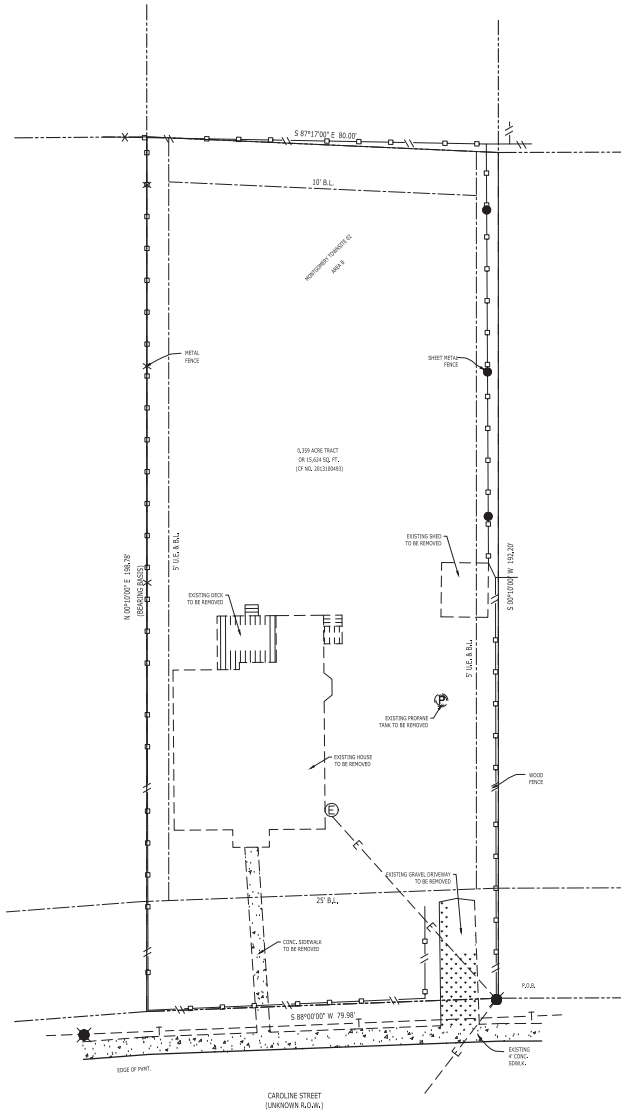


STUD PACK BUILDERS

704 CAROLINE
MONTGOMERY, TX 77356



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL APPLICABLE EASEMENTS AND JOB SETBACK FROM TO BEGINNING ANY CONSTRUCTION.
2. ALL STAIRS AND ROOFS SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES BELOW THE GRADE WITHIN BUILDING FOOTPRINT AREA.
3. ROOF GUTTERS AND FENESTRATIONS SHALL BE LOCATED TO NEAR ROOF SLOPE AND PAINTED TO MATCH SHINGLE COLOR.
4. WATER LEAKY ITEMS SHALL BE PROTECTED FROM FREEZING BY A MINIMUM OF 14" OF EXTERN COVERING.
5. WATER SERVICES SHALL BE INSTALLED 1" BELOW GRADE AT A LOCATION INSIDE THE FOUNDATION FOOTING. EQUIPPED WITH A STOP AND CHECK VALVE AND FITTINGS WITH A HANDLE THAT IS EASILY ACCESSIBLE.
6. ALL WATER PIPING SHALL BE GRADED TO DRAIN.
7. WATERLINE TO BE INSPECTED BEFORE COVERING.

IMPORTANT GENERAL NOTES

THESE PLANS ARE PROVIDED FOR GENERAL DESIGN & CONSTRUCTION PURPOSES ONLY. THE ARCHITECT/DESIGNER DOES NOT WARRANT ANY MATERIAL, DESIGN, DETAIL, COSTS, CONSTRUCTION METHODS, EQUIPMENT, METHODS, ETC., WHETHER SPECIFIED OR EXPLICITLY NOTED ON THE PLANS.

THE INFORMATION CONTAINED IN THIS PLAN IS INTENDED TO SHOW DESIGN INTENT ONLY, AND DOES NOT WARRANT BY IT OR THE GENERAL CONTRACTOR'S RESPONSIBILITY TO USE CHANGED PRODUCT APPROVED CONSTRUCTION PRACTICES THAT WILL PROVIDE A SAFE STRUCTURAL DESIGN AND INTERPRETATION HEREOF.

ALL CONSTRUCTION TO FOLLOW THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE. THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE AND ANY CITY AMENDMENTS TO THESE CODES. ALL CODES SHALL HAVE PRECEDENCE OVER ANYTHING BEING DISCREPANT, OR PRESENT ON THE PLAN WHERE AVAILABLE AT WORKING.

DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE, CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY ARCHITECT & ASSOC., INC. OF ANY DISCREPANCY FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.

1. **OWNER'S RESPONSIBILITY:** PRIOR TO CONSTRUCTION THE OWNER WILL DETERMINE THAT THIS PLAN MEETS THE OWNER'S NEEDS AND DESIRES EXPECTATIONS. ANY DESIGN QUESTIONS SHOULD BE DIRECTED TO THE ARCHITECT/DESIGNER FOR CLARIFICATION OR CORRECTION.
2. **DIMENSIONS & EROSION:** THE GENERAL CONTRACTOR AND OWNER WILL BECOME FAMILIAR WITH ALL DESIGN DETAILS OF THIS PLAN. ANY DESIGN CHANGES SHALL BE ACCOMPANIED WITH SUBMITTED DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNER'S APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR EROSION CONTROL. DO NOT SCALE DRAWINGS.
3. **MODIFICATIONS:** ANY CHANGES TO THE PLAN ARE TO BE MADE BY A QUALIFIED PROFESSIONAL ARCHITECT, ENGINEER, OR DESIGNER/DESIGNER. THE ORIGINAL DESIGNER WILL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THIS PLAN.
4. **CHANGE ORDERS:** ALL CHANGES TO THE CONSTRUCTION AND DESIGN OF THIS PLAN WILL BE DONE WITH WRITTEN CHANGE ORDERS ISSUED BY THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COSTS TO ADJUST CHANGE ORDER TO THE CONSTRUCTION THAT ARE NOT APPROVED BY A WRITTEN CHANGE ORDER.
5. **DETAILS:** ALL IMPORTANT DESIGN DETAILS SUCH AS CORNERS, CORNERS AND ROOFING, ETC. SHALL BE FOLLOWED AS SHOWN ON THE PLANS. ANY DESIGN CHANGES SHALL BE ACCOMPANIED WITH SUBMITTED DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNER'S APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL EROSION TO AVOID UNAUTHORIZED CHANGES TO THE ORIGINAL DESIGN DETAILS.

6. **FLOOR FINISHES:** PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR WILL STAKE OUT ON THE JOB - THE FLOOR, PERIMETER, AND FOOT FLOOR AND GARAGE FLOOR ELEVATIONS FOR THE OWNER'S APPROVAL. THIS WILL BE ACCOMPANIED WITH SITE PLAN APPROVED IN WRITING BY THE OWNER.

7. **OWNER'S APPROVAL:** ALL MATERIAL, FINISH AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. MATERIALS, FINISHES, FINISHES, BRICKS, STONE, STUCCO, STONES, ETC., AND FINISH SAMPLES WILL BE PROVIDED TO THE OWNER FOR APPROVAL BEFORE ORDERING, VERIFY FINISHES (SIZES) AND SPECIFICATIONS SUCH AS SANITARY, ETC., BEFORE CONSTRUCTION.

8. **SQUARE FOOTAGE CALCULATIONS:** THE ACTUAL LIVING SQUARE FOOTAGE IS CALCULATED TO THE EXTERIOR BY MEASURING THE EXTERIOR FINISHES. THIS DOES NOT INCLUDE: PORCHES, UNIMPROVED BAYMENTS, OR UNIMPROVED DRIVEWAYS, WALKWAYS OR PATIOWAYS SUCH AS GRASS, DRIVE, PORCHES, AND STAIRS AND CALCULATED ON THE FIRST FLOOR ONLY. ALL THE STRUCTURAL, FINISHES, COMPOSITES OF A WALL IS NOT INCLUDED IN THE LIVING SQUARE FOOTAGE. NOT BE INCLUDED IN THE TOTAL SQUARE FOOTAGE.

9. **TEMPERED GLASS:** TEMPERED GLASS WILL BE INCLUDED PER PER CODE. CONTRACTOR WILL VERIFY TEMPERED GLASS REQUIREMENTS WITH LOCAL BUILDING AUTHORITIES PRIOR TO ORDERING AND INSTALLING WINDOWS.

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PROJECT DESCRIPTION

HOUSE HOUSE
PROPOSED HOUSE BEHIND UNDER OFF THE INTERNET FOR 610.000. ARCHITECTURAL PHOTOS REULATOR PHOTOS OF HOUSE LOOKED GOOD.

HULLER HOUSE LOOKS LIKE PARKER WACHE, NOT ONE SMOOTH WALL MOST OF THE DETAIL IN THE HOUSE IS NOT FINISHED. ORIGINAL LINES AND CORNERS EXPOSED TO EXTERIOR IN THE HOUSE. FLOORS ARE SLOPING AND THE ROOF IS OPEN IN SEVERAL SPOTS, WHICH HAS CAUSED UNREPAIRABLE WATER DRAINAGE AND DETERIORATION TO THE HOUSE.

THE BATHROOM TILE IS IN DISASTER SEPARATING FROM THE WALL IN THE SHOWER, THE TUB IN A CLOSE ACCESS FROM THE BATHROOM AND DOOR WILL NOT CLOSE IF USING TOILET.

KITCHEN ROOM VERY UNUSUAL, AND THE ROOM SETS SMALLER IN THE CORNER AND THE DRAINAGE SETS COVERED. BREAK ROOM DOOR HAS A GAP IN IT, AND DOES NOT CLOSE COMPLETELY. FAN WILL NOT FROM WHEN TO COOL ROOM, THE AC DOES NOT WORK AND NEEDS TO BE REPLACED.

HITCHER HAS A SHED ROOF DESIGN, WHICH IS UNDESIRABLE OF THE KITCHEN. LET ALONG THE FACT THAT IT IS AIR CONDENSED FROM WALL FAN PULLING AIR FROM ANOTHER ROOM. CORPUSCLES NOT ATTACHED TO WALL, CAUSING TOXIN AND BODIES DOWN. JUST AS MUCH ON TOP OF THE 1/2 IN. COMPLETELY LOCKED NOT SCHEDULED CORN. HITCHER ABOVE STOVE, MISSED THE FIRST FLOOR. SO HULLER AND HITCHER NEXT TO THE OPEN HOUSE CORNER, FINISHES AND CONSTRUCTION.

LAUNDRY ROOM IS DANGEROUS BECAUSE YOU NEED TO CLIMB UP THE ROOF TO GET IN THE HOUSE. WATER HEATER (PUMPING BY VERY POOR CONDITION AND NOT UP TO CODE).

OUTSIDE HOUSE
PROPANE TANK IN BACK YARD DOESN'T WORK, AND WILL BE REMOVED.
BENCHES IN POOR CONDITION AND NEEDS REPLACING ALONG WITH THE ROOF.
SO AFTER CHANGING HOUSE, IT IS BETTER TO START OVER NEW HOUSE BUILD.

THESE PLANS INCLUDE THE NEW USER WE ARE PROPOSING A SMALL AMOUNT OF TREES WILL NEED TO BE REMOVED TO BUILD THE HOUSE. CONCRETE DRIVEWAY FROM STREET TO THE GARAGE WILL BE POURED IN PLACE OF THE EXISTING DRIVEWAY. GARAGE WILL BE TWO STOREY WITH A GARAGE ROOM ABOVE GARAGE. THERE WILL BE A BRIDGEWAY FROM THE GARAGE TO THE HOUSE ON THE GROUND FLOOR WITH AN ELEVATED WALKWAY ABOVE TO GET TO THE GARAGE ROOM.

HOUSE WILL BE TWO STOREY AND THE BACK OF THE HOUSE WILL BE ALL WINDOWS UPSTAIRS AND BEING GLASS DOOR CORNERS OVERLOOKING THE BACK YARD. WANTS HOUSE TO BE A SHOW PRIDE IN THE NEIGHBORHOOD.

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Stud Pack Builders

11201 Katy Road, Suite 100
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www.studpackbuilders.com

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Fax: 281.465.1112
www.studpackbuilders.com

JOB SITE ADDRESS:
704 Caroline St.
Montgomery, TX 77356

HERRIDGE & ASSOCIATES, INC.

REGISTERED ARCHITECTS
COMMERCIAL ARCHITECTURAL FIRM
WWW.HERRIDGEARCH.COM
CONTACT: 713.797.5200

Daniel F. Holak
REGISTERED ARCHITECT
TX #76
CERTIFICATION NO. 441-423

SITE INFORMATION:

LOT: 36 - BLOCK: 36 - SEC: 36

SECTION: 204-0000-00

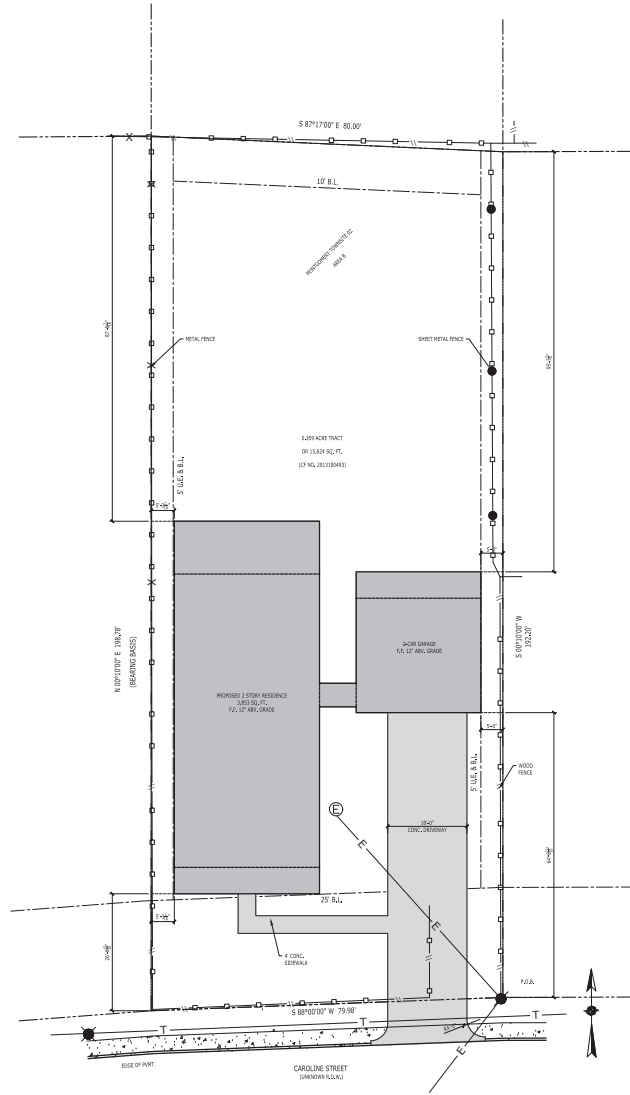
CITY: Montgomery - STATE: TX

COUNTY: Montgomery County

DEMO SITE PLAN

DATE	REVISION
08-20-2022	
08-20-2022	
08-20-2022	
08-20-2022	
08-20-2022	
08-20-2022	
08-20-2022	
08-20-2022	
08-20-2022	
08-20-2022	
08-20-2022	

SHEET
A1.1
OF 2 SHEETS



GENERAL NOTES

- CONTRACTOR TO VERIFY ALL APPLICABLE EASEMENTS AND JOB SETBACKS PRIOR TO BEGINNING ANY CONSTRUCTION.
- ALL STAIRS AND ROOFS SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES BELOW THE SURFACE WITHIN BUILDING FOOTPRINT AREA.
- ROOF EGGS AND PENETRATIONS SHALL BE LOCATED TO REAR ROOF SLOPE AND PAINTED TO MATCH SHINGLE COLOR.
- WATER LEAKY SPLITTING SHALL BE PROTECTED FROM FREEZING BY A MINIMUM OF 1" OF EXTERIOR COVERING.
- WATER SERVICE SHALL BE INSTALLED 1" BELOW GRADE AT A LOCATION INSIDE THE FOUNDATION FOOTPRINTS. EQUIPPED WITH A 3" STOP AND REARLY VALVE AND FITTED WITH A HANDLE THAT IS EASILY ACCESSIBLE.
- ALL WATER PIPING SHALL BE GRADED TO DRAIN.
- WATERLINE TO BE INSPECTED BEFORE COVERING.

IMPORTANT GENERAL NOTES

OWNER HAS ALL PROVISIONS FOR GENERAL DESIGN & CONSTRUCTION PURPOSES ONLY. THE ARCHITECT/DESIGNER DOES NOT WARRANT ANY MATERIAL, DESIGN, DETAIL, CONSTRUCTION METHOD, EQUIPMENT, MATERIALS, ETC., WHETHER SPEC'D OR EXPLICITLY NOTED ON THE DRAWINGS.

THE INFORMATION CONTAINED IN THIS PLAN IS INTENDED TO SHOW DESIGN INTENT ONLY, AND SHALL BE MAINTAINED BY THE GENERAL CONTRACTOR RESPONSIBLE FOR THE USUALLY INDUSTRY APPROVED CONSTRUCTION PRACTICES THAT WILL INSURE A SAFE, STRUCTURALLY SOUND AND INTERPRETED HOME.

ALL CONSTRUCTION TO FOLLOW THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE. THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE AND ANY CITY AMENDMENTS TO THESE CODES. ALL CODES SHALL HAVE PREFERENCE OVER ANYTHING SHOWN, LOCATED, OR IMPLIED ON THE PLAN WHERE CONFLICT AT HANDING.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY HERSCHEL ASSOC., INC. OF ANY AMBIGUITIES FROM THE OPERATIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING.

- OWNER'S RESPONSIBILITY:** PRIOR TO CONSTRUCTION, THE OWNER WILL DETERMINE THAT THIS PLAN MEETS THE OWNER'S NEEDS AND DESIGN EXPECTATIONS. ANY DESIGN QUESTIONS SHOULD BE DIRECTED TO THE ARCHITECT/DESIGNER FOR CLARIFICATION OR CORRECTION.
- DIMENSIONS & ERRORS:** THE GENERAL CONTRACTOR AND OWNER WILL BECOME FAMILIAR WITH ALL DESIGN ASPECTS OF THESE PLANS. ANY QUESTIONS WILL BE COVERED BY THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ERRORS NOT IDENTIFIED ON ANY SCALE DRAWINGS.
- MODIFICATIONS:** ANY CHANGES TO THE PLAN WILL BE MADE BY A QUALIFIED PROFESSIONAL ARCHITECT, ENGINEER, OR ARCHITECTURAL DESIGNER. THE ORIGINAL DESIGNER WILL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THIS PLAN.
- CHANGE ORDERS:** ALL CHANGES TO THE CONSTRUCTION AND DESIGN OF THIS PLAN WILL BE DONE WITH WRITTEN CHANGE ORDERS ISSUED BY THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COSTS TO COMPLETE CHANGES PRIOR TO THE CONSTRUCTION THAT ARE NOT APPROVED BY A WRITTEN CHANGE ORDER.
- DETAILS:** ALL IMPORTANT DESIGN DETAILS SUCH AS CORNICES, CORNICES AND ROOFINGS, ETC. SHALL BE PROVIDED BY THE PLANS. ANY DESIGN CHANGES SHALL BE ACCOMPANIED BY SUBSTITUTE DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNER'S APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ERRORS TO AVOID UNAUTHORIZED CHANGES TO THE ORIGINAL DESIGN DETAILS.

FLOOR ELEVATIONS: PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR WILL STAKE OUT ON THE LOT - THE HOUSE, DRIVEWAY, AND FRONT PORCH AND GARAGE FLOOR ELEVATIONS FOR THE OWNER'S APPROVAL. THIS WILL BE ACCOMPANIED WITH SITE PLAN APPROVED IN WRITING BY THE OWNER.

OWNER'S APPROVAL: ALL MATERIAL, FINISH AND COLOR SELECTIONS SHOULD BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. MATERIAL, FINISH, AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. MATERIAL, FINISH, AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. MATERIAL, FINISH, AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.

SQUARE FOOTAGE CALCULATIONS: THE ACTUAL LIVING SQUARE FOOTAGE IS CALCULATED TO THE INTERIOR OF FINISH WALLS BY THE FINISH INTERIOR SURFACE. THIS DOES NOT INCLUDE: PORCHES, UNFINISHED BASEMENTS OR UNFINISHED DRIVE ROOMS, HALLS OR THROUGH SPACES SUCH AS GREAT ROOMS, STAIRS, AND STAIRS ARE CALCULATED TO THE FIRST FINISH FLOOR. THE NON-STRUCTURAL MASONRY COMPONENT OF A WALL IS NOT INCLUDED IN THE LIVING SQUARE FOOTAGE BUT IS INCLUDED IN THE TOTAL SQUARE FOOTAGE.

TEMPERED GLASS: TEMPERED GLASS WILL BE INCLUDED AS PER CODE. CONTRACTOR WILL VERIFY TEMPERED GLASS REQUIREMENTS WITH LOCAL BUILDING AUTHORITIES PRIOR TO ORDERING AND INSTALLING WINDOWS.

FOOTAGE SYNOPSIS

HOUSE FOUNDATION	3796
CONCRETE DRIVEWAY & SIDEWALK	1522
TOTAL HARD SURFACE	5328
LOT SIZE	16264
HARD SURFACE PERCENT	32.76%

REVISIONS

NO.	DATE	DESCRIPTION

Stud Pack Builders

12275 Rockledge Drive, Houston, TX 77040
 281.562.1111
 www.studpackbuilders.com

HERSCHEL ASSOCIATES, INC.
 15510 KENNEDY BLVD., SUITE 100
 HOUSTON, TEXAS 77040
 281.415.9555
 www.herschelassociates.com

JOB SITE ADDRESS:
 704 Caroline St.
 Montgomery, TX 77356

HERRIDGE & ASSOCIATES, INC.
 8500 MCKINNEY BLVD., SUITE 100
 DALLAS, TEXAS 75243
 214.343.8800
 www.herridgeandassociates.com

Daniel F. Holak
 ARCHITECT
 TX 476
 REGISTRATION NO. 441-623

SITE INFORMATION:
 LOT: 36 BLK: 34 SEC: 3A
 SUBD: 204 CAROLINE DR
 CITY: Montgomery STATE: TX
 COUNTY: Montgomery County

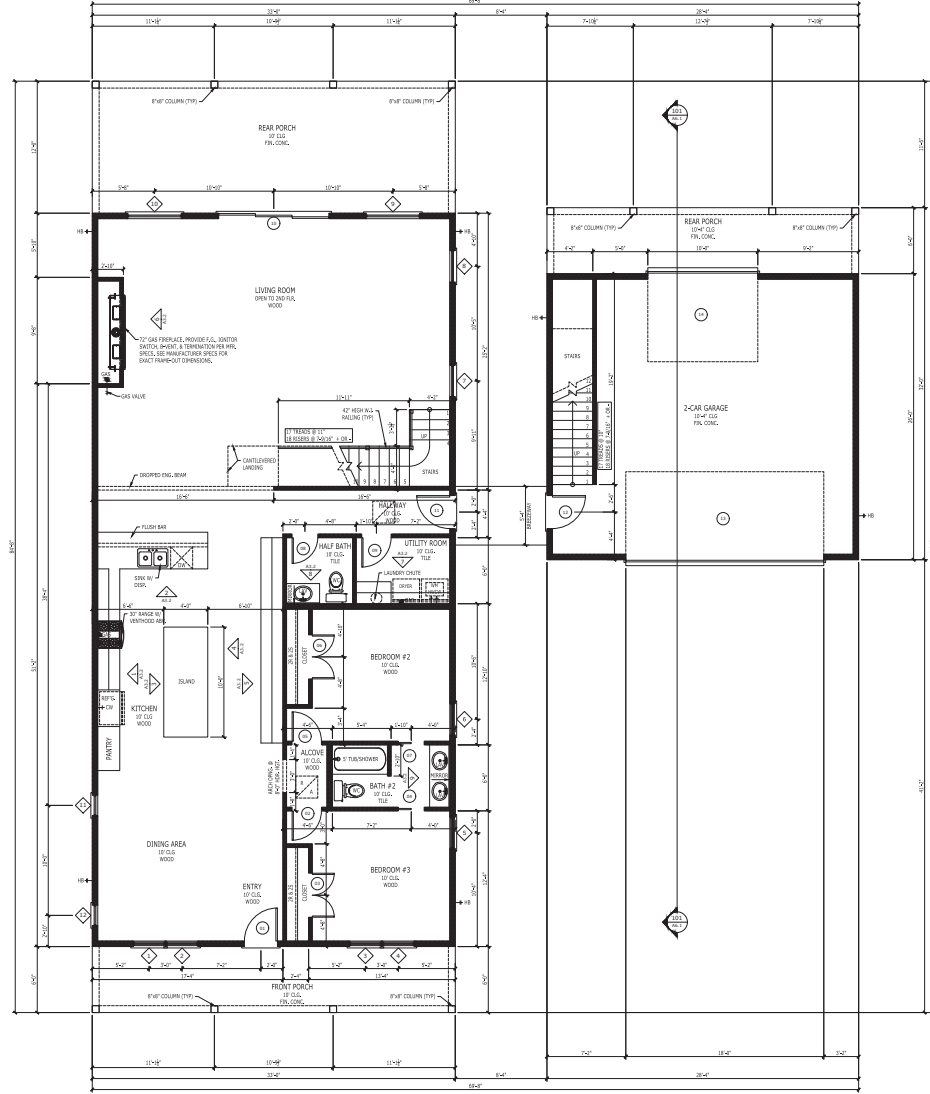
SITE PLAN

OWNER:	
DESIGNED BY:	
DATE:	08-19-2024
SCALE:	AS SHOWN
PROJECT NO.:	24-11-2024A
PLANNING:	

DOOR AND FRAME SCHEDULE									
NUMBER	DOOR		MATERIAL	TYPE	GLAZING	FRAME MATERIAL	NOTES		
	SIZE	HTG							
1	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
2	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
3	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
4	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
5	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
6	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
7	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
8	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
9	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
10	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
11	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
12	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
13	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
14	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		
15	12'-0"	10'-0"	1 1/2" GLASS	WOOD	SL	W1	SLIDING GLASS DOOR		

WINDOW SCHEDULE						
NUMBER	SIZE		HEAD HEIGHT	TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT				
1	12'-0"	10'-0"	10'-0"	FIXED	W1	
2	12'-0"	10'-0"	10'-0"	FIXED	W1	
3	12'-0"	10'-0"	10'-0"	FIXED	W1	
4	12'-0"	10'-0"	10'-0"	FIXED	W1	
5	12'-0"	10'-0"	10'-0"	FIXED	W1	
6	12'-0"	10'-0"	10'-0"	FIXED	W1	
7	12'-0"	10'-0"	10'-0"	FIXED	W1	
8	12'-0"	10'-0"	10'-0"	FIXED	W1	
9	12'-0"	10'-0"	10'-0"	FIXED	W1	
10	12'-0"	10'-0"	10'-0"	FIXED	W1	
11	12'-0"	10'-0"	10'-0"	FIXED	W1	
12	12'-0"	10'-0"	10'-0"	FIXED	W1	
13	12'-0"	10'-0"	10'-0"	FIXED	W1	
14	12'-0"	10'-0"	10'-0"	FIXED	W1	
15	12'-0"	10'-0"	10'-0"	FIXED	W1	

DOOR & WINDOW SCHEDULES



FLOOR PLAN GENERAL NOTES:

1. VERIFY SPACE REQUIREMENTS, WITHIN DIMENSIONS AND PRECEDENCE, CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY ARCHITECT & OWNER, ETC., OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS.
2. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.
3. CLEARLY IDENTIFY TAGS FROM WHERE THE NOTE IS LOCATED ON PLAN.
4. ALL NOTES TO BE IN CIRCULARS UNLESS OTHERWISE NOTED.
5. ALL NOTES TO BE IN CIRCULARS UNLESS OTHERWISE NOTED.
6. ALL NOTES TO BE IN CIRCULARS UNLESS OTHERWISE NOTED.
7. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.
8. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.
9. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.
10. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.
11. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.
12. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.
13. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.
14. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.
15. VERIFY ALL MATERIALS AND FINISHES WITHIN DIMENSIONS AND PRECEDENCE.

FOOTAGE SYNOPSIS:	
FIRST FLOOR Livable Area (sq. feet)	2,320 SF
SECOND FLOOR Livable Area (sq. feet)	1,813 SF
TOTAL Livable Area (sq. feet)	4,133 SF
FRONT PORCH (sq. feet)	198 SF
BACK PORCH (sq. feet)	398 SF
GARAGE (sq. feet)	727 SF
GARAGE PORCH (sq. feet)	178 SF
BALCONY	178 SF
TOTAL SF (sq. feet)	5,534 SF

REVISIONS

Stud Pack Builders

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 www.studpackbuilders.com

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 704 Caroline St.
 Montgomery, TX 77356

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 281-413-8888
 www.herridgeandassociates.com

Daniel F. Holak

REGISTERED PROFESSIONAL ARCHITECT
 STATE OF TEXAS
 EX. 476
 CERTIFICATION NO. 441-423

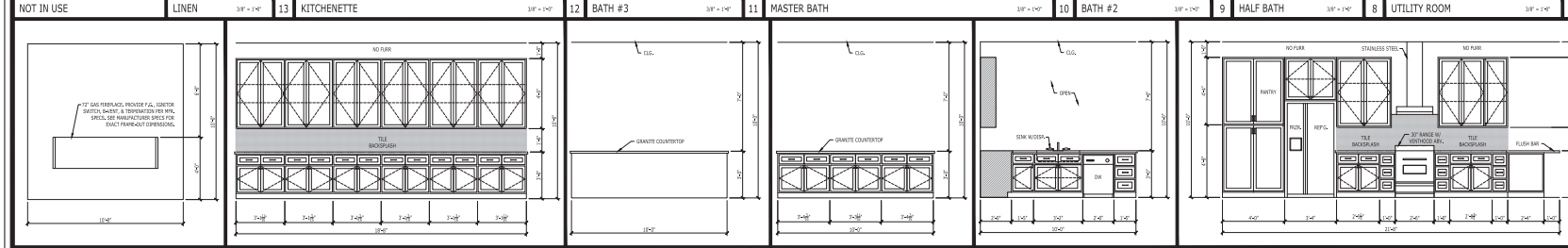
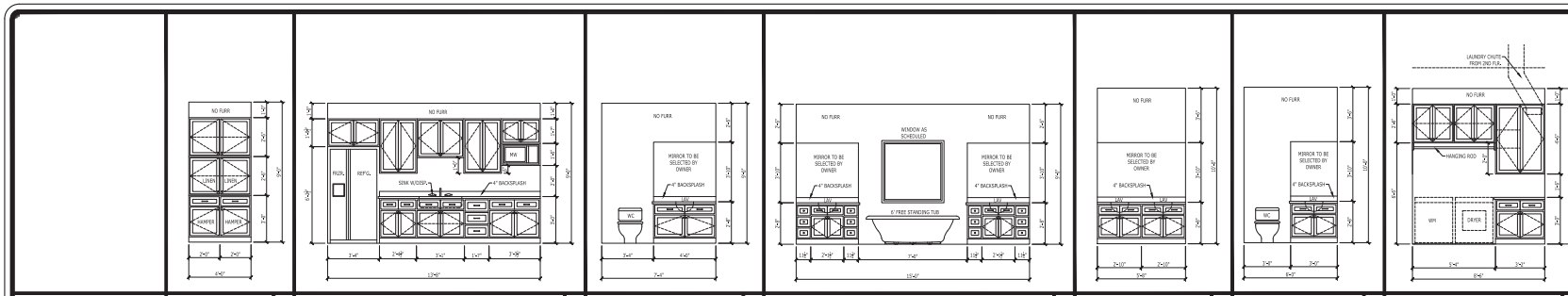
SITE INFORMATION:

LOT: 86 84 54 54 SEC. 18
 BLOCK: 704 Caroline St.
 CITY: Montgomery STATE: TX
 COUNTY: Montgomery County

1ST FLOOR PLAN

DATE:	11/11/2024
SCALE:	1/8" = 1'-0"
PROJECT:	704 Caroline St.
DATE:	11/11/2024

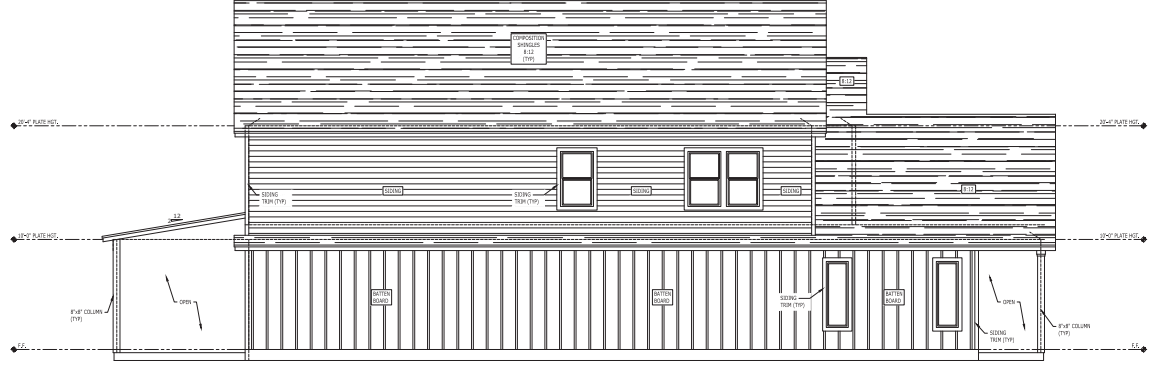
SHEET
A2.1
 OF 2 SHEETS



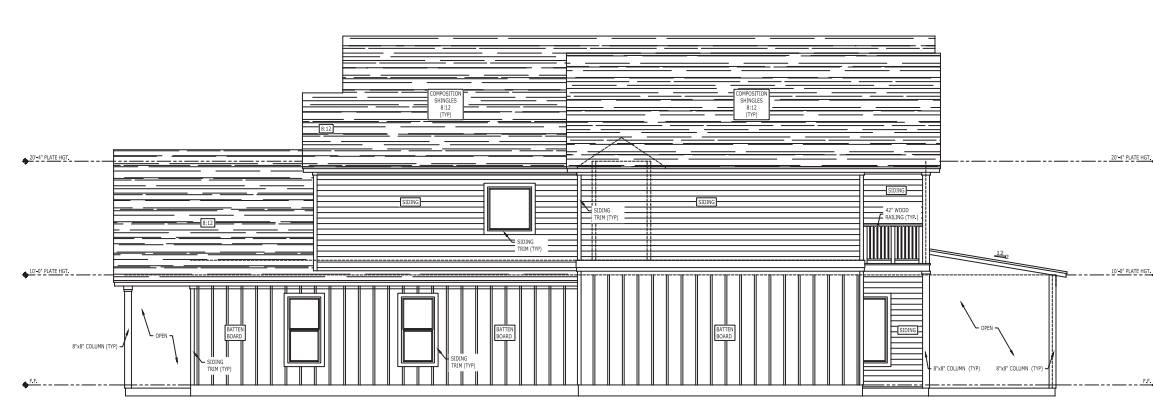
- ELEVATION GENERAL NOTES:**
1. ALL CONSTRUCTION TO FOLLOW THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE AND ANY CITY AMENDMENTS TO THESE CODES.
 2. ALL CITY PERMITS, WITHIN THE JURISDICTION THAT APPLICABLE, CONTRACTOR TO OBTAIN AND BE RESPONSIBLE FOR THE OBTAINING OF THESE PERMITS. (SPECIAL CODES, SPECIAL ETC.) TO TERMINATE ON INTERIOR CONSTRUCTION OVERSIGHT NOTES.
 3. ALL DESIGN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE PROGRAM/STANDARD NOTES DETAIL ON THE MOST SPECIFIC OF THESE DOCUMENTS. (SPECIAL CODES, SPECIAL ETC.) TO TERMINATE ON INTERIOR CONSTRUCTION OVERSIGHT NOTES.
 4. ALL DESIGN NOTES SHALL TO A MINIMUM OF 4" ABOVE FINISHED FLOOR, UNLESS OTHERWISE SPECIFIED. WHERE DOORS ARE USED TO ACCESS, FINISHED FLOOR LOCATIONS SHALL BE USED TO MEASURE FROM FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR LINE (AT THE EXTERIOR).
 5. FINISHED FLOOR AND FINISHED CEILING SHALL BE USED TO MEASURE FROM FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR LINE (AT THE EXTERIOR).
 6. FINISHED FLOOR AND FINISHED CEILING SHALL BE USED TO MEASURE FROM FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR LINE (AT THE EXTERIOR).
 7. FINISHED FLOOR AND FINISHED CEILING SHALL BE USED TO MEASURE FROM FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR LINE (AT THE EXTERIOR).
 8. FINISHED FLOOR AND FINISHED CEILING SHALL BE USED TO MEASURE FROM FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR LINE (AT THE EXTERIOR).
 9. FINISHED FLOOR AND FINISHED CEILING SHALL BE USED TO MEASURE FROM FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR LINE (AT THE EXTERIOR).

NOT IN USE | LINEN 3'8" x 1'4" 13 | KITCHENETTE 3'8" x 1'4" 12 | BATH #3 3'8" x 1'4" 11 | MASTER BATH 3'8" x 1'4" 10 | BATH #2 3'8" x 1'4" 9 | HALF BATH 3'8" x 1'4" 8 | UTILITY ROOM 3'8" x 1'4" 7

FIREPLACE 3'8" x 1'4" 6 | KITCHEN 3'8" x 1'4" 5 | ISLAND 3'8" x 1'4" 4 | ISLAND 3'8" x 1'4" 3 | KITCHEN 3'8" x 1'4" 2 | KITCHEN 3'8" x 1'4" 1



LEFT ELEVATION 3'8" x 1'4" 2



RIGHT ELEVATION 3'8" x 1'4" 1

REVISIONS

Stud Pack Builders

10000 W. 10th Street, Suite 100, Fort Worth, TX 76132
 817.336.8888
 www.studpackbuilders.com

JOB SITE ADDRESS:
 704 Caroline St.
 Montgomery, TX 77356

HERRIDGE & ASSOCIATES, INC.
 ARCHITECTURAL, INTERIOR DESIGN, AND CONSTRUCTION MANAGEMENT
 10000 W. 10th Street, Suite 100, Fort Worth, TX 76132
 817.336.8888
 www.herridgeandassociates.com

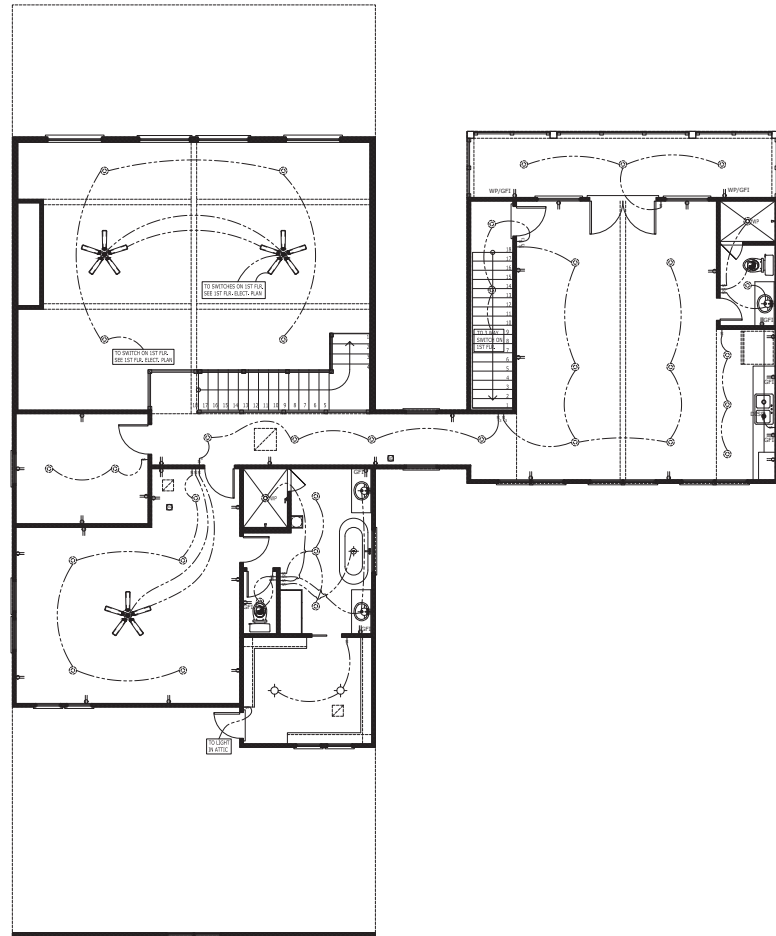
Daniel F. Holak
 ARCHITECT
 TX 476
 REGISTRATION NO. 441-422

SITE INFORMATION:
 LOT: 36 36A 36B SEC. 36
 BLOCK: 704 Caroline St.
 CITY: Montgomery STATE: TX
 COUNTY: Montgomery County

EXTERIOR ELEVATIONS

DATE: 08/20/2024
 TIME: 10:00 AM
 DRAWN BY: J. HERRIDGE
 CHECKED BY: D. HOLAK
 PROJECT NO.: 24-0004

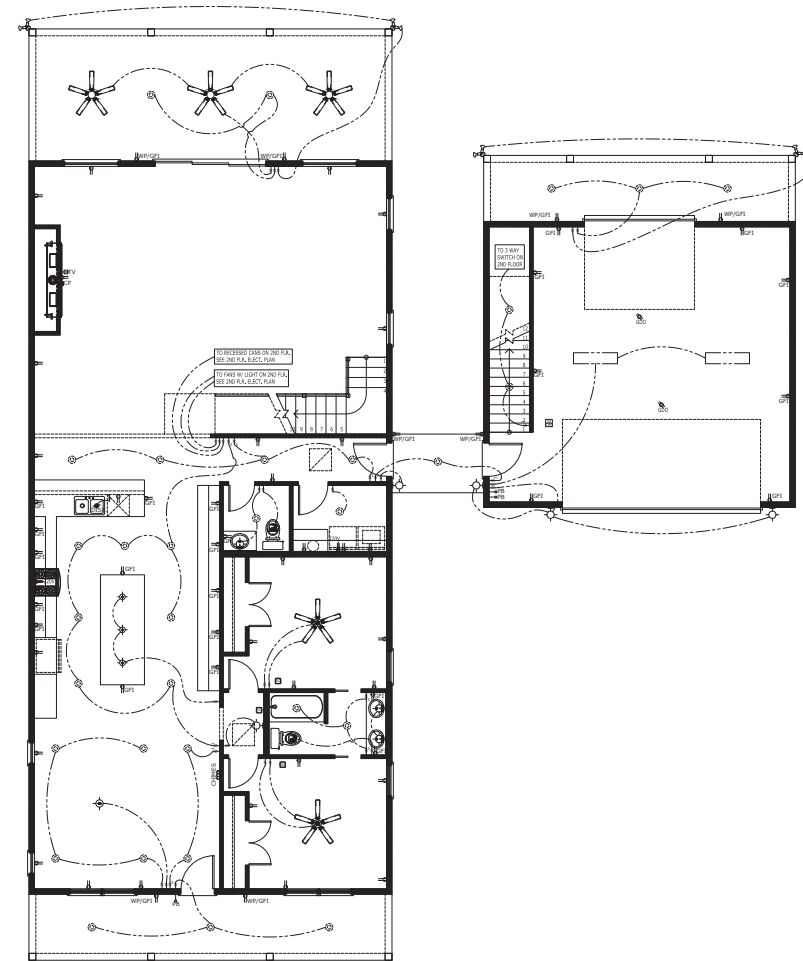
SHEET A3.2



2ND FLOOR ELECTRICAL PLAN

SHP - 1497

2



1ST FLOOR ELECTRICAL PLAN

SHP - 1497

1

ELECTRICAL LEGEND

- DUREX 110V OUTLET
- ◻ DUREX 110V GROUND FAULT INSULATED OUTLET
- ◻ WATER PROOF DUREX 110V GROUND FAULT INSULATED OUTLET
- ◻ DUREX 220V OUTLET
- ⊙ RECESSED CEILING LIGHT FIXTURE
- ⊙ CEILING MOUNTED FIXTURE
- ⊙ WALL SCOUGE LIGHT FIXTURE
- ⊙ SUSPENDED MOUNTED LIGHT FIXTURE
- ⊙ SECURITY FLOOD LIGHTS
- ⊙ SMOKE DETECTOR
- ⊙ SMOKE AND CARBON MONOXIDE DETECTOR
- ⊙ RECESSED DIRECTIONAL CEILING LIGHT FIXTURE
- ⊙ CEILING MOUNTED DIRECTIONAL LIGHT FIXTURE
- ⊙ CEILING MOUNTED EXHAUST FAN
- ⊙ CEILING MOUNTED EXHAUST FAN W/ LIGHT
- ⊙ CEILING MOUNTED FAN
- ⊙ CEILING MOUNTED FAN W/ LIGHT
- ⊙ RECESSED CEILING MOUNTED SPEAKERS
- ⊙ 2 - WAY SWITCH
- ⊙ 3 - WAY SWITCH
- ⊙ 4 - WAY SWITCH
- ⊙ 2 - WAY DIMMER SWITCH
- ⊙ 2 - WAY SWITCH W/ RHEOSTAT FOR FAN
- ⊙ VOLUME CONTROL FOR SPEAKERS
- ⊙ 3 - LINE TELEPHONE OUTLET
- ⊙ COMMUNICATION POST
- ⊙ CABLE HOOKUP FOR TELEVISION
- ⊙ FLOOR BUTTON
- ⊙ CHIMES
- ⊙ MOUNT CAMERA
- ⊙ 3 x 4 FLOURESCEINT SURFACE MOUNT

NOTE:
VERIFY ALL ELECTRICAL WORK FROM CONTRACTOR FROM TO CONSTRUCTION TO INCLUDE FOR SPECIFIC, WELL, POOL, LANDSCAPE ELECTRICAL PANEL, ETC.

ELECTRICAL NOTES:

1. SMOKE DETECTOR requires a 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. ALL SMOKE DETECTORS SHALL BE WIRING IN HOUSE (INTERCONNECTED).
2. PROVIDE 1/2" AIR GAPS TO ALL SMOKE DETECTOR MOUNTING SURFACES TO PERMIT AIR CIRCULATION TO DETECTOR.
3. PROVIDE 1/2" AIR GAPS AND SMOKE LIGHT IN ALL FIRE ALARM FACILITY EQUIPMENT LOCATED SWITCH ROOMS OF NOT OUTSIDE ATTIC ACCESS.
4. PROVIDE DETECTION OF ALL SMOKE AND SMOKE DETECTOR IN GREAT ROOM HAS A RANGE OF INITIAL VENTILATION TO OUTSIDE. A UNIT IS NOT REQUIRED.
5. ALL SMOKE DETECTOR SHALL LIST THROUGH THE ROOF ASSIGNED TO A FIREHALL.
6. PROVIDE 1/2" AIR GAP AND FIREHALL DETECTOR SHALL NOT BE SET TO SMOKE UNTIL DETECTOR WALL.
7. WHEN CHANGE ROOM PANELS ARE INSTALLED, PROVIDE LOW VOLTAGE FOR SHUTTER AND SENSORS OF BOTH SIDES OF SMOKEHOLD DOOR.
8. ALL WIRING TO LOCATIONS TO BE DETERMINED BY OWNER.
9. SEE FOUNDATION PLAN FOR EXACT FLOOR SLUG LOCATIONS-DRAWER TO VERIFY IF FEEDS.

SPECIAL NOTE:

1. SEE AS CONTRACTOR FOR ALL SPEAKER AND CONTROL LOCATIONS & ALLOW FOR WAGE WIRING.
2. COORDINATE WITH POOL CONTRACTOR AND PROVIDE ANY POWER AND SWITCHES NECESSARY.

NOTING TO DEMOLITION AREA:

1. PROVIDE 2 CAR CABLES
2. PROVIDE 10 VOLTAGE CABLES
3. PROVIDE LOW VOLTAGE WIRE (120V OR 180V)
4. IF REQUIRED, PROVIDE SENSITIVE WIRE CONSULT WITH SERVICE PROVIDER FOR MULTI WIRE OR SINGLE WIRE (PARK PILES)
5. IF REQUIRED, PROVIDE LANDSCAPE SPEAKER WIRE
6. SEE OWNER FOR ANY OTHER SPECIAL REQUIREMENTS

REVISIONS

Stud Pack Builders

Stud Pack Builders is a 100% employee-owned company with over 40 years of experience in the construction industry. We specialize in providing high-quality construction services to our clients. Our team is dedicated to delivering exceptional results and ensuring customer satisfaction. We are proud to be a part of the Stud Pack Builders family.

THIS DRAWING IS THE PROPERTY OF HERMIDGE & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREON. ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF HERMIDGE & ASSOCIATES, INC. IS STRICTLY PROHIBITED.

JOB SITE ADDRESS:
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HERMIDGE & ASSOCIATES, INC.
RESIDENTIAL ARCHITECTURE & INTERIORS
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LANDSCAPE ARCHITECTURE
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Daniel F. Holak
ARCHITECT
TX 476
REGISTRATION NO. 441-422

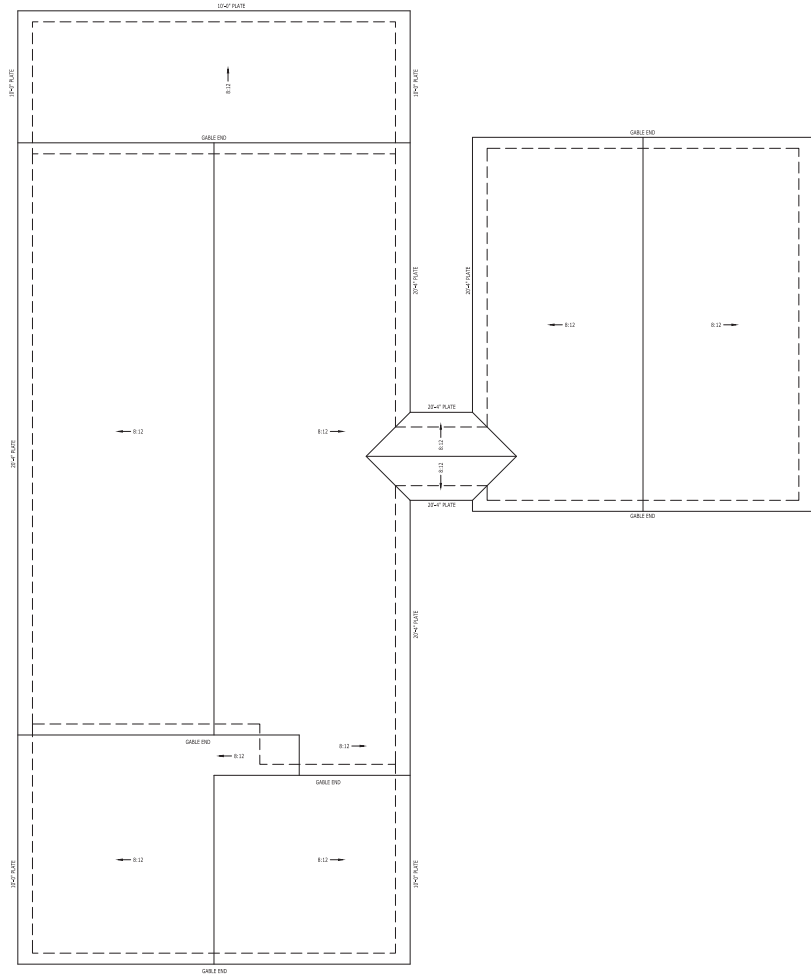
SITE INFORMATION:

LOT: 30 SLX 04 SEC. 04
BLOCK: 704 Caroline St
CITY: Montgomery STATE: TX
COUNTY: Montgomery County

ELECTRICAL PLANS

DATE:	
DRAWN:	
CHECKED:	
DATE:	08-20-2022
DATE:	11-15-2019
DATE:	11-23-2018
DATE:	11-23-2018
DATE:	11-23-2018

SHEET
A4.1
OF



ROOF GENERAL NOTES:
(SEE OPERATE NOTE)

1. FLASHING REQUIRED TO BE SET IN ALL WALLS, PER AND PROVIDE PROVIDE FOR VENTILATION PROTECTING THE ROOF WITH FLASHING AND DETAIL IF BEYOND FLOOR FINISH TO MATCH ROOF.
2. GABLE ENDS SHALL EXTEND THROUGH THE ROOF FINISH TO THE ALL SIDINGS AND TRIM TO SEAL.
3. GALVANIZED STEEL FLASHING AT ALL ROOF TO WALL AND ROOF TO ROOF INTERFACES (PANT TO MATCH ROOF AND WALL).
4. CORNER TO BE A MINIMUM 2"X4 ABOVE ANY ROOF LINE WITHIN A 18"X18" AREA, OR 2"X4 FROM ANY ROOF LINE WITHIN 18"X18" AREA.
5. FLASHING SHALL BE 18"X18" AREA.
6. FLASHING SHALL BE 18"X18" AREA.
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18. FLASHING SHALL BE 18"X18" AREA.
19. FLASHING SHALL BE 18"X18" AREA.
20. FLASHING SHALL BE 18"X18" AREA.

NO.	REVISIONS

Stud Pack Builders

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TX 476
REGISTRATION NO. 443-422

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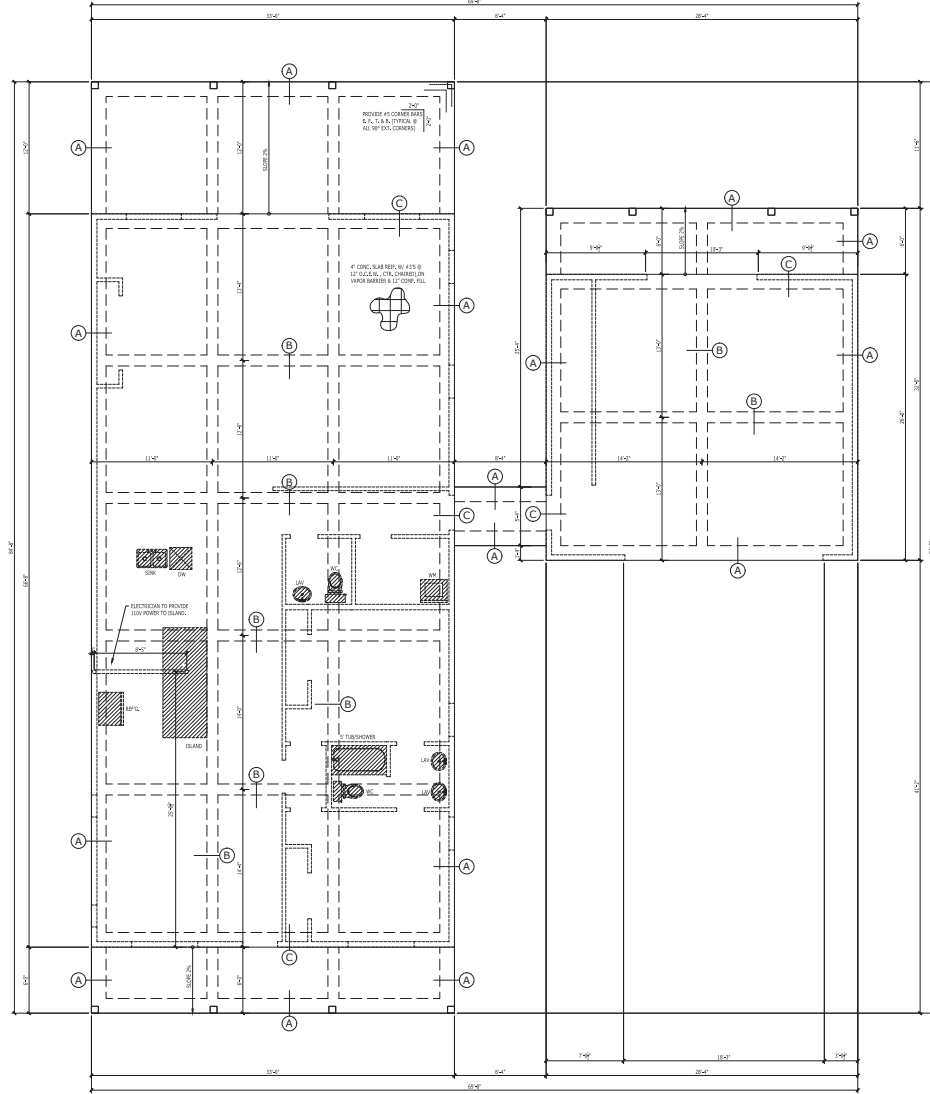
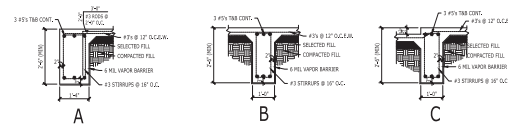
TOWNSHIP	BLK	RA	SEC	RA
RANGE				
COUNTY				
STATE				
COUNTY				

ROOF PLAN

DATE	

SHEET 1
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FOUNDATION DETAILS



FOUNDATION PLAN

SITE PREPARATION

1. THE AREA WITHIN THE FOUNDATION WALLS SHALL HAVE ALL VEGETATION, TOP SOIL AND FORESKID MATERIAL REMOVED.
 2. INSPECTOR'S SIGNATURE.
 3. CONSTRUCT FIVE (5) TEST SLOTS USING SELECT UNIFORM FILL HAVING A PLASTICITY INDEX OF 10 OR AS A MINIMUM OF 1" OF COMPACTED FILL UNDER EACH TEST.
 4. ALL SOIL UNDER EACH TEST SLOT SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY. ALL FILL SOIL UNDER EACH TEST SHALL BE PLACED IN STRIPS ACCORDING WITH THE SOIL PREPARATION SPECIFICATIONS. THE SOIL ENGINEER SHALL VERIFY THE FILL SOIL.
 5. FILL SOIL SHALL BE PLACED IN STRIPS ON A KNOWLEDGEABLE METEOROLOGICAL, 6" MIN. POLY BARRIER OVER THE SOIL SURFACE.
 6. PROVIDE FILL SUITABLE SITE DRAINAGE.
- OTHER SPECIFICATIONS:**
1. ALL CONCRETE SHALL CONFORM WITH A.C.I. 308R FOR 28 DAYS SLUMP.
 2. REINFORCING STEEL SHALL BE ASTM A632.
 3. PREPARED BY: [Name]
 4. ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE SPECIFIED.
 5. ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE SPECIFIED.
 6. ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE SPECIFIED.
 7. ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE SPECIFIED.
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 13. ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE SPECIFIED.
 14. ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE SPECIFIED.

10/21/17 2

NO.	DESCRIPTION	DATE

Stud Pack Builders

10000 W. Highway 190, Suite 100, Houston, TX 77058
 281-414-1111
 www.studpackbuilders.com

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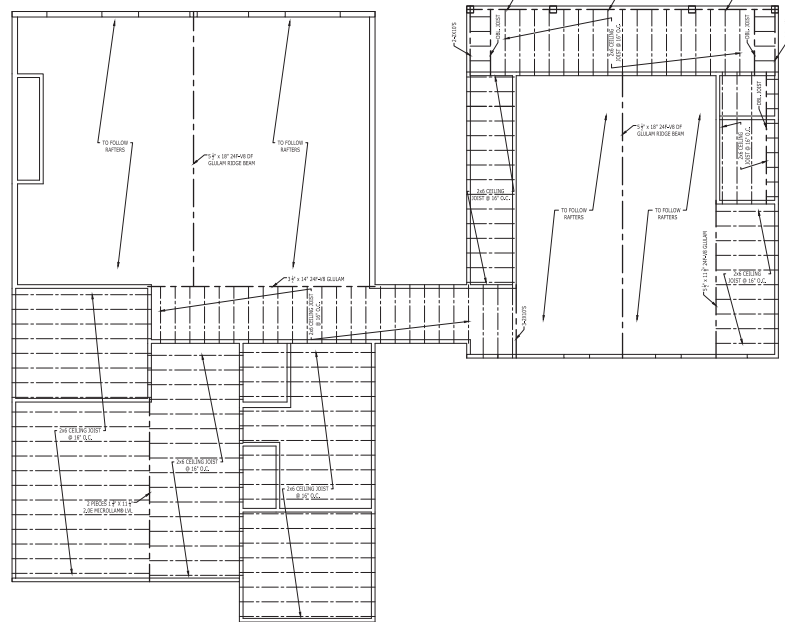
SITE INFORMATION:

LOC. NO.	BLK. NO.	SEC. NO.

FOUNDATION PLAN

DATE	

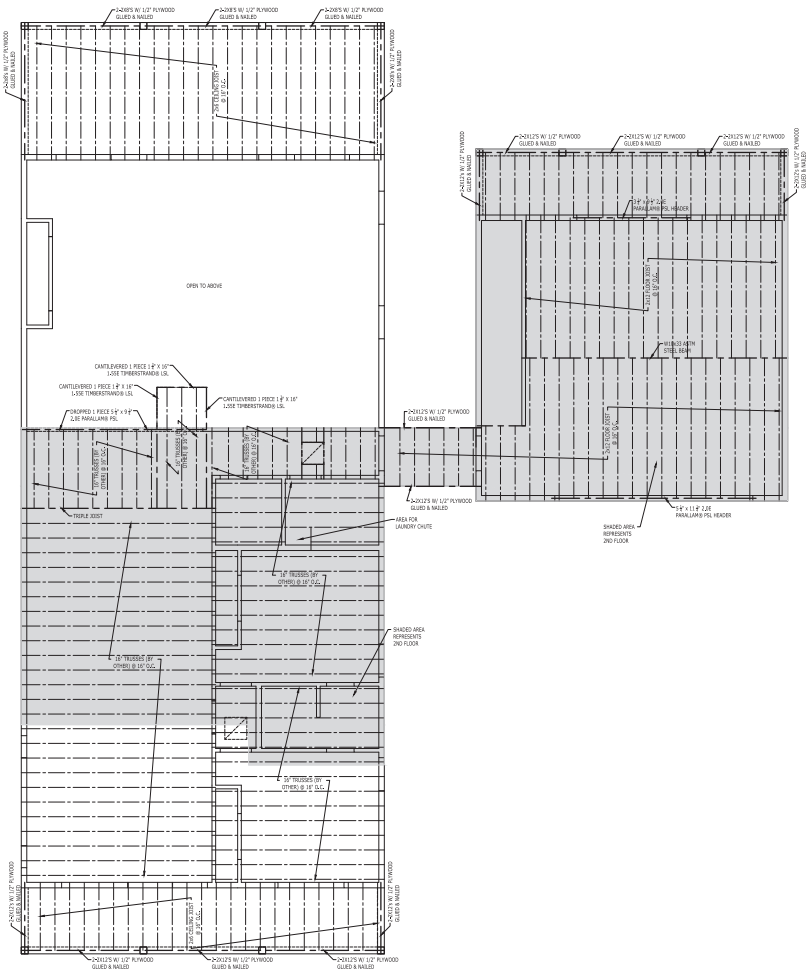
DEL-PHI ENGINEERING ASSOCIATES, INC. FIRM # 602236



2ND FLOOR CEILING JOIST PLAN

18' x 140'

2



18' x 140'

2

1ST FLOOR CEILING FLOOR JOIST PLAN

18' x 140'

1

CEILING FINISHING NOTES
(UNLESS OTHERWISE NOTED)

CEILING JOISTS SHALL BE #2 S.P.C., 12" x 8" SPACING FOR EXHAUST, HEADERS SPACING BETWEEN TRIMMER JOISTS SHALL BE 24" O.C. FOR REMAINING JOISTS.

2" x 12" JOIST @ 24" O.C. SPACING

2" x 8" JOIST @ 24" O.C. SPACING

2" x 10" JOIST @ 24" O.C. SPACING

2" x 12" JOIST @ 24" O.C. SPACING

ALL JOIST UNDER ALL LOAD BEARING PARTITIONS.

TOP WALL BRATES SHALL BE TWO CONTINUOUS 2X6 SIPS SIZE 44 WALL BRATE.

BOTTOM WALL BRATES SHALL BE ONE CONTINUOUS 2X6 SIPS SIZE 44 WALL BRATE.

ALL FLUSH BEAM TO BEAM CONNECTIONS SHALL BE EMPROX HES OR WOOD.

CEILING JOIST PARTS SHALL BE NAILED TO EACH OTHER IN ACCORDANCE WITH TABLE 11.01.01, IBC. THE JOIST SHALL BE NAILED TO THE TOP WALL PLATE IN ACCORDANCE WITH TABLE 11.01.01, IBC. ALL JOIST SHALL BE CONTINUOUSLY JOINTED WHERE THEY MEET OVER INTERIOR PARTITIONS & NAILED TO ADJACENT PARTS TO PROVIDE A CONTINUOUS JOIST ACROSS THE BUILDING WHEN SUCH JOISTS ARE PARALLEL TO THE PARTS.

A LICENSED ENGINEER MUST VERIFY AND DRAW ACCORDING TO ALL LOCAL AND STATE REQUIREMENTS WITH ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

FLOOR FINISHING NOTES
(UNLESS OTHERWISE NOTED)

FLOOR JOISTS SHALL BE #2 S.P.C.

2" x 10" JOIST @ 24" O.C. SPACING

2" x 8" JOIST @ 24" O.C. SPACING

2" x 12" JOIST @ 24" O.C. SPACING

ALL BEAMS AND HEADERS SHALL BE 2X6 SIPS.

INTERIOR SUBPARTITIONS TO EXISTENCE BEING IN 1-1/2" x 6" x 8" SIPS.

PROVIDE 2X4 HEADERS AT ALL FIRST LEVEL OPENINGS.

ALL JOIST UNDER ALL LOAD BEARING PARTITIONS.

ALL FLUSH BEAM TO BEAM CONNECTIONS SHALL BE EMPROX HES OR WOOD.

NO.	DESCRIPTION	DATE

Stud Pack Builders

EST. 1988
 10000 S. HOUSTON AVE. SUITE 100
 HOUSTON, TEXAS 77054
 281-486-8888
 WWW.STUDPACKBUILDERS.COM

JOB SITE ADDRESS:
 704 Conline St.
 Montgomery, TX 77356

HERRIDGE & ASSOCIATES, INC.

18009A DELBURN DR. SUITE 100
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 281-486-8888



SITE INFORMATION:

LOC. NO.	BLK. NO.	SEC. NO.
CITY		
STATE		
COUNTY		

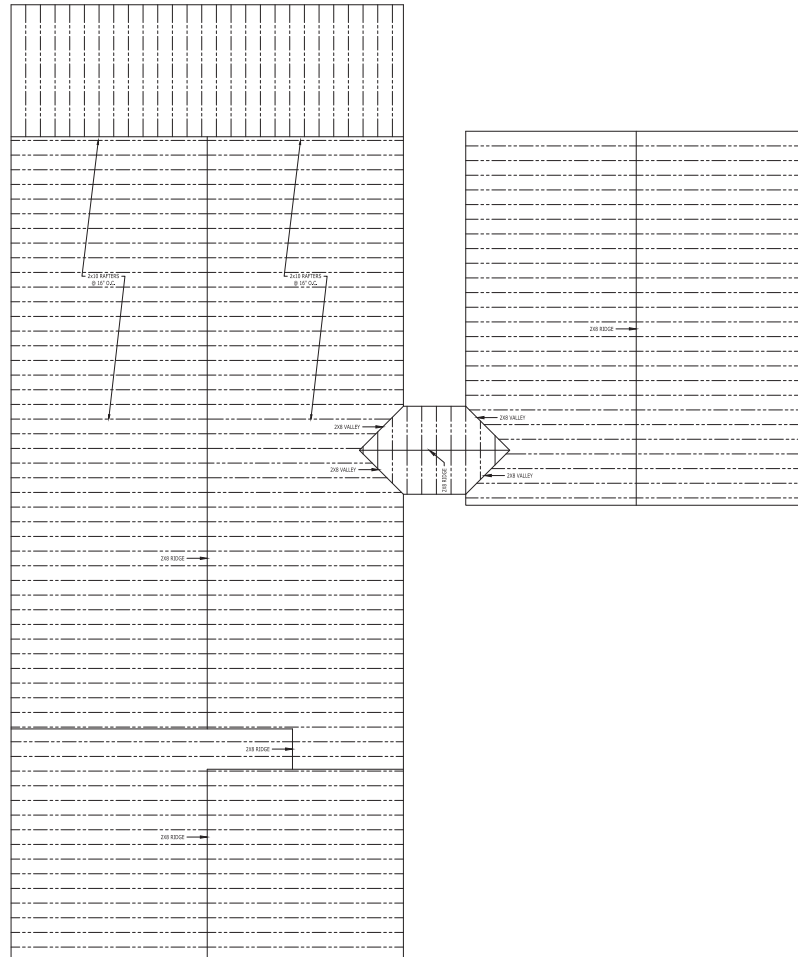
JOIST PLANS

NO.	
DATE	
BY	
SCALE	

SHEET

2.1

OF
4 SHEETS



RAFTER PLAN NOTES

1. ALL CONSTRUCTION TO FOLLOW THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE, THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE AND ANY CITY AMENDMENTS TO THESE CODES.
2. ROOF RAFTERS STRUCTURAL DESIGN LOADS SHALL BE BASED UPON 20 PSF LIVE / 20 PSF DEAD FOR COMPLETE UNIFORM ROOFING AND 20 PSF LIVE LOAD AND 20 DEAD LOAD FOR THE ROOFING, EAVE OVERHANG BRACED DECK.
3. COMPLETE UNIFORM ROOFING AND 20 PSF LIVE LOAD AND 20 DEAD LOAD FOR THE ROOFING, EAVE OVERHANG BRACED DECK.
4. ALL RAFTERS SHALL BE MEMBER SIZE AT 4 X 4, 6 X 6, 8 X 8, 10 X 10, AND NOT TO MORE THAN 12 FT UNBOLTED SPANS.
5. RAFTERS SHALL BE NAIL TO RIDGE BOARD OR TO EACH OTHER WITH A GUSSET PLATE AS A TIE. RIDGE BOARD SHALL BE AT LEAST 2x4 WHICH MINIMUM THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTERS. AT ALL VALLEYS AND THE RIDGE SHALL BE 1x6 OR 1x8 RAFTERS NOT LESS THAN 2x4 MINIMUM THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RIDGE. GUSSET PLATE SHALL BE 2x4.
6. COLLAR TIES SHALL BE NEEDED TO GIRDLE RAFTERS IN ACCORDANCE WITH IRC FOR RAFTERS BRACED TO A WALL OR BEAM OR TO EACH OTHER TO PROVIDE LATERAL STIFFNESS AND TO RESIST WIND UPLIFT.
7. COLLAR TIES SHALL BE 2x4 OR 2x6 AT 8' O.C. IN UPPER ONE THIRD OF ATTIC SPACE.
8. COLLAR TIES SHALL BE 2x4 OR 2x6 AT 8' O.C. IN LOWER ONE THIRD OF ATTIC SPACE.
9. GUSSET PLATES SHALL BE 2x4 OR 2x6 AT 8' O.C. IN LOWER ONE THIRD OF ATTIC SPACE.
10. RAFTERS SHALL BE NAIL TO RIDGE BOARD OR TO EACH OTHER WITH A GUSSET PLATE AS A TIE. RIDGE BOARD SHALL BE AT LEAST 2x4 WHICH MINIMUM THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTERS. AT ALL VALLEYS AND THE RIDGE SHALL BE 1x6 OR 1x8 RAFTERS NOT LESS THAN 2x4 MINIMUM THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RIDGE. GUSSET PLATE SHALL BE 2x4.
11. COLLAR TIES SHALL BE 2x4 OR 2x6 AT 8' O.C. IN UPPER ONE THIRD OF ATTIC SPACE.
12. COLLAR TIES SHALL BE 2x4 OR 2x6 AT 8' O.C. IN LOWER ONE THIRD OF ATTIC SPACE.
13. GUSSET PLATES SHALL BE 2x4 OR 2x6 AT 8' O.C. IN LOWER ONE THIRD OF ATTIC SPACE.
14. RAFTERS SHALL BE NAIL TO RIDGE BOARD OR TO EACH OTHER WITH A GUSSET PLATE AS A TIE. RIDGE BOARD SHALL BE AT LEAST 2x4 WHICH MINIMUM THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTERS. AT ALL VALLEYS AND THE RIDGE SHALL BE 1x6 OR 1x8 RAFTERS NOT LESS THAN 2x4 MINIMUM THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RIDGE. GUSSET PLATE SHALL BE 2x4.
15. COLLAR TIES SHALL BE 2x4 OR 2x6 AT 8' O.C. IN UPPER ONE THIRD OF ATTIC SPACE.
16. COLLAR TIES SHALL BE 2x4 OR 2x6 AT 8' O.C. IN LOWER ONE THIRD OF ATTIC SPACE.
17. GUSSET PLATES SHALL BE 2x4 OR 2x6 AT 8' O.C. IN LOWER ONE THIRD OF ATTIC SPACE.
18. THE BUILDER AND/OR OWNER SHALL BE RESPONSIBLE FOR CONSULTING WITH A LICENSED PROFESSIONAL ENGINEER REGARDING THE FOUNDATION, SUPERSTRUCTURE AND SITE DRAINAGE, EROSION & SEDIMENTATION CONTROL, AND PROFESSIONAL GEOTECHNICAL ENGINEERING FOR FOUNDATIONS. SHALL AN ENGINEER SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE STRUCTURAL DESIGN, AND THE BUILDER, OWNER, ARCHITECT, AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENGINEERING ASPECTS OF THE JOB.
19. THE ENGINEER NOTES SHALL WHEN MORE ROBUST, SUPERSEDE THE ABOVE.

REVISIONS

NO.	DATE	DESCRIPTION

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10011 Highway 100, Suite 100, Houston, TX 77054
 281.481.1111
 www.studpackbuilders.com

JOB SITE ADDRESS:
 704 Conline St.
 Montgomery, TX 77356



SITE INFORMATION:

LOT: 50 50X 50 SEC. 04
 SUBD: 174
 ADDR: 704 Conline St.
 CITY: Montgomery STATE: TX
 COUNTY: Montgomery County

RAFTER PLAN

DATE: 10/16/2022
 TIME: 10:00 AM
 DRAWN BY: J. HERRIDGE
 CHECKED BY: J. HERRIDGE
 SCALE: AS SHOWN