE
- ◆ WATER METER
- BUILDING SETBACK (B.S.L.)
- X FENCE
- G GAS LINE
- OVERHEAD POWER
- R/W RIGHT-OF-WAY
- SS SEWER LINE
- W WATER LINE
- FLOOD ZONE

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that to the best of my knowledge and belief this is a true and accurate survey of the property shown hereon; that this is a Class "C" Land Survey as defined in Title 62, Chapter 18, Tennessee Code Annotated, and that the ratio of precision is greater than or equal to 1:10,000.

Date _____ TRACY SEIBER, RLS #2397

TRACY
SEIBER

102 AVALON DRIVE
COLUMBIA, TN 38401
SEIBERSURVEYING@GMAIL.COM (931)446-6677
DRAWING BY: T. SEIBER DATE: 6/14/2025
SCALE: 1"=80' JOB NO.: 41-2025
RD

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ENGINEERING & DEVELOPMENT

REVISIONS

No.	Date	By	Description

SITE PLAN AMENDMENT

FOR

CBC PROPERTIES, LLC

301 CANAAN ROAD
MT. PLEASANT, TN

DATE: 07/21/25

DRAWN BY:

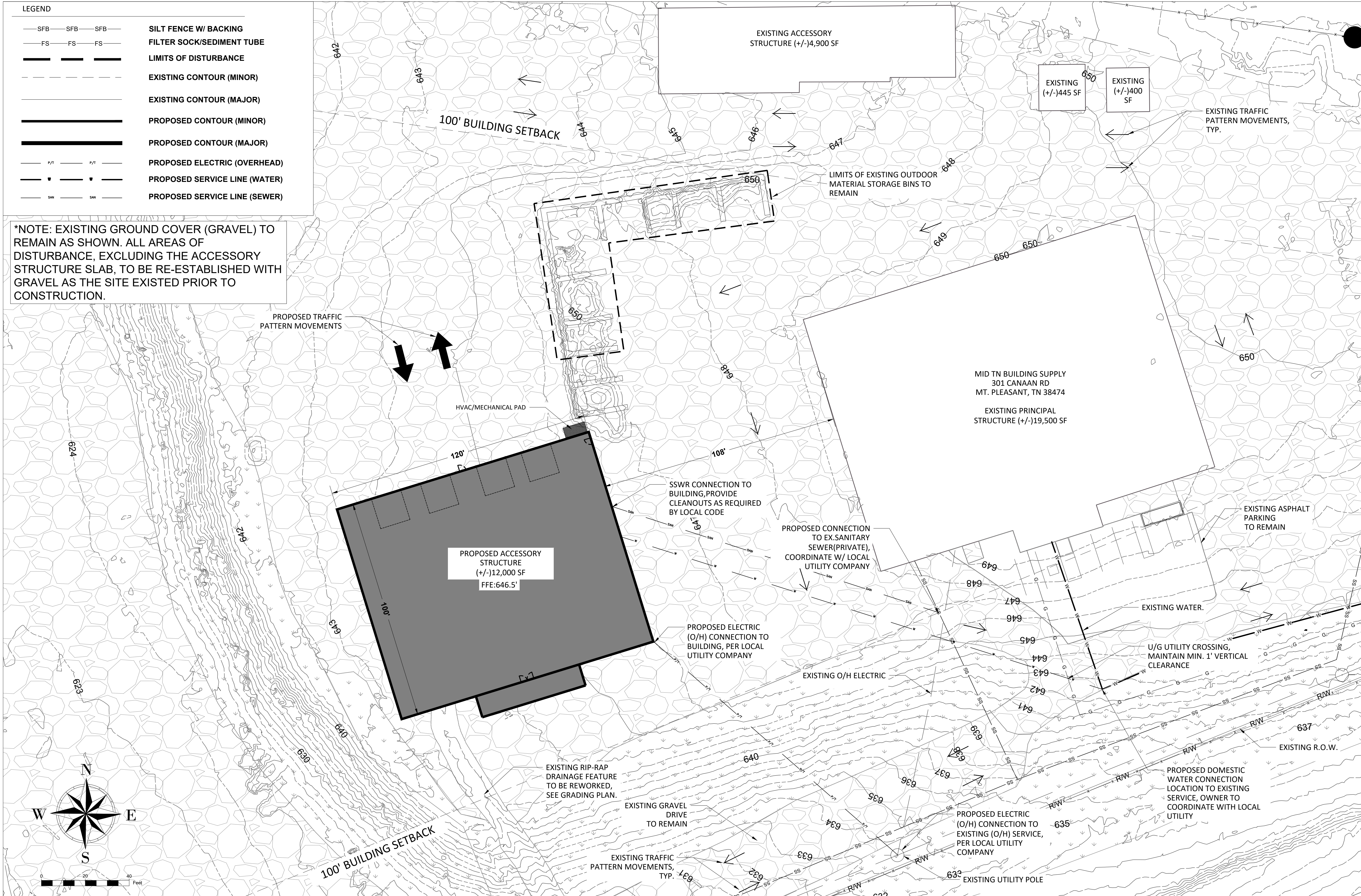
SURVEY
(BY OTHERS)

SHEET NO. C1.0



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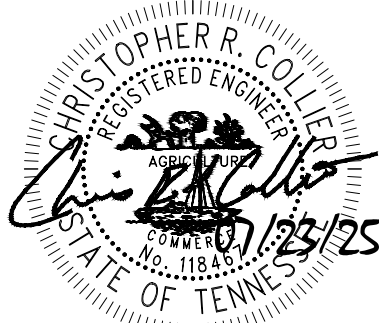


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REVISIONS	
No.	Description

SITE PLAN AMENDMENT
FOR
CBC PROPERTIES, LLC
301 CANAAN ROAD
MT. PLEASANT, TN



DATE: 07/23/25
DRAWN BY: CRC

SITE PLAN

SHEET NO. **C2.0**



EXISTING PRINCIPAL STRUCTURE
(BUILDING MATERIALS EXHIBIT)

*NOTE: COLOR SELECTION OF EXTERIOR MATERIALS (METAL PANELS, DOORS, & WINDOWS) TO BE COMPLIMENTARY AND/OR MATCH THAT OF EXISTING PRINCIPAL STRUCTURE.

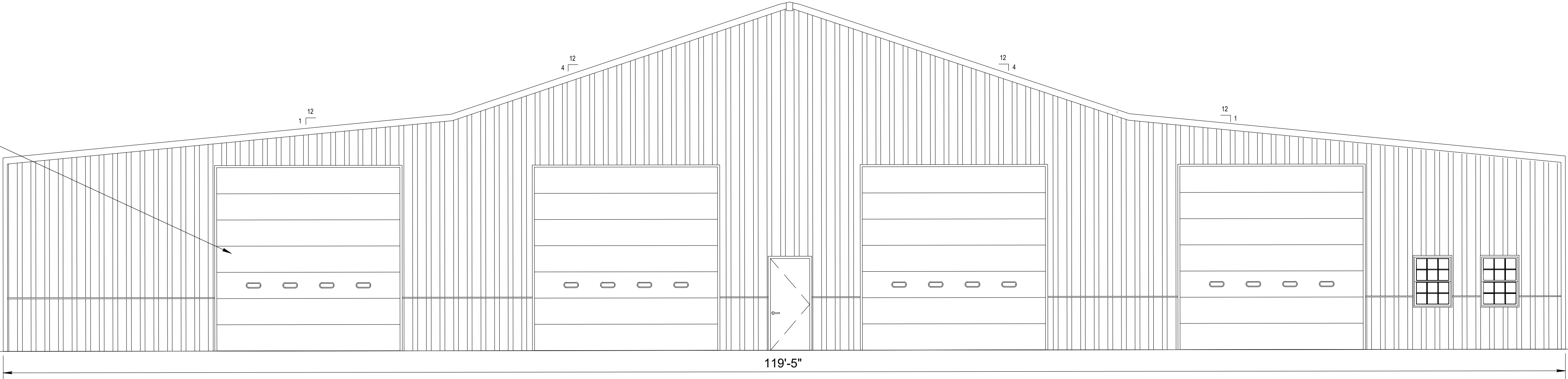
*NOTE: ELEVATION RENDERINGS (BY OTHERS) SHOWN FOR ILLUSTRATIVE AND PLANNING APPROVAL PURPOSES ONLY. THIS PAGE IS NOT TO BE REPRESENTATIVE OF FINAL **STRUCTURAL** BUILDING PLANS.

3 EAST & WEST WALL ELEVATION
N.T.S.



2 REAR ELEVATION
N.T.S.

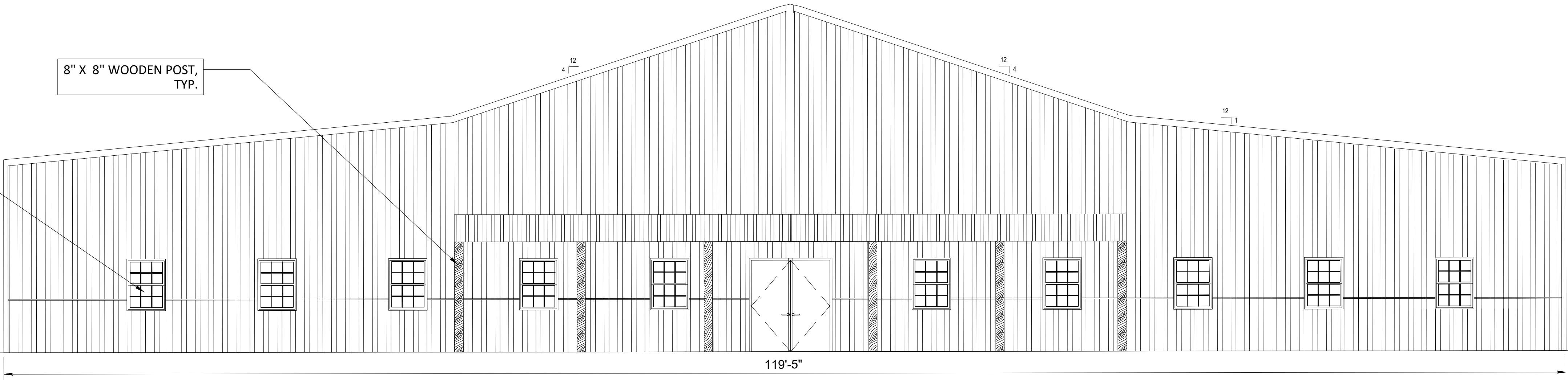
14' X 14' O/H DOORS, TYP.



1 FRONT ELEVATION
N.T.S.

3'0" X 4'0" VINYL CLAD DOUBLE HUNG WINDOWS, TYP.

8" X 8" WOODEN POST, TYP.



Roof Peak Elevation
26'-8"±

Main Roof Eave Elevation
18'-0"±

Lean-to Roof Eave Elevation
14'-9"±

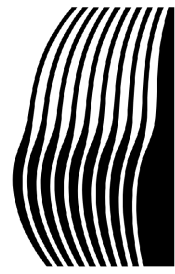
Finished Floor Elevation
0'-0"

Roof Peak Elevation
26'-8"±

Main Roof Eave Elevation
18'-0"±

Lean-to Roof Eave Elevation
14'-9"±

Finished Floor Elevation
0'-0"



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No. Date By Description

SITE PLAN AMENDMENT

FOR

CBC PROPERTIES, LLC

301 CANAAN ROAD
MT. PLEASANT, TN

DATE: 07/21/25

DRAWN BY: CRC

ELEVATION
RENDERINGS

SHEET NO. C2.1

LEGEND

SFB

SFB

SFB

FS

FS

FS

SILT FENCE W/ BACKING

FILTER SOCK/SEDIMENT TUBE

LIMITS OF DISTURBANCE

EXISTING CONTOUR (MINOR)

EXISTING CONTOUR (MAJOR)

PROPOSED CONTOUR (MINOR)

PROPOSED CONTOUR (MAJOR)

PROPOSED ELECTRIC (OVERHEAD)

PROPOSED SERVICE LINE (WATER)

PROPOSED SERVICE LINE (SEWER)

LIGHTING SCHEDULE						
LABEL	MOUNT	HT. (FT)	PRODUCT	WATT	DIST.	LUMENS
WML-1	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-2	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-3	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-4	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-5	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-6	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-7	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-8	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-9	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-10	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-11	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-12	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-13	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-14	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700

NOTE: ALL LAMPS ARE LED - 3000K

IES FILE : EWLS02_70AF730_-120-277V.IES



EWLS

(L-Series Wall Pack)

1,700 - 7,000 lumen H-D replacement delivers significant energy savings and long-life, with Emergency Battery Backup option.



N

W

E

S

0

20

40

Feet



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REVISIONS

No.	Date	By	Description

SITE PLAN AMENDMENT

FOR

CBC PROPERTIES, LLC

301 CANAAN ROAD

MT. PLEASANT, TN

CHRISTOPHER R. COLE

REGISTERED ENGINEER

07/21/25

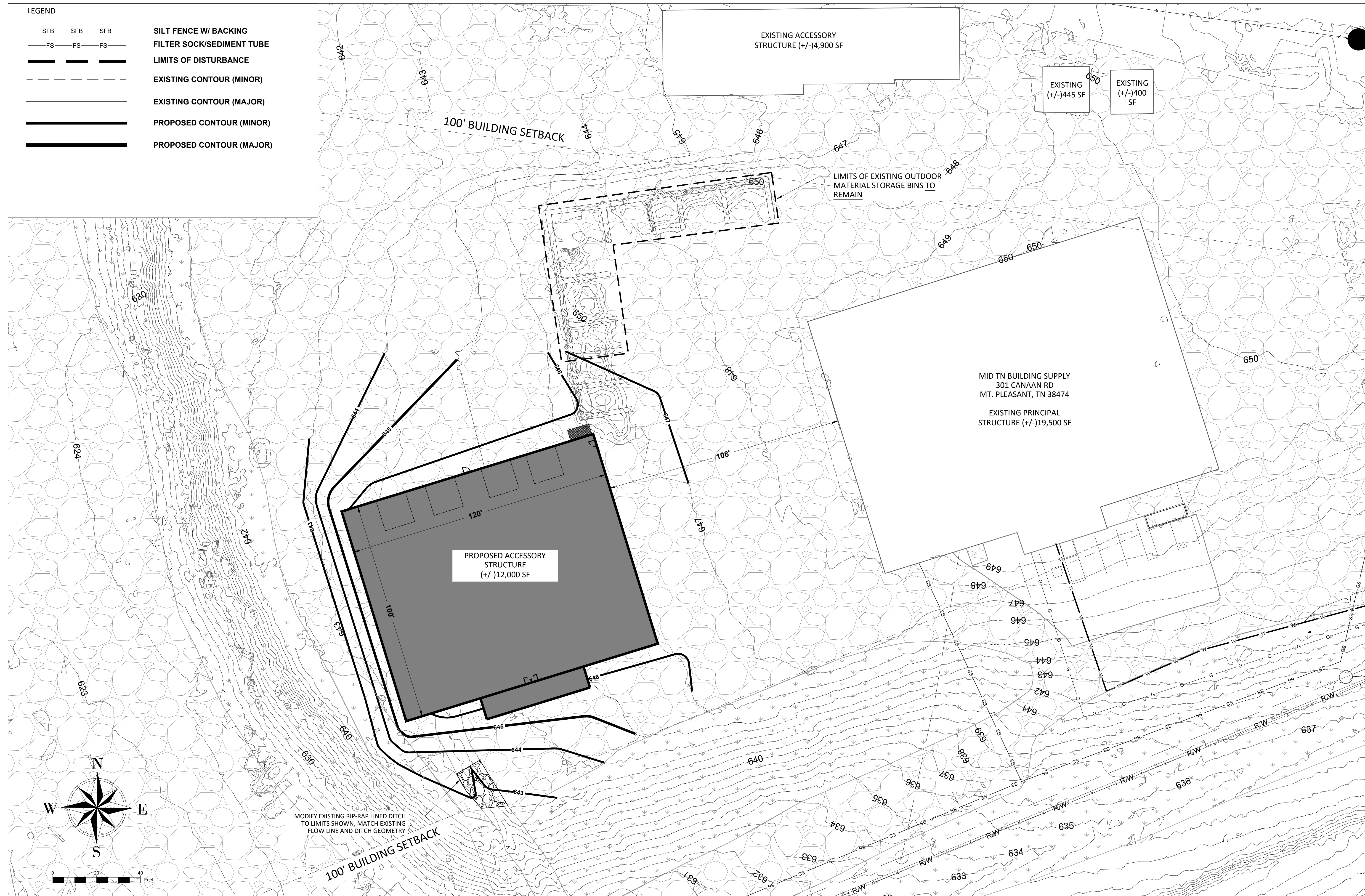
STATE OF TENNESSEE

DATE: 07/21/25

DRAWN BY: CRC

SITE LIGHTING

SHEET NO. C2.2



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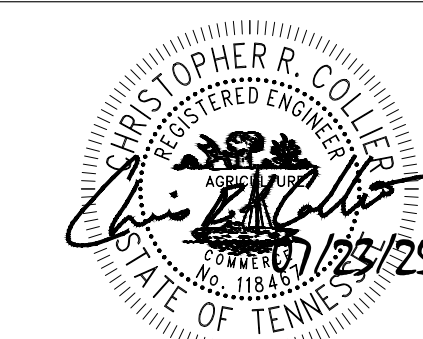
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SITE PLAN AMENDMENT

FOR

CBC PROPERTIES, LLC

301 CANAAN ROAD
MT. PLEASANT, TN

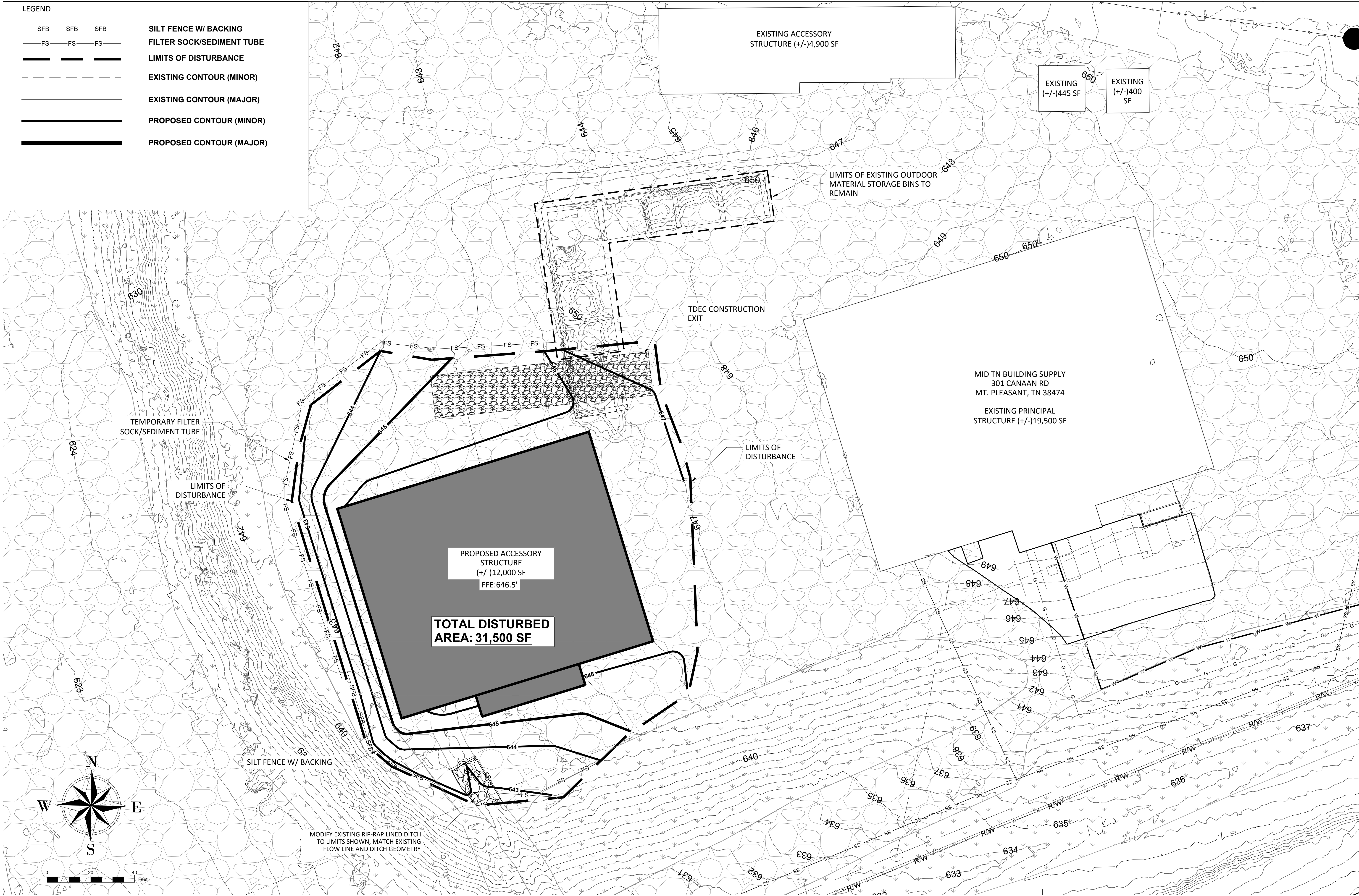


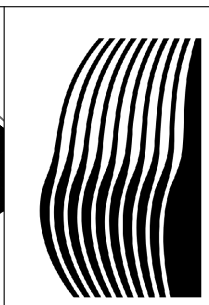
DATE: 07/23/25

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GRADING PLAN

SHEET NO. C3.0



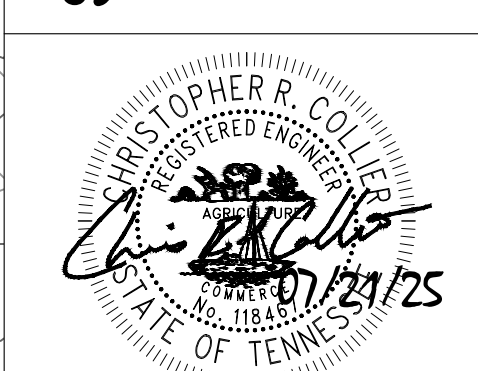


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REVISIONS

No.	Date	By	Description

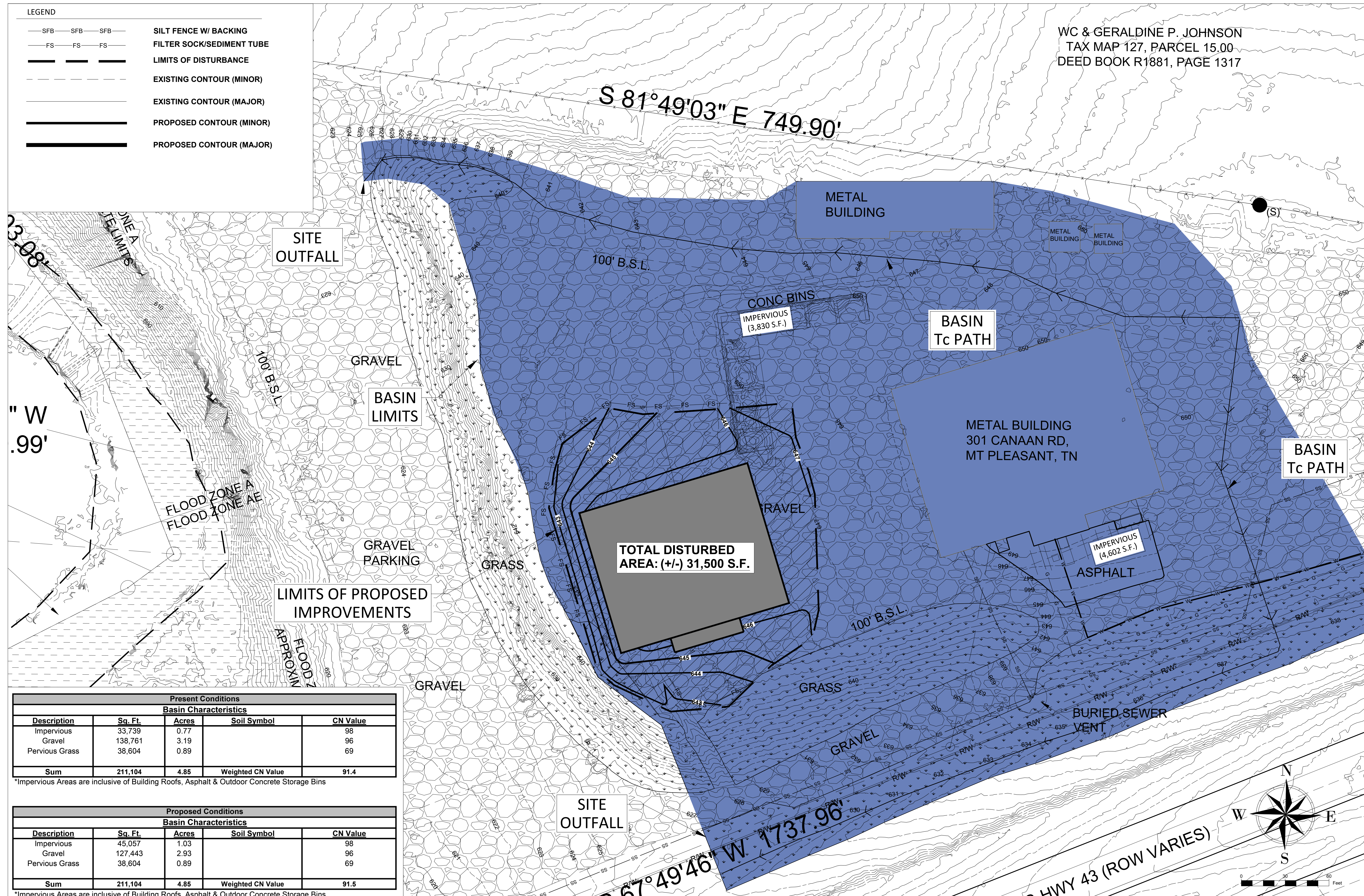
SITE PLAN AMENDMENT
FOR
CBC PROPERTIES, LLC
301 CANAAN ROAD
MT. PLEASANT, TN



DATE: 07/21/25
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EPSC PLAN

SHEET NO. **C3.1**



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SITE PLAN AMENDMENT FOR CBC PROPERTIES, LLC 301 CANAAN ROAD MT. PLEASANT, TN			
			
DATE: 07/21/25			
DRAWN BY: CRC			
DRAINAGE EXHIBIT			
SHEET NO. DX-1			