# PROJECT MUSTANG

JOE FRANK PORTER ROAD MAURY COUNTY MT. PLEASANT, TN

GRESHAM SMITH PROJECT NO. 50114.00

## OWNER / DEVELOPER

Design Constructors, Inc.

2971 Kraft Drive Nashville, TN 37204 Owner Contact: Craig Polancich Phone: (615) 367-9878

# **CIVIL ENGINEER**



222 Second Avenue South Suite 1400 Nashville, TN 37201

Civil Contact: Valerie Rockhill Phone: (859) 519 - 9124 Email: valerie.rockhill@greshamsmith.com





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222 Second Avenue South Suite 1400 Nashville, TN 37201

615.770.8100





THIS PLAN HAS BEEN SIGNED, SEALED, AND DATED DIGITALLY

Revision

Date	Description
	Date

**COVER SHEET** 

**C000** 

50114.00 07/23/2025

Know what's **below**. **Call** before you dig.

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
- 2. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL PERMITS, AND PAY ALL FEES REQUIRED FOR THE EXECUTION OF THE WORK.
- 3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, AND REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO CURRENT LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION.
- 4. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL PAVEMENT, FENCES, TREES, AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR-CAUSED DAMAGE SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE
- 5. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A CONSTRUCTION SCHEDULE FOR VARIOUS SITEWORK ELEMENTS SO THAT PERIODIC SITE VISITS MAY BE COORDINATED TO ALLOW FOR TIMELY INSPECTION CERTIFICATION OF CONSTRUCTION AND REPORTS TO AGENCIES, AND TO AVOID DELAYS IN ISSUANCE OF CERTIFICATE OF OCCUPANCY.

#### **DEMOLITION AND PROTECTION NOTES:**

- DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND FUNCTIONAL.
- 2. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A WASTE MANAGEMENT PLAN PRIOR TO THE COMMENCEMENT OF WORK. AT A MINIMUM THE PLAN SHALL INCLUDE:
- 2.1. THE PROPER PROCEDURES FOR DISPOSAL OR RECLAIMING FOR REUSE / RECYCLING.
- DESIGNATED AREAS FOR WASTE MANAGEMENT CONTAINERS. CONTAINERS SHALL BE PROPERLY MARKED FOR ALLOWABLE AND PROHIBITED ITEMS AND MATERIALS.
- 2.3. DESIGNATED CHEMICAL STORAGE AREAS, APPROPRIATE CHEMICAL STORAGE CONTAINERS, AND PROCEDURES FOR SPILL CONTROL. CHEMICALS SHALL NOT BE PERMITTED TO INFILTRATE TO GROUNDWATER OR BE PUMPED UNTREATED FROM PIT DEWATERING FACILITIES.
- 2.4. A CONCRETE WASHOUT AREAS LOCATED AWAY FROM DESIGNATED CONSTRUCTION EXIT
- PROVIDE NEAT AND STRAIGHT SAWCUTS OF EXISTING PAVEMENT ALONG ALL LIMITS OF PAVEMENT DEMOLITION.
- 4. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. DISPOSE OF OFF THE OWNER'S PROPERTY IN A LEGAL MANNER. PROLONGED STORAGE OR THE SALE OF DEMOLISHED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED WITHOUT PRIOR NOTIFICATION AND CONSENT OF OWNER.
- 5. ALL PAVEMENT, BASE COURSE, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., IN THE AREA TO BE REMOVED SHALL BE REMOVED FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE PROVIDED THAT THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE OF AREAS TO RECEIVE
- 6. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
- 7. ALL EXISTING FEATURES REMAINING AND NOT SPECIFICALLY MENTIONED THAT INTERFERE WITH THE NEW CONSTRUCTION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. BEFORE PROCEEDING WITH DEMOLITION WORK, NOTIFY THE ENGINEER OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE DRAWINGS.
- 8. HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE ENCOUNTERED. IF SUSPECTED HAZARDOUS MATERIALS ARE DISCOVERED, IMMEDIATELY NOTIFY THE OWNER.
- 9. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL AND COMPACTED TO 98% OF MAXIMUM DENSITY PER ASTM D698 - STANDARD PROCTOR.
- 10. PAVEMENT MARKINGS TO BE REMOVED SHALL BE PAINTED OVER TO MATCH PAVEMENT OR REMOVED WITH WIRE BRUSHING.
- 11. EXCEPT AS SHOWN, NO TREES SHALL BE REMOVED AND/OR VEGETATION DISTURBED WITHOUT APPROVAL OF THE ENGINEER.

## **LAYOUT AND PAVING NOTES:**

- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH AND FLUSH TRANSITION BETWEEN EXISTING TO REMAIN AND NEW PAVEMENT, SIDEWALKS, AND CURBS FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH CONSTRUCTED PERPENDICULAR TO THE TRAVEL PATH. ALL CONCRETE SHALL BE 4,000 P.S.I. UNLESS OTHERWISE NOTED. CURB RAMPS, SIDEWALK SLOPES, AND DRIVEWAY RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS FROM THE AUTHORITY HAVING JURISDICTION PRIOR TO PLACEMENT OF CONCRETE.
- DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- PARKING STRIPES SHALL BE 4-INCH WHITE PAVEMENT PAINT, UNLESS OTHERWISE NOTED. LANE STRIPES SHALL BE 4 INCH PAVEMENT PAINT, COLOR AS INDICATED ON PLAN. STOP BARS AND CROSSWALK MARKINGS SHALL BE 24-INCH WHITE PAVEMENT PAINT.
- CONCRETE CONTRACTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS AND SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10-FOOT DIMENSIONS. CONCRETE EXPANSION JOINTS SHALL BE INSTALLED AT MAXIMUM 60-FOOT SPACING AND AT ALL ABUTTING RIGID OBJECTS.
- MAINTAIN ONE SET OF RECORD DRAWINGS MARKUPS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION.
- 8. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY CONSISTING OF THE FOLLOWING:
- THE SURVEY SHALL BE PREPARED, SIGNED AND SEALED BY A SURVEYOR REGISTERED IN THE STATE IN WHICH THIS PROJECT RESIDES AND SUBMITTED TO THE ENGINEER IN ELECTRONIC FORMAT PRIOR TO COMPLETION OF THE PROJECT. THE SURVEY SHALL BE PREPARED USING THE SAME HORIZONTAL AND VERTICAL DATUM AS THE ORIGINAL SURVEY.
- 8.2. SHOWING ALL BUILDINGS, CURB LINES, EDGES OF PAVEMENT, SIDEWALKS, AND PARKING STRIPING.
- LOCATING ALL UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE PROJECT INCLUDING: GREASE TRAP, OIL/WATER SEPARATOR, DRAINAGE AND SANITARY STRUCTURES, WATER VALVES, METERS, PIV'S, AND HYDRANTS.
- INCLUDING ALL ACCESSIBLE PATHS, PEDESTRIAN RAMPS AND LANDINGS, AND ACCESSIBLE PARKING AREAS INCLUDING AISLES AND DROP-OFF/PICK-UP AREAS. DIMENSION FULL LENGTH AND WIDTH OF ALL PEDESTRIAN RAMPS AND LANDINGS. SHOW ELEVATIONS AND SLOPES, INCLUDING LONGITUDINAL AND CROSS SLOPES FOR ALL ACCESSIBLE AREAS.



#### **GRADING AND DRAINAGE NOTES:**

- 1. NOTIFY LOCAL UTILITY LOCATOR SERVICE (CALL 811 OR SUBMIT ON-LINE) OF INTENDED DEMOLITION / GRADING / EXCAVATION / UTILITY TRENCHING CONSTRUCTION.
- 2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, PROTECT UTILITIES TO REMAIN, AND REPAIR CONTRACTOR-CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AT CONTRACTOR'S EXPENSE.
- CONSTRUCT INITIAL TEMPORARY EROSION CONTROL PRIOR TO BEGINNING GRADING OPERATIONS.
- 4. NO TREES SHALL BE REMOVED NOR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES. ALL TREES, INCLUDING YOUNG SAPLINGS, PINES, AND UNDERSTORY SPECIES SHALL BE PROTECTED IF THEY FALL OUTSIDE THE PROPOSED LIMITS OF GRADING, EVEN IF THEY ARE NOT LOCATED OR IDENTIFIED ON THE PLANS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE/STORE MATERIALS WITHIN THE DRIPLINES OF TREES TO BE PROTECTED.
- 5. TREE PROTECTION SHALL CONSIST OF THE FOLLOWING STEPS:
- 5.1. CONTRACTOR SHALL HIRE A LICENSED LANDSCAPE CONTRACTOR TO OVERSEE TREE PROTECTION.
- PRIOR TO ANY GRADING OPERATIONS, LOCATE TREES TO BE PROTECTED AND NEATLY CUT ROOTS TO A DEPTH OF 30-INCHES AT THE DRIP LINE OR THE DIMENSIONED LIMITS SHOWN USING A UTILITY TRENCHING MACHINE.
- 5.3. TREAT EXPOSED ROOTS WITH A HORTICULTURAL TREE PRUNING PROTECTION PRODUCT
- PRUNE TREE LIMBS BY THE SAME PROPORTIONAL PERCENTAGE AS TREE ROOTS REMOVED (I.E., 25% OF ROOTS REMOVED SHALL RESULT IN 25% OF TREE LIMBS REMOVED).
- 5.5. INSTALL A MINIMUM 4-FOOT HIGH CONSTRUCTION FENCE TO THE LIMITS SHOWN.
- BEGIN CLEARING AND GRADING OPERATIONS.

MAXIMUM OR MINIMUM SLOPES ARE SPECIFIED.

- 6. EXISTING CONDITIONS ARE FROM A PRE-CONSTRUCTION TOPOGRAPHIC SURVEY PROVIDED BY GRESHAM SMITH, DATED
- 7. THE CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO BEGINNING WORK. INSTALL STORM SEWERS BEGINNING AT THE DISCHARGE TIE POINT ELEVATION AND THEN PROCEEDING UPSTREAM.
- 8. TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 6-INCHES. CONSTRUCT TEMPORARY STOCKPILES FREE DRAINING AND PROVIDE EROSION AND SEDIMENT CONTROLS AROUND AREA.
- 9. SATISFACTORY TOPSOIL IS DEFINED AS MATERIAL FREE OF SUBSOIL, CLAY LUMPS, STONES, OBJECTS OVER 1-INCH IN DIAMETER, OR CONTAMINANTS.
- 10. TOP OF GRATE ELEVATIONS FOR CURB INLETS ARE GIVEN TO THE CENTER OF THE INLETS AT THE FACE OF CURB. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADE. ADJUST THE CASTING HOOD TO FALL ALONG THE CURB LINE.
- 11. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING
- CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 12. SPOT ELEVATIONS AND CONTOURS REPRESENT PROPOSED FINISHED GRADE AND TOP OF FINISHED PAVEMENT.
- 13. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS TO POSITIVELY DRAIN. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THIS INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED PRIOR TO BEGINNING WORK.
- 14. ALL PERMANENT CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 3 HORIZONTAL:1 VERTICAL. TEMPORARY CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL:1 VERTICAL UNLESS TEMPORARY SHORING IS PROVIDED, OR UNLESS AUTHORIZED BY A LICENSED GEOTECHNICAL ENGINEER.
- 15. CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL OFF THE OWNER'S PROPERTY IN A LEGAL MANNER AT NO ADDITIONAL
- 16. EXISTING MANHOLE, VALVE AND CATCH BASIN CASTINGS TO REMAIN SHALL BE RESET TO MATCH NEW GRADE. BUILDING ADDITION FINISH FLOOR ELEVATIONS SHALL MATCH EXISTING.
- 17. ALL CURBS, PAVEMENT AND SIDEWALKS SHALL BE BACKFILLED FLUSH WITH TOPSOIL, SEEDED AND MULCHED.
- 18. ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED WITH CRUSHED STONE. ALL PIPES UNDER LAWN AREAS SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL COMPACTED TO 98% OF MAXIMUM PER ASTM D698 - STANDARD PROCTOR
- 19. ALL HEADWALLS SHALL HAVE A MINIMUM 10' x 20' x 1.5' RIP-RAP APRON INSTALLED USING 8" MINIMUM DIAMETER STONE, UNLESS
- 20. FINAL FINISH GRADE TOLERANCES SHALL BE MAXIMUM 0.10 FOOT ABOVE OR BELOW DESIGN ELEVATIONS WITHIN PAVED AREAS, AND MAXIMUM 0.25 FOOT ABOVE OR BELOW DESIGN FINISH ELEVATIONS IN OTHER AREAS. NO TOLERANCE IS ALLOWED WHEN
- 21. ADA PARKING AND LOADING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. ADA ACCESS ROUTES SHALL NOT EXCEED 2.0% CROSS SLOPE AND 5.0% LONGITUDINAL SLOPE, EXCEPT WHERE ADA RAMPS ARE SPECIFIED. ADA RAMPS SHALL NOT EXCEED 2.0% CROSS SLOPE AND 8.33% LONGITUDINAL SLOPE.
- 22. EARTHWORK FILL SHALL INCLUDE STRIPPING TOPSOIL AND PLACING ENGINEERED FILL IN MAXIMUM 8" COMPACTED LIFTS WITH DENSITY OF 98% OF MAXIMUM PER ASTM D698 - STANDARD PROCTOR.
- 23. EXCAVATION FOR THIS PROJECT IS UNCLASSIFIED. A GEOTECHNICAL EXPLORATIONS REPORT COMPLETED BY GALLET & ASSOCIATES, INC., DATED APRIL 7, 1997 HAS BEEN PREPARED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE REPORT FOR ANTICIPATED EXCAVATION REQUIREMENTS. ADDITIONAL PAYMENT WILL NOT BE MADE FOR UNANTICIPATED ROCK EXCAVATION, UNLESS OTHERWISE AGREED UPON WITH OWNER PRIOR TO COMMENCEMENT OF ROCK EXCAVATION.
- 24. PROVIDE AN AS-BUILT SURVEY BY A LICENSED SURVEYOR TO INCLUDE ALL STORMWATER MANAGEMENT FEATURES. UNDERGROUND BASINS, PONDS, BIOSWALES, RAIN GARDENS, WATER QUALITY UNITS, AND OUTLET STRUCTURES.
- 25. ALL STORM DRAINAGE PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. PIPE LENGTHS SHOWN ARE APPROXIMATE TWO-DIMENSIONAL LENGTHS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- 26. IF BLASTING IS REQUIRED, CONTRACTOR SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN NFPA 495, "EXPLOSIVE MATERIALS CODE," AND PREPARE A BLASTING PLAN CONTAINING THE FOLLOWING:
- 26.1. TYPES OF EXPLOSIVES AND SIZES OF CHARGE TO BE USED IN EACH AREA OF ROCK REMOVAL, TYPES OF BLASTING MATS, SEQUENCE OF BLASTING OPERATIONS, AND PROCEDURES THAT WILL PREVENT DAMAGE TO SITE IMPROVEMENTS AND STRUCTURES ON THE PROJECT SITE AND ADJACENT PROPERTIES.
- 26.2. SEISMOGRAPHIC MONITORING DURING BLASTING OPERATIONS
- 26.3. A BLASTING PLAN KEPT AT THE CONSTRUCTION SITE, ALONG WITH OTHER BLASTING RECORDS REQUIRED. RECORDS SHALL BE AVAILABLE FOR REVIEW BY THE OWNER UPON REQUEST. OBTAIN PERMITS FROM AUTHORITIES HAVING JURISDICTION BEFORE BRINGING EXPLOSIVES TO THE PROJECT SITE. PERFORM BLASTING WITHOUT WEAKENING THE BEARING CAPACITY OF ROCK SUBGRADE AND WITH THE LEAST-PRACTICAL DISTURBANCE OF ROCK TO REMAIN.
- 26.4. ENGAGEMENT OF A QUALIFIED, INDEPENDENT AGENCY TO PERFORM A PRE-BLAST AND POST-BLAST SURVEY OF ALL STRUCTURES SUBJECT TO BLAST VIBRATIONS. CONTRACTOR SHALL COORDINATE ALL BLASTING ACTIVITIES WITH THIS AGENT, INCLUDING BLASTING PLANS, SCHEDULES, ETC. CONTRACTOR MAY, AT HIS EXPENSE, HIRE A VIBRATION CONSULTANT TO REVIEW THE BLASTING PLAN AND MAKE RECOMMENDATIONS. REVIEW OF THE BLASTING DESIGN SURVEY, MONITORING, AND TECHNIQUES BY THE ENGINEER OR VIBRATION CONSULTANT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR ACCURACY, ADEQUACY, AND SAFETY OF THE BLASTING. NOTHING CONTAINED HEREIN SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR CLAIMS ARISING FROM HIS CONSTRUCTION OPERATIONS. IN THE EVENT THAT A PROPERTY OWNER DENIES ACCESS FOR THE PRE-CONSTRUCTION SURVEY OF STRUCTURES AND FACILITIES; THE CONTRACTOR SHALL NOTIFY SUCH PROPERTY OWNER BY CERTIFIED MAIL STATING THAT THIS IS FINAL NOTIFICATION. A COPY OF THE BLASTING RECORDS SHALL BE SUBMITTED TO THE ENGINEER.
- 26.5. AT LEAST 24 HOURS IN ADVANCE, THE CONTRACTOR SHALL NOTIFY ADJACENT RESIDENCES AND BUSINESSES SUBJECT TO BLASTING VIBRATIONS OF THE INTENT TO BLAST. CONTRACTOR SHALL DISCLOSE THE ANTICIPATED TIME OF DAY AND SCHEDULE FOR BLASTING. SUBMIT NOTICE OF BLASTING COMPLAINTS TO OWNER WITHIN 24 HOURS OF RECEIPT THEREOF. THE NOTICE SHALL IDENTIFY THE ORIGIN OF COMPLAINT AND SHALL CONTAIN A BRIEF DESCRIPTION OF ALLEGED DAMAGES OR OTHER CIRCUMSTANCES UPON WHICH THE COMPLAINT IS PREDICATED. CONTRACTOR SHALL ASSIGN EACH COMPLAINT A SEPARATE NUMBER, IN ASCENDING ORDER, AND SHOW IN EACH NOTICE ALL PREVIOUS COMPLAINT NUMBERS REGISTERED BY THE SAME COMPLAINANT
- 27. PER APRIL 17, 1997 PRELIMINARY GEOTECHNICAL INVESTIGATION, GALLET & ASSOCIATES, INC. PROJECT NO. 97GNEL01A01, A 2'-3' DEEP PLOW ZONE EXISTS THAT MUST BE REMOVED OR RECOMPACTED PRIOR TO FILL. AN UPDATED GEOTECHNICAL REPORT IS FORTHCOMING AND WILL ADDRESS WHETHER THIS CONDITION EXISTS ON THE PROPOSED SITE.
- 28. RIPRAP CHANNEL LINING TO RECEIVE TYPE A 6 IN ANGULAR STONE WITH FILTER FABRIC UNDERLAY.

#### **SITE UTILITIES NOTES:**

- 1. WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL CODES AND
- 2. THE CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN IS BASED ON LIMITED TOPOGRAPHIC SURVEYS AND RECORD DRAWINGS. THE CONTRACTOR SHALL NOT RELY ON THIS INFORMATION AS BEING EXACT OR COMPLETE. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AS SOON AS POSSIBLE FOR INSTRUCTIONS.
- 3. MAINTAIN 10-FOOT HORIZONTAL AND 18-INCH VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER SUPPLY LINES.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO FINAL PAVEMENT SURFACE CONSTRUCTION.
- 5. BACKFILL UTILITY TRENCHES UNDER PAVEMENT AREAS WITH CRUSHED STONE. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL COMPACTED TO AT LEAST 98% OF MAXIMUM PER ASTM D698 - STANDARD PROCTOR.
- 6. ADJUST ALL NEW AND EXISTING-TO-REMAIN UTILITY SURFACE FEATURES, INCLUDING BUT NOT LIMITED TO CASTINGS, FIRE HYDRANTS, VALVE BOXES, PEDESTALS, CLEANOUTS, ETC. TO MATCH PROPOSED FINISH GRADE.
- 7. THRUST BLOCK ALL WATERLINE FITTINGS WITH CONCRETE (2,500 P.S.I. MIN.) POURED AGAINST UNDISTURBED EARTH TO SUSTAIN 120 PERCENT TEST PRESSURE SPECIFIED. FORM THRUST BLOCKING SO AS TO NOT EMBED JOINTS, BOLTS, VALVE BOXES OR OPERATING NUTS.
- 8. PROVIDE COMBINATION AIR/VACUUM VALVE AT HIGH POINTS IN WATERLINE AS NECESSARY FOR EXPELLING AIR DURING FILLING OF WATERLINE. PROVIDE BRONZE CORPORATION STOP FOR CLOSING VALVE DURING TESTING AND SERVICE. LEAVE COMBINATION AIR/VACUUM VALVE COMPONENTS PLUGGED AND ATTACHED TO PIPE AFTER SUCCESSFUL TEST.
- 9. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO BEGINNING WORK. INSTALL GRAVITY SEWER BEGINNING AT THE TIE POINT ELEVATION AND THEN PROCEEDING UPSTREAM.
- 10. ALL MANHOLES SHALL HAVE MINIMUM CLEAR OPENING OF 24". ADJUST CASTINGS TO SLOPE LONGITUDINALLY WITH ROAD GRADES AS REQUIRED.
- 11. CONTRACTOR SHALL MAINTAIN A MARKED-UP SET OF AS-BUILT PLANS SHOWING ALL NEW UTILITIES AND EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION EITHER BY FIELD SURVEY ON THE APPROPRIATE STATE PLANE COORDINATE SYSTEM, OR BY FIELD MEASUREMENTS INCLUDING AT LEAST TWO DIMENSIONS FROM KNOWN SITE FEATURES/MONUMENTS TO EACH MANHOLE, CATCH BASIN, AND PIPING APPURTENANCES.
- 12. ALL SANITARY SEWER PIPE SHALL BE SDR 35 PVC UNLESS NOTED OTHERWISE.
- 13. ALL WATER MAINS SHALL BE AWWA C151, PRESSURE CLASS 350 DIP UNLESS NOTED OTHERWISE.
- 14. ALL FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED BETWEEN 3' AND 7' FROM PAVED SURFACE.
- 15. ALL FIRE HYDRANTS SHALL MEET CURRENT AWWA STANDARD C502.
- 16. NON-METALLIC PIPE SHALL BE INSTALLED WITH DETECTION TAPE OR OTHER ACCEPTABLE MEANS OF DETECTION.

#### **EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) NOTES:**

- 1. REFER TO STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BOUND NARRATIVE FOR ADDITIONAL REQUIREMENTS.
- 2. CONSTRUCT TEMPORARY EPSC MEASURES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS.
- 3. ALL DRAINAGE STRUCTURES, PIPES WITHIN THE LIMITS OF CONSTRUCTION AND IMMEDIATELY DOWNSTREAM OF THE SITE, AND STORMWATER FACILITIES SHALL HAVE SEDIMENT REMOVED PRIOR TO FINAL ACCEPTANCE.
- 4. SILT BARRIERS AND SEDIMENT BASINS SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN APPROXIMATELY 50% FILLED.
- 5. ALL GRADED AREAS NOT RECEIVING STONE OR PAVEMENT STABILIZATION SHALL RECEIVE TEMPORARY SEEDING WITHIN 10 DAYS OF REACHING FINAL SUBGRADE ELEVATION.
- 6. ALL LOCATIONS OF TEMPORARY EPSC DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DIRECTED BY THE ENGINEER.
- 7. WHEN THE EPSC DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE (IN THE OPINION OF THE ENGINEER), THEY SHALL BE REMOVED.
- 8. REPLACE DAMAGED AND WORN OUT SILT BARRIERS AS DIRECTED BY THE ENGINEER.
- 9. PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN SC 150 OR EQUAL) TO SLOPES 3:1 OR STEEPER. EROSION CONTROL MATTING SHALL BE PHOTODEGRADABLE OR BIODEGRADABLE.
- 10. DEWATERING OF EXCAVATION AREA SHALL BE COMPLETED ONLY WITH PRE-APPROVED PUMPING AND FILTERING EQUIPMENT. PUMPING RATE SHALL NOT EXCEED 80% OF THE RECOMMENDED MAXIMUM RATE BY SEDIMENT TANK / FILTER BAG
- 11. THE ENGINEER, WHOSE SEAL IS AFFIXED TO THIS DOCUMENT, CERTIFIES THAT THESE PLANS HAVE BEEN PREPARED BY UNDER HIS/HER DIRECT SUPERVISION. THIS PROJECT IS PLANNED TO DISTURB MORE THAN ONE ACRE, IT THEREFORE FALLS UNDER THE STATE'S GENERAL NPDES PERMIT TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY. THE ENGINEER WILL ASSIST THE CONTRACTOR IN SUBMITTING THE 'NOTICE OF INTENT (NOI) TO CONSTRUCT' TO THE STATE AT LEAST 30 DAYS PRIOR TO BEGINNING LAND DISTURBANCE.



GreshamSmith.com

222 Second Avenue South Suite 1400 Nashville, TN 37201

615.770.8100





THIS PLAN HAS BEEN SIGNED, SEALED, AND DATED DIGITALLY

Revision

Date Description

**GENERAL NOTES** 

50114.00

07/23/2025

#### PROPERTY DESCRIPTION FROM SURVEY

LAND SITUATED IN THE 7TH DISTRICT OF MAURY COUNTY, MOUNT PLEASANT, TENNESSEE, BEING A PORTION OF THE LAND PREVIOUSLY CONVEYED TO MAURY COUNTY, TENNESSEE, OF RECORD IN BOOK 1335, PAGE 55, IN THE REGISTER'S OFFICE FOR MAURY COUNTY, TENNESSEE (R.O.M.C.,TN), SAID LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE APPROXIMATE CENTERLINE INTERSECTION OF JOE FRANK PORTER ROAD AND CHARLES TISHER WAY, THENCE NORTH 61 DEGREES 33 MINUTES 44 SECONDS WEST, A DISTANCE OF 496 FEET TO A ½" REBAR FOUND ALONG THE SOUTHWESTERLY MARGIN OF JOE FRANK PORTER ROAD, SAID REBAR BEING THE NORTHERNMOST CORNER OF LOT NO. 1 ON THE PLAT OF PROPOSED 8.06 ACRE OUTPARCEL, OF RECORD IN PLAT BOOK P21, PAGE 576 (R.O.M.C.,TN) AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LAND;

THENCE LEAVING SAID MARGIN AND ALONG SAID PLAT, SOUTH 58 DEGREES 21 MINUTES 53 SECONDS WEST, A DISTANCE OF 515.00 FEET TO A ½" REBAR FOUND;

THENCE ALONG THE LINE OF LAND CONVEYED TO MHB PROPERTY HOLDINGS, LLC, OF RECORD IN BOOK R2862, PAGE 611 (R.O.M.C.,TN), SOUTH 58 DEGREES 20 MINUTES 27 SECONDS WEST, A DISTANCE OF 485.14 FEET TO A ½" REBAR FOUND;

THENCE ALONG A NEW PARTITION FOR THE FOLLOWING 6 CALLS-SOUTH 58 DEGREES 23 MINUTES 51 SECONDS WEST, A DISTANCE OF 352.55 FEET TO A ½" REBAR SET WITH A GRESHAM CAP;

THENCE SOUTH 58 DEGREES 04 MINUTES 49 SECONDS WEST, A DISTANCE OF 34.84 FEET TO A 1/2" REBAR SET WITH A GRESHAM CAP;

THENCE SOUTH 63 DEGREES 35 MINUTES 04 SECONDS WEST, A DISTANCE OF 548.98 FEET TO A 1/2" REBAR SET WITH A GRESHAM CAP;

THENCE SOUTH 63 DEGREES 47 MINUTES 43 SECONDS WEST, A DISTANCE OF 836.67 FEET TO A ½" REBAR SET WITH A GRESHAM CAP;

THENCE SOUTH 59 DEGREES 13 MINUTES 57 SECONDS WEST, A DISTANCE OF 32.72 FEET TO A  $lac{1}{2}$ " REBAR SET WITH A GRESHAM CAP;

THENCE SOUTH 64 DEGREES 05 MINUTES 02 SECONDS WEST, A DISTANCE OF 26.01 FEET TO A POINT ALONG THE LINE OF FRED GILLIAM, JR., OF RECORD IN BOOK R2599, PAGE 645 (R.O.M.C.,TN);

THENCE ALONG SAID LINE, NORTH 70 DEGREES 50 MINUTES 15 SECONDS WEST, A DISTANCE OF 6.69 FEET TO A POINT;

THENCE LEAVING SAID LINE AND ALONG A NEW PARTITION FOR THE REMAINING CALLS-NORTH 26 DEGREES 57 MINUTES 50 SECONDS EAST, PASSING A ½" WITNESS REBAR SET WITH A GRESHAM CAP AT 50 FEET, FOR A TOTAL DISTANCE OF 1288.70 FEET TO A ½" REBAR SET WITH A GRESHAM CAP;

THENCE NORTH 58 DEGREES 19 MINUTES 24 SECONDS EAST, A DISTANCE OF 1019.02 FEET TO A ½" REBAR SET WITH A GRESHAM CAP;

THENCE SOUTH 82 DEGREES 21 MINUTES 50 SECONDS EAST, A DISTANCE OF 825.21 FEET TO A ½" REBAR SET WITH A GRESHAM CAP;

THENCE ALONG A NON-TANGENTIAL CURVE TURNING TO THE LEFT, WITH A RADIUS OF 70.12 FEET, A CHORD BEARING OF SOUTH 52 DEGREES 17

MINUTES 09 SECONDS EAST, A CHORD DISTANCE OF 104.91 FEET, FOR AN ARC DISTANCE OF 118.52 FEET TO A ½" REBAR SET WITH A GRESHAM

THENCE ALONG A NON-TANGENTIAL CURVE TURNING TO THE LEFT, WITH A RADIUS OF 1193.87 FEET, A CHORD BEARING OF SOUTH 42 DEGREES 10 MINUTES 53 SECONDS EAST, A CHORD DISTANCE OF 192.12 FEET, FOR AN ARC DISTANCE OF 192.33 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LAND, CONTAINING 1,608,698.17 SQUARE FEET OR 36.93 ACRES OF LAND.

TC:598.29

IRON PIPE

—IE IN (SE):591.39

IE OUT (W):591.1

TC:603.02

TC:603.02

IE IN (SE):595.23 -

E OUT (NW):595.20

— IE IN (SE):594.04

IE OUT (NW):592.25

FOUND 1' IRON PIPE

THIS DESCRIPTION WAS PREPARED BY CHRISTOPHER LYLE GOETZ, TENNESSEE REGISTERED LAND SURVEYOR NUMBER 2660 ON JUNE 11, 2025 UNDER GRESHAM SMITH PROJECT NUMBER 50114.00.

## **GPS NOTE**

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS WORK WERE DERIVED FROM NETWORK ADJUSTED REAL TIME KINEMATIC GPS
- TRIMBLE R12 / R12i DUAL FREQUENCY RECEIVERS WERE USED ON THIS PROJECT.
- RELATIVE POSITIONAL PRECISION= <0.07 FEET BETWEEN TESTED PAIRS DATES OF SURVEY-04/28/25 THRU 05/21/25

DJ9562 TN37 TDOT COLUMBIA CORS ARP

- HORIZONTAL DATUM-NAD-83 (2011), EPOCH-2010
- VERTICAL DATUM-NAVD 88 (GEOID COMPUTED) FIXED CONTROL STATIONS- DM3531 TN30 TDOT DISTRICT 30 CORS ARP
- DM4145 TN39 TDOT DISTRICT 39 CORS ARP **GEOID MODEL-GEOID 18** COMBINED GRID FACTOR- 0.99993271 (PER OPUS). ALL MEASUREMENTS

SCALED BY THE INVERSE FACTOR TO ACHIEVE GROUND DISTANCES.

LEGEND			
Benchmark	S Sewer Manhole		
(Set) 1/2" Diameter Rebar with GS Cap	Double Catch Basin		
(Found) Property Corner	Triple Catch Basin		
Tree Line	Power Pole		
	x Fence		
Adjacent Property Line	Electric Pull Box / Telephone Pedestal		
Easement Line	E Electric Meter		
— · — · — · — Floodplain	W Water Meter		
——OHE—— Overhead Electric Line	Water Valve		
—_W — Water Line	Fire Hydrant		
—SAN— Sewer Line	GLM Gas Line Marker		
— ST — Storm Drainage Pipe	⊖‡ Single Light Pole		
— G — Gas Line	R.O.M.C.,TN Register Office of Maury County Tennessee		
O O Double Post Sign	—— Single Post Sign		

**GENERAL NOTES** 

IE IN (SW):596.19

IE IN (SE):596.12 IE OUT (NW):595.84

TC:602.76

-IE IN (SW:597.85 IE OUT (NE):597.73

TC:606.97 —IE IN (SE):597.25

IE OUT (NW):597.23

1. BEARINGS SHOWN HEREON ARE RELATIVE TO THE TENNESSEE STATE PLANE COORDINATE SYSTEM (4100) NAD83 (2011). CONTOURS SHOWN HEREON ARE BASED ON 1 FOOT INTERVALS AS DERIVED FROM GROUND SHOTS, RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. SEE GPS NOTE FOR ADDITIONAL INFORMATION.

1/2" REBAR

2. NO TITLE OPINION IS EXPRESSED OR IMPLIED. ADDITIONAL EASEMENTS BEYOND THOSE SHOWN ON THIS WORK MAY

THIS PROPERTY SHOWN HEREON HAS VEHICULAR ACCESS TO A CONSTRUCTED PUBLIC ROAD. SURVEYOR IS UNABLE TO FIND ANY FORMAL DEDICATION DOCUMENTS FOR JOE FRANK PORTER ROAD.

4. THE LINES OF THE ADJOINERS INDICATED HEREON HAVE NOT BEEN SURVEYED AND HAVE BEEN GRAPHICALLY DEPICTED FROM GIS & RECORD DATA.

5. THIS SURVEY HAS BEEN SIGNED, SEALED AND DATED DIGITALLY.

-1/2" IRON

S82° 21' 50"E

IE (NE):639.71

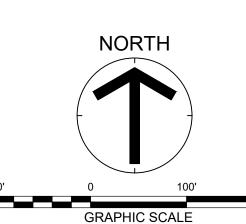
IE (NE):639.44 -TE (SW):639.54

IE (SW):639.55

THE SUBJECT PROPERTY HAS AREAS DESIGNATED AS ZONE A AND ZONE X AS SHOWN ON THE MOST CURRENT FLOOD INSURANCE MAP AVAILABLE BEING NO. 47119C0260E, EFFECTIVE DATE APRIL 16, 2007. SHOWN FLOOD LINES WERE TAKEN FROM FEMA'S FLOOD MAP SERVICE CENTER AND SHALL BE CONSIDERED APPROXIMATE.

7. THE SUBJECT PROPERTY IS A PORTION OF THE PROPERTY DESCRIBED IN THE FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NUMBER 12469063, DATED 05/27/2025 AT 8:00 AM.

8. THE SUBJECT PROPERTY IS PROPOSED AND HAS NOT YET BEEN CREATED.



Source of North **TNSPCS ZONE 4100** NAD83 (2011) **NAVD 88 (GEOID 18)** 

ACCURACY OF MARKED UNDERGROUND UTILITY LOCATIONS ON SURFACE AND LOCATION OF ALL UNDERGROUND UTILITIES NOT VISIBLE INCLUDING UNDERGROUND SERVICES LINES SHALL NOT BE RELIED UPON WITHOUT VERIFICATION FROM PROPER UTILITY AUTHORITY HAVING JURISDICTION. GRESHAM SMITH HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND /OR MAPS PREPARED BY OTHERS. GRESHAM SMITH MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. GRESHAM SMITH FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. THEREFORE RELIANCE UPON SIZE AND LOCATION OF UTILITIES SHOWN SHALL BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH MUST BE MADE PRIOR TO ANY DECISIONS RELATIVE THERETO ARE MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY AUTHORITY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER(S), NO LESS THAN THREE (3) NO MORE THAN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 811.

**UTILITY DISCLAIMER: GRESHAM SMITH/LAND SURVEYOR DOES NOT GUARANTEE** 

**TABLE A - ITEM NOTES** 

FOUND OR SET, AS SHOWN ON SURVEY. SUBJECT PROPERTY HAS NOT BEEN CREATED AT TIME OF SURVEY. NO

ADDRESS AVAILABLE. FLOOD ZONE CLASSIFICATION. REFER TO GENERAL NOTE 6.

GROSS LAND AREA-1,608,698.17 SQFT / 36.93 AC ITEM 5 - CONTOURS ARE SHOWN AT 1 FOOT INTERVALS. SEE GPS NOTE.

ITEM 6(a) - NO ZONING INFORMATION PROVIDED TO SURVEYOR. ITEM 6(b) - NO ZONING INFORMATION PROVIDED TO SURVEYOR.

ITEM 8 - SUBSTANTIAL FEATURES AS SHOWN HEREON. ITEM 11A- SEE UTILITY DISCLAIMER. SOME UTILITY MARKINGS WERE OBSERVED

ITEM 13- ADJOINING OWNERS AS SHOWN WITHIN GRAPHIC PORTION OF THIS WORK. INFORMATION TAKEN FROM THE TENNESSEE PROPERTY ASSESSMENT

DATA SITE. ADJOINER LINES WERE NOT SURVEYED AS A PART OF THIS ITEM 16- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING

CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED AT TIME OF

-1/2" IRON

IE:639.47TC:644.99

IE (NE):639.78

- IE (NE):639.76 IE (SW):639.86

IE (SW):639.86

SURVEY. SUBJECT PARCEL IS BEING ACTIVELY FARMED. NO INFORMATION WAS PROVIDED TO THIS SURVEYOR CONCERNING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. SURVEYOR WAS UNABLE TO FIND ANY DOCUMENT CONFIRMING THE PUBLIC DEDICATION OF

JOE FRANK PORTER ROAD.

ŦÓ₱ ÓF ENDWALL

JE 634ENING

\_\_IE:634.30

N·452706 76 E:1618497.47

Gresham

Smith

GreshamSmith.com

222 Second Avenue South Suite 1400

Nashville, TN 37201

615.770.8100

THIS PLAN HAS BEEN SIGNED. SEALED, AND DATED DIGITALLY

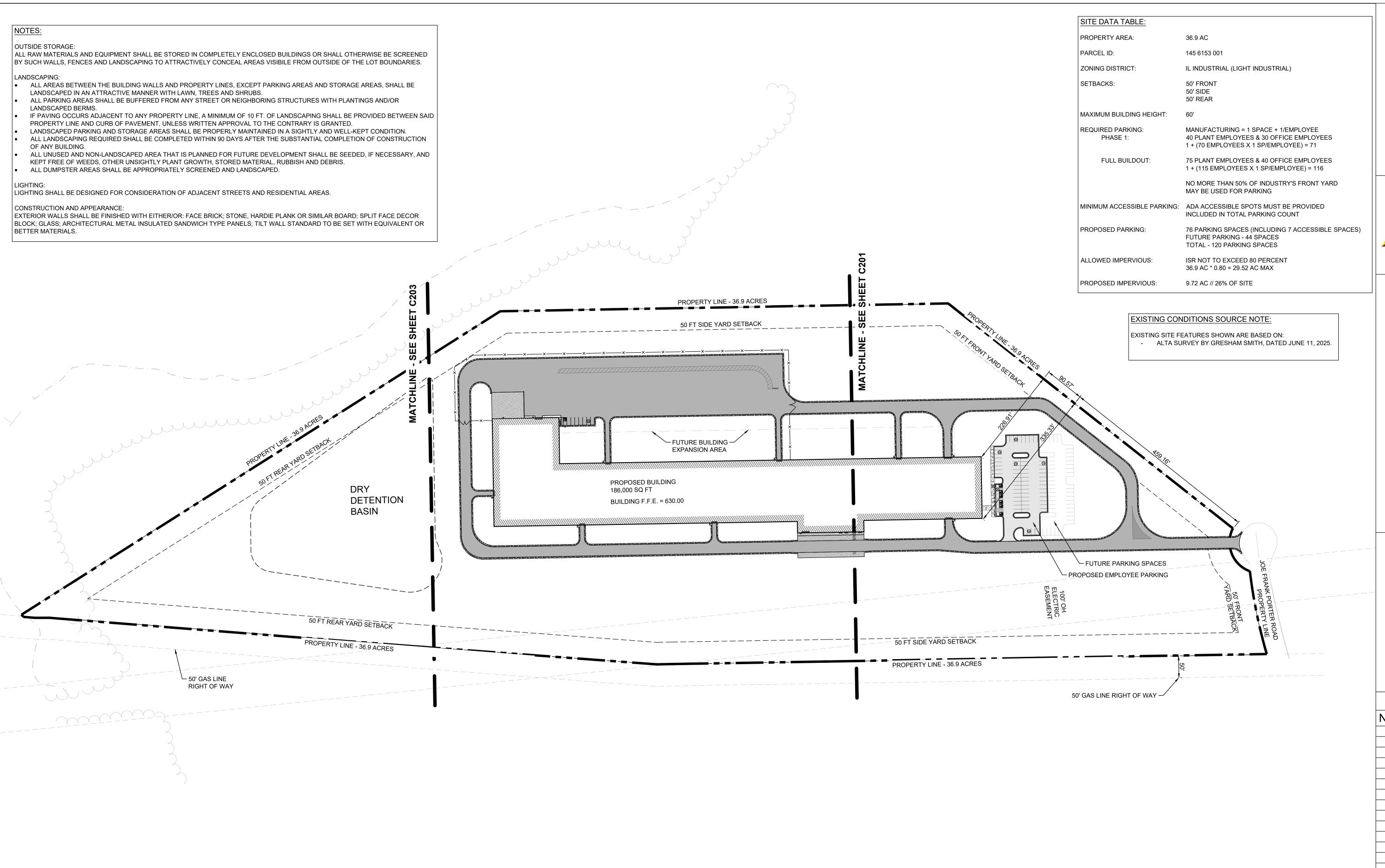
Revision

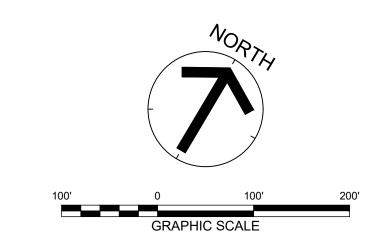
No.	Date	Description

**EXISTING CONDITIONS SURVEY** 

50114.00

07/23/2025







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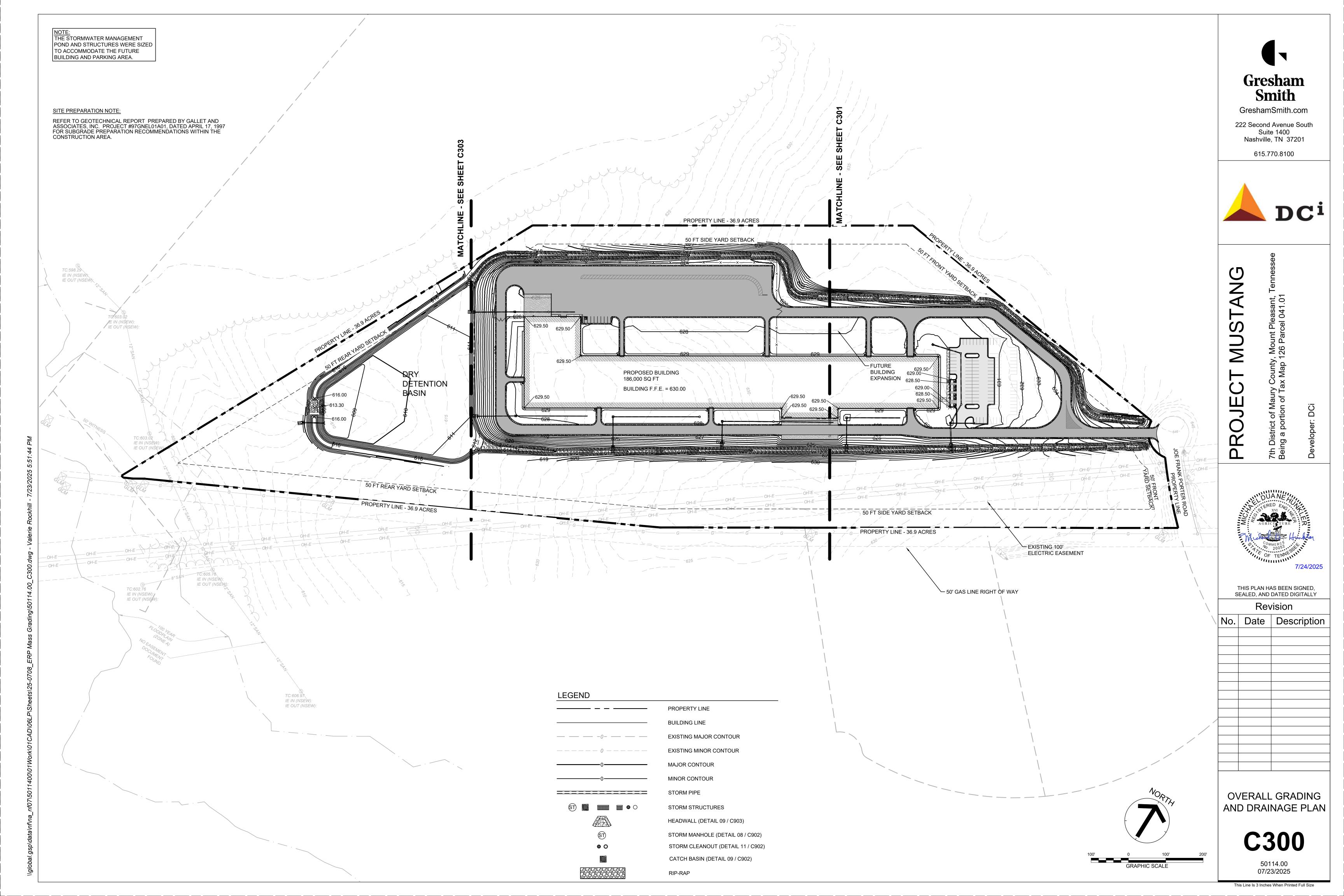
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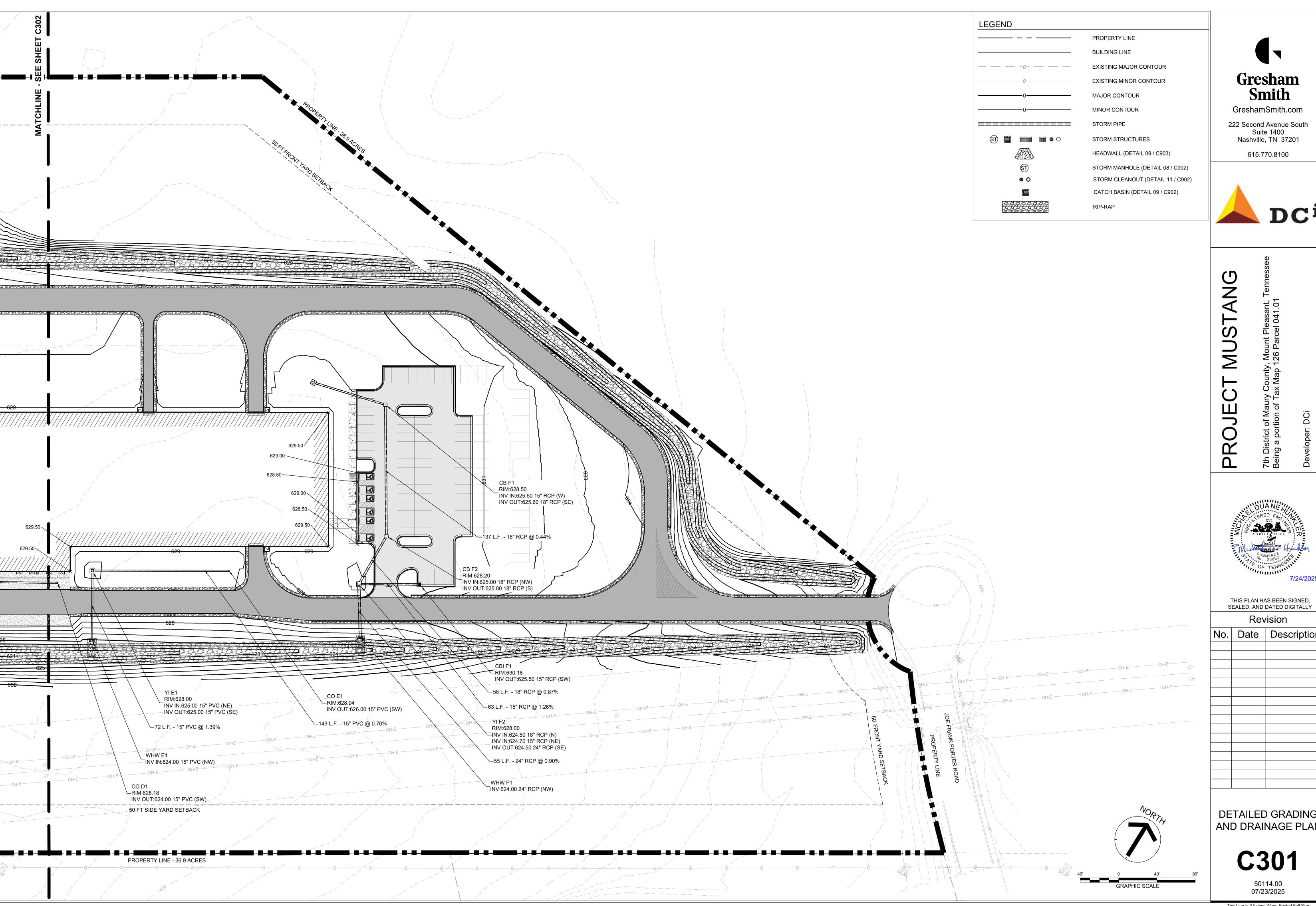
No. Date Description

**OVERALL SITE** LAYOUT PLAN

**C200** 

50114.00 07/23/2025







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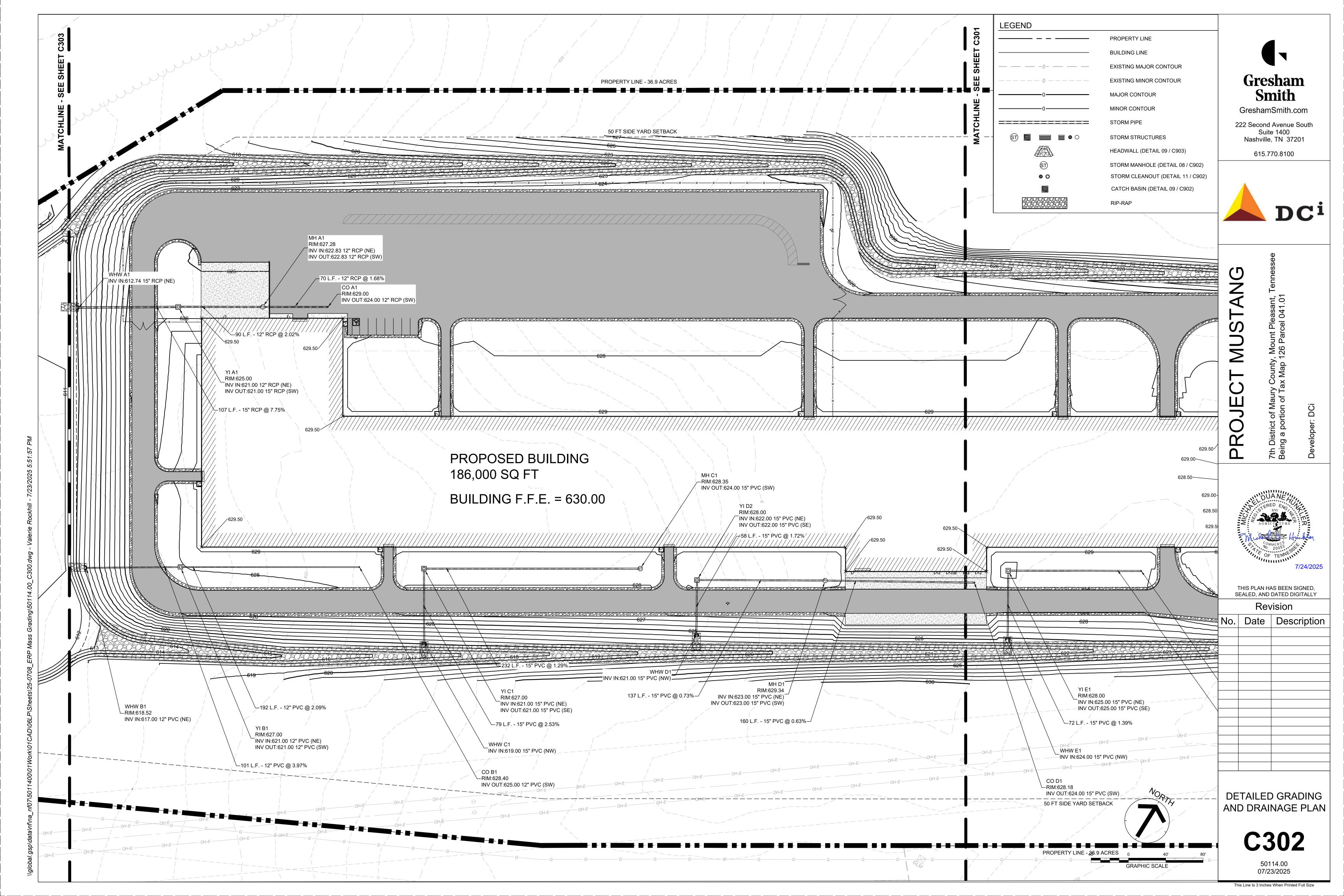
No. Date Description

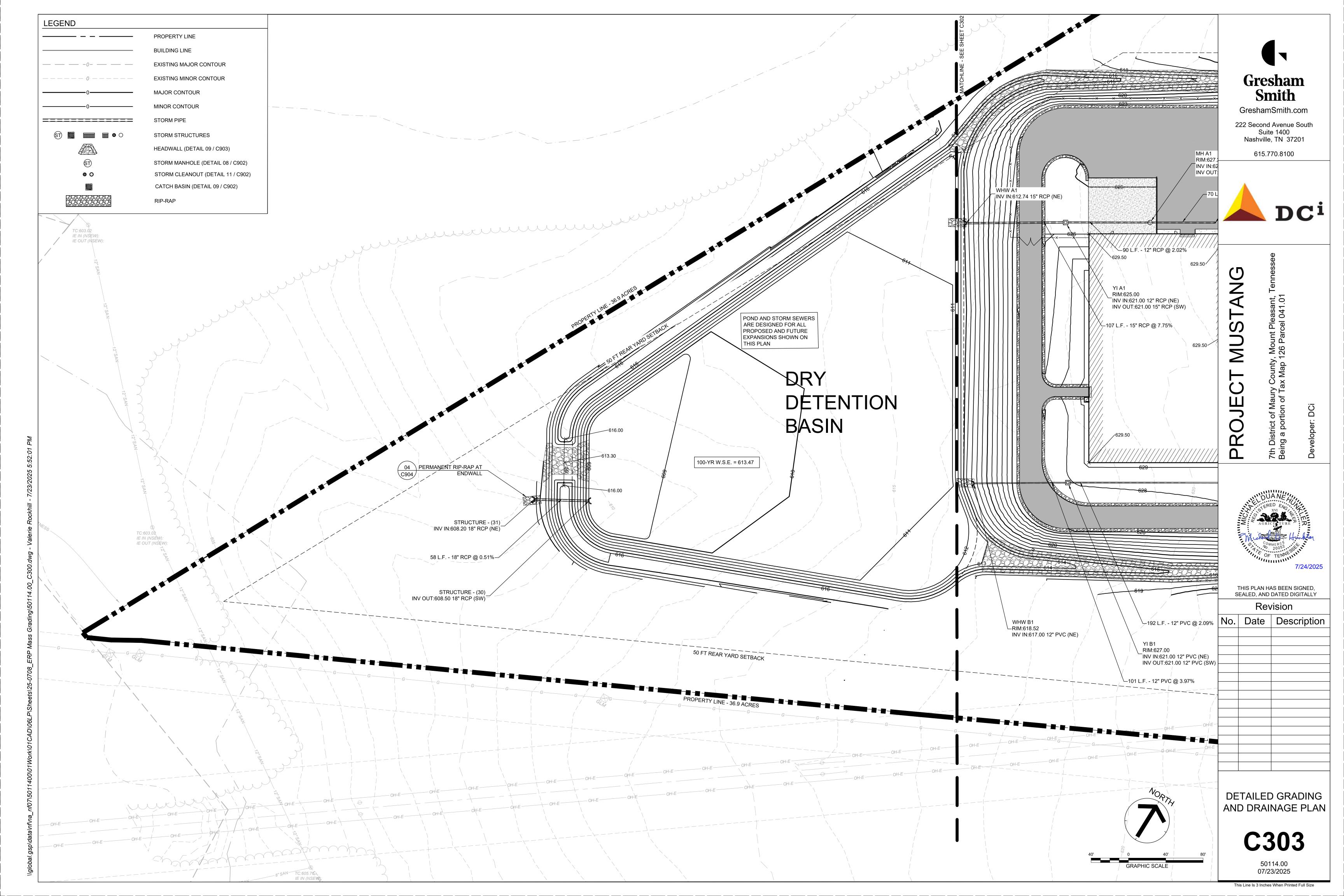
DETAILED GRADING

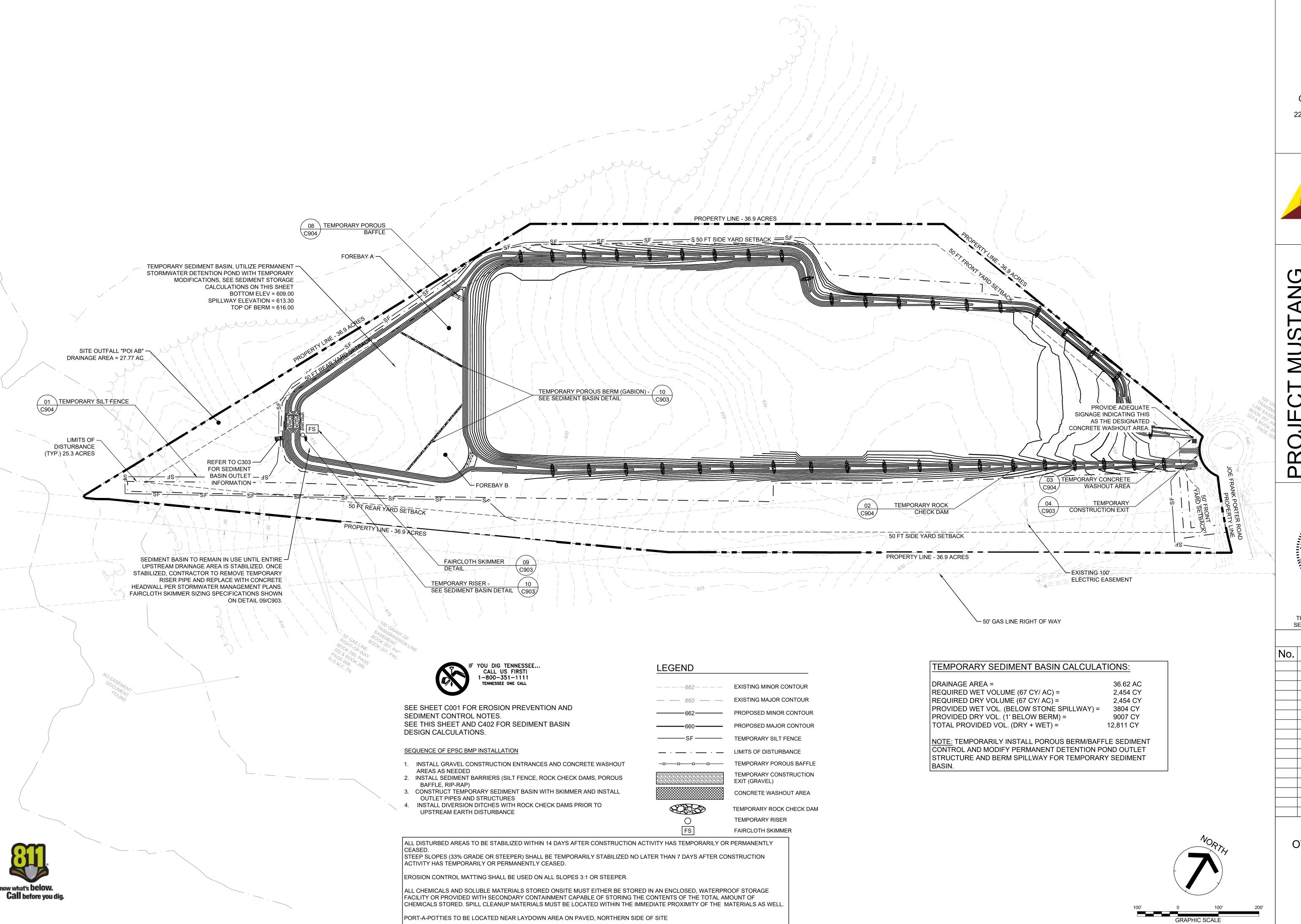
AND DRAINAGE PLAN

50114.00

07/23/2025









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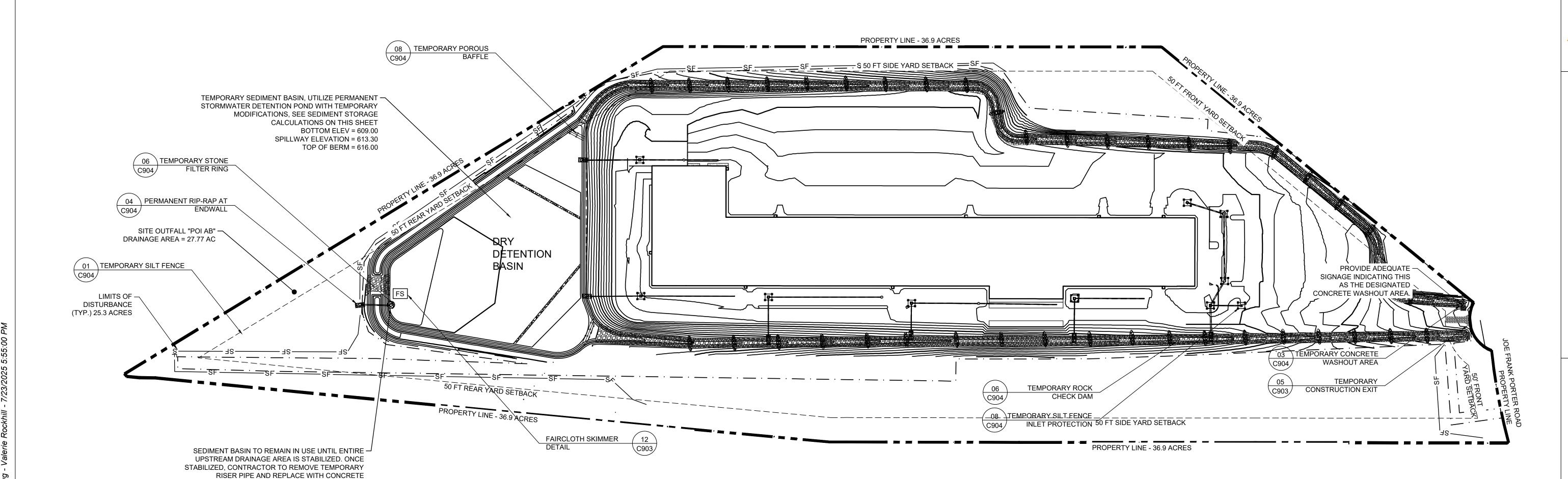
No.	Date	Description

**OVERALL INITIAL EPSC PLAN** 

50114.00 07/23/2025

<sup>4</sup>Faircloth Skimmer or approved equal

<sup>1</sup>Refer to the applicable permanent outlet structure detail within plan sheets <sup>2</sup>Install temporary outlet pipe per EPSC plan and tie to temporary riser 3solid height includes 6" for embedment in concrete footing





SEE SHEET C001 FOR EROSION PREVENTION AND SEDIMENT CONTROL NOTES. SEE THIS SHEET FOR SEDIMENT BASIN DESIGN CALCULATIONS.

## SEQUENCE OF EPSC BMP INSTALLATION

HEADWALL PER STORMWATER MANAGEMENT PLANS. FAIRCLOTH SKIMMER SIZING SPECIFICATIONS SHOWN

ON DETAIL12/C903.

- 1. INSTALL GRAVEL CONSTRUCTION ENTRANCES AND CONCRETE WASHOUT
- AREAS AS NEEDED 2. INSTALL SEDIMENT BARRIERS (SILT FENCE, SILT FENCE INLET
- PROTECTION, STONE FILTER RING, RIP-RAP, POROUS BAFFLE) 3. CONSTRUCT TEMPORARY SEDIMENT BASIN WITH SKIMMER AND INSTALL
- OUTLET PIPES AND STRUCTURES
- 4. INSTALL DIVERSION DITCHES PRIOR TO UPSTREAM EARTH DISTURBANCE 5. INSTALL CHECK DAMS IN DIVERSION DITCHES WHERE SHOWN
- IMMEDIATELY AFTER GRADING

ALL DISTURBED AREAS TO BE STABILIZED WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED. STEEP SLOPES (33% GRADE OR STEEPER) SHALL BE TEMPORARILY STABILIZED NO LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.

EROSION CONTROL MATTING SHALL BE USED ON ALL SLOPES 3:1 OR STEEPER.

ALL CHEMICALS AND SOLUBLE MATERIALS STORED ONSITE MUST EITHER BE STORED IN AN ENCLOSED, WATERPROOF STORAGE FACILITY OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.

PORT-A-POTTIES TO BE LOCATED NEAR LAYDOWN AREA ON PAVED, NORTHERN SIDE OF SITE

# LEGEND

EXISTING MINOR CONTOUR EXISTING MAJOR CONTOUR —662——— PROPOSED MINOR CONTOUR

—660 — PROPOSED MAJOR CONTOUR

# TEMPORARY ROCK CHECK DAM TEMPORARY SILT FENCE

LIMITS OF DISTURBANCE TEMPORARY CONSTRUCTION

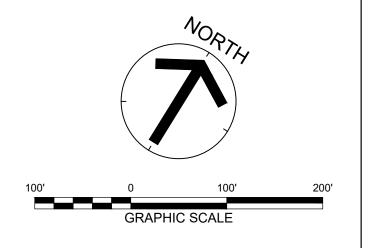
CONCRETE WASHOUT AREA

EXIT (GRAVEL)

## TEMPORARY SEDIMENT BASIN CALCULATIONS:

DRAINAGE AREA = 36.62 AC 2454 CY REQUIRED WET VOLUME (67 CY/ AC) = |REQUIRED DRY VOLUME (67 CY/ AC) = 2454 CY 3804 CY PROVIDED WET VOL. (BELOW STONE SPILLWAY) = PROVIDED DRY VOL. (1' BELOW BERM) = 9007 CY TOTAL PROVIDED VOL. (DRY + WET) = 12,811 CY

NOTE: TEMPORARILY MODIFY PERMANENT BIORETENTION POND OUTLET STRUCTURE, DETENTION POND OUTLET STRUCTURE, AND BERM SPILLWAY FOR TEMPORARY SEDIMENT BASIN.





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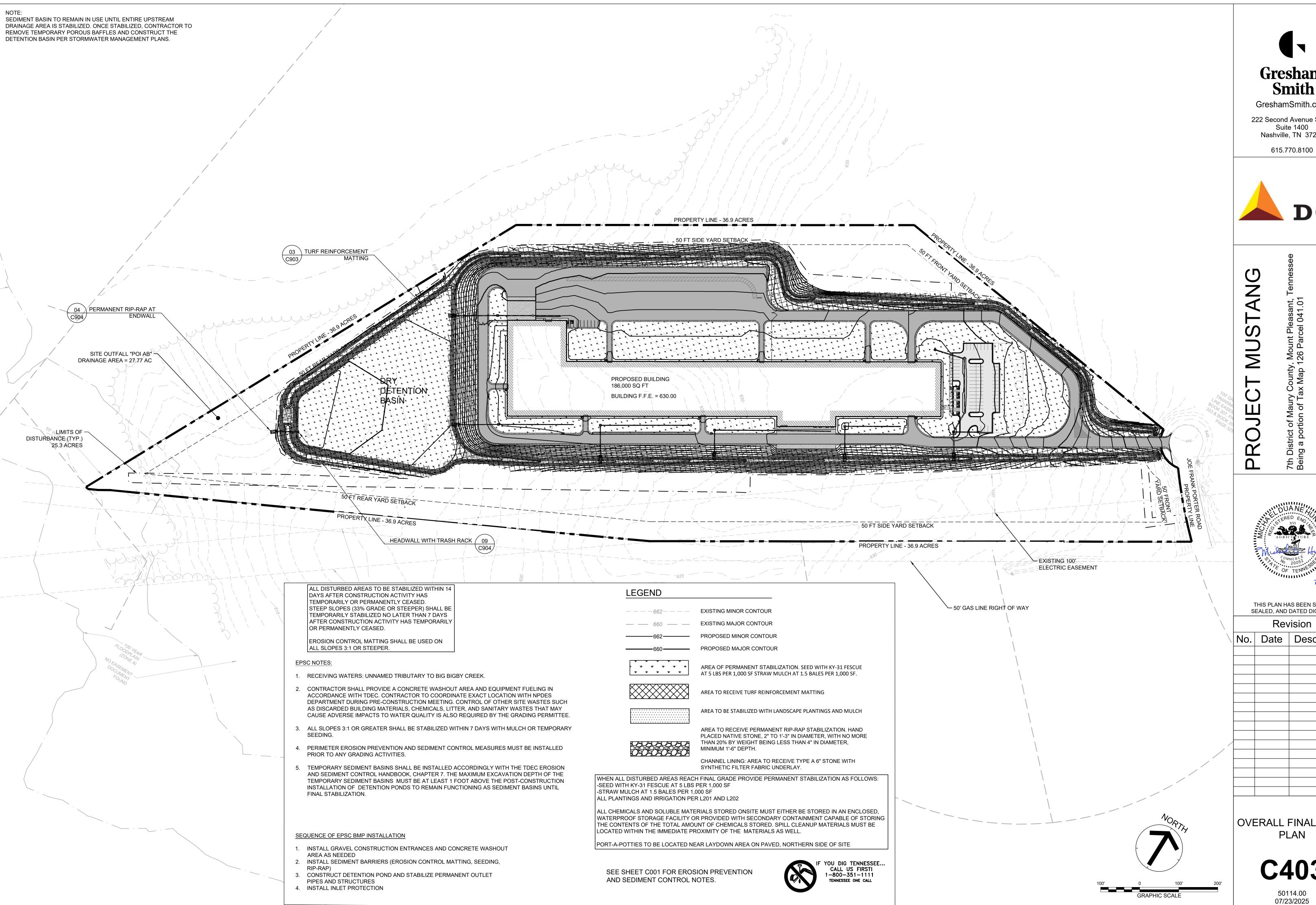
No.	Date	Description

**OVERALL INTERMEDIATE EPSC** PLAN

07/23/2025

This Line Is 3 Inches When Printed Full Size

50114.00



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OVERALL FINAL EPSC

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7/24/2025

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Revision No. Date Description

SITE DETAILS

C903

50114.00 07/23/2025

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Revision

Date Description

SITE DETAILS

50114.00 07/23/2025