

Merrily Thompson
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merrily.thompson@gmail.com

January 20, 2025

City of Montgomery
101 Old Plantersville Road
Montgomery, TX 77316

To Whom it May Concern:

Please accept this as my letter of intent to make improvements to the property I own at 914 College Street, Montgomery, TX 77316.

My intent is to take the existing 3 bedroom, 1 bath home and create a 3 bedroom, 2 bath home, utilizing the existing footprint of the current home. Basically, I will be taking square footage from the utility room and re-creating this space as a bathroom, expanded closet, and utility cubby. A closet and utility room already exist, and the only added plumbing changes being added is the new bathroom. I would also like to add a 2 car garage if a variance will be considered regarding the newer City ordinance of a 10' side building line as I will need to be closer to the original 5' building line on the west side of the property (I am submitting a request for variance). I believe the addition of a garage would be a justifiable enhancement to the property and community.

Therefore, exterior changes to be made are:

1. Eliminate some windows to accommodate the new floor plan
2. Repair or replace some siding (to match the existing siding) as needed
3. Re-skirt the home with new lattice
4. Update the interior of the home
5. Re-level the home and raise the home 16" from existing elevation
6. Add a garage and redo all of the damaged flatwork
7. Remove 2 pecan trees – one for the placement of the garage, the other due to the problems it's roots are causing to the foundation of the home.
8. Remove all existing sidewalks and pour new walkways to the front of the home and down the side of the garage to the rear porch
9. Install fencing in the rear yard for pet containment with a gate and small amount of fencing between the house and garage near the existing rear porch. Fencing to preferably be a combination of wood and wrought iron; wood on the front

elevation (for privacy purposes) and wrought iron on the side property lines to connect to the existing fence on the rear of the property

I will be pleased to coordinate with the Public Works Department in resolving long standing drainage issues on the front of the property and have the City set a culvert of the appropriate circumference and depth, removing and replacing the existing flatwork within the City's easement, and then I will complete the removal and repair of the balance of the flatwork on the property which has serious damage due to years of unattended drainage issues.

I have a meeting with Entergy scheduled for January 23rd to discuss running underground electrical service to the home. The existing electrical service to my home is unsightly and the wires which come from the electric pole to the overhead riser on the house hang very low, currently a hinderance to ingress and egress. The electrical service panel will remain in its existing location.

Re-leveling the home and raising the foundation 16" from its current elevation will aid in better access to the underside of the home for repairs to plumbing, future foundation work if necessary, and insulation purposes. My goal is also to avoid any further water/drainage issues coming from the neighboring property due to the existing topography and the large cottonwood tree with a root system causing my home settlement issues. I intend to create a swale on the east side of my property to divert the neighbor's drainage coming onto my property and going under my home and redirecting it to the rear of my property. This swale will alleviate the current problem I have with reference to erosion and settlement from the current watershed issues. Neither the re-leveling process or the creation of a swale will change the current setback of the home on the east side yard.

I will retain the existing Craftsman style elevation and am submitting new exterior color samples which align with aesthetics familiar to Craftsman style homes, and are also cohesive to the standards the city wishes to uphold within the historic district.

While I would like to submit an accurate and to scale representation of the proposed driveway footprint, this information is dependent on what changes will be occurring due to the work the City intends to perform on the front property line. I have, therefore, submitted a proposed representation at this specific time of the placement of the garage and would like to follow a similar driveway pattern which currently exists – a smaller entry approach from the street, widening to a two-car driveway at the garage. I am hoping to widen the throat of the existing driveway but will need to confer with Public Works as there is an existing manhole that requires consideration.

The roof pitch and gables of the proposed garage will match the existing home with one man door at the right rear of the garage, allowing access to the home's rear porch. The main garage door (facing the street) would be a standard garage door with the addition

of decorative hinges/straps to continue to align with the style of the existing home. The garage will be constructed on a concrete slab, wood framing, with Hardy board exterior to match the existing home, and a composition roof to match the existing dimensional shingle installed on the home, with 1 coach light on either side of the garage door facing the street. I intend to reuse windows being removed from the main home for the garage windows noted on the plan. These windows are only a few years old, are one over one, vinyl dual glazed, with the dividing lights on the top half of the window only (indicative of a Craftsman style look) and this will assist in retaining exterior unity between the home and garage.

I believe when I am through with this project, it will be a significant enhancement to the neighborhood as it will have a refreshed, new appearance while sustaining the existing character and charm the home currently possesses.

Respectfully submitted,

A handwritten signature in blue ink that reads "Merrily Thompson". The signature is written in a cursive, flowing style with a large initial "M".

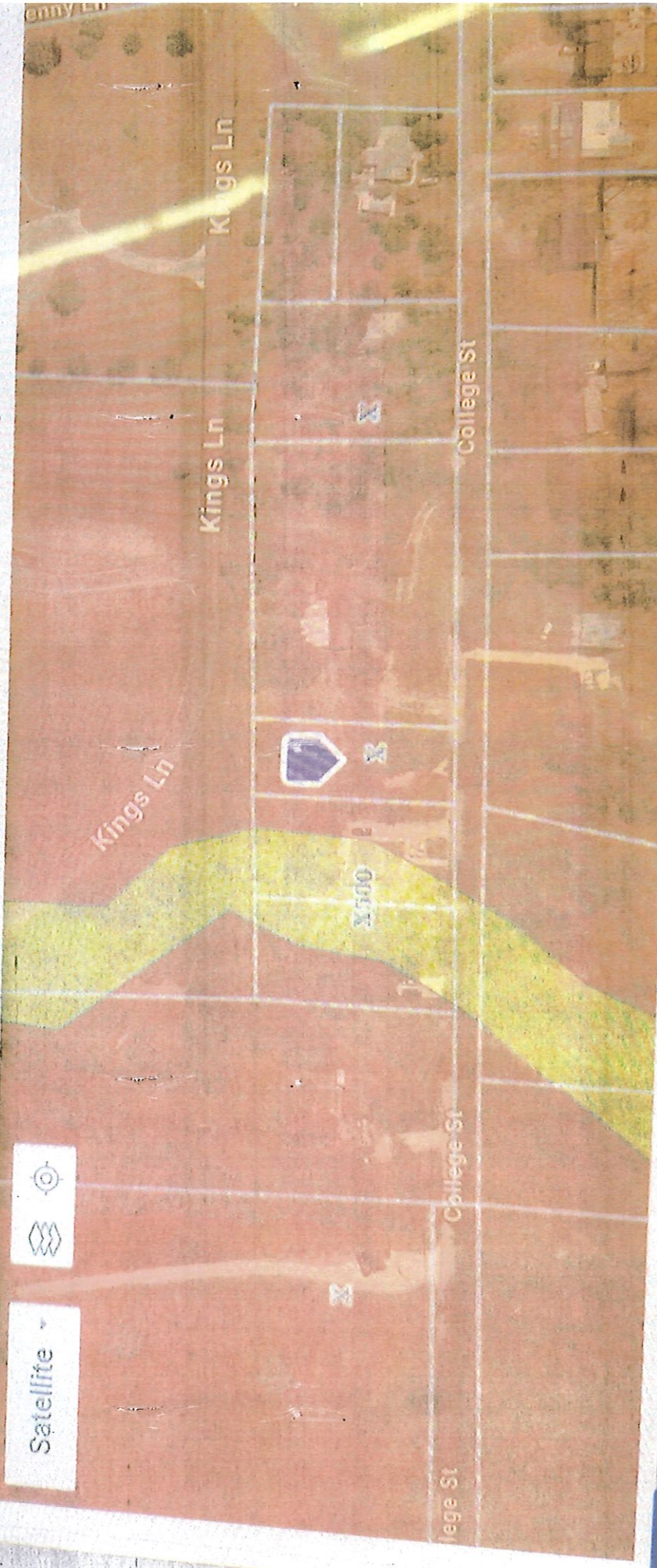
Merrily Thompson

914 College Street, Montgomery, Texas, 77356-4436 Montgomery County

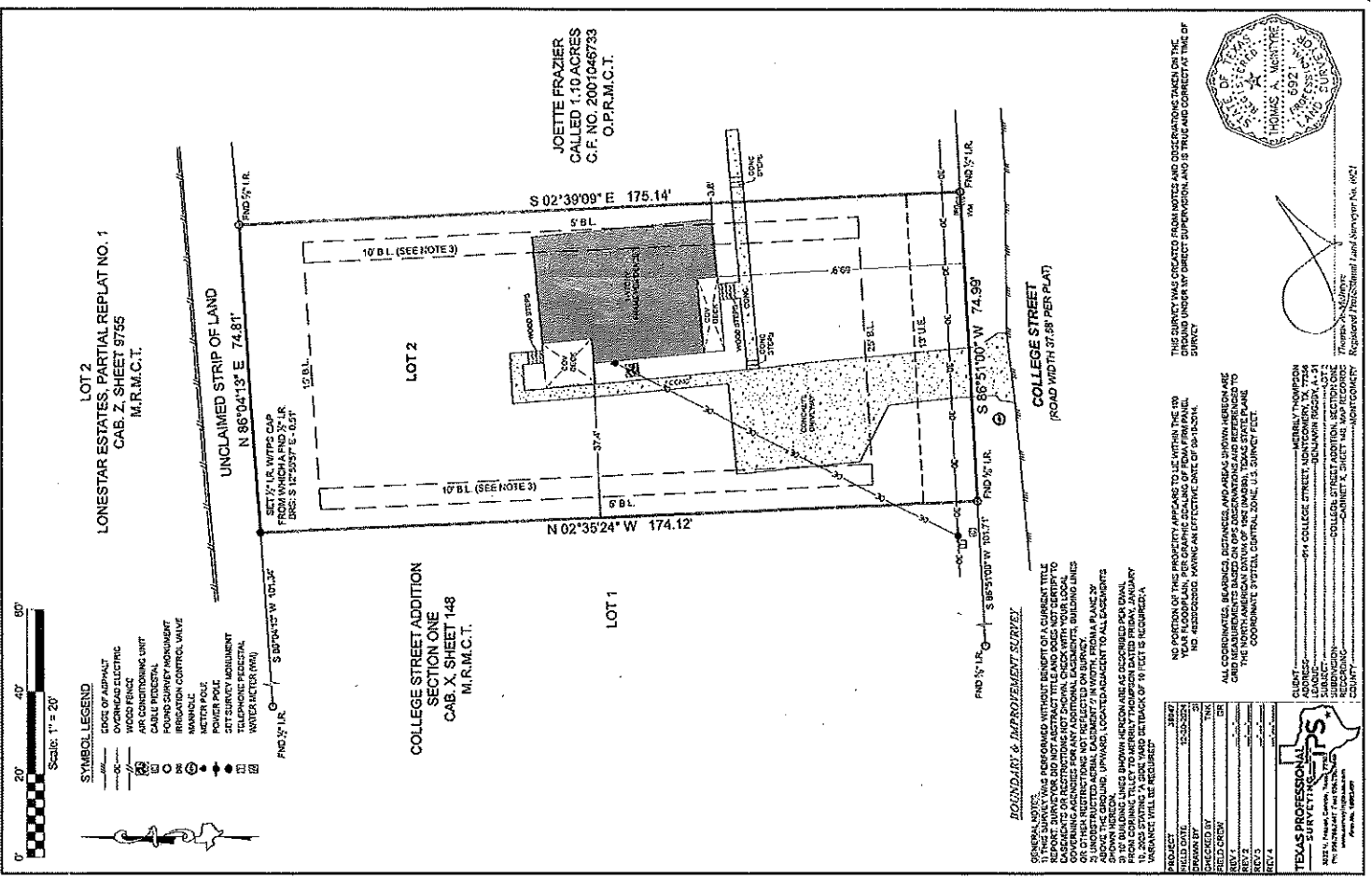
Listing Tax Photos 360 History Parcel Map Flood Map Foreclosure Property Archive Attachments

Flood Zone Code: X
 Flood Zone Date: 08/18/2014
 Flood Zone Panel: 48339C0200G
 Flood Code Description: Zone X-An Area That Is Determined To Be Outside The 100- And 500-Year Floodplains.

Special Flood Hazard Area (SFHA):
 Within 250 Feet of Multiple Flood Zone:
 Flood Community Name:
 Out: Yes (X500,X)
 MONTGOMERY

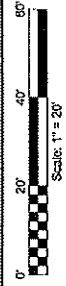


914 COLLEGE STREET EXISTING IMPROVEMENTS



SYMBOL LEGEND

	EDGE OF ASPHALT
	OVERHEAD ELECTRIC
	WOOD FENCE
	CHAIN LINK FENCE
	CABLE REEL
	FOUND SURVEY MONUMENT
	IRRIGATION CONTROL VALVE
	MANHOLE
	METER POLE
	SET SURVEY MONUMENT
	TELEPHONE Ferial
	WATER METER (W.M.)

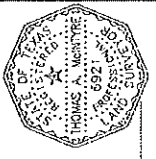


GENERAL NOTES:
 1) THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A CURRENT TITLE INSURANCE POLICY. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY ADDITIONAL ENCUMBRANCES, BUILDING LINES OR UNRECORDED EASEMENTS. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY UNRECORDED EASEMENTS, BUILDING LINES OR UNRECORDED EASEMENTS. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY UNRECORDED EASEMENTS, BUILDING LINES OR UNRECORDED EASEMENTS. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY UNRECORDED EASEMENTS, BUILDING LINES OR UNRECORDED EASEMENTS.

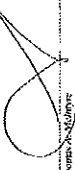
BOUNDARY & IMPROVEMENT SURVEY
 THIS SURVEY WAS PERFORMED FOR THE PURPOSE OF DETERMINING THE EXISTING IMPROVEMENTS AND THE BOUNDARIES OF THE PROPERTY. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY UNRECORDED EASEMENTS, BUILDING LINES OR UNRECORDED EASEMENTS. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY UNRECORDED EASEMENTS, BUILDING LINES OR UNRECORDED EASEMENTS. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY UNRECORDED EASEMENTS, BUILDING LINES OR UNRECORDED EASEMENTS.

PROJECT	914 COLLEGE STREET
SHEET NO.	148
DATE	02-28-2025
DRAWN BY	TH
CHECKED BY	TH
FIELD CREW	TH
REVISIONS	
REV 1	
REV 2	
REV 3	
REV 4	

TEXAS PROFESSIONAL SURVEYING & MAPPING, P.C.
 1700 West Loop South, Suite 1000
 Houston, Texas 77063
 Phone: (713) 865-1111
 Fax: (713) 865-1112
 www.tpsurvey.com



THIS SURVEY WAS PERFORMED FOR THE PURPOSE OF DETERMINING THE EXISTING IMPROVEMENTS AND THE BOUNDARIES OF THE PROPERTY. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY UNRECORDED EASEMENTS, BUILDING LINES OR UNRECORDED EASEMENTS. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY UNRECORDED EASEMENTS, BUILDING LINES OR UNRECORDED EASEMENTS. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE RECORDS OF THE PUBLIC RECORDS FOR ANY UNRECORDED EASEMENTS, BUILDING LINES OR UNRECORDED EASEMENTS.



THOMAS A. MCHENRY
 No. 692
 State of Texas
 Surveyor









EXISTING
ELEVATIONS

THOMPSON -
COLLEGE STREET

DATE:
1-15-2025

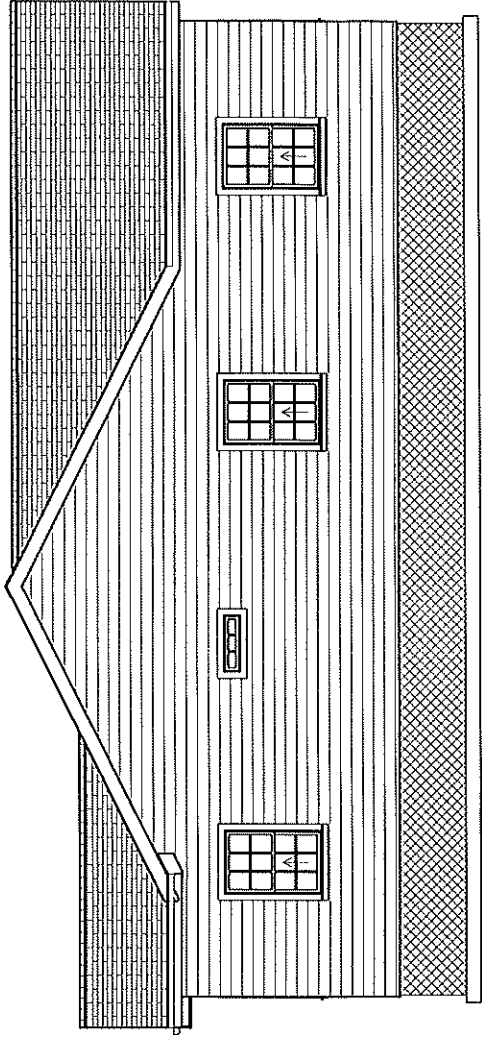
SCALE:
1/4"

SHEET:
G-1

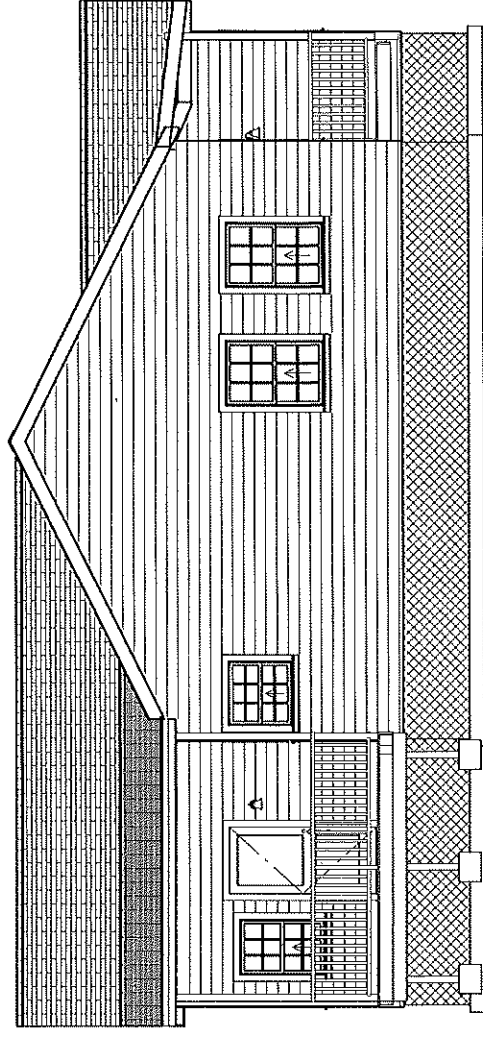
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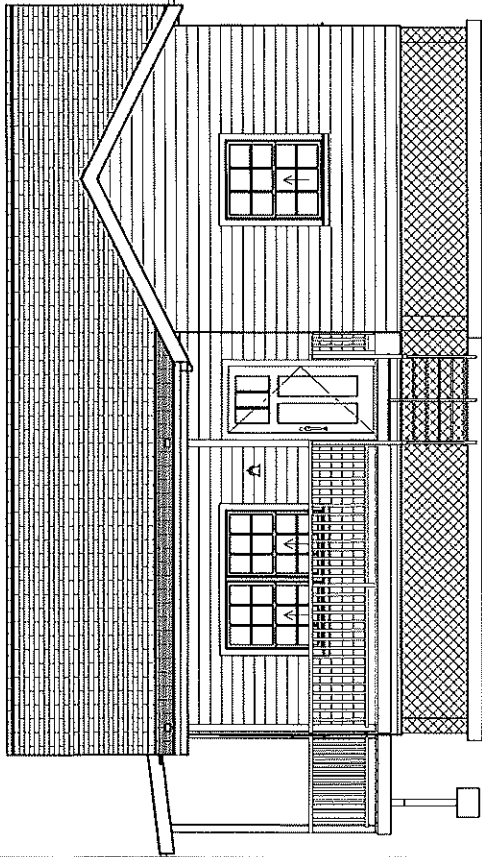
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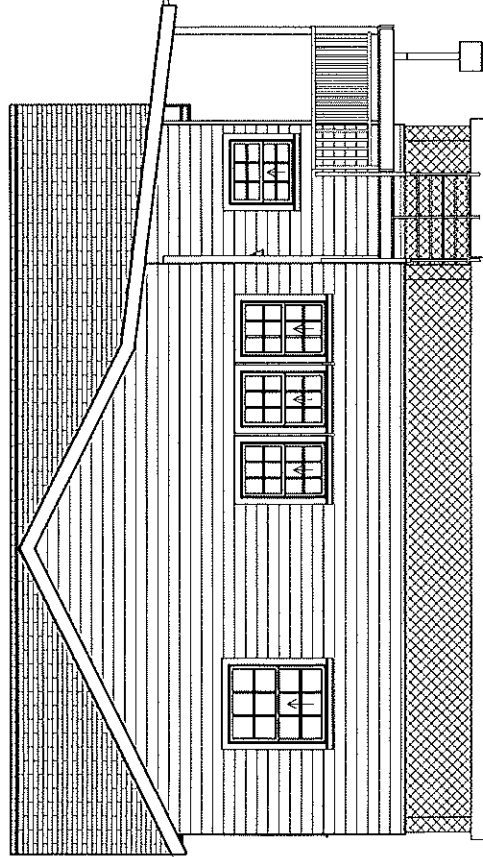
EXISTING RIGHT ELEVATION



EXISTING LEFT ELEVATION

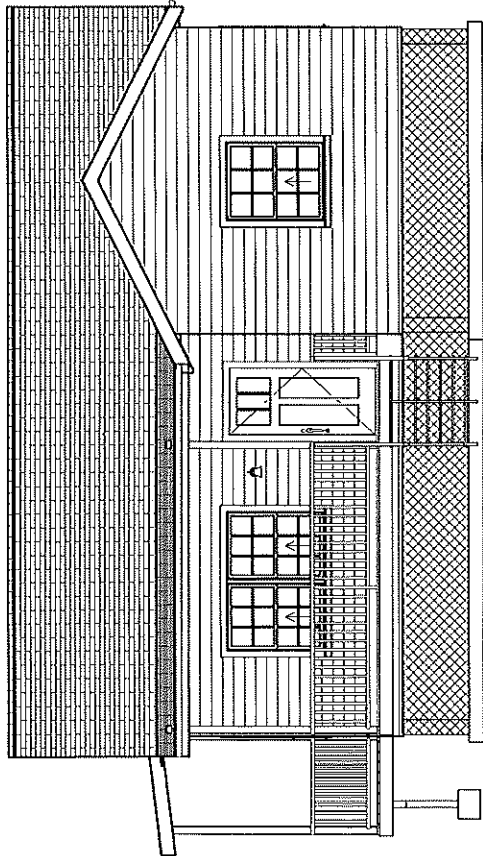


EXISTING FRONT ELEVATION

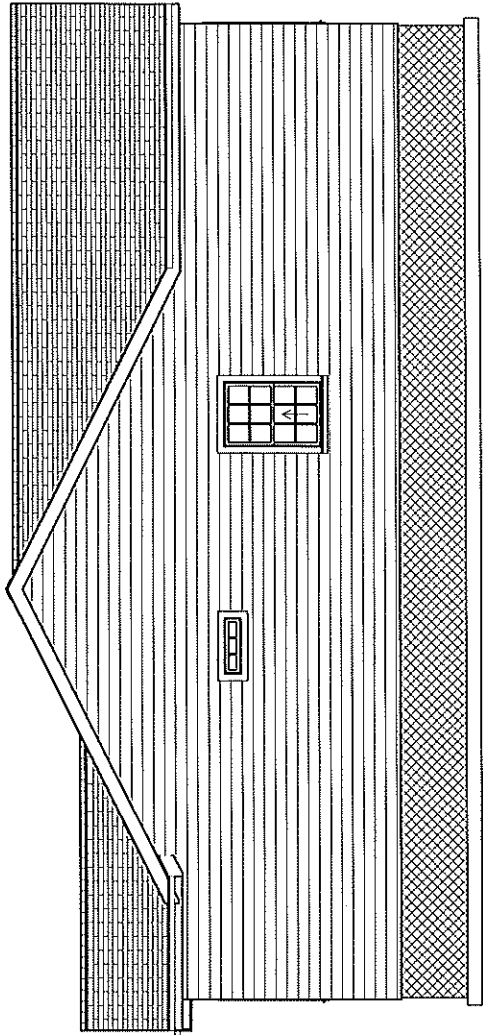


EXISTING REAR ELEVATION

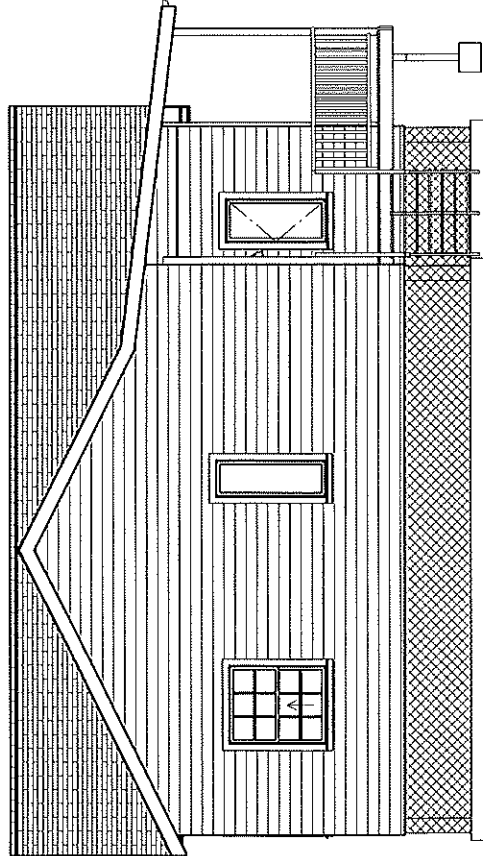
EXISTING HOUSE FOUNDATION IS
BLOCK AND BEAM ON DRIVEN
CONCRETE PIERS. STAIRCASES ARE
NOT SHOWN IN SIDE ELEVATIONS TO
ENSURE DRAWING FITS ON PAGE.



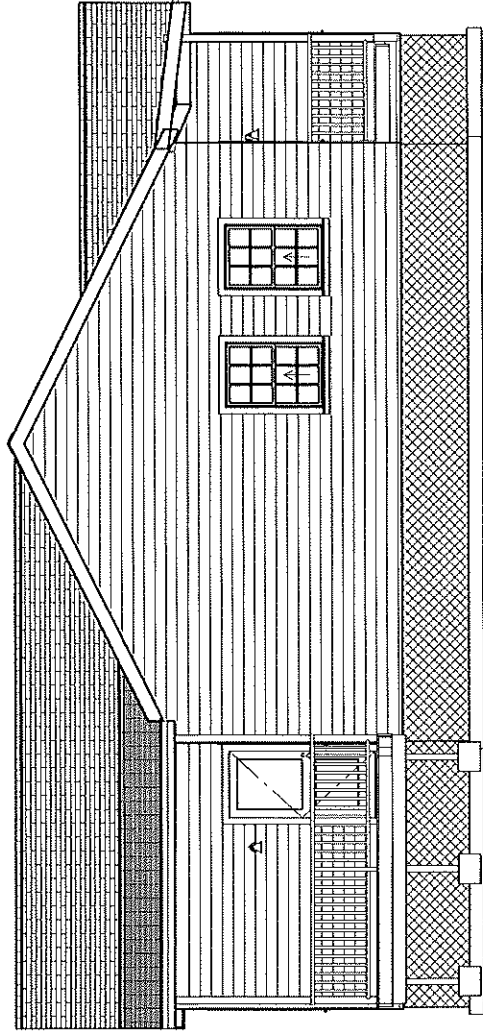
PROPOSED FRONT ELEVATION



PROPOSED RIGHT ELEVATION - REMOVE TWO WINDOWS



PROPOSED REAR ELEVATION - REMOVE/RECONFIGURE WINDOWS



PROPOSED LEFT ELEVATION - MOVE DOOR AND RECONFIGURE/REMOVE WINDOWS

EXISTING HOUSE FOUNDATION IS BLOCK AND BEAM ON DRIVEN CONCRETE PIERS. STAIRCASES ARE NOT SHOWN IN SIDE ELEVATIONS TO ENSURE DRAWING FITS ON PAGE.

HOMEOWNER PROPOSES RAISING HOUSE 1' ON ALL SIDES DURING REQUIRED LEVELING MAINTENANCE. ALL ELEVATION VIEWS REMAIN ESSENTIALLY THE SAME. STAIRWAYS, RAILINGS AND SKIRTING WILL BE EXTENDED TO ACCOMMODATE CHANGE IN HEIGHT, AND SITE WILL BE REGRADED TO ROUTE DRAINAGE AWAY FROM BENEATH STRUCTURE AND DEEPER INTO BACK YARD.

ALL LEVELING WORK TO BE PERFORMED BY A LICENSED AND INSURED LEVELING COMPANY, WHO WILL ALSO EXTEND WATER AND SEWER LINES DURING THE LIFT.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE: PROPOSED ELEVATIONS

PROJECT DESCRIPTION: THOMPSON - COLLEGE STREET

DATE: 1-15-2025

SCALE: 1/4"

SHEET: G-2

NO.	DESCRIPTION	BY	DATE

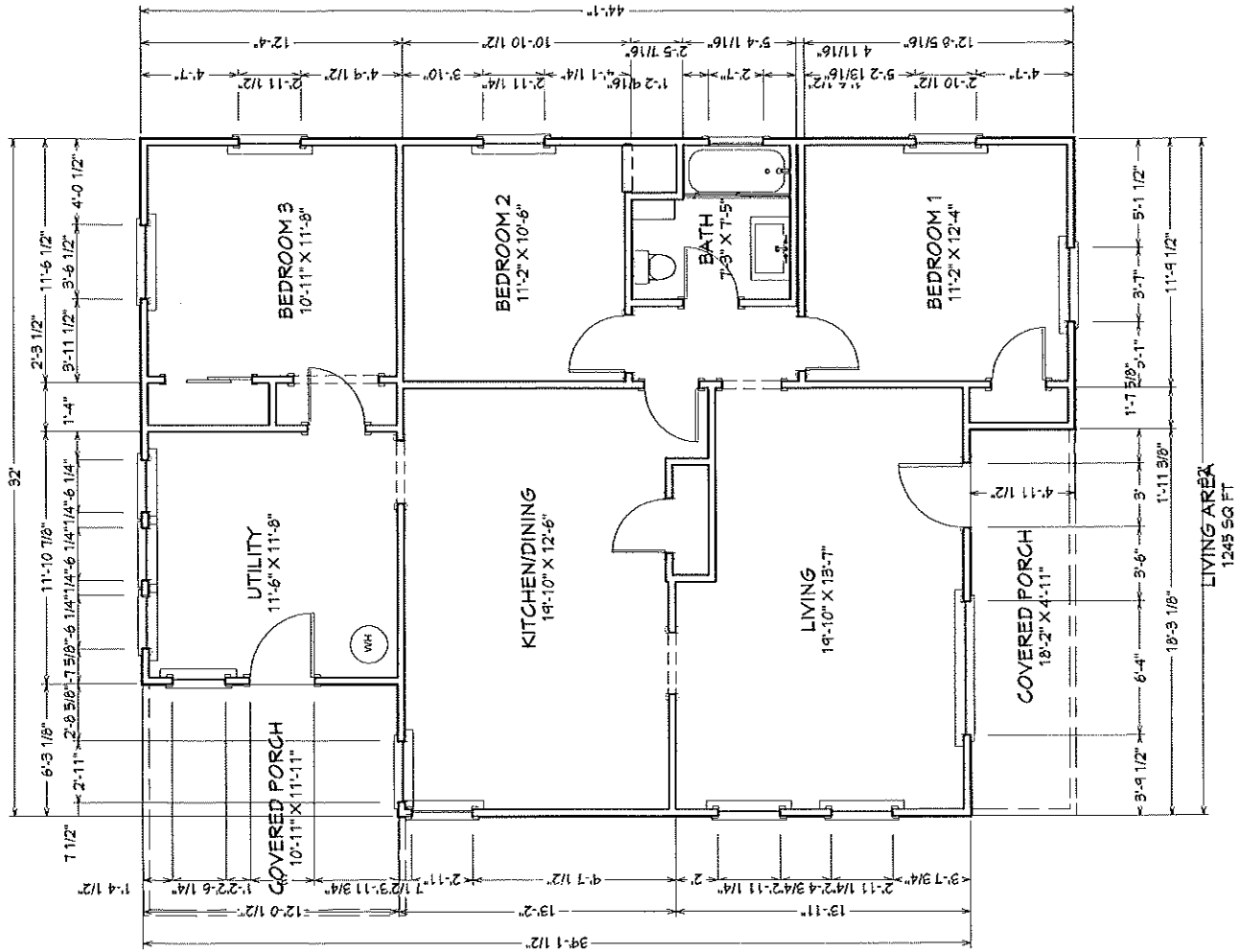
SHEET TITLE:
EXISTING INTERIOR PLAN

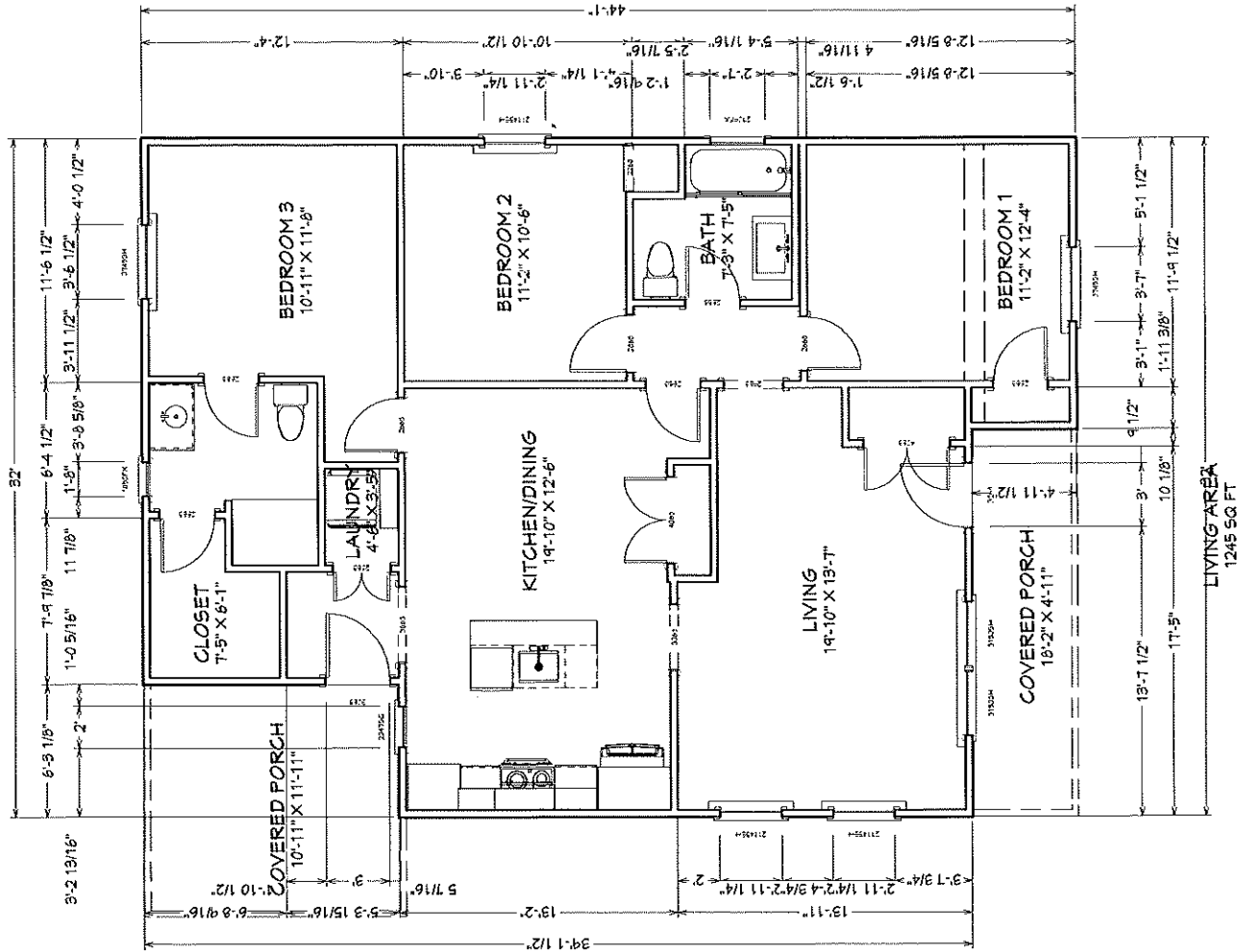
PROJECT DESCRIPTION:
THOMPSON - COLLEGE STREET

DATE:
1-15-2025

SCALE:
1/4"

SHEET:
A-1





- NOTES:**
1. ALL PLUMBING TO BE CONNECTED THROUGH THE FLOOR AND TIED TO EXISTING SUPPLY/DRAIN/VENT LINES BY A LICENSED PLUMBER
 2. PROPOSED CHANGES INCLUDE:
 - PERFORM LEVELING OF ENTIRE STRUCTURE, REMOVE/REPLACE ALL INTERIOR MATERIALS DOWN TO STUDS
 - REWORK UTILITY ROOM TO CREATE A LAUNDRY ROOM AND CLOSET/BATH FOR BEDROOM 3; MOVE DOOR TO BEDROOM 3 INTO KITCHEN AREA
 - WATER HEATER TO BE MOVED TO ATTIC SPACE
 - RECONFIGURE KITCHEN LAYOUT AND REMOVE/RECONFIGURE WINDOWS
 - REMOVE/REPLACE WINDOWS IN KITCHEN
 - REMOVE WINDOWS FROM BEDROOMS 1 & 3
 - CREATE ENTRY CLOSET AT MAIN ENTRANCE
 - RENEW ALL FINISH SURFACES; REFINISH WOOD FLOORS WHERE POSSIBLE
 - RE-ROUTE EXISTING HVAC OUTDOOR UNIT AND INDOOR AIR HANDLER
 3. ALL WORK TO BE COMPLETED BY LICENSED TRADES IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS AS REQUIRED BY CITY OF MONTGOMERY, TX

NO.	DESCRIPTION	BY	DATE

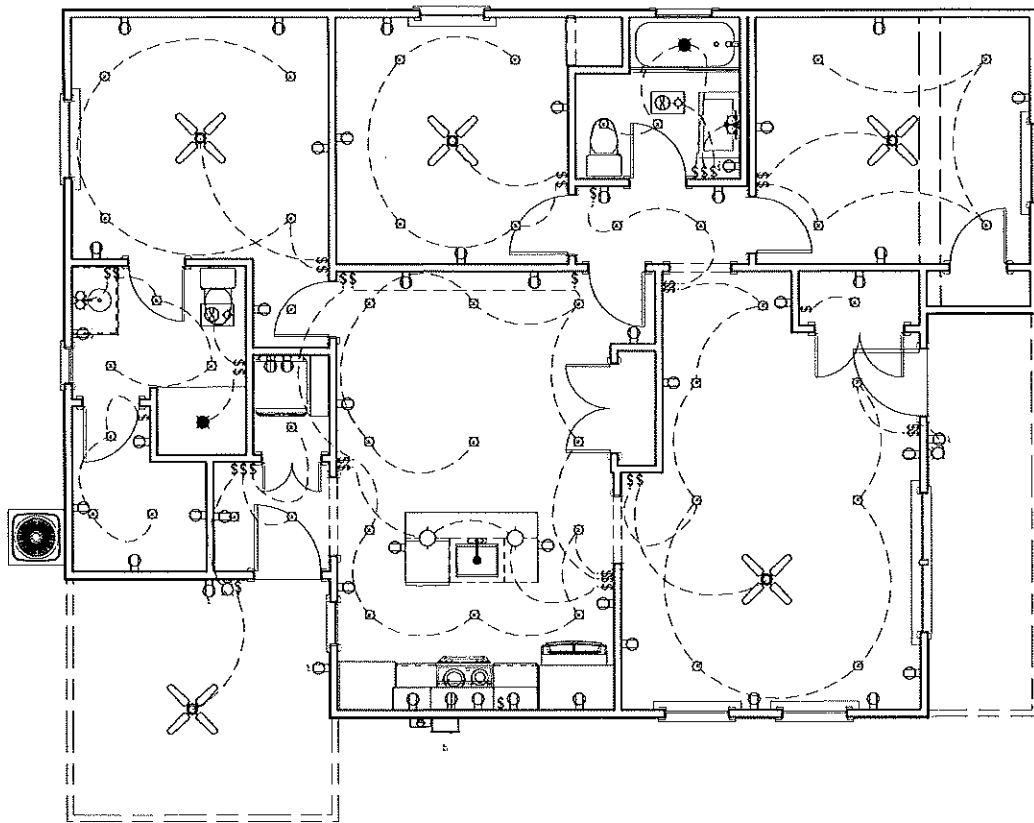
PROPOSED ELECTRICAL PLAN
SHEET TITLE:

THOMPSON - COLLEGE STREET
PROJECT DESCRIPTION:

DATE:
1-15-2025

SCALE:
1/4"

SHEET:
E-1



1st Floor

NO.	DESCRIPTION	BY	DATE

OVERVIEW

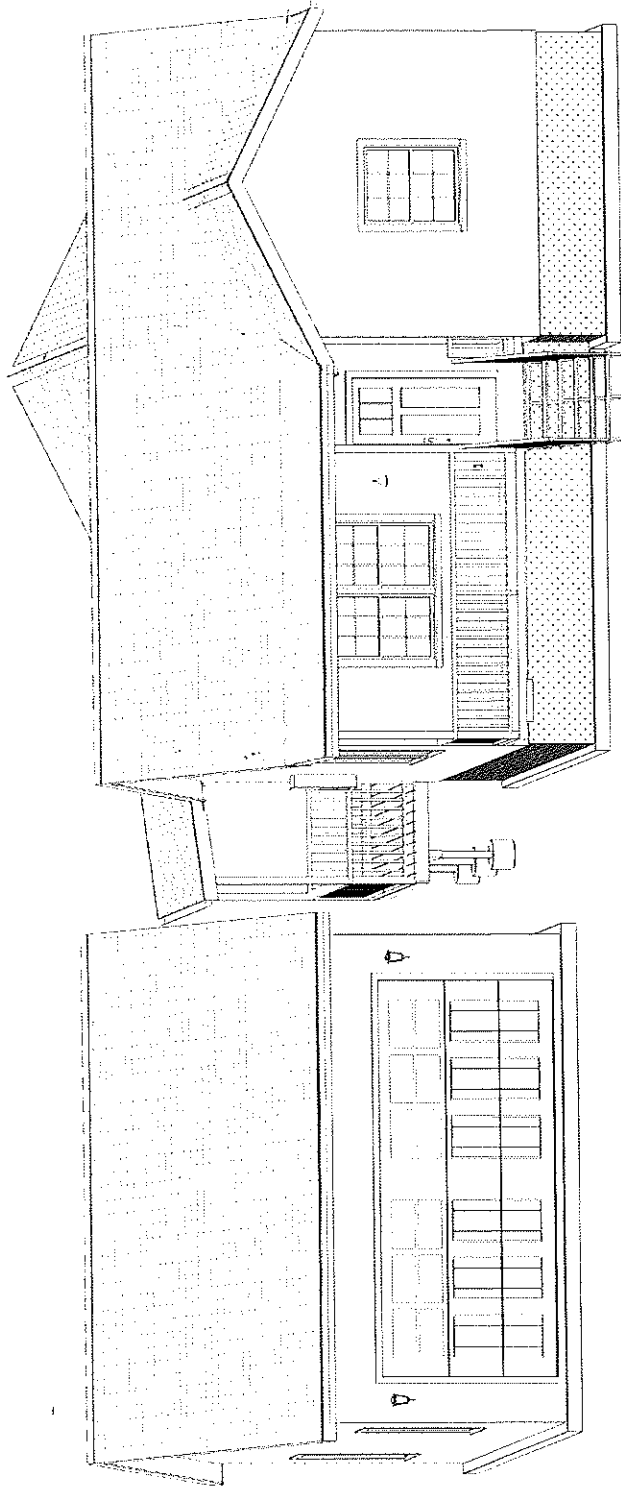
SHEET TITLE:

PROJECT DESCRIPTION:
THOMPSON -
COLLEGE STREET

DATE:
1-15-2025

SCALE:
1/4"

SHEET:
G-0



PROJECT DESCRIPTION:

- 1) REFIT OF MAIN RESIDENCE:
 - RE-LEVEL HOUSE FOUNDATIONS
 - ADDITION OF A NEW BATHROOM AND LAUNDRY ROOM, RECONFIGURE OF KITCHEN LAYOUT
 - INTERIOR WORK INVOLVES REMOVAL AND REPLACEMENT OF ALL WALL COVERINGS AND INSULATION, FLOORING FINISHES, ETC.
 - PROJECT ALSO INCLUDES FULL ELECTRICAL UPGRADE, REPOSITIONING OF HVAC SYSTEM AND WATER HEATER, RELOCATION OF SELECT PLUMBING FIXTURES
- 2) ADD TWO-CAR GARAGE:
 - PROPOSED NEW CONSTRUCTION OF 22x30 2-CAR GARAGE ON SLAB
 - ELECTRICAL SERVICE FOR GARAGE TO BE PROVIDED VIA BURIED CABLE FROM MAIN BREAKER PANEL AT HOUSE. NO WATER/SEWER ARE PLANNED FOR GARAGE PROJECT
 - FINAL LOCATION AND BOUNDARIES OF DRIVEWAY TBD PENDING SCHEDULED REPAIRS BY CITY OF MONTGOMERY TO RESOLVE DRAINAGE ISSUES
 - GARAGE WILL REQUIRE VARIANCE FOR BUILDING LINE

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
PROPOSED GARAGE ELEVATION

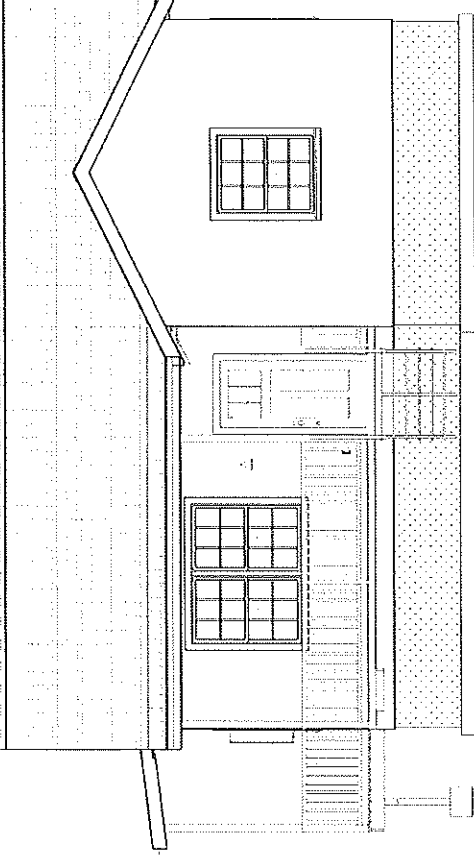
PROJECT DESCRIPTION:
THOMPSON - COLLEGE STREET

DRAWINGS PROVIDED BY:

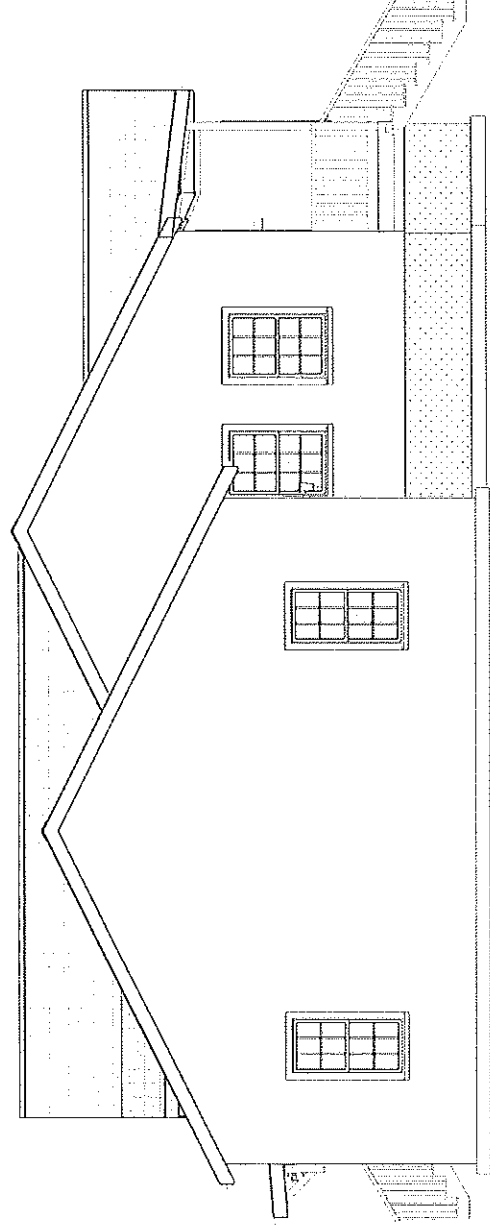
DATE:
 1-19-2025

SCALE:
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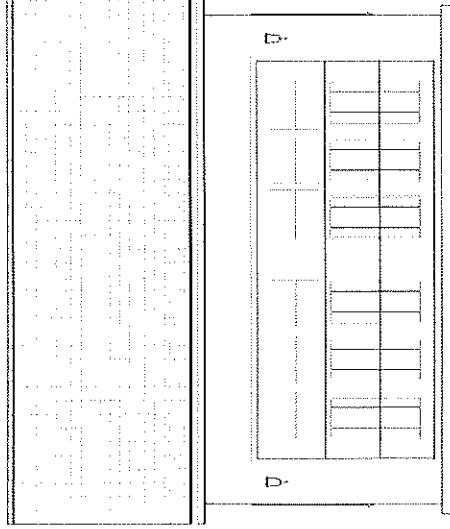
SHEET:
G-3



PROPOSED GARAGE ELEVATION - FRONT



PROPOSED GARAGE ELEVATION - LEFT SIDE



NO.	DESCRIPTION	BY	DATE

PROPOSED
GARAGE ELEVATION

SHEET TITLE:

THOMPSON -
COLLEGE STREET

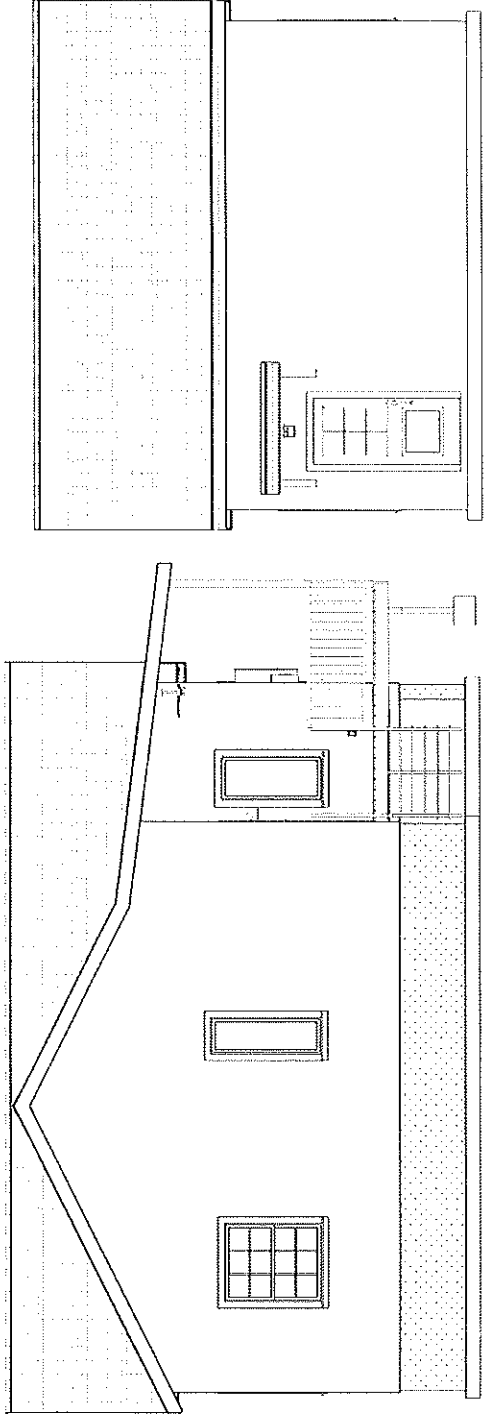
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DRAWINGS PROVIDED BY:

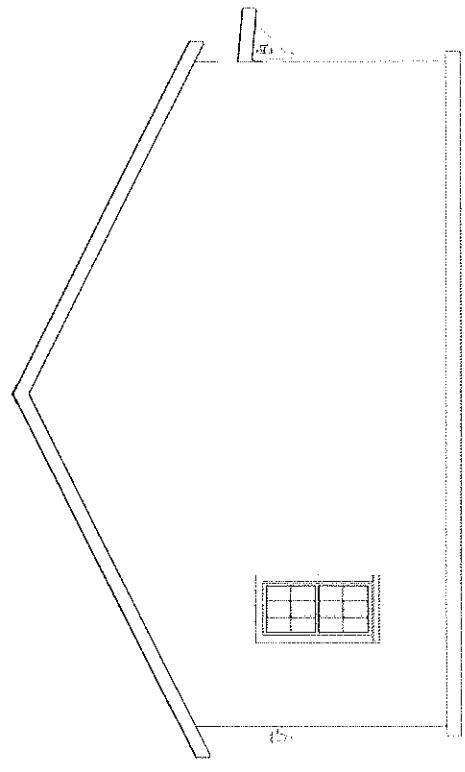
DATE:
1-19-2025

SCALE:
1/4"

SHEET:
G-4



PROPOSED GARAGE ELEVATION - REAR



PROPOSED GARAGE ELEVATION - RIGHT SIDE FACING HOUSE