

CITY OF MINNETRISTA



CITY COUNCIL CONSENT AGENDA ITEM

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**Subject:** Application from Connor and Cara Swanson for a streetside setback variance at 2565 Highland Road.

**Prepared By:** Nickolas Olson, Senior City Planner  
**David Abel:** Community Development Director

**Meeting Date:** February 2, 2026

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**Overview:** Connor and Cara Swanson (the “Applicants”) have made an application for a street side setback variance from 90 feet to 52.7 feet for an addition onto the existing home at 2565 Highland Road; A: Agriculture Zoning District; PID # 20-117-24-12-0005 (the “Property”).

**Background:** The Applicants recently purchased the Property in September of 2025. The Property contains an old 1900’s farmhouse that was recently remodeled in 2021. The remodel did not create a functional living room that the Applicants desire. The Applicants have explored all options to meet their needs, but unfortunately the only way to accomplish this is through an addition. Since the location of the existing home does not conform to current setback regulations, a variance to the streetside setback is required. As such, the Applicants have applied for a variance from the street side setback. It is the task of the City Council to consider the standard variance criteria, which are outlined below and make a motion.

**Variance Request:** City Code Section 505.05 Subd. 9 allows the City to issue variances from the provisions of the zoning code. A variance is a modification or variation of the provisions of the zoning code as applied to a specific piece of property. A variance is only permitted when:

- a. **The variance is in harmony with the general purposes and intent of this ordinance.**

Section 505.03 Subd. 1 outlines the specific purpose and intent of the City’s zoning ordinance and Sections 505.25 Subd. 2 outlines certain lot standards, including setbacks, for lots in the Agriculture Zoning District.

The Applicants are proposing an addition off the east side of the home that doesn’t encroach any closer to Highland Road than the current structure and thus maintains the reasonable standards established by the existing structure, which is consistent with the purpose and intent of the City’s zoning ordinance.

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

**b. The variance is consistent with the comprehensive plan.**

The basic intent of the comprehensive planning process is to provide a well-founded and coordinated decision-making framework to guide both public and private development and community improvements. In this regard, the comprehensive plan represents the development framework to guide and direct future land development decisions within the City. The Land Use Plan is a narrative and graphic representation of the community's land use and growth management goals and policies that provides the background and rationale for land use designations as represented on the Proposed Land Use Map.

The Property is guided for long term Rural Land Use per the Minnetrista 2040 Comprehensive Plan. Rural Land Use includes large lot single family residential. The Applicant's proposed addition is consistent with the long-term vision for the Property. Aside from simply complying with the Land Use Map, the proposed addition does not encroach closer to the lake or roadway, which will help preserve the rural character of the property and prevent further cluttering of the shoreline.

A variance may be granted when the applicant establishes there are practical difficulties in complying with this ordinance. Practical difficulties, as used in connection with granting a variance, means:

**1. The property owner proposes to use the property in a reasonable manner not permitted by this ordinance.**

This factor means that the landowner would like to use the property in a particular reasonable way, but cannot do so under the rules of the ordinance. It does not mean that the land cannot be put to any reasonable use whatsoever without the variance.

The Applicants are proposing an addition to the existing home to create a functional living room not currently found in the existing 1900s farmhouse structure. The use of the addition is reasonable and because the addition does not encroach closer to the street or lakeshore, it is being done so in a reasonable manner.

**2. The plight of the landowner is due to circumstances unique to the property not created by the landowner.**

The uniqueness generally relates to the physical characteristics of the particular piece of property, that is, to the land and not personal characteristics or preferences of the landowner. When considering the variance for a building to encroach or intrude into a setback, the focus of this factor is whether there is anything physically unique about the particular piece of property.

The existing home does not comply with the current street side setback requirement of 90 feet. Given that the Applicants did not build the home in its current location, they could not have created the existing non-conforming situation they are placed in.

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**3. The variance would not alter the essential character of the locality.**

Under this factor, consider whether the resulting structure will be out of scale, out of place, or otherwise inconsistent with the surrounding area.

The proposed addition is appropriately sized relative to the existing structure and neighborhood, so the resulting home with the proposed addition won't be out of place or out of scale with the surrounding area.

**Neighborhood Comments:** Notices were sent out to all property owners within 500 feet of the subject property. To date, staff did not receive any written comments or concerns regarding this request as a result of sending the public notice.

**Planning Commission Recommendation:** The Applicants' request was presented to the Planning Commission at their January 26, 2026 meeting. At that meeting, the Planning Commission held the required public hearing. No one besides the Applicants were present to speak. After hearing no testimony at the public hearing and then discussing amongst themselves, the Planning Commission made a motion to recommend the City Council approve the requested streetside setback variance, based on certain findings of fact and subject to conditions. Motion passed 6-0. Absent: Young.

**Conclusion:** The City Council should review the staff report and the recommendation of the Planning Commission. After review, the City Council should consider the entire record before it prior to making a motion. Along with making a motion, findings of fact should be made which support the motion. Findings of fact based on the information submitted by the Applicants may be as follows:

1. The requested variance is in harmony with the purpose and intent of the City's zoning ordinances because the proposed addition doesn't encroach any closer to Highland Road than the current structure, which upholds the reasonable standards of the existing structure and maintains the benefit for all neighboring property owners;
2. The requested variance is consistent with the City's comprehensive plan because it not only complies with the Rural designation in the Future Land Use Map of the 2040 Comprehensive Plan, but it also helps preserve the rural character of the property and prevent further cluttering of the shoreline;
3. The Applicants propose to use the Property in a reasonable manner because the proposed addition creates a functional living room not currently found in the existing 1900s farmhouse structure, which is a reasonable use of residential property;
4. The requested variance is the result of a unique circumstance not created by the landowner because the existing home was built in the 1900's, prior to the adoption of the current setback requirements and well before the Applicants owned the Property; and
5. The requested variance will not alter the character of the locality because the proposed addition is appropriately sized relative to the existing structure and neighborhood, so the resulting home with the proposed addition won't be out of place or out of scale with the surrounding area.

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**Recommended Action:** Motion to adopt a resolution approving the requested street side setback variance at 2565 Highland Road based on certain findings of fact outlined in the staff report and subject to the following conditions:

1. The construction shall be consistent with the plan and survey documents submitted with this variance application;
2. Any required grading shall maintain existing drainage patterns or improve the existing drainage of the lot and adjacent lots;
3. The Applicants obtain all necessary permits and approvals from the City and other applicable entities with jurisdiction over the Property prior to any construction;
4. The Applicants are responsible for all fees incurred by the City in review of this application; and
5. The variance approval is valid for one year from the date of approval and will become void and expire unless a building permit has been issued for the site.

**Attachments:**

1. Location Map
2. Applicant Narrative
3. Proposed Survey
4. Proposed Plans
5. Res. No. 16-26 Approve Streetside Setback at 2565 Highland Road




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# 2565 Highland Road



1 in = 200 Ft

-  City Boundary
-  Address Labels
-  Parcels



N  
January 27, 2026  
Map Powered By Datafi



## **Section 2: Required Variance Narrative (Items a–i)**

### **a. List of All Property Owners**

The sole property owner is Connor Swanson, 2565 Highland Road, Maple Plain, MN 55359.

### **b. Site Data**

- Legal Description: As recorded above.
- Parcel Identification Number (PID): 20-117-24-12-0005
- Parcel Size: 13.2 acres
- Existing Use: Single-family residential home
- Zoning: R-1 Single Family Residential (Shoreland Overlay)
- Required Front/Lakeshore Setback: 90 feet
- Existing Home Setback: ~50 feet
- Proposed Addition Setback: ~50 feet (no increased encroachment)

### **c. Code Provisions Requiring Variance**

A variance is requested from the 90-foot lakeshore/front setback requirement established under Minnetrista City Code (Shoreland Overlay District setback standards).

### **d. Description of Proposal and Variation from Code**

The applicant proposes a 16' × 22' living room addition with a future deck extending from the existing home. The existing home sits approximately 50 feet from the property line where the Minnetrista City Code requires a 90-foot setback. The proposed addition maintains the same setback as the existing structure and does not increase the degree of nonconformity. The addition is necessary to create functional living space replacing an undersized existing living room.

### **e. Summary of Pre-Application Discussions**

Applicant discussed requirements with city staff regarding setback rules, survey needs, and the variance process. Staff indicated a variance and full packet were required due to shoreland setback standards.

### **f. Harmony with City Code & Comprehensive Plan**

The variance is consistent with the intent of Minnetrista City Code because it allows for a reasonable improvement to an existing home without increasing setback encroachment. The addition preserves neighborhood character, environmental protections, and visual integrity.

The Minnetrista Comprehensive Plan encourages maintenance and improvement of residential properties, reinvestment in existing structures, and preservation of community character — all of which

## **Section 3: Survey Requirements Checklist**

Minnetrissa requires a certified survey including the following:

- Existing and proposed structures with dimensions
- Setbacks (front/lakeshore, rear, and sides)
- Parcel boundaries and easements
- Topography at 2-foot intervals
- Trees  $\geq$  4 inches in diameter
- Drainage patterns and flow arrows
- Driveway location and grades
- Existing septic system and wells (if applicable)
- All adjacent structures within 100 feet
- Building elevations and foundation heights

Applicant will provide a certified updated survey for the proposed addition.

the proposal supports.

## **g. Practical Difficulties**

### **(i) Reasonable use not permitted without variance:**

The existing living room is undersized for modern residential needs. A modest addition is a reasonable improvement that cannot occur outside the setback due to property constraints.

### **(ii) Circumstances unique to the property:**

- Home constructed prior to modern shoreland setback standards.
- Lot topography and environmental features restrict alternate building areas.
- The home already sits at 50 feet from the property line; pushing the addition farther back is not feasible.

### **(iii) Does not alter essential character of the locality:**

- Addition stays within existing building line.
- Screened by mature trees.
- Compatible with surrounding residential development.

## **h. Not Based on Economic Gain**

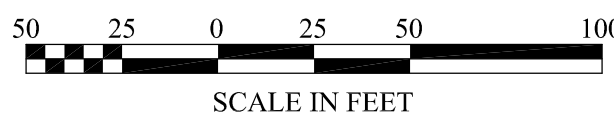
The request is not motivated by economic benefit. The sole purpose is to achieve functional living space for normal residential use.

## **i. No Adverse Effects on Health, Safety, or Welfare**

The proposal will not negatively impact adjacent properties, public safety, or neighborhood character. • No increase in traffic or congestion.

- No obstruction of light or air.
- No impact to public infrastructure.
- Does not reduce nearby property values.
- Environmental impacts remain unchanged since the footprint does not extend closer to the shore.

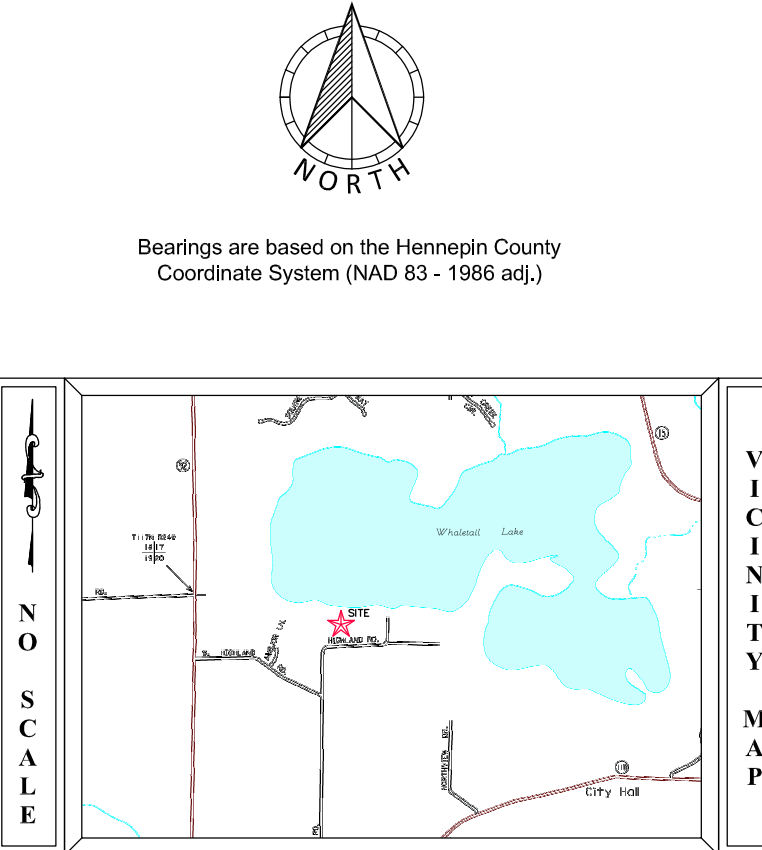
**SURVEY LEGEND**



**WHALETAIL LAKE**

ORDINARY HIGH WATER LEVEL = 948.6 (NGVD29)  
EDGE OF WATER LOCATED NOVEMBER 5TH 2025

- CAST IRON MONUMENT
- IRON PIPE MONUMENT SET
- IRON PIPE MONUMENT FOUND
- ⊗ DRILL HOLE FOUND
- ⊗ CHISELED "X" MONUMENT SET
- ⊗ CHISELED "X" MONUMENT FOUND
- ⊗ REBAR MONUMENT FOUND
- ⊗ PK NAIL MONUMENT SET
- ⊗ PK NAIL MONUMENT FOUND
- ⊗ PK NAIL W/ ALUMINUM DISC
- △ SURVEY CONTROL POINT
- △ A/C UNIT
- CABLE TV PEDESTAL
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC OUTLET
- YARD LIGHT
- LIGHT POLE
- FIBER OPTIC MANHOLE
- FIRE DEPT. HOOK UP
- FLAG POLE
- FUEL PUMP
- FUEL TANK
- PROPANE TANK
- GAS METER
- GAS VALVE
- GAS MANHOLE
- GENERATOR
- GUARD POST
- HAND HOLE
- MAIL BOX
- PIEZOMETER
- POWER POLE
- GUY WIRE
- ROOF DRAIN
- LIFT STATION
- SANITARY MANHOLE
- SANITARY CLEANOUT
- STORM MANHOLE
- STORM DRAIN
- CATCH BASIN
- FLARED END SECTION
- TREE CONIFEROUS
- TREE DECIDUOUS
- TREE CONIFEROUS REMOVED
- TREE DECIDUOUS REMOVED
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- UTILITY MANHOLE
- UTILITY PEDESTAL
- UTILITY VAULT
- WATERMAIN MANHOLE
- WATER METER
- WATER SPIGOT
- WELL
- MONITORING WELL
- CURB STOP
- GATE VALVE
- HYDRANT
- IRRIGATION VALVE
- POST INDICATOR VALVE
- SIGN
- SOIL BORING
- WOE WALKOUT ELEVATION
- FFE FIRST FLOOR ELEVATION
- OFE GARAGE FLOOR ELEVATION
- TOF TOP OF FOUNDATION ELEV.
- LOE LOWEST OPENING ELEV.
- CONCRETE
- BUILDING SETBACK LINE
- CABLE TV
- CONCRETE CURB
- CONTOUR EXISTING
- CONTOUR PROPOSED
- GUARD RAIL
- DRAIN TILE
- ELECTRIC UNDERGROUND
- FENCE
- FIBER OPTIC UNDERGROUND
- GAS UNDERGROUND
- OVERHEAD UTILITY
- TREE LINE
- SANITARY SEWER
- STORM SEWER
- TELEPHONE UNDERGROUND
- RETAINING WALL
- UTILITY UNDERGROUND
- WATERMAIN
- TRAFFIC SIGNAL
- RAILROAD TRACKS
- RAILROAD SIGNAL
- RAILROAD SWITCH
- SATELLITE DISH
- WETLAND BUFFER SIGN



**DESCRIPTION OF PROPERTY SURVEYED**

Government Lot 2, Section 20, Township 117, Range 24, Hennepin County, Minnesota, EXCEPT the following tracts:

The south seven acres thereof;

AND

The south 726 feet of the west 150 feet of that part of Government Lot 2, Section 20, Township 117, Range 24, Hennepin County, Minnesota, lying north of the south seven acres thereof.

AND

That part of Government Lot 2, Section 20, Township 117, Range 24, Hennepin County, Minnesota, which lies east of a line drawn parallel with and 615 feet west of, measured at right angles to, the east line of said Government Lot 2 and its extensions, and which lies north of the south seven acres of said Government Lot 2.

Abstract Property

- STANDARD NOTES**
- Site Address:** 2565 Highland Road, Minnetrista, Minnesota 55359
  - A title opinion was not furnished to the surveyor as part of this survey. Only easements per the recorded plat are shown unless otherwise denoted hereon.
  - Flood Zone Information:** X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0290F, effective date of November 4th 2016.
  - Parcel Area Information:** Gross Area: 410,571 s.f. ~ 9.425 acres  
\*We do not affirmatively insure the quantity of acreage set forth in the description
  - Benchmark:** Elevations are based on MN/DOT Geodetic Station Name: 2704 B which has an elevation of: 947.39 feet (NAVD88).
  - Zoning Information:** The current Zoning for the subject property is A (Agriculture) and in the Shoreland District per the City of Minnetrista's zoning map dated 2022. The setback, height, and floor space area restrictions for said zoning designation are as follows:  
Principal Structure Setbacks - Street: 90 feet (Highland Road)  
Side: 15 feet  
Lake: 100 feet (From Ordinary High Water Line)  
Bluff: 30 feet  
Height: 35 feet  
Hardcover: 25 percent of lot area

\*Please note that the zoning information shown hereon may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process prior to any planning or construction.

- We have not received the current zoning classification and building setback requirements from the insurer.
- Utilities:** We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651-454-0002.
  - Wetland Delineation:** The wetland delineation was not performed on this property.

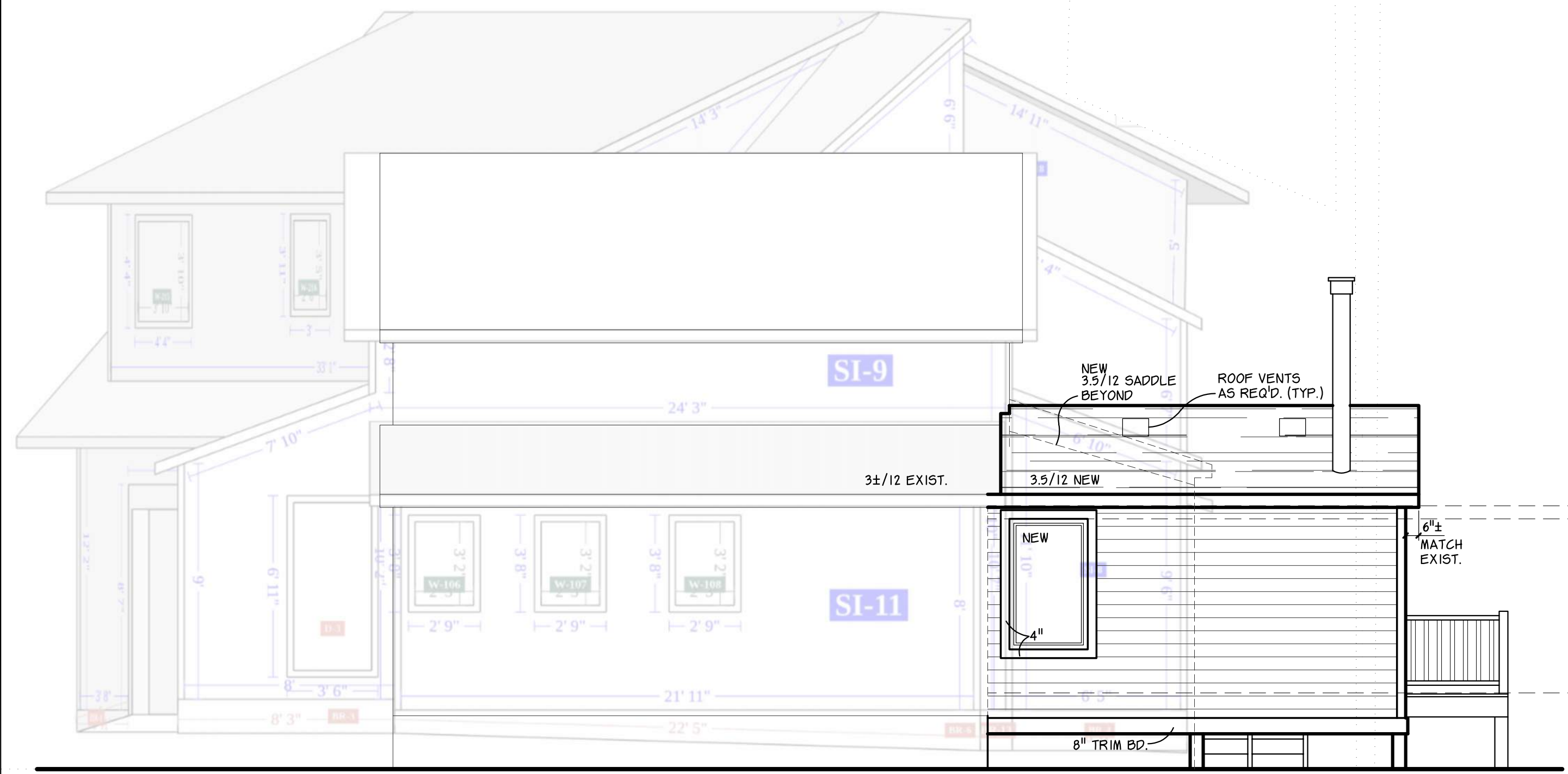
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 10th day of December, 2025.

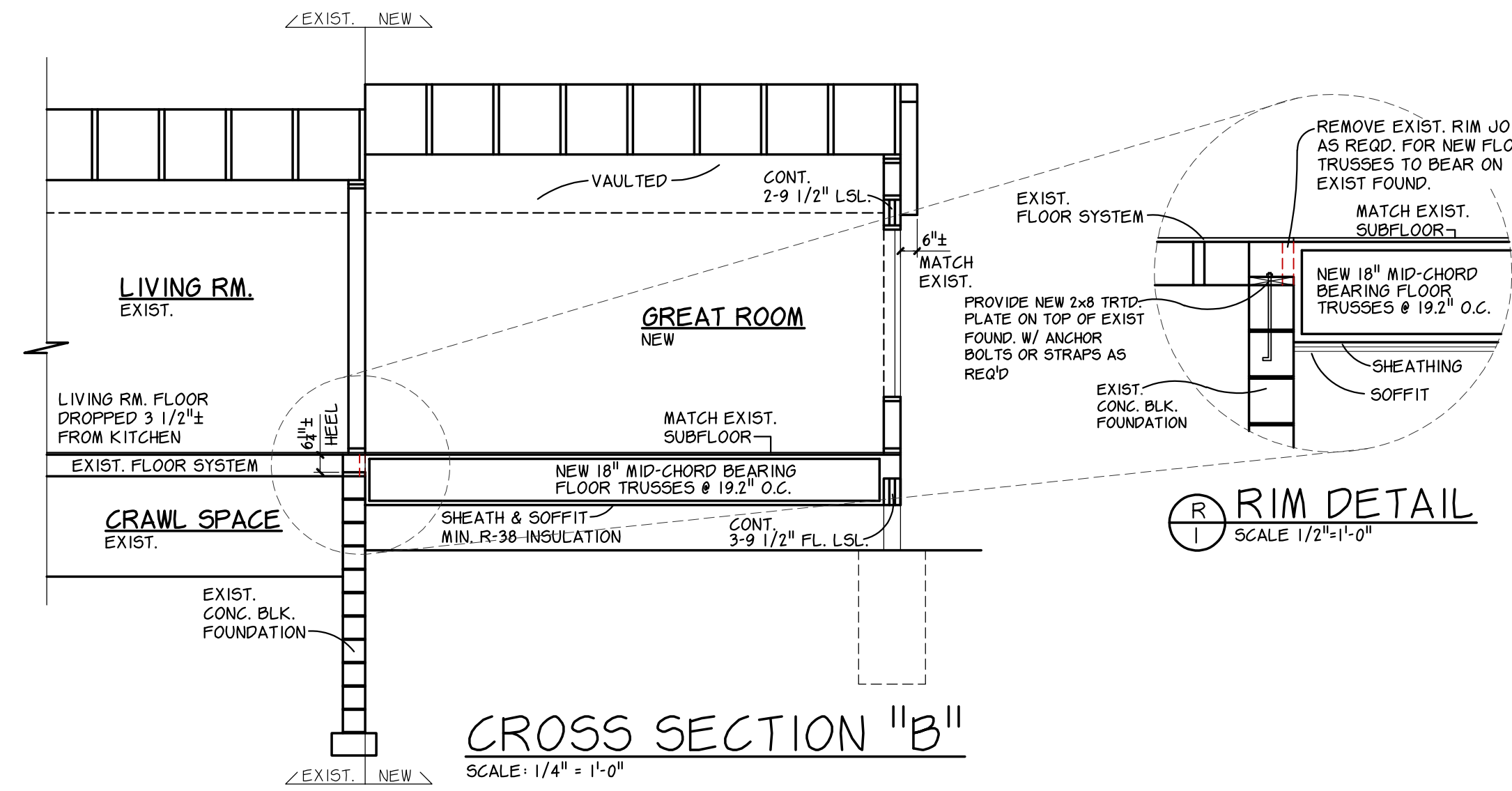
*Daniel L. Schmidt*  
Daniel L. Schmidt, PLS  
schmidt@sathre.com  
Minnesota License No. 26147



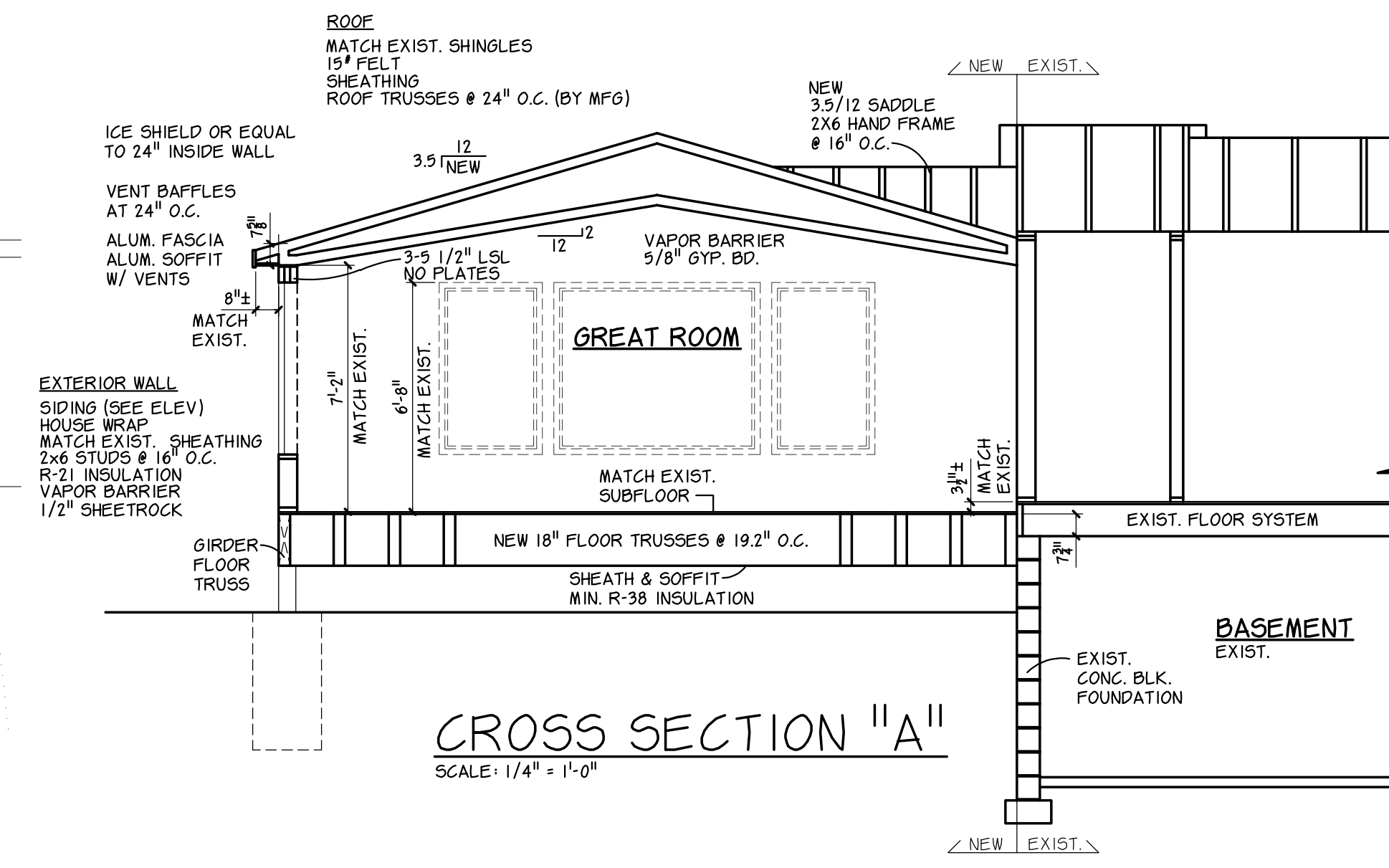
<b>FIELD CREW</b> DM DR SO	<b>NO.</b> 1	<b>BY</b> DLS	<b>DATE</b> 12/15/2025	<b>REVISION</b> REVISED SETBACKS	USE INCLUDING COPYING, DISTRIBUTION AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.	 <b>SATHRE BERGQUIST INC.</b> 14000 25TH AVENUE NORTH, SUITE 120 PLYMOUTH MN 55447 (952) 476-6000 WWW.SATHRE.COM	TWP:117-RGE.24-SEC.20 Hennepin County  <b>MINNETRISTA, MINNESOTA</b>	<b>CERTIFICATE OF SURVEY</b>  PREPARED FOR: <b>SWANSON HOMES</b>	FILE NO. 88035-118  <b>1</b>  <b>1</b>
<b>DRAWN</b> JPR									
<b>CHECKED</b> DLS									
<b>DATE</b> 10/31/25									



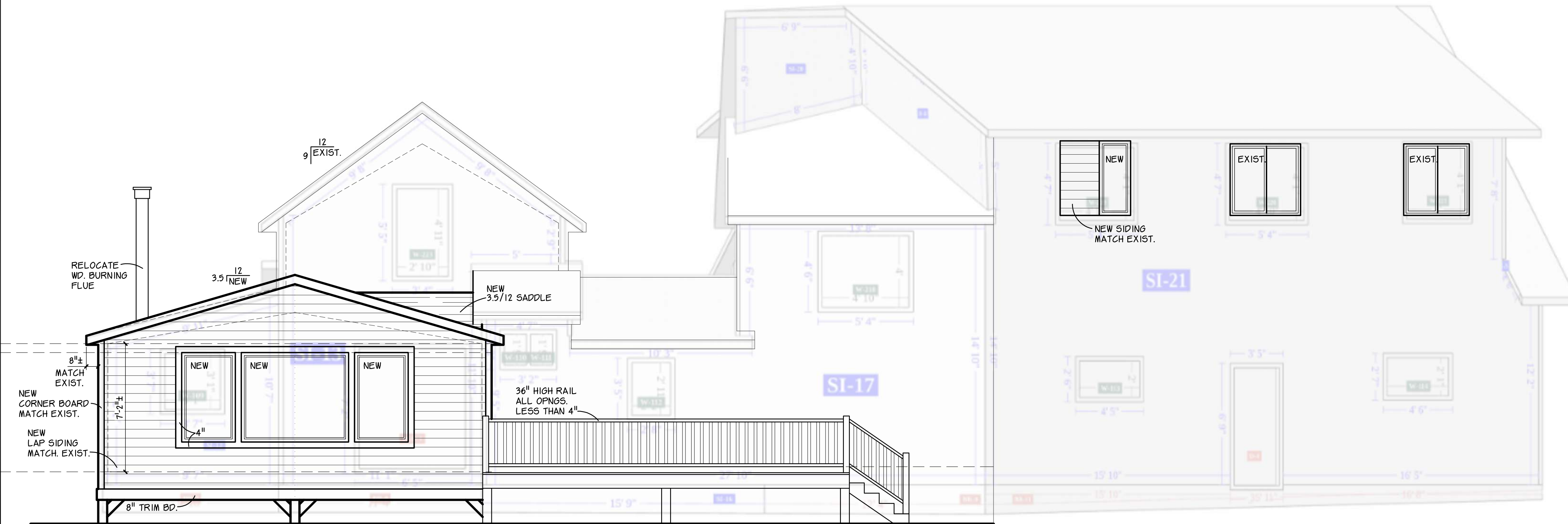
**RIGHT ELEVATION**  
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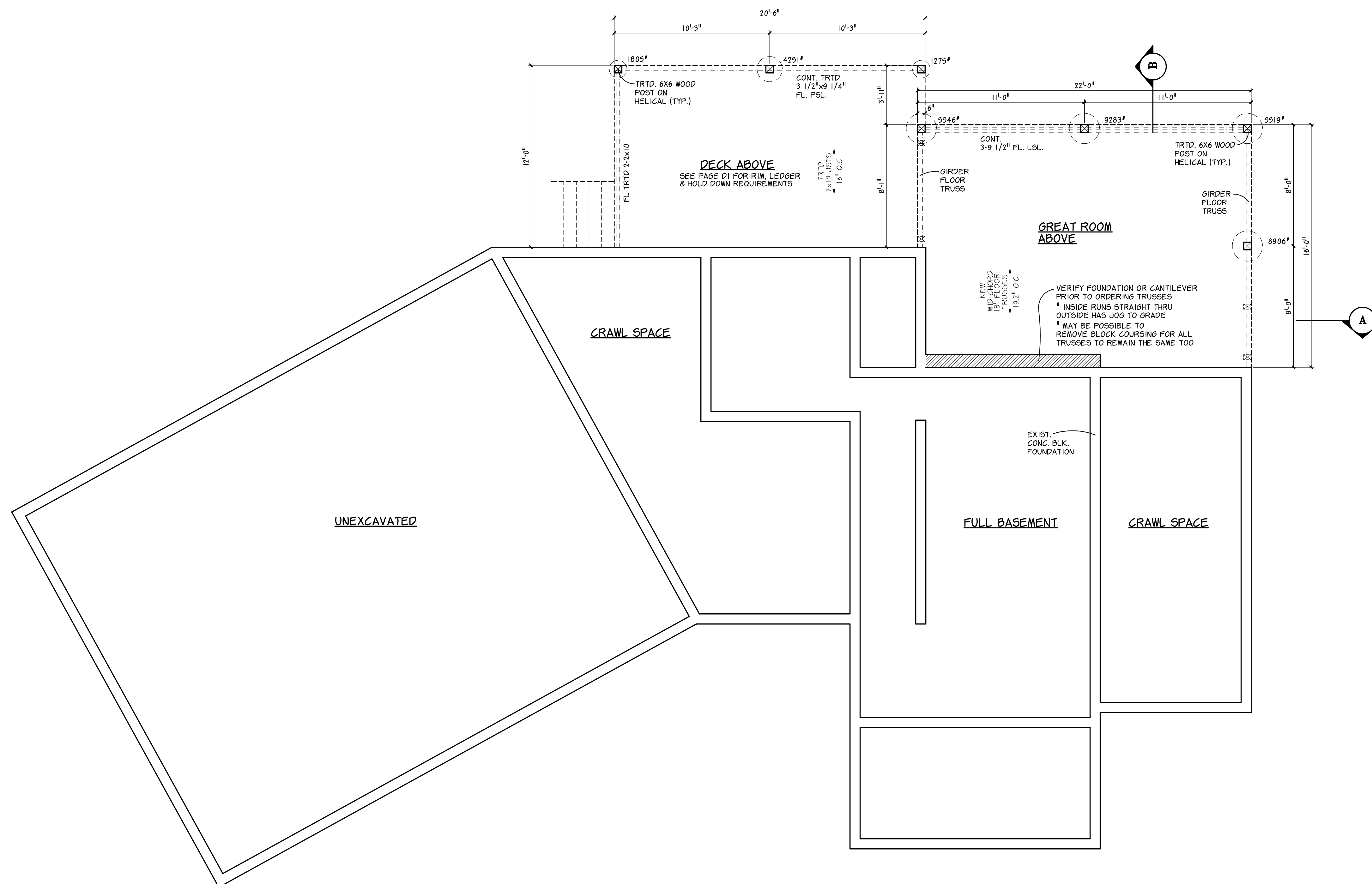
**CROSS SECTION "B"**  
SCALE: 1/4" = 1'-0"



**CROSS SECTION "A"**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**REMODELING NOTES FOUNDATION REUSE:**  
 FIELD VERIFICATION REQUIRED FOR BUT NOT LIMITED TO THE FOLLOWING DUE TO CONCEALED CONDITIONS PRIOR TO ORDERING TRUSSES:  
 1. ALL FOUNDATION PERIMETER DIMENSIONS  
 2. EXISTING FOOTING CONDITIONS  
 2.1. ASSUMED EXISTING 20"x8" CONC. FTG. AT ALL 12" CONCRETE BLOCK LOCATIONS & 16"x8" CONC. FTG. AT ALL 8" CONCRETE BLOCK LOCATIONS

NOTE AT TIME OF AS-BUILT SOME AREAS HAD EXTERIOR FOUNDATION INSULATION & BRICK VENEER ALSO EXISTING PLANTING MADE ACCESSING FOUNDATION DIFFICULT IN SOME LOCATIONS

ANY QUESTIONS CALL DFP PLANNING & DESIGN PRIOR TO PROCEEDING

**REMODELING NOTES:**  
 FIELD VERIFICATION REQUIRED FOR BUT NOT LIMITED TO THE FOLLOWING DUE TO CONCEALED CONDITIONS, ALL NEW & EXISTING WALL HEIGHTS, TRUSS HEEL HEIGHTS, OVERHANGS & PITCHES PRIOR TO ORDERING TRUSSES

ADDITIONALLY, ALL EXISTING FLOOR & ROOF BEARING CONDITIONS MUST ALSO BE FIELD VERIFIED WITH THIS PLAN, ANY QUESTIONS CALL DFP PLANNING & DESIGN PRIOR TO PROCEEDING

DATE:	10-1-25
REVISIONS:	10-16-25 KH
	10-21-25 KH
	10-24-25 KH
	10-31-25 KH
	11-4-25 KH

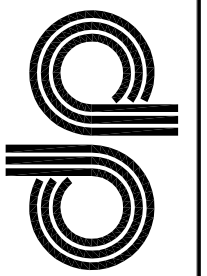
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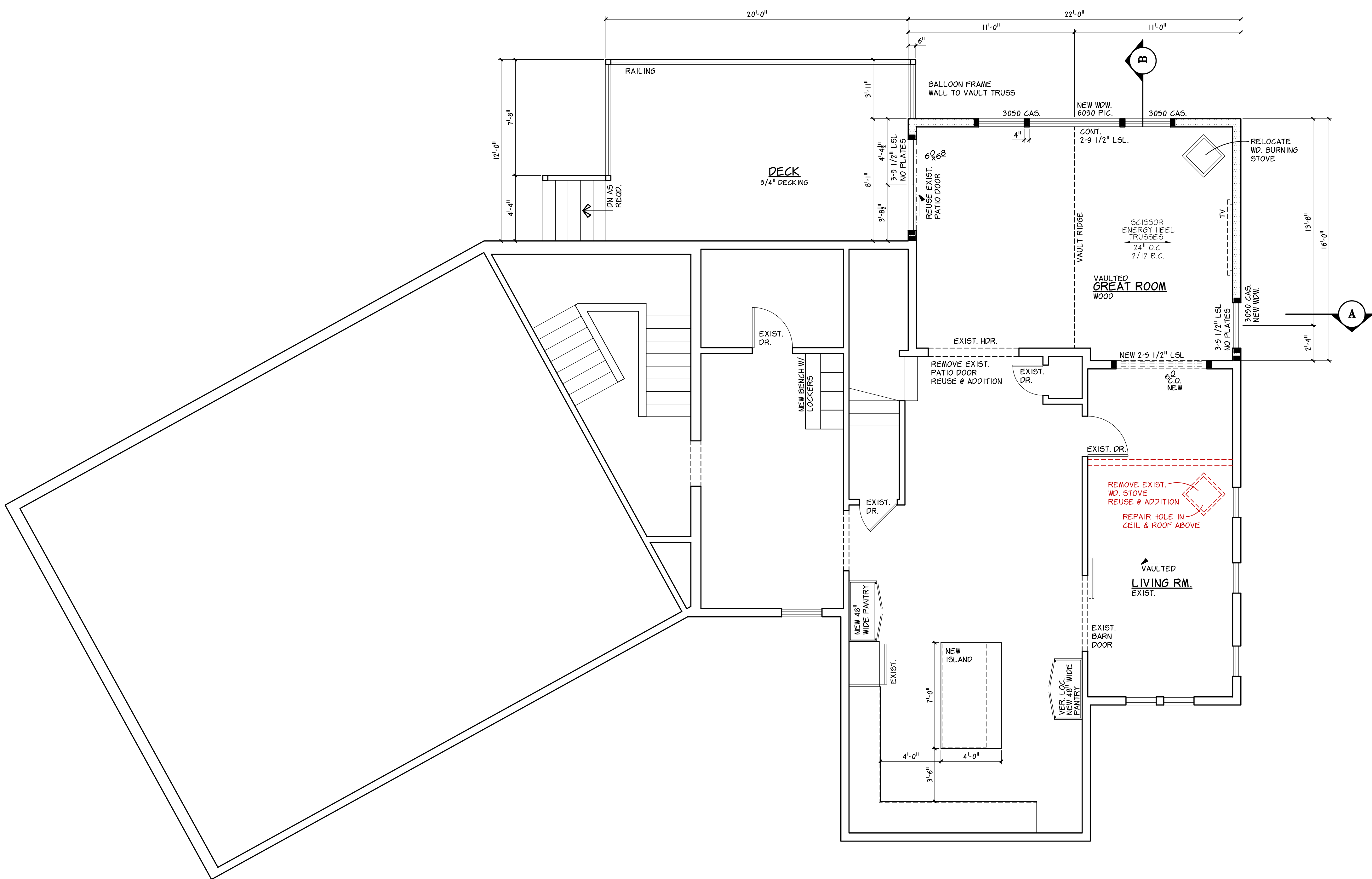
SHEET NO.

**REMODELING NOTES:**  
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**D.F.P. PLANNING & DESIGN**  
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 MINNETRISTA, MN 55359  
 WWW.DFPDESIGN.COM E-MAIL: INFO@DFPDESIGN.COM  
 Phone: 763-780-8004 Fax: 763-780-8015



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 UNAUTHORIZED USE OF THE  
 PLAN IS A VIOLATION OF THE  
 U.S. COPYRIGHT ACT



- = NEW WALLS
- = EXISTING WALLS
- = REMOVE EXISTING

**FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"

EXTERIOR DIMENSIONS ARE FRAMING TO FRAMING

FIRST FLOOR ADDIT. FINISHED 338 SQ. FT.

- WINDOW & DOOR NOTES**
- MATCH EXIST. WINDOWS
  - CODE MAX. U VALUE = 0.32 MAX. SHGC = 0.35
  - TOP OF WINDOWS TO MATCH EXISTING UNLESS NOTED OTHERWISE
  - BUILDER TO PROVIDE WINDOW ORDER LIST WITH U FACTOR, SHGC, & STC RATING FOR EACH WINDOW & EXTERIOR DOOR
  - BUILDER TO VERIFY ALL WINDOW, DOOR & OPENING HDR. HTS.
  - FP - PROVIDE FALL PROTECTION & OPERATING WINDOWS

- GUARDRAIL NOTES**
- ALL ITEMS NOTED AS "RAILING" OR "RAIL" ON PLANS ARE INTENDED TO BE GUARDRAIL
  - GUARDRAIL REQUIRED ON OPEN SIDE OF ANY STAIR MORE THAN 30" ABOVE FLOOR
  - ALL OPENINGS LESS THAN 4" AT ALL GUARDRAILS

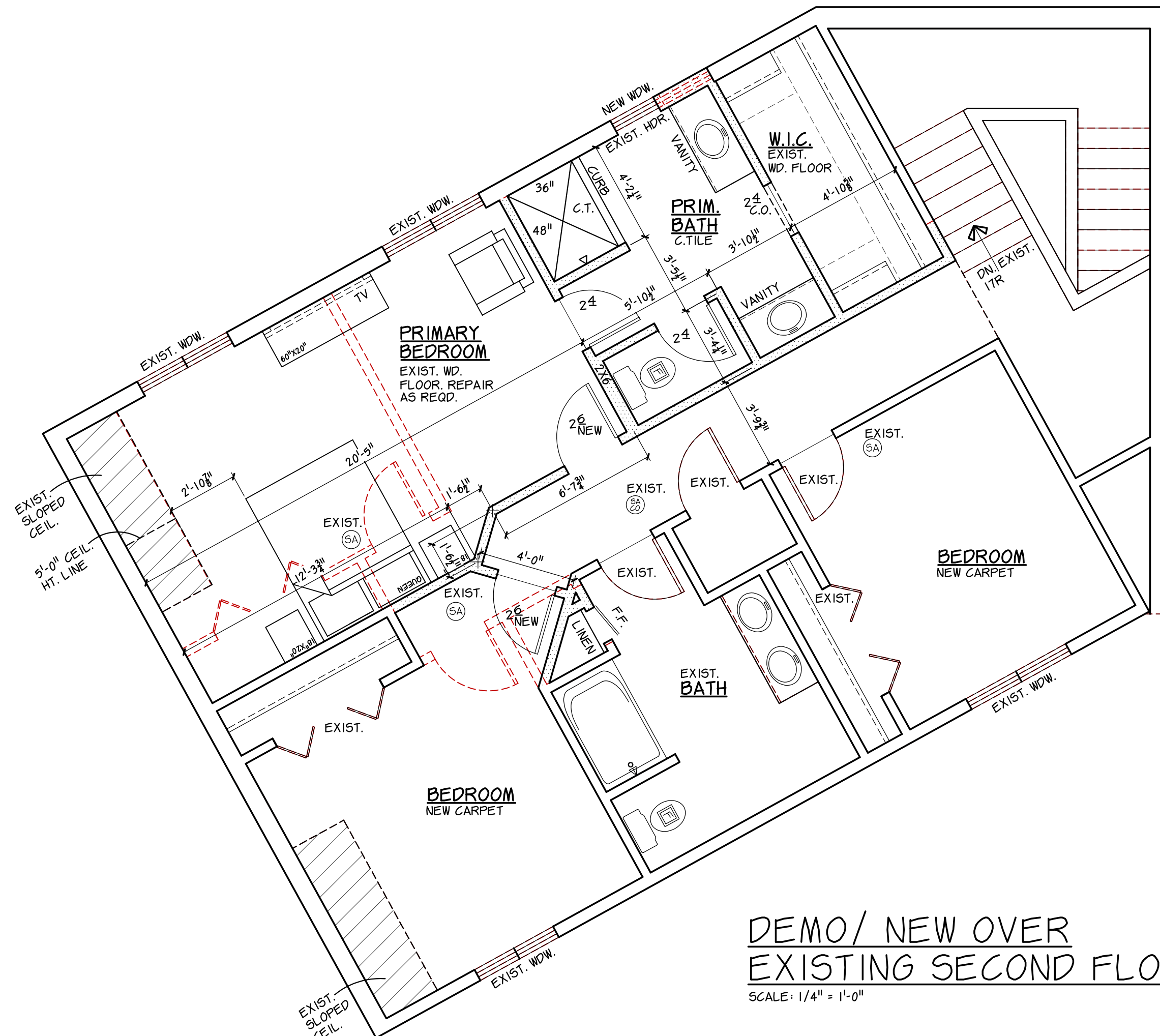
- FLOOR SYSTEM NOTES**
- ALL FLOORS TO BE L/480
  - FLOOR TRUSS MANUFACTURER TO VERIFY FRAMING BELOW GRANITE TOPS, TUBS & TILE AREAS ABOVE
  - FLOOR TRUSS MANUFACTURER TO PROVIDE HEAT SUPPLY & RETURN CHASE IN TRUSSES
  - BUILDER TO PROVIDE CITY WITH TRUSS LAYOUT PLANS

- FRAMING NOTES**
- MATCH EXIST. PLATE HEIGHT UNLESS NOTED OTHERWISE
  - 2X6 STUDS & POCKET DOOR WALLS UNLESS NOTED OTHERWISE
  - #2 BEARING STUDS UNLESS NOTED OTHERWISE
  - PROVIDE LVL/LSL SOLID BLOCKING AT ALL POINT LOADS, SUPPORT BEAMS, MICROLAMS, AND GIRDER TRUSSES TO FOUNDATION
  - STEEL BEAM TO PSL COLUMNS CONNECTION PROVIDE (4) 5/16"x6" STRUCTURAL WOOD SCREWS
  - STEEL BEAM WEB BLOCKING & TOP PLATE BOLTED TO BEAMS WITH 1/2" BOLTS AT 24" O.C. STAGGERED
  - PROVIDE FIREBLOCKING VERTICALLY @ CEILINGS & FLOORS & HORIZONTALLY @ INTERVALS NOT EXCEEDING 10'-0" (CONCEALED SPACES @ SOFFITS, DROPPED CEILINGS, BETWEEN STAIR STRINGERS & BETWEEN STORIES
  - PROVIDE DRAFT STOPPING BETWEEN STORIES DIVIDED INTO APPROXIMATELY EQUAL SPACES NOT EXCEEDING 1000 SQ.FT.
  - ALL SPRAY FOAM INSULATION MUST BE COVERED BY MIN. 1" GYP. BD AT HABITABLE AREAS

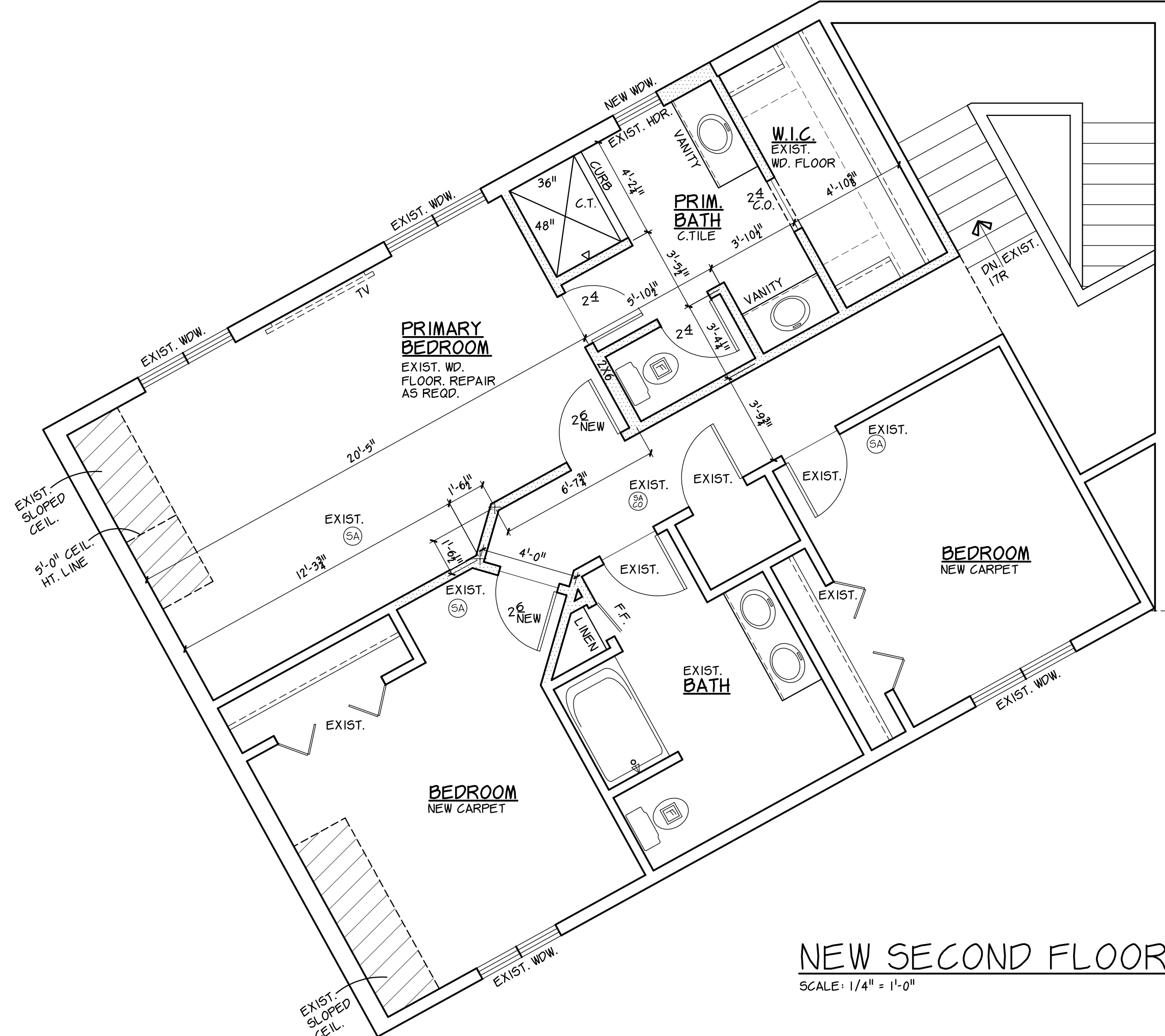
SWANSON RESIDENCE  
 2565 HIGHLAND RD  
 MAPLE PLAIN  
 (MINNETRISTA), MN 55359

DATE:  
 10-1-25  
 REVISIONS:  
 10-16-25 KH  
 10-21-25 KH  
 10-24-25 KH  
 10-31-25 KH  
 11-4-25 KH

DRAWN BY:  
 XX  
 COMM. NO.  
 225239  
 SHEET NO.  
 3

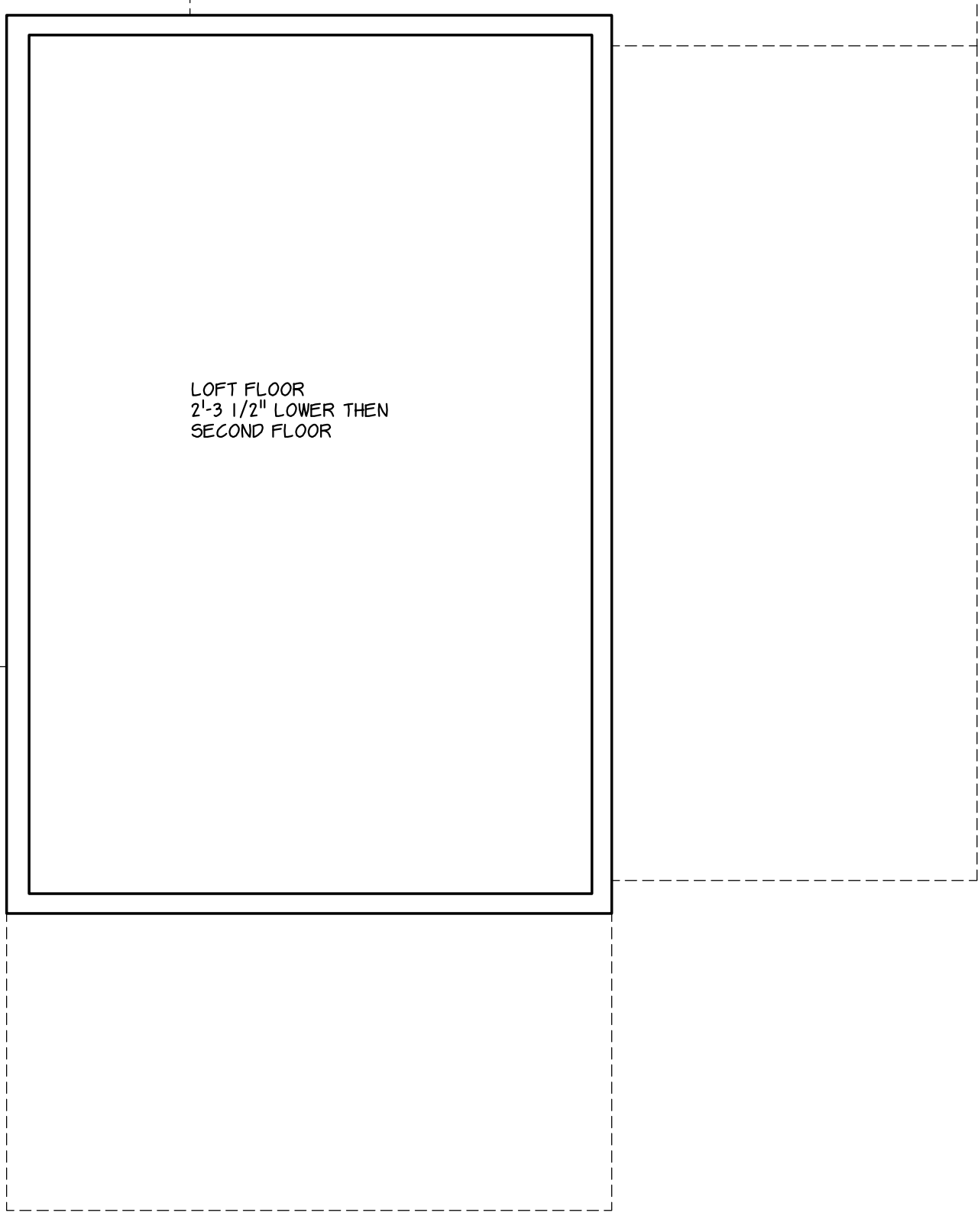
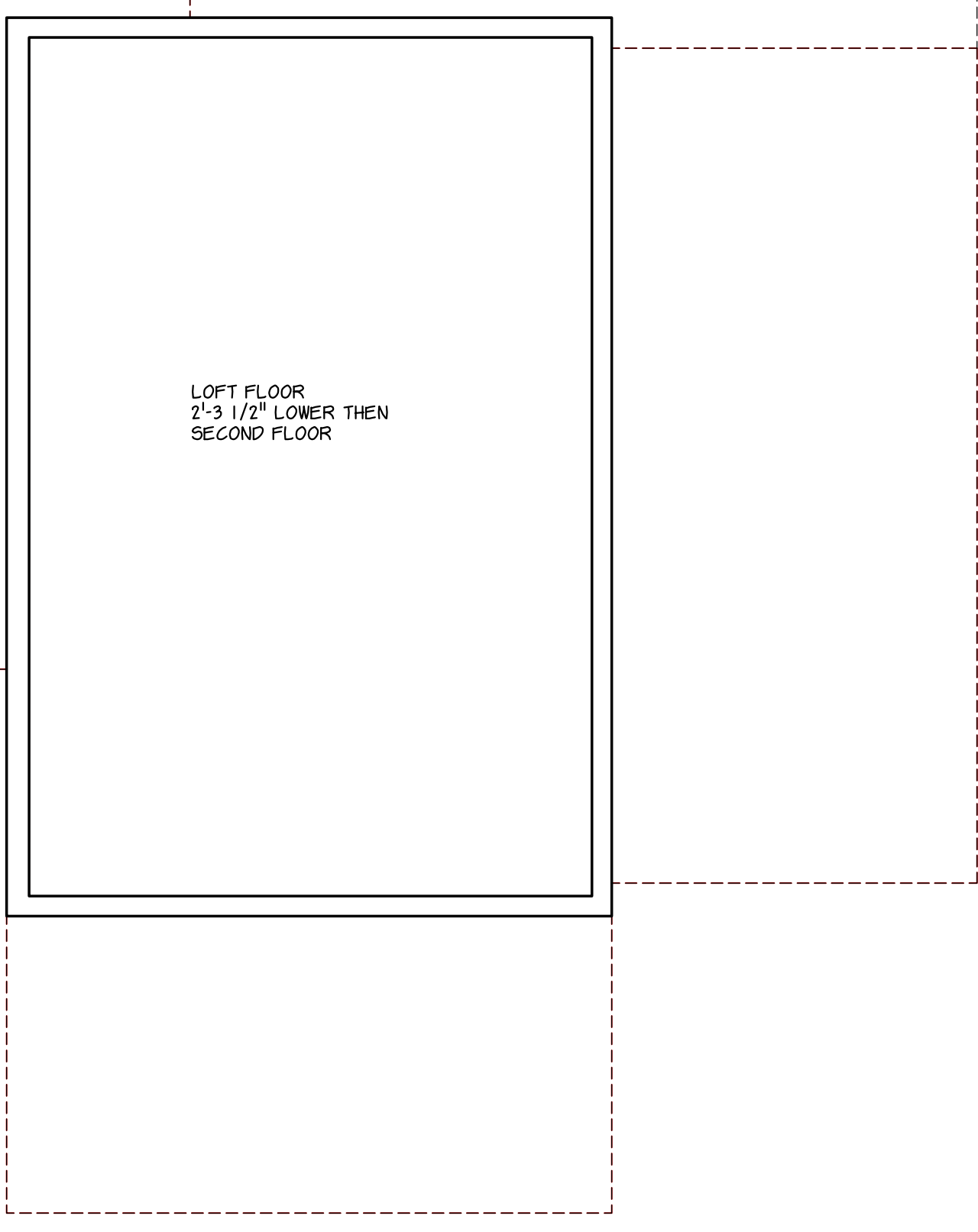


**DEMO/ NEW OVER  
EXISTING SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**NEW SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**REMODELING NOTES:**  
FIELD VERIFICATION REQUIRED FOR BUT NOT LIMITED TO THE FOLLOWING DUE TO CONCEALED CONDITIONS, ALL NEW & EXISTING WALL HEIGHTS, TRUSS HEEL HEIGHTS, OVERHANGS & PITCHES PRIOR TO ORDERING TRUSSES  
ADDITIONALLY, ALL EXISTING FLOOR & ROOF BEARING CONDITIONS MUST ALSO BE FIELD VERIFIED WITH THIS PLAN, ANY QUESTIONS CALL DFP PLANNING & DESIGN PRIOR TO PROCEEDING



- = NEW WALLS
- = EXISTING WALLS
- = REMOVE EXISTING

**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

EXTERIOR DIMENSIONS ARE FRAMING TO FRAMING  
SECOND FLOOR FINISHED 1,065 SQ. FT.

- WINDOW & DOOR NOTES**
- MATCH EXIST. WINDOWS
  - CODE MAX. U VALUE = 0.32 MAX. SHGC = 0.35
  - TOP OF WINDOWS TO MATCH EXISTING, UNLESS NOTED OTHERWISE
  - BUILDER TO PROVIDE WINDOW ORDER LIST WITH U FACTOR, SHGC, & STC RATING FOR EACH WINDOW & EXTERIOR DOOR
  - BUILDER TO VERIFY ALL WINDOW, DOOR & OPENING HDR. HTS.
  - FP = PROVIDE FALL PROTECTION # OPERATING WINDOWS

- GUARDRAIL NOTES**
- ALL ITEMS NOTED AS "RAILING" OR "RAIL" ON PLANS ARE INTENDED TO BE GUARDRAIL
  - GUARDRAIL REQUIRED ON OPEN SIDE OF ANY STAIR MORE THAN 30" ABOVE FLOOR
  - ALL OPENINGS LESS THAN 4" AT ALL GUARDRAILS

- FLOOR SYSTEM NOTES**
- ALL FLOORS TO BE L/480
  - FLOOR TRUSS MANUFACTURER TO VERIFY FRAMING BELOW GRANITE TOPS, TUBS & TILE AREAS ABOVE
  - FLOOR TRUSS MANUFACTURER TO PROVIDE HEAT SUPPLY & RETURN CHASE IN TRUSSES
  - BUILDER TO PROVIDE CITY WITH TRUSS LAYOUT PLANS

- FRAMING NOTES**
- MATCH EXIST. PLATE HEIGHT UNLESS NOTED OTHERWISE
  - 2X6 STUDS # POCKET DOOR WALLS UNLESS NOTED OTHERWISE
  - #2 BEARING STUDS UNLESS NOTED OTHERWISE
  - PROVIDE LVL/LSL SOLID BLOCKING AT ALL POINT LOADS, SUPPORT BEAMS, MICROLAMS, AND GIRDER TRUSSES TO FOUNDATION
  - STEEL BEAM TO PSL COLUMNS CONNECTION PROVIDE (4) 5/16"x6" STRUCTURAL WOOD SCREWS
  - STEEL BEAM WEB BLOCKING & TOP PLATE BOLTED TO BEAMS WITH 1/2" BOLTS AT 24" O.C. STAGGERED
  - PROVIDE FIREBLOCKING VERTICALLY # CEILINGS & FLOORS & HORIZONTALLY # INTERVALS NOT EXCEEDING 10'-0" (CONCEALED SPACES # SOFFITS, DROPPED CEILINGS, BETWEEN STAIR STRINGERS & BETWEEN STORIES
  - PROVIDE DRAFT STOPPING BETWEEN STORIES DIVIDED INTO APPROXIMATELY EQUAL SPACES NOT EXCEEDING 1,000 SQ.FT.
  - ALL SPRAY FOAM INSULATION MUST BE COVERED BY MIN. 1" GYP. BD AT HABITABLE AREAS

**LIMITED PROJECT SCOPE**

DESIGN AND DETAIL OF THE MAIN WINDFORCE RESISTING SYSTEM FOR A PORCH ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE. CONSTRUCTION IS TO BE IN ACCORDANCE WITH THIS DOCUMENT, STANDARD INDUSTRY PRACTICE, AND THE CODE.

**GENERAL NOTES**

- THESE DOCUMENTS APPLY TO STRUCTURAL ONLY. REFER TO PORCH PLANS PREPARED BY DFP PLANNING & DESIGN LAST DATED 10-31-25 FOR MORE INFORMATION.
- THE HANSON GROUP'S ENGINEERING IS LIMITED TO THE ITEMS LISTED IN THE PROJECT SCOPE ABOVE. THE DESIGN OF THE REMAINING ADDITION INCLUDING BEAMS, HEADERS AND SUPPORTING MEMBERS/HELICALS ARE BY OTHERS. REVIEW OF EXISTING FRAMING AND FOUNDATIONS IS NOT INCLUDED UNDER THIS SCOPE.
- A SITE VISIT WAS NEITHER PERFORMED NOR REQUESTED.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE ALL FUTURE PLAN OR FIELD CHANGES TO THE HANSON GROUP FOR REVIEW.
- ADEQUATE SHORING DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTORS AND BUILDER ARE TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK. NOTIFY THE HANSON GROUP IF DISCREPANCIES ARISE.
- MEANS AND METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- HELICAL SCREW ANCHORS ARE TO BE DESIGNED BY THE MANUFACTURER FOR A WORKING LOAD AS DESIGNATED ON THESE PLANS AND HOUSE PLANS. INSTALL ANCHORS TO TWICE THIS VALUE FOR AN ULTIMATE LOAD RESPECTIVELY WITH A FACTOR OF SAFETY=2. DEPTH OF INSTALLATION TO BE DETERMINED BY THE INSTALLER AND / OR A GEOTECHNICAL ENGINEER. INCREASE LOAD FOR POTENTIAL DOWN DRAG AS REQUIRED.
- INSTALL SCREW ANCHORS TO WITHIN 1/2" OF THE LOCATIONS REQUIRED.
- PROVIDING A HELICAL PIER SYSTEM THAT IS NOT SUSCEPTIBLE TO FROST RELATED MOVEMENT IS THE RESPONSIBILITY OF THE INSTALLER.

**FRAMING NOTES**

- ALL CONNECTIONS ARE TO BE MADE WITH ADEQUATE SIMPSON, USP OR EQUAL JOIST HANGERS, CLIPS, POST CAPS, AND POST BASES.
- CONNECT MULTIPLE MEMBER LSL/LVL'S TOGETHER IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.
- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING CRITERIA, U.N.O.
  - 2x8 STUDS SPACED @ 16" O.C.
  - EXTERIOR SHEATHING: 3/4" MIN. STRUCTURAL PANEL SHEATHING w/ 8d COMMON NAILS @ 6" O.C AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS OR 1 1/2" 16 GAUGE STAPLES @ 3" / 6" SPACING.
- ALL FLOORS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING CRITERIA.
  - FLOOR FRAMING SPACED AT A MAXIMUM OF 24" O.C.
  - FLOOR SHEATHING: 3/4" STRUCTURAL PANEL SHEATHING w/ 8d COMMON NAILS @ 6" O.C AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
- ALL ROOFS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING CRITERIA.
  - ROOF FRAMING SPACED AT A MAXIMUM OF 24" O.C.
  - FASTEN ALL ROOF FRAMING TO TOP PLATES WITH SIMPSON H2.5 CLIP OR EQUIVALENT AND (4) 0.131"Ø x 3" TOENAILS.
  - ROOF SHEATHING: 3/4" STRUCTURAL PANEL SHEATHING w/ 8d COMMON NAILS @ 6" O.C AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS OR 1 1/2" 16 GAUGE STAPLES @ 3" / 6" SPACING.
- ALONG LENGTH OF WALLS, LAP WALL TOP PLATES A MINIMUM OF 24" AND FASTEN TOGETHER WITH (12) 0.131"Ø x 3" IN LAP ZONE. AT CORNERS AND INTERSECTIONS, LAP PLATES AND PROVIDE (3) 0.131"Ø x 3" FACE NAILS.
- ALL OTHER FASTENERS TO BE IN ACCORDANCE w/ CODE TABLE R602.3(1).
- VERIFY DROPPED VERSUS FLUSH BEAM CONDITIONS WITH HOUSE PLANS.
- A BRACED WALL REVIEW HAS BEEN PERFORMED FOR THE ADDITION ONLY AND COVERED BY BRACED WALLS SHOWN AND ENGINEERED WIND RESISTING ELEMENTS DETAILED THAT DO NOT MEET PRESCRIPTIVE CODE REQUIREMENTS. AN EXISTING BRACED WALL REVIEW IS NOT INCLUDED IN OUR SCOPE.
- THE DECK IS CONSIDERED TO BE A PRIMARILY OPEN, NON-ESSENTIAL PORTION OF THE STRUCTURE AND IS EXCLUDED FROM THE OVERALL MAIN WINDFORCE SYSTEM OF THE ADDITION. PROVIDE CODE REQUIRED UPLIFT CONNECTIONS AT ALL POSTS AND TENSION CONNECTIONS AT LEDGERS.

**MATERIALS**

WALL STUDS (10' OR LESS): SPF STUD GRADE OR BETTER  
 WALL STUDS (OVER 10'): SPF NO.2 GRADE OR BETTER  
 DIMENSIONAL LUMBER: SPF NO.2 GRADE OR BETTER  
 TREATED LUMBER: SYP NO.2 GRADE OR BETTER  
 LSL: 1 1/2" WIDTH - E=1,550,000 PSI OR BETTER  
 LVL: 1 1/2" WIDTH - E=1,900,000 PSI OR BETTER

**LOADS**

ROOF LIVE LOAD: 35 PSF (SNOW)  
 ROOF DEAD LOAD: 15 PSF  
 FLOOR LIVE LOAD: 40 PSF  
 FLOOR DEAD LOAD: 15 PSF  
 WIND LOAD: 115 MPH ULTIMATE EXP. B

**CODES**

2020 MINNESOTA RESIDENTIAL CODE

**ABBREVIATIONS**

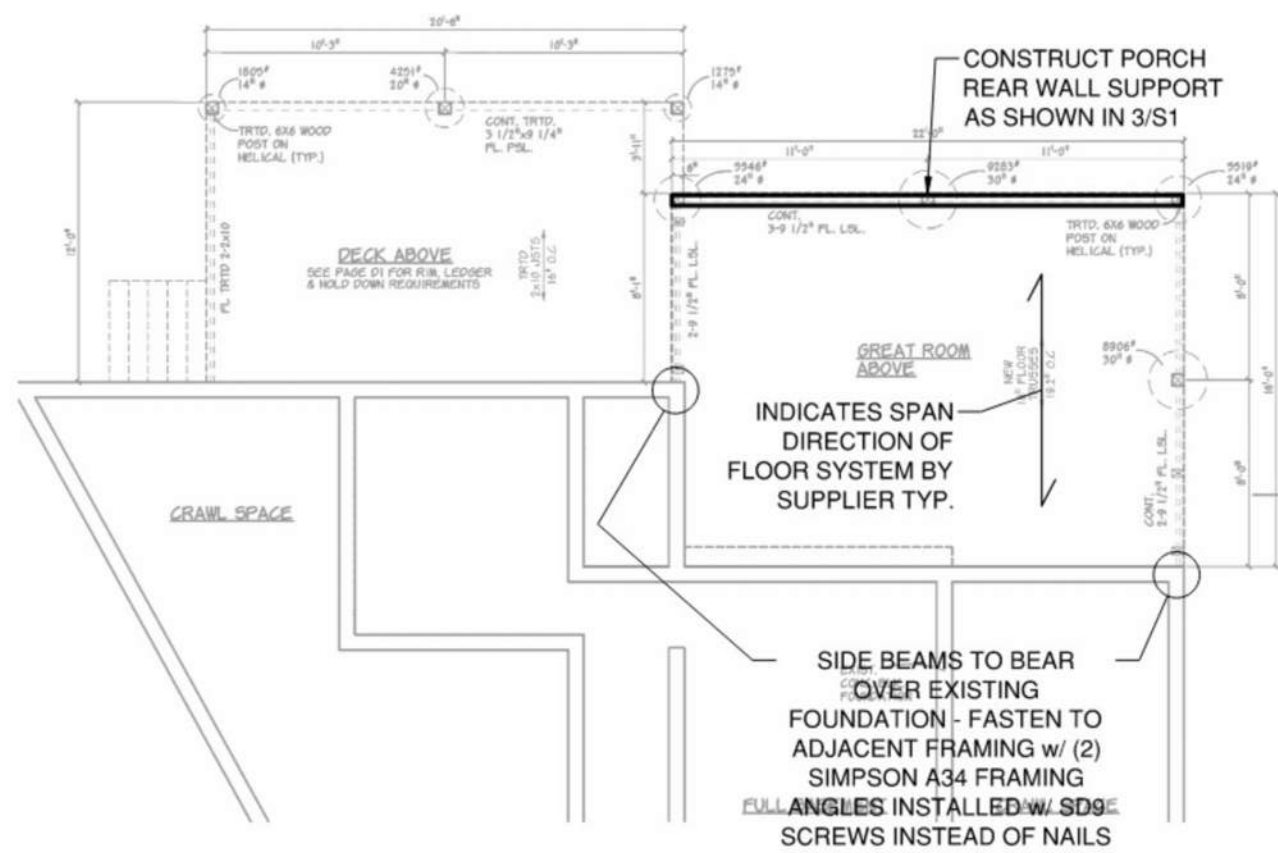
TYP. = TYPICAL  
 SIM. = SIMILAR  
 U.N.O. = UNLESS NOTED OTHERWISE  
 O.C. = ON CENTER  
 ALT. = ALTERNATIVE  
 C = CONTINUOUS OVER

(MIN. LENGTH) — INDICATES EXTERIOR BRACED WALL PANEL w/ SHEATHING ON EXTERIOR FACE IN ACCORDANCE w/ FRAMING NOTE 1. PROVIDE INCREASED FASTENING REQUIREMENTS AS SHOWN BELOW.

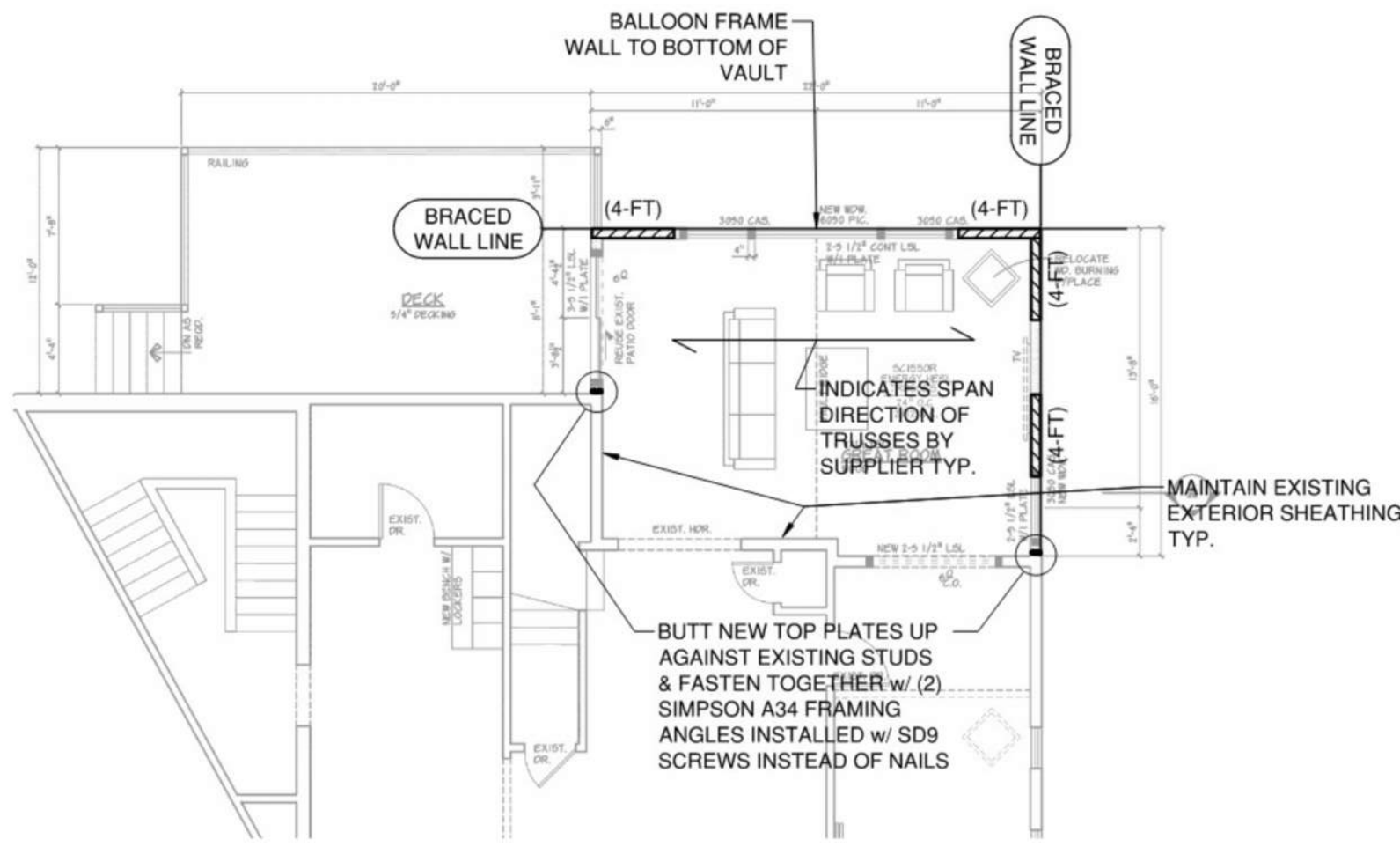
— INDICATES ENGINEERED WIND RESISTING ELEMENTS TO BE CONSTRUCTED AS SHOWN IN THE DETAIL SHEETS.

SECTIONS SHOWN DEPICT CONNECTIONS OF BRACED WALL PANELS TO ROOF TRUSSES ABOVE, TO TRUSSES/BLOCKING ABOVE, AND TO TRUSSES/BLOCKING BELOW. THESE PANELS ARE NOT NECESSARILY REQUIRED TO ALIGN, BUT MAY DEPENDING ON PLAN LAYOUT.

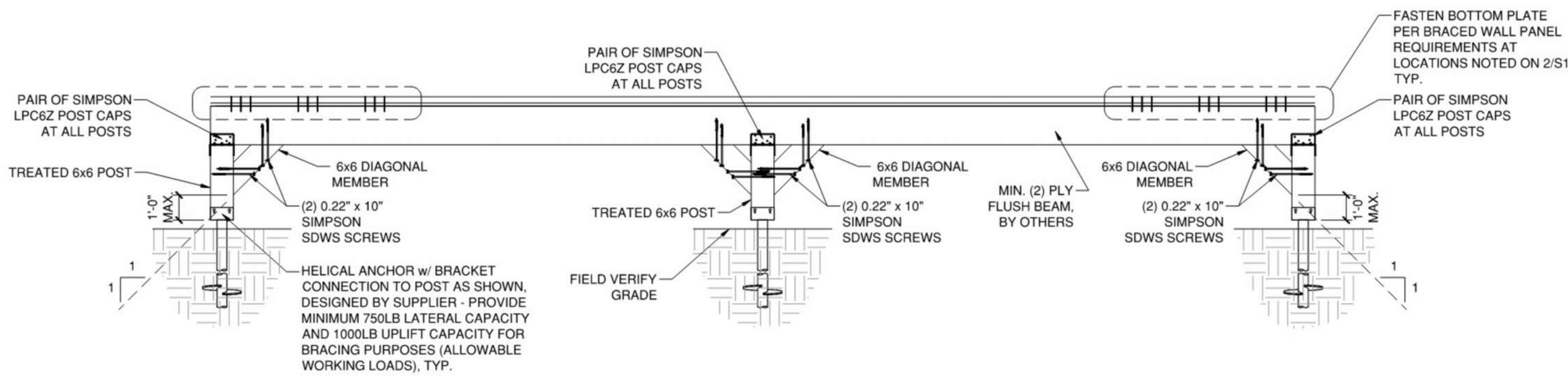
THESE SHEETS REPRESENT A COMPLETE DESIGN OF THE "MAIN WINDFORCE RESISTING SYSTEM" FOR THE ENTIRE RESIDENTIAL STRUCTURE. THE LOCATION AND LENGTH OF EACH BRACED WALL PANEL AND ENGINEERED WIND RESISTING ELEMENT THAT IS REQUIRED FOR THE HANSON GROUP'S DESIGN IS SHOWN ON THE STRUCTURAL DRAWINGS. WALLS NOT SPECIFICALLY LABELED ON THE PLANS MAY BE STANDARD FRAMING.



1 REFERENCE PLAN  
 S1 PARTIAL LOWER LEVEL PLAN SHOWN FOR LOCATION REFERENCE ONLY



2 REFERENCE PLAN  
 S1 PARTIAL MAIN LEVEL PLAN SHOWN FOR LOCATION REFERENCE ONLY



3 FRAMING DETAIL  
 S1 PORCH END WALL

**D.F.P. Planning & Design**

9100 Baltimore St NE, Suite 106  
 Blaine, MN 55449

Revision	Date	Description

PLANS SHOWN LIGHT IN BACKGROUND ARE FOR LOCATION REFERENCE ONLY. PLAN NOTES AND ELEMENTS SHOWN LIGHT MAY NOT NECESSARILY SUPPORT THE HANSON GROUP'S DESIGN.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed: *Garrett Brunell*

Print Name: Garrett Brunell

Date: 11-3-25 License Number: 52600

THE HANSON GROUP structural engineers

5851 Cedar Lake Road  
 Suite 202  
 St. Louis Park, MN 55416  
 Tel 612-708-3572  
 www.hansongroupmn.com

**Swanson Residence**  
 2565 Highland Rd  
 Maple Plain, MN

Project Number: 5.559  
 Date: November 3, 2025  
 Sheets: 1 of 1

**S1**

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D.F.P. PLANNING & DESIGN

SWANSON RESIDENCE  
 2565 HIGHLAND RD  
 MAPLE PLAIN  
 (MINNETRISTA), MN 55359

DATE:  
 10-1-25  
 REVISIONS:  
 10-16-25 KH  
 10-21-25 KH  
 10-24-25 KH  
 10-31-25 KH  
 11-4-25 KH

DRAWN BY:  
 XX

COMM. NO.  
 229239

SHEET NO.  
 S1

**RESOLUTION NO. 16-26**

**CITY OF MINNETRISTA**

**RESOLUTION APPROVING A STREETSIDE SETBACK VARIANCE FOR CONNOR AND CARA SWANSON FOR AN ADDITION ONTO THE EXISTING HOME AT 2565 HIGHLAND ROAD**

WHEREAS, the City of Minnetrista (the “City”) is a municipal corporation, organized and existing under the laws of the State of Minnesota; and

WHEREAS, the City Council of the City of Minnetrista has adopted zoning and subdivision regulations, per Chapter 5 of the Municipal Code, to promote the orderly, economic and safe development and utilization of land within the city; and

WHEREAS, Connor and Cara Swanson (the “Applicants”) have made an application for a streetside setback variance to reduce the required setback from 90 feet to 52.7 feet for an addition onto the existing home at 2565 Highland Road (the “Property”) and which is legally described on Exhibit A attached hereto; and

WHEREAS, on January 26, 2026, the Minnetrista Planning Commission considered the requested streetside setback variance, held a public hearing and, after consideration of the entire record before it, voted 6-0 in favor of recommending approval of the requested setback variance; and

WHEREAS, the Minnetrista City Council has reviewed the application, as submitted, and has made the following findings of fact:

1. The requested variance is in harmony with the purpose and intent of the City’s zoning ordinances because the proposed addition doesn’t encroach any closer to Highland Road than the current structure, which upholds the reasonable standards of the existing structure and maintains the benefit for all neighboring property owners;
2. The requested variance is consistent with the City’s comprehensive plan because it not only complies with the Rural designation in the Future Land Use Map of the 2040 Comprehensive Plan, but it also helps preserve the rural character of the property and prevent further cluttering of the shoreline;
3. The Applicants propose to use the Property in a reasonable manner because the proposed addition creates a functional living room not currently found in the existing 1900s farmhouse structure, which is a reasonable use of residential property;
4. The requested variance is the result of a unique circumstance not created by the landowner because the existing home was built in the 1900’s, prior to the adoption of the current setback requirements and well before the Applicants owned the Property; and
5. The requested variance will not alter the character of the locality because the proposed addition is appropriately sized relative to the existing structure and neighborhood, so the

resulting home with the proposed addition won't be out of place or out of scale with the surrounding area.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Minnetrista hereby approves the requested streetside setback variance for an addition onto the existing home at the property generally located at 2565 Highland Road, subject to the following conditions:

1. The construction shall be consistent with the plan and survey documents submitted with this variance application;
2. Any required grading shall maintain existing drainage patterns or improve the existing drainage of the lot and adjacent lots;
3. The Applicants obtain all necessary permits and approvals from the City and other applicable entities with jurisdiction over the Property prior to any construction;
4. The Applicants are responsible for all fees incurred by the City in review of this application; and
5. The variance approval is valid for one year from the date of approval and will become void and expire unless a building permit has been issued for the site.

This resolution was adopted by the City Council of the City of Minnetrista on the 2<sup>nd</sup> day of February, 2026 by a vote of \_\_\_ Ayes and \_\_\_ Nays.

\_\_\_\_\_  
Cathleen Reffkin, Acting Mayor

ATTEST:

\_\_\_\_\_  
Ann Meyerhoff, City Clerk

**EXHIBIT A**

Legal Description of 2565 Highland Road:

Government Lot 2, Section 20, Township 117, Range 24, Hennepin County, Minnesota, EXCEPT the following tracts:

The south seven acres thereof;

AND

The south 726 feet of the west 150 feet of that part of Government Lot 2, Section 20, Township 117, Range 24, Hennepin County, Minnesota, lying north of the south seven acres thereof.

AND

That part of Government Lot 2, Section 20, Township 117, Range 24, Hennepin County, Minnesota, which lies east of a line drawn parallel with and 615 feet west of, measured at right angles to, the east line of said Government Lot 2 and its extensions, and which lies north of the south seven acres of said Government Lot 2.

Abstract Property