

MASS GRADING PLANS FOR PROJECT MUSTANG

JOE FRANK PORTER ROAD
MAURY COUNTY
MT. PLEASANT, TN

GRESHAM SMITH PROJECT NO. 50114.00



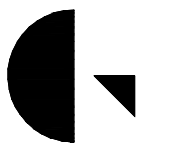
VICINITY MAP

NOT TO SCALE



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Gresham Smith

GreshamSmith.com

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PROJECT MUSTANG

7th District of Maury County, Mount Pleasant, Tennessee
Being a portion of Tax Map 126 Parcel 041.01

Developer: DCi



1/24/2025

THIS PLAN HAS BEEN SIGNED,
SEALED, AND DATED DIGITALLY

Revision

[illegible]

COVER SHEET

C000

50114.00
07/23/2025

This Line Is 3 Inches When Printed Full Size

OWNER / DEVELOPER

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CIVIL ENGINEER



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1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL PERMITS, AND PAY ALL FEES REQUIRED FOR THE EXECUTION OF THE WORK.
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, AND REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO CURRENT LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION.
4. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL PAVEMENT, FENCES, TREES, AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR-CAUSED DAMAGE SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
5. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A CONSTRUCTION SCHEDULE FOR VARIOUS SITework ELEMENTS SO THAT PERIODIC SITE VISITS MAY BE COORDINATED TO ALLOW FOR TIMELY INSPECTION CERTIFICATION OF CONSTRUCTION AND REPORTS TO AGENCIES, AND TO AVOID DELAYS IN ISSUANCE OF CERTIFICATE OF OCCUPANCY.

1. DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND FUNCTIONAL.
2. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A WASTE MANAGEMENT PLAN PRIOR TO THE COMMENCEMENT OF WORK. AT A MINIMUM THE PLAN SHALL INCLUDE:
 - 2.1. THE PROPER PROCEDURES FOR DISPOSAL OR RECLAIMING FOR REUSE / RECYCLING.
 - 2.2. DESIGNATED AREAS FOR WASTE MANAGEMENT CONTAINERS. CONTAINERS SHALL BE PROPERLY MARKED FOR ALLOWABLE AND PROHIBITED ITEMS AND MATERIALS.
 - 2.3. DESIGNATED CHEMICAL STORAGE AREAS, APPROPRIATE CHEMICAL STORAGE CONTAINERS, AND PROCEDURES FOR SPILL CONTROL. CHEMICALS SHALL NOT BE PERMITTED TO INFILTRATE TO GROUNDWATER OR BE PUMPED UNTREATED FROM PIT DEWATERING FACILITIES.
 - 2.4. A CONCRETE WASHOUT AREAS LOCATED AWAY FROM DESIGNATED CONSTRUCTION EXIT.
3. PROVIDE NEAT AND STRAIGHT SAWCUTS OF EXISTING PAVEMENT ALONG ALL LIMITS OF PAVEMENT DEMOLITION.
4. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. DISPOSE OF OFF THE OWNER'S PROPERTY IN A LEGAL MANNER. PROLONGED STORAGE OR THE SALE OF DEMOLISHED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED WITHOUT PRIOR NOTIFICATION AND CONSENT OF OWNER.
5. ALL PAVEMENT, BASE COURSE, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., IN THE AREA TO BE REMOVED SHALL BE REMOVED FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE PROVIDED THAT THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE OF AREAS TO RECEIVE PLANTING.
6. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
7. ALL EXISTING FEATURES REMAINING AND NOT SPECIFICALLY MENTIONED THAT INTERFERE WITH THE NEW CONSTRUCTION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. BEFORE PROCEEDING WITH DEMOLITION WORK, NOTIFY THE ENGINEER OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE DRAWINGS.
8. HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE ENCOUNTERED. IF SUSPECTED HAZARDOUS MATERIALS ARE DISCOVERED, IMMEDIATELY NOTIFY THE OWNER.
9. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL AND COMPACTED TO 98% OF MAXIMUM DENSITY PER ASTM D698 - STANDARD PROCTOR.
10. PAVEMENT MARKINGS TO BE REMOVED SHALL BE PAINTED OVER TO MATCH PAVEMENT OR REMOVED WITH WIRE BRUSHING.
11. EXCEPT AS SHOWN, NO TREES SHALL BE REMOVED AND/OR VEGETATION DISTURBED WITHOUT APPROVAL OF THE ENGINEER.

1. THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING WORK.
2. PROVIDE A SMOOTH AND FLUSH TRANSITION BETWEEN EXISTING TO REMAIN AND NEW PAVEMENT, SIDEWALKS, AND CURBS . FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
3. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH CONSTRUCTED PERPENDICULAR TO THE TRAVEL PATH. ALL CONCRETE SHALL BE 4,000 P.S.I. UNLESS OTHERWISE NOTED. CURB RAMPS, SIDEWALK SLOPES, AND DRIVEWAY RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS FROM THE AUTHORITY HAVING JURISDICTION PRIOR TO PLACEMENT OF CONCRETE.
4. DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
5. PARKING STRIPES SHALL BE 4-INCH WHITE PAVEMENT PAINT, UNLESS OTHERWISE NOTED. LANE STRIPES SHALL BE 4 INCH PAVEMENT PAINT, COLOR AS INDICATED ON PLAN. STOP BARS AND CROSSWALK MARKINGS SHALL BE 24-INCH WHITE PAVEMENT PAINT.
6. CONCRETE CONTRACTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS AND SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10-FOOT DIMENSIONS. CONCRETE EXPANSION JOINTS SHALL BE INSTALLED AT MAXIMUM 60-FOOT SPACING AND AT ALL ABUTTING RIGID OBJECTS.
7. MAINTAIN ONE SET OF RECORD DRAWINGS MARKUPS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION.
8. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY CONSISTING OF THE FOLLOWING:
 - 8.1. THE SURVEY SHALL BE PREPARED, SIGNED AND SEALED BY A SURVEYOR REGISTERED IN THE STATE IN WHICH THIS PROJECT RESIDES, AND BE SUBMITTED TO THE ENGINEER IN ELECTRONIC FORM PRIOR TO COMPLETION OF THE PROJECT. THE SURVEY SHALL BE PREPARED USING THE SAME HORIZONTAL AND VERTICAL DATUM AS THE ORIGINAL SURVEY.
 - 8.2. SHOWING ALL BUILDINGS, CURB LINES, EDGES OF PAVEMENT, SIDEWALKS, AND PARKING STRIPING.
 - 8.3. LOCATING ALL UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE PROJECT INCLUDING: GREASE TRAP, OIL/WATER SEPARATOR, DRAINAGE AND SANITARY STRUCTURES, WATER VALVES, METERS, PIVS, AND HYDRANTS.
 - 8.4. INCLUDING ALL ACCESSIBLE PATHS, PEDESTRIAN RAMPS AND LANDINGS, AND ACCESSIBLE PARKING AREAS INCLUDING AISLES AND DROP-OFF/PICK-UP AREAS, DIMENSION FULL LENGTH AND WIDTH OF ALL PEDESTRIAN RAMPS AND LANDINGS. SHOW ELEVATIONS AND SLOPES, INCLUDING LONGITUDINAL AND CROSS SLOPES FOR ALL ACCESSIBLE AREAS.

NOTIFY LOCAL UTILITY LOCATOR SERVICE (CALL 811 OR SUBMIT ON-LINE) OF INTENDED DEMOLITION / GRADING / EXCAVATION / UTILITY TRENCHING CONSTRUCTION.

2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, PROTECT UTILITIES TO REMAIN, AND REPAIR CONTRACTOR-CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AT CONTRACTOR'S EXPENSE.

3. CONSTRUCT INITIAL TEMPORARY EROSION CONTROL PRIOR TO BEGINNING GRADING OPERATIONS.

4. NO TREES SHALL BE REMOVED NOR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES. ALL TREES, INCLUDING YOUNG SAPPLINGS, PINES, AND UNDERSTORY SPECIES SHALL BE PROTECTED IF THEY FALL OUTSIDE THE PROPOSED LIMITS OF GRADING, EVEN IF THEY ARE NOT LOCATED OR IDENTIFIED ON THE PLANS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE/STORE MATERIALS WITHIN THE DRIP LINES OF TREES TO BE PROTECTED.

5. TREE PROTECTION SHALL CONSIST OF THE FOLLOWING STEPS:

5.1. CONTRACTOR SHALL HIRE A LICENSED LANDSCAPE CONTRACTOR TO OVERSEE TREE PROTECTION.

5.2. PRIOR TO ANY GRADING OPERATIONS, LOCATE TREES TO BE PROTECTED AND NEATLY CUT ROOTS TO A DEPTH OF 30-INCHES AT THE DRIP LINE OR THE DIMENSIONED LIMITS SHOWN USING A UTILITY TRENCHING MACHINE.

5.3. TREAT EXPOSED ROOTS WITH A HORTICULTURAL TREE PRUNING PROTECTION PRODUCT.

5.4. PRUNE TREE LIMBS BY THE SAME PROPORTIONAL PERCENTAGE AS TREE ROOTS REMOVED (I.E., 25% OF ROOTS REMOVED SHALL RESULT IN 25% OF TREE LIMBS REMOVED).

5.5. INSTALL A MINIMUM 4-FOOT HIGH CONSTRUCTION FENCE TO THE LIMITS SHOWN.

5.6. BEGIN CLEARING AND GRADING OPERATIONS.

6. EXISTING CONDITIONS ARE FROM A PRE-CONSTRUCTION TOPOGRAPHIC SURVEY PROVIDED BY GRESHAM SMITH, DATED 06.11.2025.

7. THE CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO BEGINNING WORK. INSTALL STORM SEWERS BEGINNING AT THE DISCHARGE TIE POINT ELEVATION AND THEN PROCEEDING UPSTREAM.

8. TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 6-INCHES. CONSTRUCT TEMPORARY STOCKPILES FREE DRAINING AND PROVIDE EROSION AND SEDIMENT CONTROLS AROUND AREA.

9. SATISFACTORY TOPSOIL IS DEFINED AS MATERIAL FREE OF SUBSOIL, CLAY LUMPS, STONES, OBJECTS OVER 1-INCH IN DIAMETER, OR CONTAMINANTS.

10. TOP OF GRATE ELEVATIONS FOR CURB INLETS ARE GIVEN TO THE CENTER OF THE INLETS AT THE FACE OF CURB. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADE. ADJUST THE CASTING HOOD TO FALL ALONG THE CURB LINE.

11. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

12. SPOT ELEVATIONS AND CONTOURS REPRESENT PROPOSED FINISHED GRADE AND TOP OF FINISHED PAVEMENT.

13. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS TO POSITIVELY DRAIN. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THIS INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED PRIOR TO BEGINNING WORK.

14. ALL PERMANENT CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 3 HORIZONTAL:1 VERTICAL. TEMPORARY CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL:1 VERTICAL UNLESS TEMPORARY SHORING IS PROVIDED, OR UNLESS AUTHORIZED BY A LICENSED GEOTECHNICAL ENGINEER.

15. CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL OFF THE OWNER'S PROPERTY IN A LEGAL MANNER AT NO ADDITIONAL COST.

16. EXISTING MANHOLE, VALVE AND CATCH BASIN CASTINGS TO REMAIN SHALL BE RESET TO MATCH NEW GRADE. BUILDING ADDITION FINISH FLOOR ELEVATIONS SHALL MATCH EXISTING.

17. ALL CURBS, PAVEMENT AND SIDEWALKS SHALL BE BACKFILLED FLUSH WITH TOPSOIL, SEEDED AND MULCHED.

18. ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED WITH CRUSHED STONE. ALL PIPES UNDER LAWN AREAS SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL COMPACTED TO 98% OF MAXIMUM PER ASTM D698 - STANDARD PROCTOR.

19. ALL HEADWALLS SHALL HAVE A MINIMUM 10' x 20' x 1.5' RIP-RAP APRON INSTALLED USING 8" MINIMUM DIAMETER STONE, UNLESS OTHERWISE SPECIFIED.

20. FINAL FINISH GRADE TOLERANCES SHALL BE MAXIMUM 0.10 FOOT ABOVE OR BELOW DESIGN ELEVATIONS WITHIN PAVED AREAS, AND MAXIMUM 0.25 FOOT ABOVE OR BELOW DESIGN FINISH ELEVATIONS IN OTHER AREAS. NO TOLERANCE IS ALLOWED WHEN MAXIMUM OR MINIMUM SLOPES ARE SPECIFIED.

21. ADA PARKING AND LOADING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. ADA ACCESS ROUTES SHALL NOT EXCEED 2.0% CROSS SLOPE AND 5.0% LONGITUDINAL SLOPE, EXCEPT WHERE ADA RAMPS ARE SPECIFIED. ADA RAMPS SHALL NOT EXCEED 2.0% CROSS SLOPE AND 8.33% LONGITUDINAL SLOPE.

22. EARTHWORK FILL SHALL INCLUDE STRIPPING TOPSOIL AND PLACING ENGINEERED FILL IN MAXIMUM 8" COMPACTED LIFTS WITH DENSITY OF 98% OF MAXIMUM PER ASTM D698 - STANDARD PROCTOR.

23. EXCAVATION FOR THIS PROJECT IS UNCLASSIFIED. A GEOTECHNICAL EXPLORATIONS REPORT COMPLETED BY GALLET & ASSOCIATES, INC., DATED APRIL 7, 1997 HAS BEEN PREPARED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE REPORT FOR ANTICIPATED EXCAVATION REQUIREMENTS. ADDITIONAL PAYMENT WILL NOT BE MADE FOR UNANTICIPATED ROCK EXCAVATION, UNLESS OTHERWISE AGREED UPON WITH OWNER PRIOR TO COMMENCEMENT OF ROCK EXCAVATION.

24. PROVIDE AN AS-BUILT SURVEY BY A LICENSED SURVEYOR TO INCLUDE ALL STORMWATER MANAGEMENT FEATURES, UNDERGROUND BASINS, PONDS, BIOSWALES, RAIN GARDENS, WATER QUALITY UNITS, AND OUTLET STRUCTURES.

25. ALL STORM DRAINAGE PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. PIPE LENGTHS SHOWN ARE APPROXIMATE TWO-DIMENSIONAL LENGTHS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

26. IF BLASTING IS REQUIRED, CONTRACTOR SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN NFPA 495, "EXPLOSIVE MATERIALS CODE," AND PREPARE A BLASTING PLAN CONTAINING THE FOLLOWING:

26.1. TYPES OF EXPLOSIVES AND SIZES OF CHARGE TO BE USED IN EACH AREA OF ROCK REMOVAL, TYPES OF BLASTING MATS, SEQUENCE OF BLASTING OPERATIONS, AND PROCEDURES THAT WILL PREVENT DAMAGE TO SITE IMPROVEMENTS AND STRUCTURES ON THE PROJECT SITE AND ADJACENT PROPERTIES.

26.2. SEISMOGRAPHIC MONITORING DURING BLASTING OPERATIONS.

26.3. A BLASTING PLAN KEPT AT THE CONSTRUCTION SITE, ALONG WITH OTHER BLASTING RECORDS REQUIRED. RECORDS SHALL BE AVAILABLE FOR REVIEW BY THE OWNER UPON REQUEST. OBTAIN PERMITS FROM AUTHORITIES HAVING JURISDICTION BEFORE BRINGING EXPLOSIVES TO THE PROJECT SITE. PERFORM BLASTING WITHOUT WEAKENING THE BEARING CAPACITY OF ROCK SUBGRADE AND WITH THE LEAST-PRACTICAL DISTURBANCE OF ROCK TO REMAIN.

26.4. ENGAGEMENT OF A QUALIFIED, INDEPENDENT AGENCY TO PERFORM A PRE-BLAST AND POST-BLAST SURVEY OF ALL STRUCTURES SUBJECT TO BLAST VIBRATIONS. CONTRACTOR SHALL COORDINATE ALL BLASTING ACTIVITIES WITH THIS AGENT, INCLUDING BLASTING PLANS, SCHEDULES, ETC. CONTRACTOR MAY, AT HIS EXPENSE, HIRE A VIBRATION CONSULTANT TO REVIEW THE BLASTING PLAN AND MAKE RECOMMENDATIONS. REVIEW OF THE BLASTING DESIGN, SURVEY, MONITORING, AND TECHNIQUES BY THE ENGINEER OR VIBRATION CONSULTANT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR ACCURACY, ADEQUACY, AND SAFETY OF THE BLASTING. NOTHING CONTAINED HEREIN SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR CLAIMS ARISING FROM HIS CONSTRUCTION OPERATIONS. IN THE EVENT THAT A PROPERTY OWNER DENIES ACCESS FOR THE PRE-CONSTRUCTION SURVEY OF STRUCTURES AND FACILITIES, THE CONTRACTOR SHALL NOTIFY SUCH PROPERTY OWNER BY CERTIFIED MAIL STATING THAT THIS IS FINAL NOTIFICATION. A COPY OF THE BLASTING RECORDS SHALL BE SUBMITTED TO THE ENGINEER.

26.5. AT LEAST 24 HOURS IN ADVANCE, THE CONTRACTOR SHALL NOTIFY ADJACENT RESIDENCES AND BUSINESSES SUBJECT TO BLASTING VIBRATIONS OF THE INTENT TO BLAST. CONTRACTOR SHALL DISCLOSE THE ANTICIPATED TIME OF DAY AND SCHEDULE FOR BLASTING. SUBMIT NOTICE OF BLASTING COMPLAINTS TO OWNER WITHIN 24 HOURS OF RECEIPT THEREOF. THE NOTICE SHALL IDENTIFY THE ORIGIN OF COMPLAINT AND SHALL CONTAIN A BRIEF DESCRIPTION OF ALLEGED DAMAGES OR OTHER CIRCUMSTANCES UPON WHICH THE COMPLAINT IS PREDICATED. CONTRACTOR SHALL ASSIGN EACH COMPLAINT A SEPARATE NUMBER, IN ASCENDING ORDER, AND SHOW IN EACH NOTICE ALL PREVIOUS COMPLAINT NUMBERS REGISTERED BY THE SAME COMPLAINTANT.

27. PER APRIL 17, 1997 PRELIMINARY GEOTECHNICAL INVESTIGATION, GALLET & ASSOCIATES, INC. PROJECT NO. 97GNEL01A01, A 2'-3" DEEP FLOW ZONE EXISTS THAT MUST BE REMOVED OR RECOMPACTED PRIOR TO FILL. AN UPDATED GEOTECHNICAL REPORT IS FORTHCOMING AND WILL ADDRESS WHETHER THIS CONDITION EXISTS ON THE PROPOSED SITE.

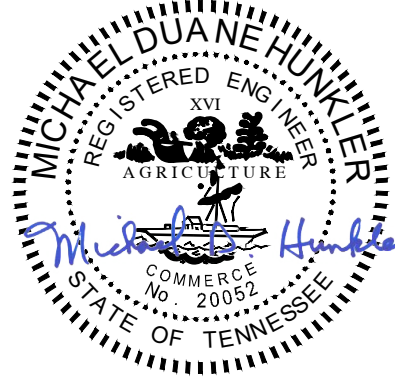
28. RIPRAP CHANNEL LINING TO RECEIVE TYPE A 6 IN ANGULAR STONE WITH FILTER FABRIC UNDERLAY.

1. WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL CODES AND SPECIFICATIONS.
2. THE CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN IS BASED ON LIMITED TOPOGRAPHIC SURVEYS AND RECORD DRAWINGS. THE CONTRACTOR SHALL NOT RELY ON THIS INFORMATION AS BEING EXACT OR COMPLETE. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AS SOON AS POSSIBLE FOR INSTRUCTIONS.
3. MAINTAIN 10-FOOT HORIZONTAL AND 18-INCH VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER SUPPLY LINES.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO FINAL PAVEMENT SURFACE CONSTRUCTION.
5. BACKFILL UTILITY TRENCHES UNDER PAVEMENT AREAS WITH CRUSHED STONE. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL COMPACTED TO AT LEAST 98% OF MAXIMUM PER ASTM D698 - STANDARD PROCTOR.
6. ADJUST ALL NEW AND EXISTING-TO-REMAIN UTILITY SURFACE FEATURES, INCLUDING BUT NOT LIMITED TO CASTINGS, FIRE HYDRANTS, VALVE BOXES, PEDESTALS, CLEANOUTS, ETC. TO MATCH PROPOSED FINISH GRADE.
7. THRUST BLOCK ALL WATERLINE FITTINGS WITH CONCRETE (2,500 P.S.I. MIN.) POURED AGAINST UNDISTURBED EARTH TO SUSTAIN 120 PERCENT TEST PRESSURE SPECIFIED. FORM THRUST BLOCKING SO AS TO NOT EMBED JOINTS, BOLTS, VALVE BOXES OR OPERATING NUTS.
8. PROVIDE COMBINATION AIR/VACUUM VALVE AT HIGH POINTS IN WATERLINE AS NECESSARY FOR EXPELLING AIR DURING FILLING OF WATERLINE. PROVIDE BRONZE CORPORATION STOP FOR CLOSING VALVE DURING TESTING AND SERVICE. LEAVE COMBINATION AIR/VACUUM VALVE COMPONENTS PLUGGED AND ATTACHED TO PIPE AFTER SUCCESSFUL TEST.
9. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO BEGINNING WORK. INSTALL GRAVITY SEWER BEGINNING AT THE TIE POINT ELEVATION AND THEN PROCEEDING UPSTREAM.
10. ALL MANHOLES SHALL HAVE MINIMUM CLEAR OPENING OF 24". ADJUST CASTINGS TO SLOPE LONGITUDINALLY WITH ROAD GRADES AS REQUIRED.
11. CONTRACTOR SHALL MAINTAIN A MARKED-UP SET OF AS-BUILT PLANS SHOWING ALL NEW UTILITIES AND EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION EITHER BY FIELD SURVEY ON THE APPROPRIATE STATE PLANE COORDINATE SYSTEM, OR BY FIELD MEASUREMENTS INCLUDING AT LEAST TWO DIMENSIONS FROM KNOWN SITE FEATURES/MONUMENTS TO EACH MANHOLE, CATCH BASIN, AND PIPING APPURTENANCES.
12. ALL SANITARY SEWER PIPE SHALL BE SDR 35 PVC UNLESS NOTED OTHERWISE.
13. ALL WATER MAINS SHALL BE AWWA C151, PRESSURE CLASS 350 DIP UNLESS NOTED OTHERWISE.
14. ALL FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED BETWEEN 3" AND 7" FROM PAVED SURFACE.
15. ALL FIRE HYDRANTS SHALL MEET CURRENT AWWA STANDARD C502.
16. NON-METALLIC PIPE SHALL BE INSTALLED WITH DETECTION TAPE OR OTHER ACCEPTABLE MEANS OF DETECTION.

1. REFER TO STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BOUND NARRATIVE FOR ADDITIONAL REQUIREMENTS.
2. CONSTRUCT TEMPORARY EPSC MEASURES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS.
3. ALL DRAINAGE STRUCTURES, PIPES WITHIN THE LIMITS OF CONSTRUCTION AND IMMEDIATELY DOWNSTREAM OF THE SITE, AND STORMWATER FACILITIES SHALL HAVE SEDIMENT REMOVED PRIOR TO FINAL ACCEPTANCE.
4. SILT BARRIERS AND SEDIMENT BASINS SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN APPROXIMATELY 50% FILLED.
5. ALL GRADED AREAS NOT RECEIVING STONE OR PAVEMENT STABILIZATION SHALL RECEIVE TEMPORARY SEEDING WITHIN 10 DAYS OF REACHING FINAL SUBGRADE ELEVATION.
6. ALL LOCATIONS OF TEMPORARY EPSC DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DIRECTED BY THE ENGINEER.
7. WHEN THE EPSC DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE (IN THE OPINION OF THE ENGINEER), THEY SHALL BE REMOVED.
8. REPLACE DAMAGED AND WORN OUT SILT BARRIERS AS DIRECTED BY THE ENGINEER.
9. PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN SC 150 OR EQUAL) TO SLOPES 3:1 OR STEEPER. EROSION CONTROL MATTING SHALL BE PHOTODEGRADABLE OR BIODEGRADABLE.
10. DEWATERING OF EXCAVATION AREA SHALL BE COMPLETED ONLY WITH PRE-APPROVED PUMPING AND FILTERING EQUIPMENT. PUMPING RATE SHALL NOT EXCEED 80% OF THE RECOMMENDED MAXIMUM RATE BY SEDIMENT TANK / FILTER BAG MANUFACTURER.
11. THE ENGINEER, WHOSE SEAL IS AFFIXED TO THIS DOCUMENT, CERTIFIES THAT THESE PLANS HAVE BEEN PREPARED BY UNDER HIS/HER DIRECT SUPERVISION. THIS PROJECT IS PLANNED TO DISTURB MORE THAN ONE ACRE. IT THEREFORE FALLS UNDER THE STATE'S GENERAL NPDES PERMIT TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY. THE ENGINEER WILL ASSIST THE CONTRACTOR IN SUBMITTING THE 'NOTICE OF INTENT (NOI) TO CONSTRUCT' TO THE STATE AT LEAST 30 DAYS PRIOR TO BEGINNING LAND DISTURBANCE.



Developer: DCi



THIS PLAN HAS BEEN SIGNED,
SEALED, AND DATED DIGITALLY

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OUTSIDE STORAGE:
ALL RAW MATERIALS AND EQUIPMENT SHALL BE STORED IN COMPLETELY ENCLOSED BUILDINGS OR SHALL OTHERWISE BE SCREENED BY SUCH WALLS, FENCES AND LANDSCAPING TO ATTRACTIVELY CONCEAL AREAS VISIBLE FROM OUTSIDE OF THE LOT BOUNDARIES.

- * ALL AREAS BETWEEN THE BUILDING WALLS AND PROPERTY LINES, EXCEPT PARKING AREAS AND STORAGE AREAS, SHALL BE LANDSCAPED IN AN ATTRACTIVE MANNER WITH LAWN, TREES AND SHRUBS.
- * ALL PARKING AREAS SHALL BE BUFFERED FROM ANY STREET OR NEIGHBORING STRUCTURES WITH PLANTINGS AND/OR LANDSCAPED BERMS.
- * IF PAVING OCCURS ADJACENT TO ANY PROPERTY LINE, A MINIMUM OF 10 FT. OF LANDSCAPING SHALL BE PROVIDED BETWEEN SAID PROPERTY LINE AND CURB OF PAVEMENT, UNLESS WRITTEN APPROVAL TO THE CONTRARY IS GRANTED.
- * LANDSCAPED PARKING AND STORAGE AREAS SHALL BE PROPERLY MAINTAINED IN A SIGHTLY AND WELL-KEPT CONDITION.
- * ALL LANDSCAPING REQUIRED SHALL BE COMPLETED WITHIN 90 DAYS AFTER THE SUBSTANTIAL COMPLETION OF CONSTRUCTION OF ANY BUILDING.
- * ALL UNPAVED AND NON-LANDSCAPED AREA THAT IS PLANNED FOR FUTURE DEVELOPMENT SHALL BE SEEDED, IF NECESSARY, AND KEPT FREE OF WEEDS, OTHER UNSIGHTLY PLANT GROWTH, STORED MATERIAL, RUBBISH AND DEBRIS.
- * ALL DUMPSTER AREAS SHALL BE APPROPRIATELY SCREENED AND LANDSCAPED.

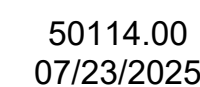
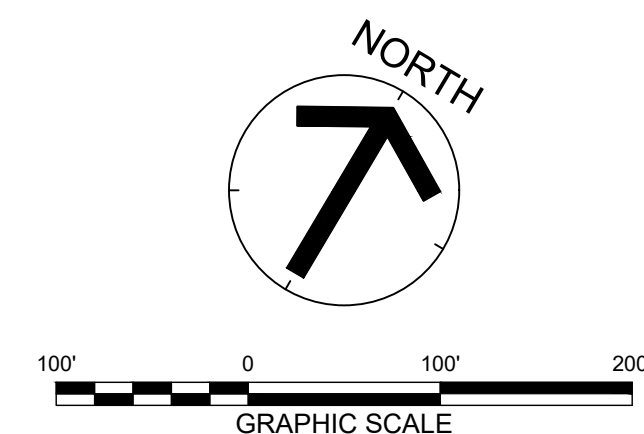
LIGHTING SHALL BE DESIGNED FOR CONSIDERATION OF ADJACENT STREETS AND RESIDENTIAL AREAS.

EXTERIOR WALLS SHALL BE FINISHED WITH EITHER/OR: FACE BRICK; STONE, HARDIE PLANK OR SIMILAR BOARD; SPLIT FACE DECOR BLOCK; GLASS; ARCHITECTURAL METAL INSULATED SANDWICH TYPE PANELS; TILT WALL STANDARD TO BE SET WITH EQUIVALENT OR BETTER MATERIALS.

PROPERTY AREA:	36.9 AC
PARCEL ID:	145 6153 001
ZONING DISTRICT:	IL INDUSTRIAL (LIGHT INDUSTRIAL)
SETBACKS:	50' FRONT 50' SIDE 50' REAR
MAXIMUM BUILDING HEIGHT:	60'
REQUIRED PARKING:	MANUFACTURING = 1 SPACE + 1/EMPLOYEE
PHASE 1:	40 PLANT EMPLOYEES & 30 OFFICE EMPLOYEES 1 + (70 EMPLOYEES X 1 SP/EMPLOYEE) = 71
FULL BUILDOUT:	75 PLANT EMPLOYEES & 40 OFFICE EMPLOYEES 1 + (115 EMPLOYEES X 1 SP/EMPLOYEE) = 116
	NO MORE THAN 50% OF INDUSTRY'S FRONT YARD MAY BE USED FOR PARKING
MINIMUM ACCESSIBLE PARKING:	ADA ACCESSIBLE SPOTS MUST BE PROVIDED INCLUDED IN TOTAL PARKING COUNT
PROPOSED PARKING:	76 PARKING SPACES (INCLUDING 7 ACCESSIBLE SPACES) FUTURE PARKING - 44 SPACES TOTAL - 120 PARKING SPACES
ALLOWED IMPERVIOUS:	ISR NOT TO EXCEED 80 PERCENT 36.9 AC * 0.80 = 29.52 AC MAX
PROPOSED IMPERVIOUS:	9.72 AC // 26% OF SITE

EXISTING SITE FEATURES SHOWN ARE BASED ON:

- ALTA SURVEY BY GRESHAM SMITH, DATED JUNE 11, 2025.



SITE PREPARATION NOTE:

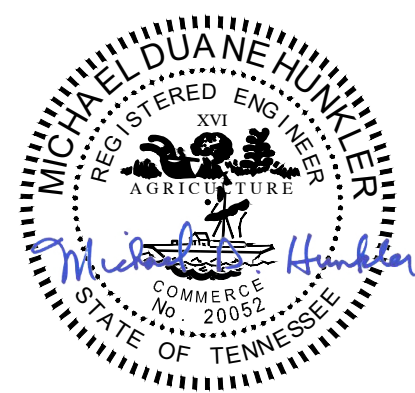
REFER TO GEOTECHNICAL REPORT PREPARED BY GALLET AND ASSOCIATES, INC. PROJECT #97GNEL01A01, DATED APRIL 17, 1997 FOR SUBGRADE PREPARATION RECOMMENDATIONS WITHIN THE CONSTRUCTION AREA.



PROJECT MUSTANG

7th District of Maury County, Mount Pleasant, Tennessee
Being a portion of Tax Map 126 Parcel 041.01

Developer: DCi



7/24/2025

THIS PLAN HAS BEEN SIGNED,
SEALED, AND DATED DIGITALLY

Revision

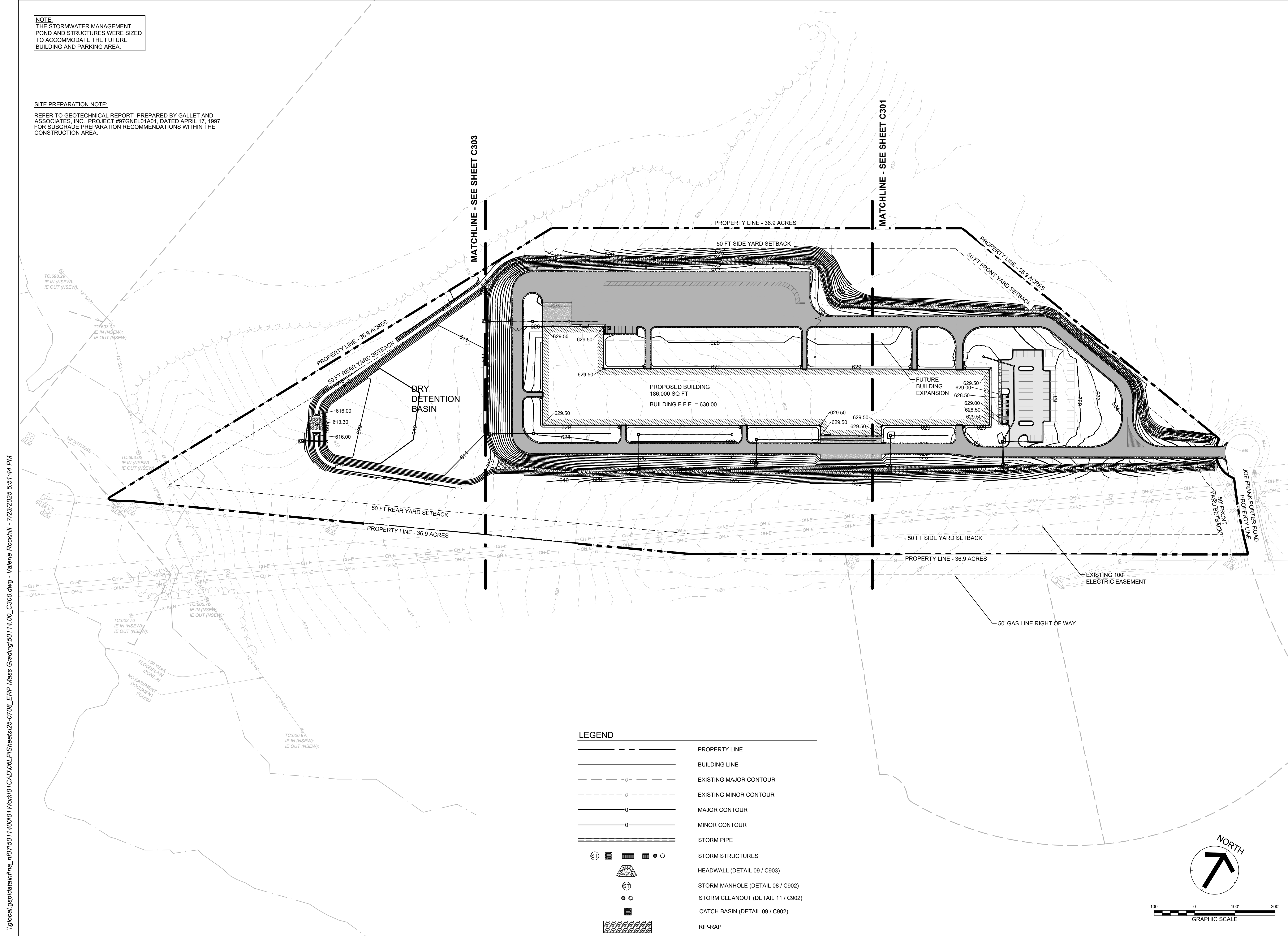
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OVERALL GRADING AND DRAINAGE PLAN

C300

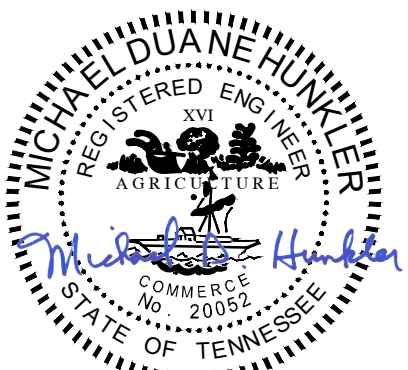
50114.00
07/23/2025

This Line Is 3 Inches When Printed Full Size



7th District of Maury County, Mount Pleasant, Tennessee
Being a portion of Tax Map 126 Parcel 041.01

Developer: DCi



7/24/2025

THIS PLAN HAS BEEN SIGNED,
SEALED, AND DATED DIGITALLY

Revision

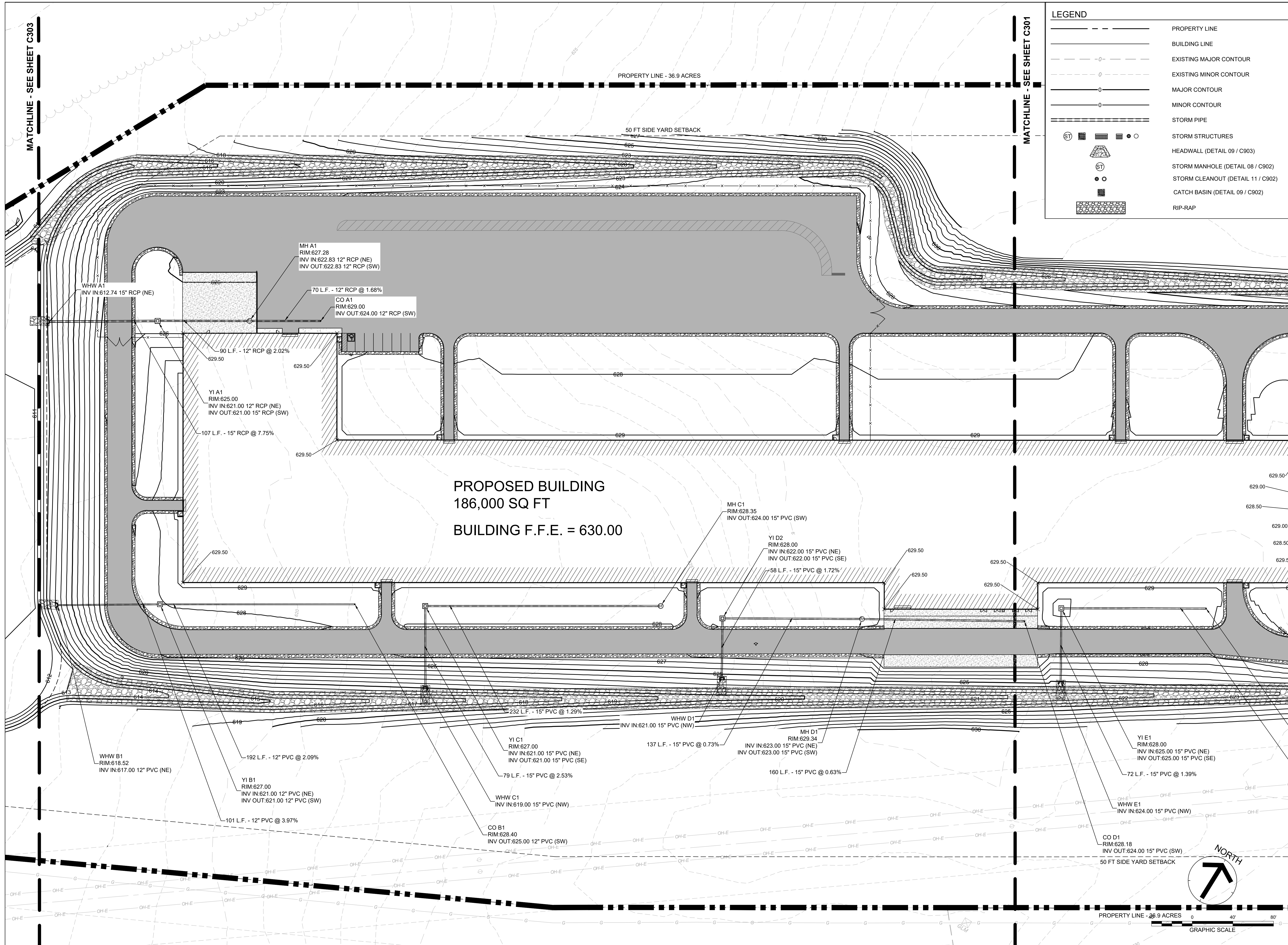
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DETAILED GRADING AND DRAINAGE PLAN

C302

50114.00
07/23/2025

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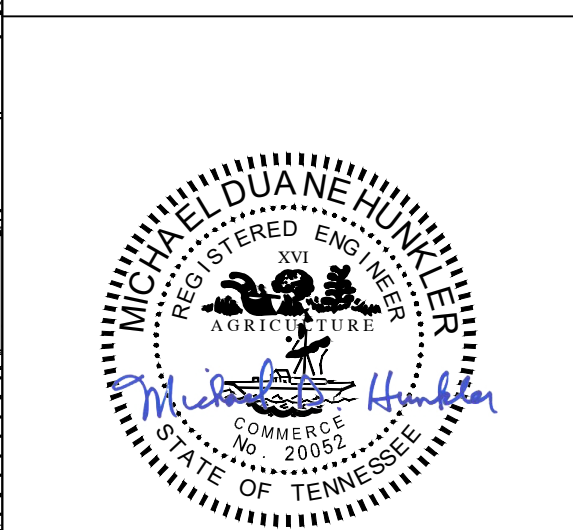




PROJECT MUSTANG

7th District of Maury County, Mount Pleasant, Tennessee
Being a portion of Tax Map 126 Parcel 041.01

Developer: DCi



7/24/2025

THIS PLAN HAS BEEN SIGNED,
SEALED, AND DATED DIGITALLY

[illegible]

DETAILED GRADING
AND DRAINAGE PLAN

C303

50114.00
07/23/2025



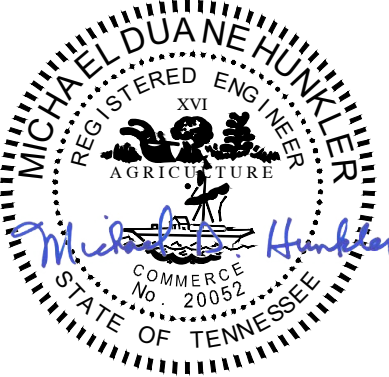
222 Second Avenue South
Suite 1400
Nashville, TN 37201



PROJECT MUSTANG

7th District of Maury County, Mount Pleasant, Tennessee
Being a portion of Tax Map 126 Parcel 041.01

Developer: DCi



THIS PLAN HAS BEEN SIGNED,
SEALED, AND DATED DIGITALLY

Revision

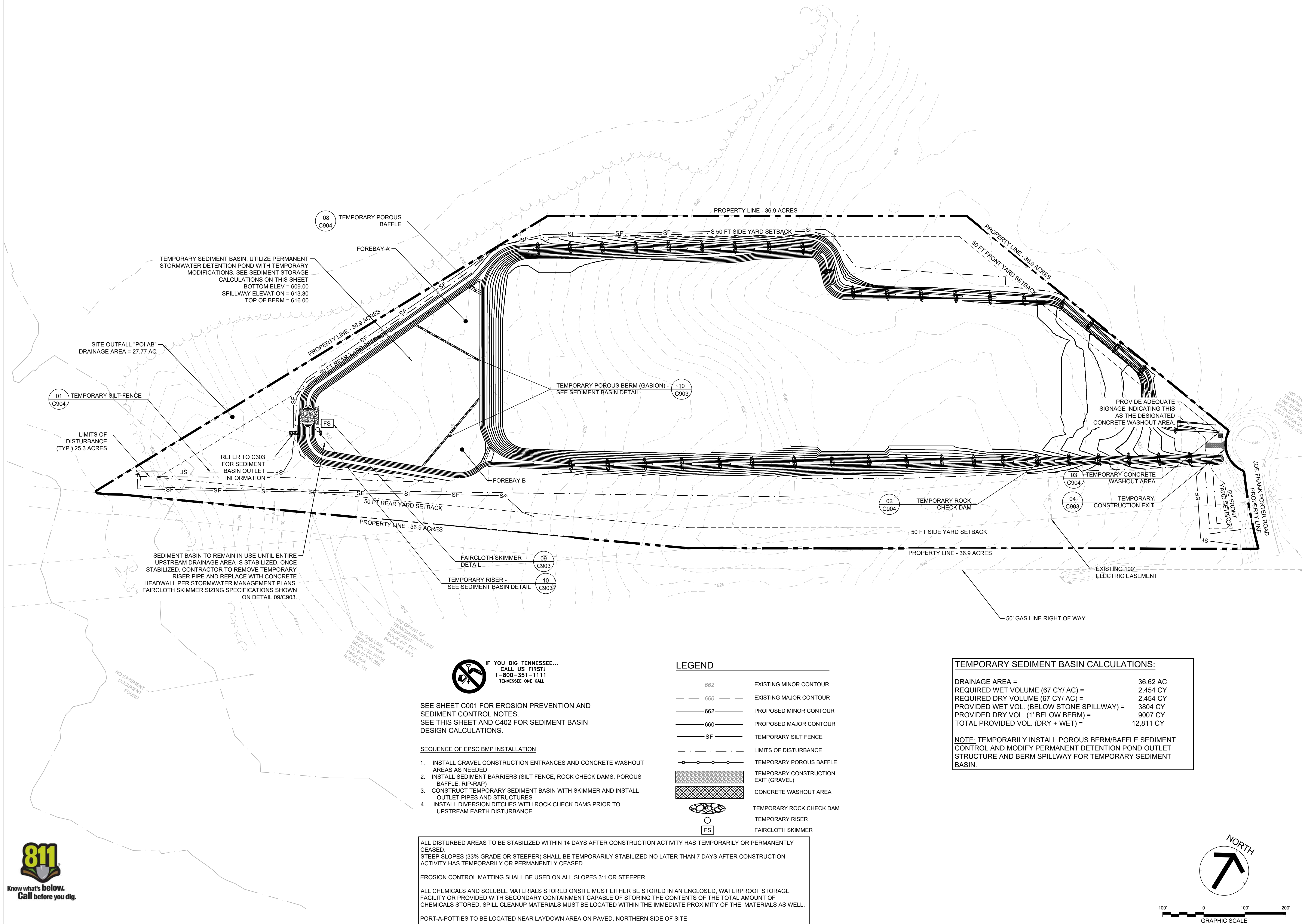
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OVERALL INITIAL EPSC PLAN

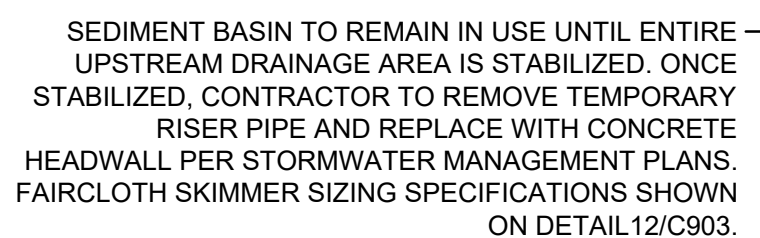
C401

50114.00
07/23/2025

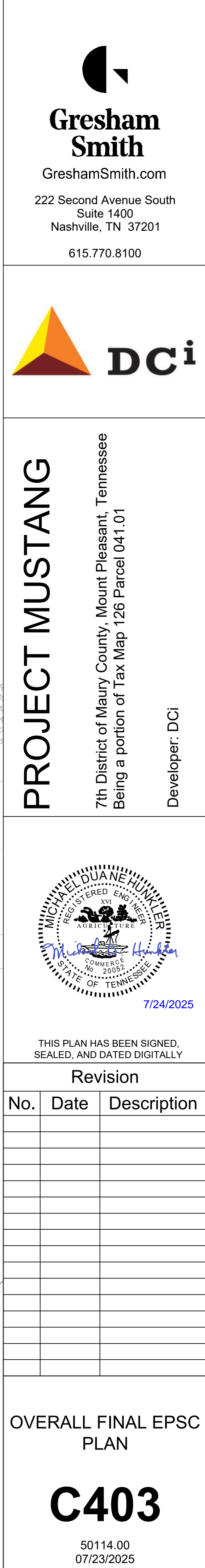
This Line Is 3 Inches When Printed Full Size



¹Refer to the applicable permanent outlet structure detail within plan sheets
²Install temporary outlet pipe per EPSC plan and tie to temporary rise
³solid height includes 6" for embedment in concrete footing
⁴Faircloth Skimmer or approved equal



\\global.qsp\data\infra nf07\5011400\01\Work\01\CAD\06\LP\Sheets\25-0708 ERP Mass Grading\50114.00 C403.dwg - Valerie Rockhill - 7/23/2025 5:56:25 PM



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