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Staff Report to the Planning Commission - 3019 N. Argonne Siding Exception Request

BACKGROUND

- The City of Millwood contracts with the City of Spokane Valley for building permit review and inspections. The City of Millwood retains responsibility for code enforcement, site plan review, and design review of projects.
- On May 12, 2026, building plans for an interior and exterior remodel at 3019 N. Argonne Rd. (MW-2026-0021) in the C-2 Zone, were submitted to the City of Spokane Valley. The property owner listed was Spopro, LLC and the contractor listed was Kofmehl, Inc.

PROJECT INFORMATION	
PROPERTY OWNER & ADDRESS	
SPOPRO, LLC	
2028 W. TARYN CT	
SPOKANE, WA 99208-9308	
PARCEL NO. 45071.0415	
TENANT: HAIR & NAIL SALON	
CONTRACTOR: KOFMEHL, INC.	
CONTACT	P.O. BOX 14721
KART KOFMEHL	SPOKANE, WA 99214-0721
(509) 838-2149	
SCOPE:	
1-STORY, EXISTING 1,375 S.F.	
VACANT BLDG. EXTERIOR & INTERIOR	
REMODEL. NO PHYSICAL SITE WORK.	
OCCUPANCY: BUSINESS	
TYPE OF CONSTRUCTION: IB	
ZONE: C2	
PARKING: 1 ONL PARK PER 1,000 S.F.	
1,375 S.F. ÷ 1,000 S.F. = 2 CAR PARKS	

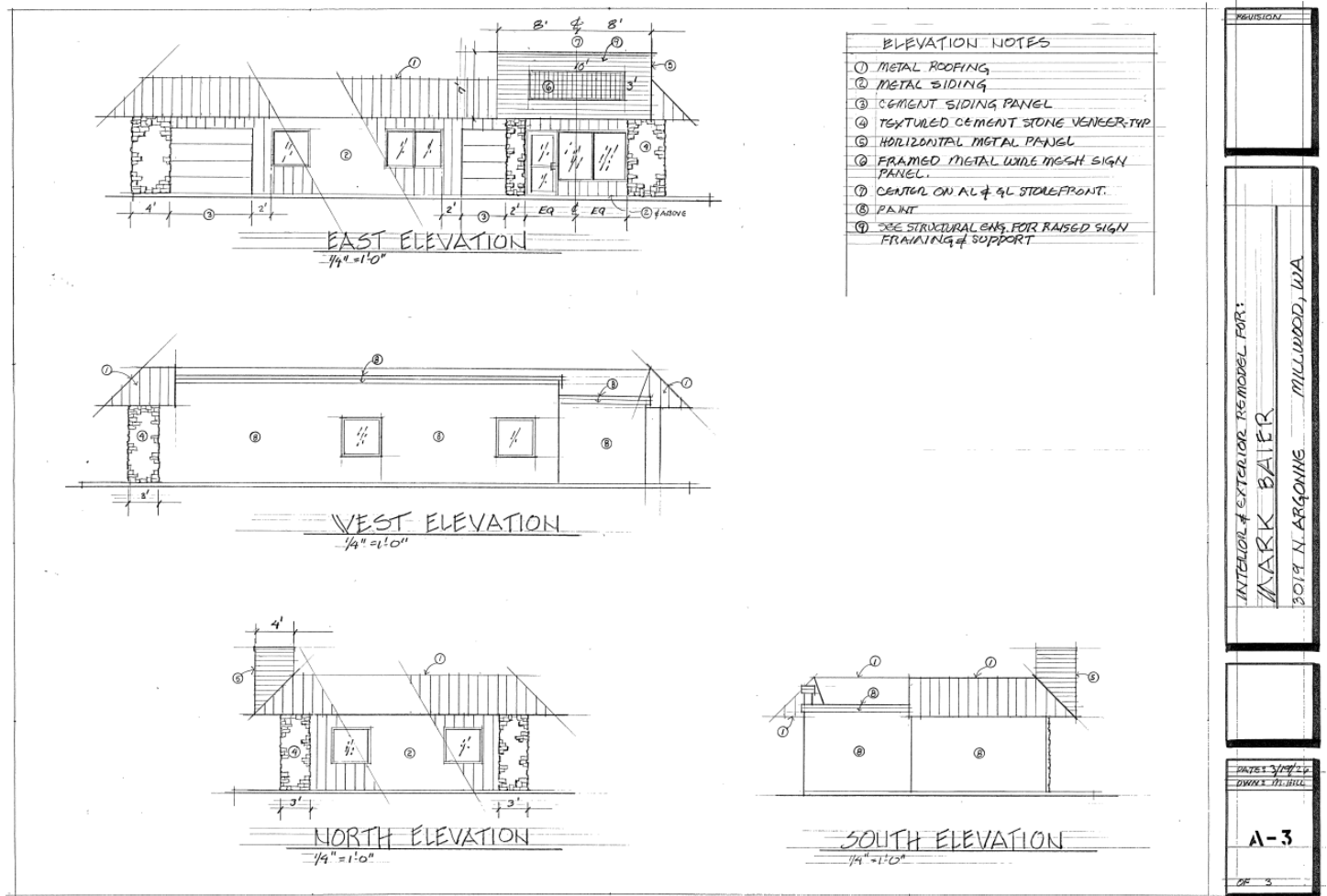
Permit MESSAGE-SHEET
RECEIVED
May 12 2026
COSV PERMIT CENTER

SITE PLAN
1" = 20'

INTERIOR & EXTERIOR REMODEL FOR:
MARK BAUER
3019 N. ARGONNE MILLWOOD, WA

DATES 3/19/26
DRAWN BY: HILL
A-1
OF 3

- During the project review, the City of Millwood requested revision of the siding material since it was listed as metal, which is not an approved siding material in the C-2 Zone. Amanda Tainio, Contract City Planner, noted the planning review as deficient in Spokane Valley SmartGov since the project was proposing to utilize metal siding and left a voicemail for the contractor notifying him that metal siding is not allowed in C-2 and must be switched to an allowed material.



17.24.010 - Development standards.

The following development standards apply when:

- Original floor area is increased by more than thirty (30) percent; or
 - More than fifty (50) percent of the building interior is changed to support a new purpose; or
 - More than fifty (50) percent of any façade visible from the street is changed.
- Main Entrance. Structures may use the front, the side or the rear for a main entrance. Garages shall not have entrances or exists onto side or front yards.
- Rear Access. There shall be a twenty-foot setback from the rear property line maintained for rear access.
- Access. Access to structures by way of a paved alley is permitted

Building Design. The design of the development and structures should be on a neighborhood/pedestrian scale and take into consideration the design details of the surrounding neighborhood. Exterior construction materials should be brick, brick facade, siding, tile or other appropriate materials. Metal siding and metal pole buildings shall not be placed in the C-2 zone. At least seventy-five (75) percent of the width and fifty (50) percent of the overall ground level wall area facing a public street or walkway of any new or altered building shall be devoted to interest-creating features such as pedestrian entrances, transparent display windows, or windows affording a view into retail or lobby spaces. Blank walls are not permitted on street frontage.



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- On May 26, 2026, Amanda Tainio was notified by the property owner (Francesca Baier of Spopro, LLC) that the contractor would be switching to Aaron Finley of Finley Construction, Inc.

From: Francesca Baier <fbaier@firstlookre.com>
 Sent: Tuesday, May 26, 2026 4:05 PM
 To: City Planner <planner@millwoodwa.us>; permitcenter@spokanevalley.gov
 Cc: mark baier <mplands@comcast.net>; aaron@finley.construction; Jamison Baier <jamisonkbaier@gmail.com>
 Subject: New Contractor for Site Address: 3019 N ARGONNE RD | Parcel Number: 45071.0415

Good afternoon,

I wanted to notify you that we have terminated our relationship with the original contractor (Gerald Kofmehl) on this project and have hired Finley Construction Inc. to take over and complete the work moving forward.

Please update the permit accordingly and link Finley Construction Inc. to the project, they can begin coordinating directly with the City regarding the remaining permit items and drawing revisions needed.

Contractor Information:

Aaron Finley
 Finley Construction Inc.
 LIC # FINLEC1828L7
 Website: Finley.construction

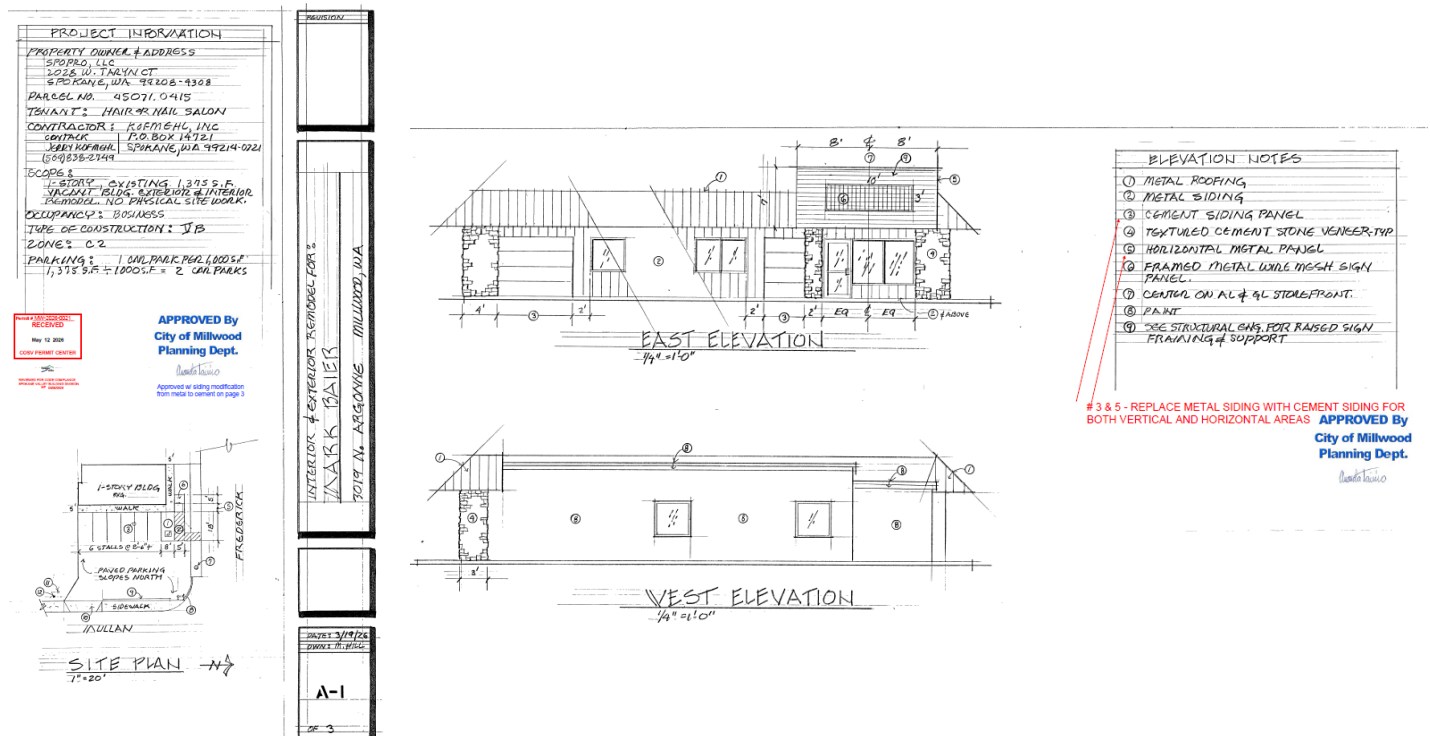
Please let me know if anything additional is needed from me to process this update.

Thank you.

Best regards,

Francesca Baier

- The building permit application was updated and coordination on the required revisions began with Aaron Finley.
- On May 27, 2026, the previous contractor, Gerald Kofmehl, proposed a siding exception request review by the Planning Commission which was not processed due to the contractor change.
- On June 9, 2026, Amanda Tainio approved the modified plans to change the metal siding to cement siding. City of Spokane Valley Building also subsequently approved the change, and a permit was issued on June 12, 2026.





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City of Spokane Valley
City of Millwood
10210 E. Sprague Ave.
Spokane Valley, WA 99206
(509) 720-5240
permitcenter@spokanevalleywa.gov

MW-2026-0021

PROJECT NAME / USE: BAIER BUILDING

SITE ADDRESS: 3019 N ARGONNE RD SPOKANE VALLEY

MW-COMM

ISSUED: 06/12/2026

EXPIRES: 06/12/2028

PROJECT DESCRIPTION: STOREFRONT - BUILDING RENOVATION - SHELL ONLY

PARCEL: 45071.0415

- On June 26, 2026, the property owner requested the contractor change back to Kofmehl, Inc. Aaron Finley was still listed as the applicant.

RE: 3019 N Argonne | Gerald Kofmehl



Jennifer Strampher
To: Francesca Baier; Mark Baier; Gerald Kofmehl
Cc: Permit Center

Hi Francesca,

No problem - Finley Construction has been removed, and Kofmehl Inc has been added as contractor. Let us know if you need anything else.

Thanks!

Jennifer Strampher | Development Services Coordinator
10210 E. Sprague Avenue | Spokane Valley, WA 99206
(509) 720-5307 | jstrampher@spokanevalleywa.gov



This email and any attachments may be subject to disclosure pursuant to Washington State Public Record Act, chapter 42.56 RCW.

From: Francesca Baier <fbaier19@gmail.com>

Sent: Friday, June 26, 2026 10:06 AM

To: Jennifer Strampher <jstrampher@spokanevalleywa.gov>; Mark Baier <mglands@comcast.net>; Gerald Kofmehl <ggek@att.net>

Subject: 3019 N Argonne | Gerald Kofmehl

[EXTERNAL] This email originated outside the City of Spokane Valley. Always use caution when opening attachments or clicking links.

Good morning,

We currently have a permit for 3019 N Argonne- we need the contractor name switched over to Gerald Kofmehl please.

Let me know what further information you need.

Thanks so much!

SmartGov City of Spokane Valley | Permit Detail | Go to

MILLWOOD

- Workspace
- Favorites
- Permitting**
 - Create Permit
 - Search Permits
 - Search Incomplete Permits
 - Create Estimate
 - Search Estimates
 - Search Historical Permits
 - Permit Reports
- Common
- Accounts
- Receipts
- Administration
- Recent

Main Notes Parcels **Contacts** Contractors Submittals Workflow Structures Details Valuations Fees Conditions Inspections Other Requirements

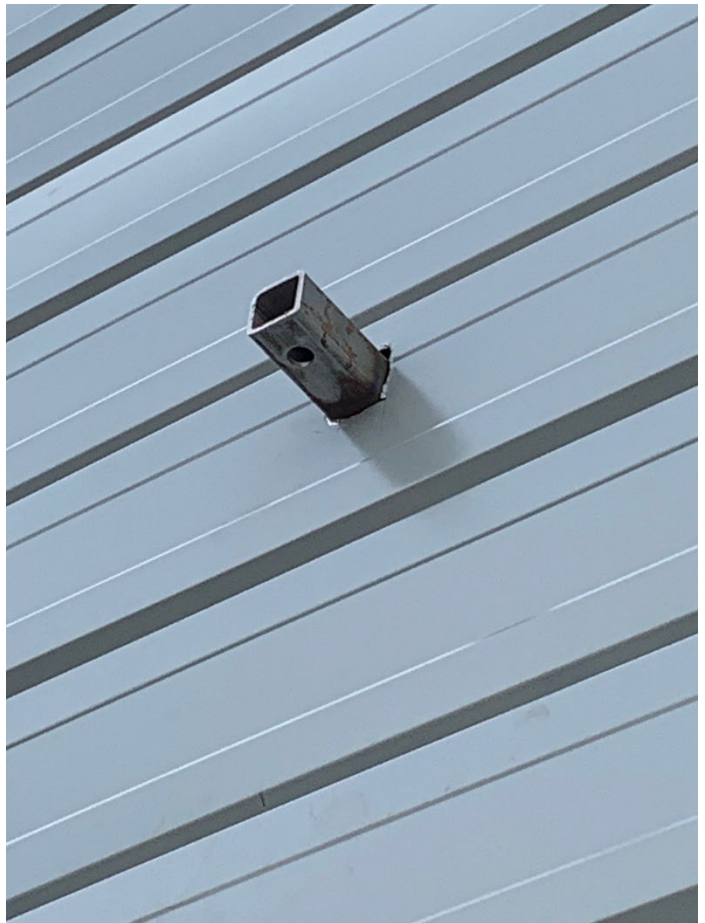
Permit #: MW-2026-0021 Status: ISSUED Contact: Finley, Aaron Site Address: 3019 N ARGONNE RD
Type: MW-COMM Project Name: Baier Building Contractor: KOFMEHL INC Spokane Valley, WA 99212

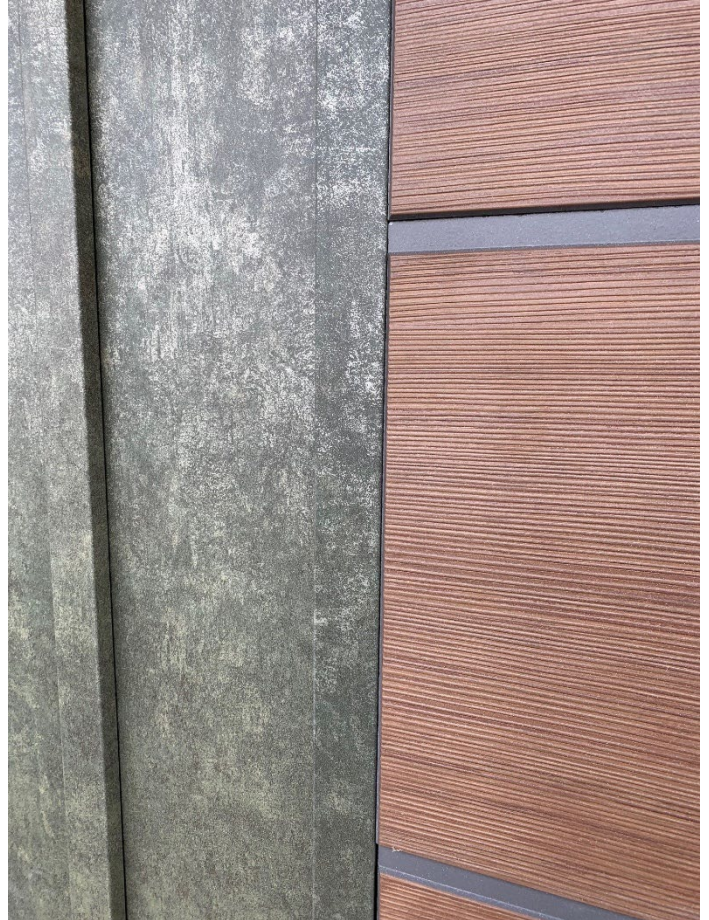
Primary	Contact	Business	Role	Has Licenses	Portal Access	Active
	Finley, Aaron		APPLICANT	☒	☒	
	SOPRO, LLC		OWNER	☒	☒	

Contact Detail

Primary Address: 9105 North Five Mile Road Spokane, WA 99208
Primary Phone: 5099540461
Primary Email: AARON@FINLEY.CONSTRUCTION

- On July 28, 2026, a code enforcement investigation began for the use of unpermitted siding.







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- A stop work order was posted on August 3, 2026, and a Notice of Violation was issued on August 4, 2026.



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509-924-0960
www.millwoodwa.us

STOP WORK

DO NOT REMOVE THIS NOTICE

SITE ADDRESS: 3019 N ARGONNE ROAD

WORK BEING CONDUCTED ON THIS SITE IS IN VIOLATION OF THE APPROVED BUILDING PERMIT / PLANS AND THE MILLWOOD MUNICIPAL CODE (MMC) AS SPECIFIED BELOW:

Deviation from the approved plans for MW-2026-0021. The metal siding is not permitted per MMC 17.24.010 - Development standards. Cement siding panels were approved and listed on the approved plans in lieu of proposed metal. Building must comply with the approved plans and building permit issued for MW-2026-0021.

If you have any questions, please contact the City of Millwood at 509-924-0960

WORK BEING CONDUCTED AS DESCRIBED ABOVE MUST CEASE IMMEDIATELY

FAILURE TO STOP WORK, RESUMPTION OF WORK WITHOUT COMPLETING ACTION(S) DESCRIBED ABOVE, OR REMOVAL, MUTILATION, DESTRUCTION, OR CONCEALMENT OF THIS NOTICE IS A MISDEMEANOR AND SUBJECT TO CIVIL PENALTIES IN ACCORDANCE WITH MMC 17.44.160.

FAILURE TO COMPLETE ACTION(S) NOTED ABOVE MAY RESULT IN FURTHER COMPLIANCE ACTION INCLUDING BUT NOT LIMITED TO POSTING OF A NOTICE AND ORDER AND THE ASSOCIATED MONETARY PENALTIES.

A NOTICE OF VIOLATION WILL BE ISSUED AND SENT TO THE PROPERTY OWNER, PROJECT APPLICANT, AND CURRENT PROJECT CONTRACTOR IN ADDITION TO THIS STOP WORK NOTICE.

POSTED BY: Kyle Schlewe DATE: 8/3/2026 TIME:



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NOTICE OF VIOLATION

THIS NOTICE OF VIOLATION IS ISSUED IN ACCORDANCE WITH MILLWOOD MUNICIPAL CODE (MMC) 17.44.160.

Parcel Number: 45071.0415
Parcel Address: 3019 N. Argonne Rd.
Legal Description: MILLWOOD ASSESSORS PLAT #12 N76' OF E90' OF LT 3 BL K 4
Property Owner: SPOPRO, LLC
Attn: Francesca Baier (fbaiier19@gmail.com)
Po Box 18567
Spokane, WA 99228-0567

Project Applicant: Aaron Finley
aaron@finley.construction

Project Contractor: Kofmehl, Inc
Attn: Gerald Kofmehl
ggek@aat.net

The planning director has found the building, structure, lot or land is being used or maintained in violation of the Millwood Municipal Code and the approved building permit MW-2026-0021:

- Deviation from the approved plans for MW-2026-0021. The metal siding is not permitted per MMC 17.24.010 - Development standards. Cement siding panels were approved and listed on the approved plans in lieu of proposed metal.
- Building must comply with the approved plans and building permit issued for MW-2026-0021.

Action required: To address this Notice of Violation, the following actions are required within twenty-one (21) days of issuance of this Notice of Violation (August 25, 2026 correction deadline):

- Provide a plan to bring the building into compliance with the approved plans and building permit issued for MW-2026-0021.
- The Stop Work Notice that was issued for the project on August 3, 2026, will remain and no work can be commenced under MW-2026-0021 until:
 1. The City of Millwood reviews and approves of the compliance plan; and
 2. An exception is granted by the Planning Commission pursuant to MMC 17.24.010(F), as applicable.

- From August 3, 2026 to August 17, 2026, Amanda Tainio was in communication with the property owner (Francesca Baier of Spopro, LLC) that they would like to proceed with the siding exception request that was submitted by Gerald Kofmehl on May 27, 2026. Plans that included the siding exception request were submitted for review to City of Spokane Valley Permit Center on August 11, 2026 (attached).

Fw: 3019 N Argonne



Gerald Kofmehl <ggek@att.net>
To: City Planner



Millwood Project_0001.docx
20 KB



Gek Bus. Card.png
35 KB



Gerald Kofmehl
Kofmehl Inc.
President
509 838-2749 Work
(509) 838-2751 Work
509 994-8798 Mobile
509 928-6088 Home
ggek@att.net
ggek@me.com
ggek11@comcast.net

----- Forwarded Message -----

From: Gerald Kofmehl <ggek@att.net>
To: Plannr@millwoodwa.us <plannr@millwoodwa.us>
Sent: Wednesday, May 27, 2026 at 04:19:13 PM PDT
Subject: 3019 N Argonne

Amanda,
I am sending you a request concerning the metal siding on our project at 3019 N Argonne.
Please contact me if you have further questions.
Thank you for your consideration.
Gerald Kofmehl 509 994-8798

- The project is on hold until a decision has been made by the City of Millwood Planning Commission. Review of the siding exception request by the Planning Commission, is scheduled for September 30, 2026, at the regularly scheduled Millwood Planning Commission Meeting.





PROCEDURE FOR SIDING EXCEPTION

- MMC 17.24.010(F) Procedure for Exception. Design standards that may be unsuitable for a given project may be waived by the planning commission if an applicant can demonstrate that there is a good reason why the standard is inappropriate. The planning commission may approve an alternative that achieves the intent of this chapter after finding that:
 1. For a specific project the underlying design principles will not be furthered by the application of the standard;
 2. Another design principle is enhanced by not applying the standard; or
 3. Explaining the unique site factors that make the standard unworkable, such as lot size and shape, slope, natural vegetation, drainage, or characteristics of adjacent development.

Increases in the cost of development will not be an acceptable reason to waive a standard or determine that a standard is inappropriate.



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ACTION REQUEST

- Approve the siding exception request, or
- Deny the siding exception request

Attachments:

1. MMC 17.24.010 - Development standards
2. Millwood Project_0001 - Request for Waiver — Metal Siding Requirement (Millwood C-2 Zone)
3. MW-2026-0021 - Baier Plan Revised (8-11-26) - Pending Millwood Planning Commission Approval or Denial

Staff Report has been provided to:

Millwood Planning Commission (email and hard copy)
Bridget Gill, City Clerk (email)
Spopro, LLC - Francesca Baier (email)
Finley Construction, Aaron Finley (email)
Kofmehl Construction, Gerald Kofmehl (email)

ATTACHMENT #1: MMC 17.24.010 - Development standards

17.24.010 - Development standards.

The following development standards apply when:

- A. Original floor area is increased by more than thirty (30) percent; or
- B. More than fifty (50) percent of the building interior is changed to support a new purpose;
or
- C. More than fifty (50) percent of any façade visible from the street is changed.

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Access. Access to structures by way of a paved alley is permitted

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1. Building Facades:

- a. Facades longer than fifty (50) feet shall be broken down into smaller units through the use of interest generating architectural details. Simply changing materials or color is not sufficient to accomplish this.
- b. Architectural detail shall be provided along facades visible from the street, as well as from neighboring residential areas.



2. Prominent Entrance Implementation.

- a. Principal entryways to the store/building shall be marked by at least one interest generating architectural element.
- b. Main entrances shall be architecturally different from secondary entrances.
- c. Weather protection. Some form of weather protection shall be provided over the entry.



3. Roof Expression Implementation. Buildings with flat roofs shall have portions with pitched roofs or projecting cornices to create a prominent edge when viewed against the sky, especially to highlight major entrances.



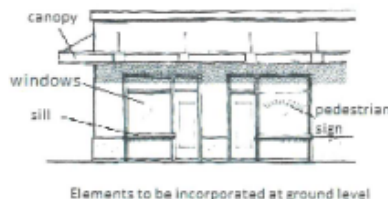
4. Ground floor windows: These provisions apply to nonresidential building facades between two feet and eight feet above the level of the adjacent sidewalk, walkway or ground level.
 - a. A minimum of thirty (30) percent of any ground floor nonresidential building facade fronting on a street shall be comprised of windows allowing views into the interior. Display windows may be used to meet half of this requirement.
 - b. For portions of facades that do not have windows, see guidelines for treating blank walls.



5. Treating Blank Walls. Where windows are not provided on walls facing streets or visible from right-of-way, one or more of the following elements shall be incorporated:
 - a. Masonry (but not flat concrete block)
 - b. Concrete or masonry plinth at wall base
 - c. Belt courses of a different texture and color
 - d. Projecting cornice
 - e. Decorative tile work
 - f. Medallions
 - g. Artwork such as sculptures, murals, inlays, mosaics or elements integrated with the project
 - h. Lighting fixtures
 - i. Recesses
 - j. An architectural element not listed above, as approved by the director, that meets the intent of this section.



6. Ground Level Details Implementation.
 - a. Ground level of building shall be pedestrian-friendly in scale, expression and use of materials,
 - b. The ground floor shall contain details such as large windows, projecting sills, pedestrian scale signs, awnings and/or canopies.



- E. Signage. Pole signs and freestanding reader boards shall not be placed in the C-2 zone. Building-mounted or monument style signs shall only be allowed to a maximum of thirty-two (32) square feet. All other requirements of [Chapter 17.40](#) of this title shall apply.
- F. Procedure for Exception. Design standards that may be unsuitable for a given project may

be waived by the planning commission if an applicant can demonstrate that there is a good reason why the standard is inappropriate. The planning commission may approve an alternative that achieves the intent of this chapter after finding that:

1. For a specific project the underlying design principles will not be furthered by the application of the standard;
2. Another design principle is enhanced by not applying the standard; or
3. Explaining the unique site factors that make the standard unworkable, such as lot size and shape, slope, natural vegetation, drainage, or characteristics of adjacent development.

Increases in the cost of development will not be an acceptable reason to waive a standard or determine that a standard is inappropriate.

Appeals of staff decisions may be made to the planning commission.

(Ord. No. 527, § 1, 6-14-2022)



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ATTACHMENT #2: Request for Waiver — Metal Siding Requirement (Millwood C-2 Zone)

5/27/26..

Request for Waiver — Metal Siding Requirement (Millwood C-2 Zone)

To: City of Millwood - Planning & Building Department
Attn: Plan Reviewer
Re: Request for Exception Under MMC 17.24.010(F) Metal Siding Restriction
Project: Millwood Commercial Building Improvements

Dear Plan Reviewer,

I am submitting this request for an exception under MMC 17.24.010(F) regarding the prohibition of metal siding within the C-2 zone. After reviewing the applicable development standards and evaluating the design intent of this project, I believe there is a clear and well-supported basis for granting relief from this specific requirement

1. The Proposed Metal Siding Meets the Intent of the Code

MMC 17.24.010 emphasizes neighborhood- and pedestrian-scale design, architectural detail, and high-quality exterior materials. The metal siding selected for this project is a modern architectural panel system, not a pole-building material. It provides:

- A clean, contemporary profile
- High durability and long-term performance
- A finished appearance consistent with commercial-grade construction
- Compatibility with the surrounding commercial context

The intent of the code—to avoid low-quality or industrial-grade metal structures—is fully met by the proposed materials.

2. The Building Design Already Incorporates Multiple High-Quality Materials

The overall exterior design includes:

- Brick elements
- Glass storefront systems
- An enhanced, clearly defined main entrance
- Architectural detailing consistent with pedestrian-scale design
- Concrete board siding (already incorporated and available as an alternative if required)

These features collectively satisfy the ordinance's goals for architectural interest, façade articulation, and pedestrian-friendly design.

3. The Project Meets or Exceeds All Other Applicable Design Standards

The building design complies with the following requirements of MMC 17.24.010:

- Interest-creating features on the street-facing façade
- Architectural detailing on visible facades
- Prominent entrance treatment
- Ground-level pedestrian-oriented features
- Window percentage requirements
- Blank wall treatment standards

The metal siding is used only as one component of a multi-material façade system and does not diminish compliance with any of these standards.

4. Basis for Exception Under MMC 17.24.010(F)

Under subsection (F), the Planning Commission may waive a standard when:

1. The underlying design principles are not furthered by applying the standard. In this case, prohibiting modern architectural metal siding does not enhance pedestrian scale, architectural detail, or neighborhood compatibility.
2. Another design principle is enhanced by not applying the standard. • Allowing the proposed siding, supports durability, cohesive design, and long-term maintenance quality.

3. Unique site or project factors make the standard unworkable. The building's design integrates multiple materials, and the siding has already been custom-cut and fabricated for this project. Replacing it would create unnecessary waste and delay without improving design outcomes.

5. Commitment to Provide Additional Documentation

We can provide:

- Material specifications
- Color and finish samples
- Elevation drawings
- Perspective renderings
- Detailed facade breakdowns

These documents will demonstrate that the proposed siding meets the intent of the ordinance and contributes to the building's architectural character.

Conclusion

For the reasons outlined above, I respectfully request approval of an exception to use the proposed architectural metal siding on this project. The design meets the spirit and intent of MMC 17.24.010 and results in a high-quality, visually appealing commercial building consistent with the goals of the C-2 zone.

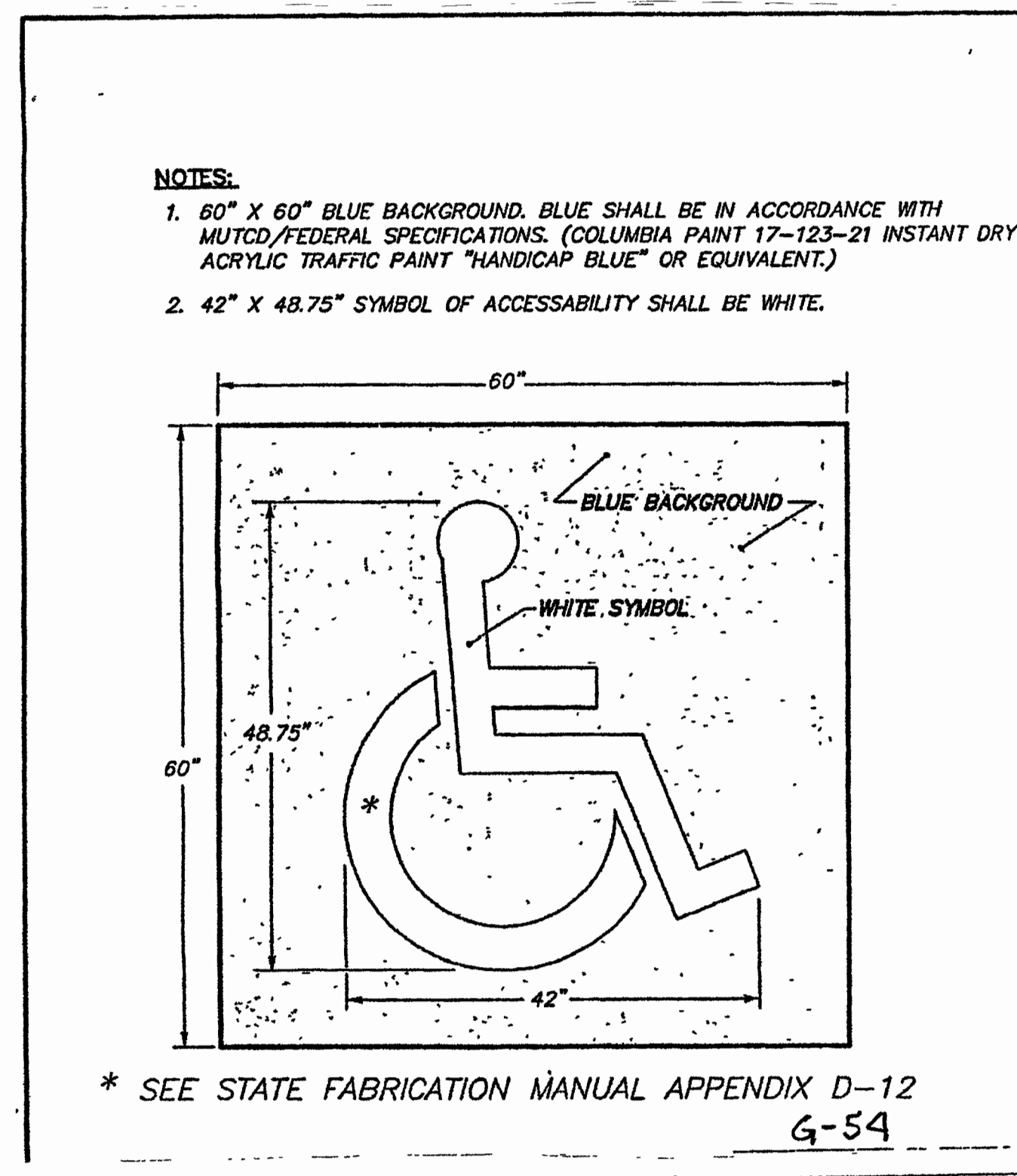
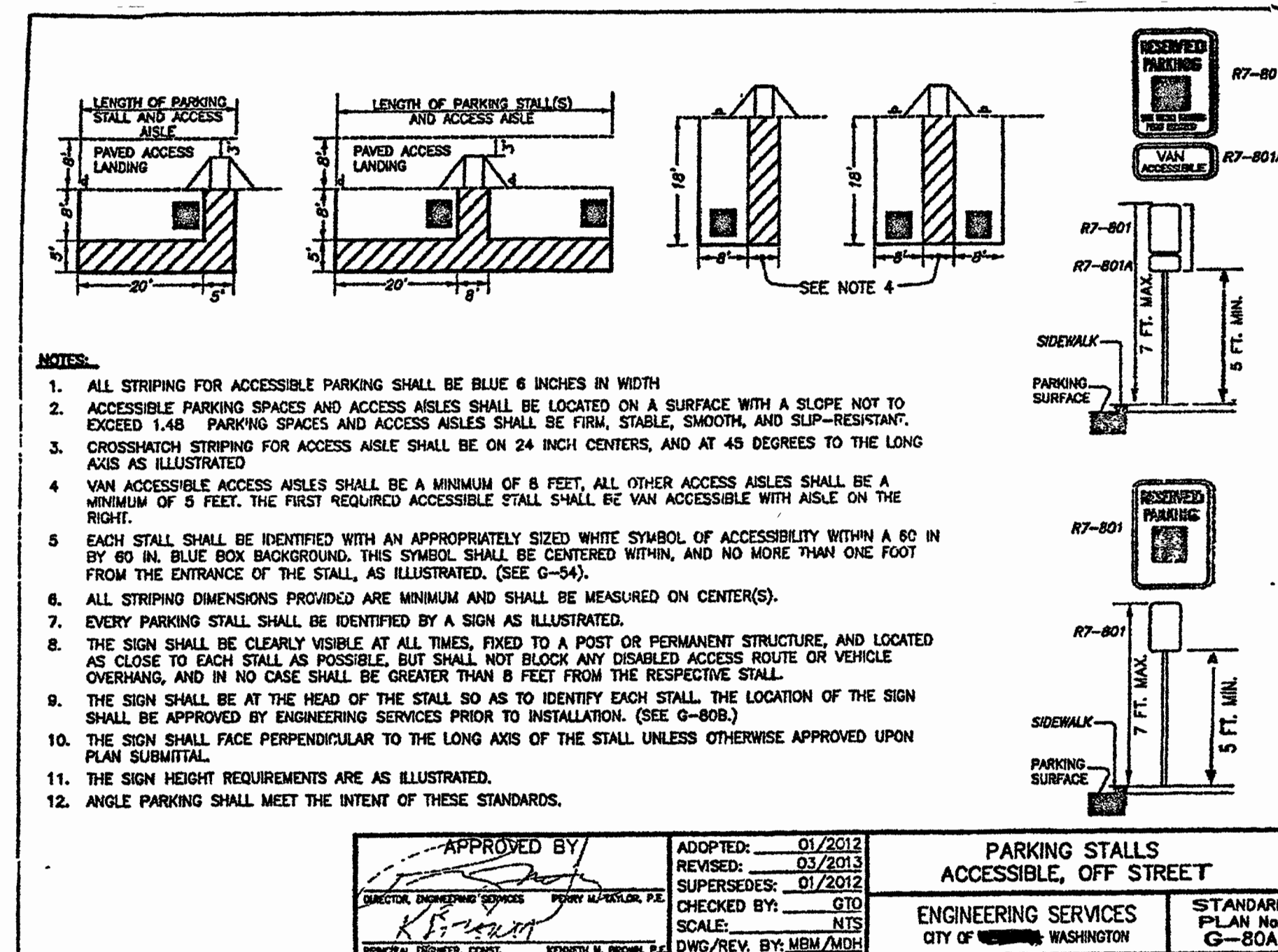
I appreciate your consideration. I am available to provide any additional information or clarification as needed.

Gerald Kofmehl



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**ATTACHMENT #3: MW-2026-0021 - Baier Plan Revised (8-11-26) -
Pending Millwood Planning Commission Approval or Denial**



SITE PLAN NOTES

- ACCESSIBLE VAN & CAR PARKING SPACE REQUIREMENTS.
A. SEE SITE PLAN FOR DIMENSIONS.
B. PAVING SLOPE: PARKING STALL & ACCESS AISLE: NOT TO EXCEED (1:48)
C. EACH STALL SHALL BE IDENTIFIED WITH AN APPROPRIATELY SIZED WHITE SYMBOL OF ACCESSIBILITY WITHIN A 60 IN. BY 60 IN. BLUE BOX BACKGROUND. THIS SYMBOL SHALL BE CENTERED WITHIN, AND NO MORE THAN ONE FOOT FROM THE REAR OF THE STALL.
D. ALL STRIPING FOR DISABLED PARKING SHALL BE BLUE IN ACCORDANCE WITH MUTCD/FEDERAL SPECIFICATIONS) 6 INCHES IN WIDTH.
E. CROSS HATCH STRIPING FOR ACCESS AISLE & ROUTE SHALL BE ON 24 INCH CENTERS, AND AT 45 DEGREES TO LONG AXIS.
F. SIX FOOT LONG CONCRETE WHEEL STOP ANCHORED IN PAVING
G. METAL DISABLED PARKING SIGN, SIZE 12"x18" MOUNT BOTTOM FIVE(5) FEET ABOVE FLOOR OF PARKING SPACE. SIGN SURFACE TO INCLUDE LETTERING: RESERVED PARKING & STATE DISABLED PARKING PERMIT REQUIRED. ALSO INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY & CONTAINING THE DESIGNATION "VAN ACCESSIBLE". INSTALL SIGN ON BLDG.
H. SEE CITY STD PLAN NO. G-80A & G-84 FOR ADD INFO.
- 2" WIDE PAINTED CROSS HATCHED STRIPING FOR ACCESS ROUTE @ 24" O.C. & AT 45° ANGLE AS SHOWN. ALSO NO PARKING. WIDTH TO BE 5'
- 4" WIDE PAINTED STRIPING PARKING STALL DIVIDERS AS SHOWN. TYP OF 5
- 6' LONG WHEEL STOPS "OPTIONAL" (NOT SHOWN)
- 1:12 SLOPE CONC. RAMP W/ 4" X 4" CONC. SIDE CURB, ALL UP TO WALK.
- CONC. LANDING, FLUSH W/ WALK
- DRYWELL
- FIRE HYDRANT
- CONC CURB
- CURB CUT / DRIVEWAY
- WATER
- YELLOW STAKE

PROJECT INFORMATION

PROPERTY OWNER & ADDRESS

SPOPRO, LLC
2028 W. TARYN CT.
SPOKANE, WA 99208-4308

PARCEL NO. 45071.0415

TENANT: HAIR & NAIL SALON

CONTRACTOR: KOFMEHL, INC

CONTACT: P.O. BOX 14721
JERRY KOFMEHL SPOKANE, WA 99214-0721
(509) 838-2749

SCOPE:

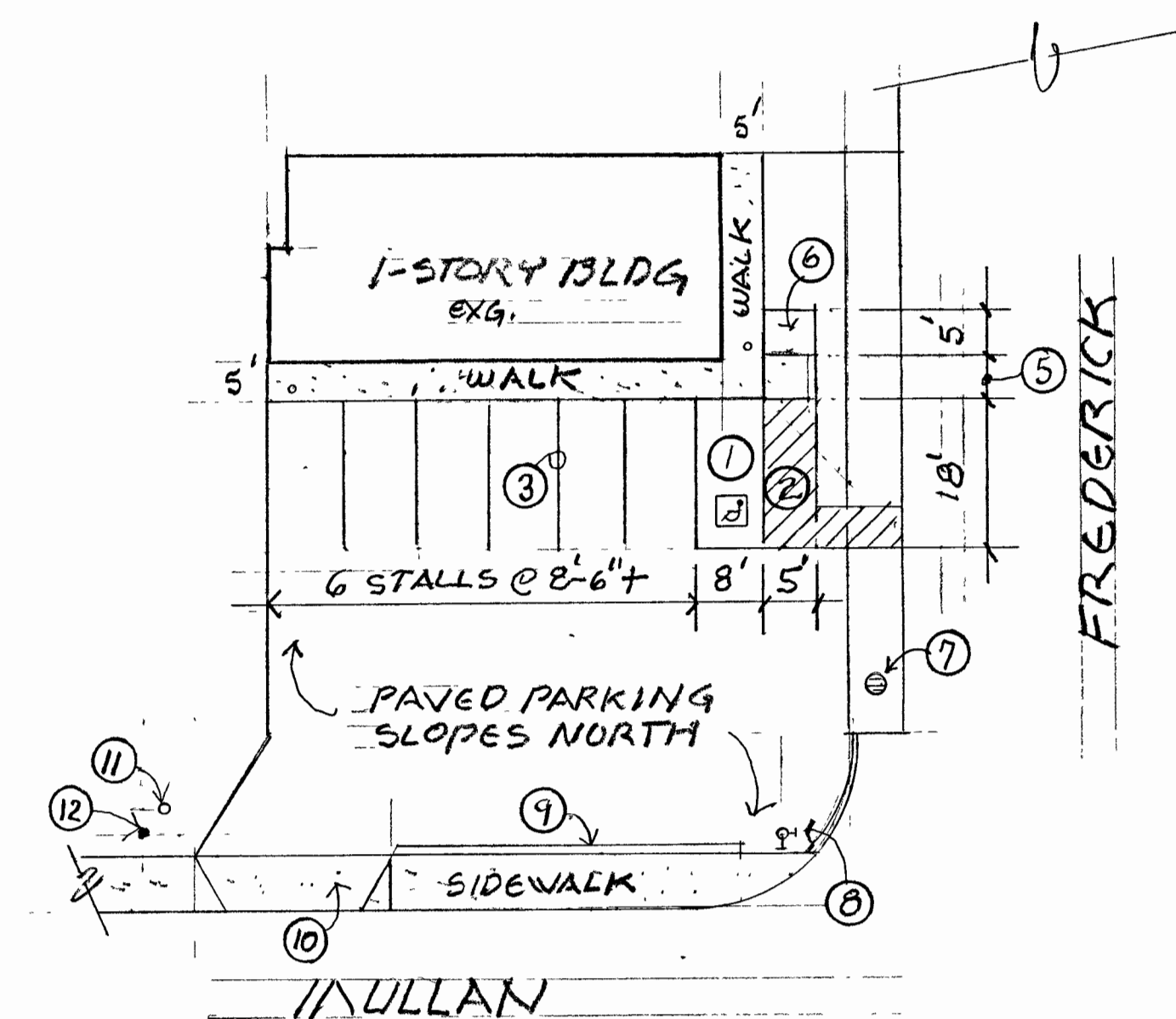
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PARKING: 1 CAR PARK PER 6,000 S.F.
1,375 S.F. ÷ 1,000 S.F. = 2 CAR PARKS



SITE PLAN

1" = 20'

INTERIOR & EXTERIOR REMODEL FOR:
MARK BAKER
3019 N. ARGONNE MILLWOOD, WA

DATE: 3/19/26
DWG: M. HILL

A-1

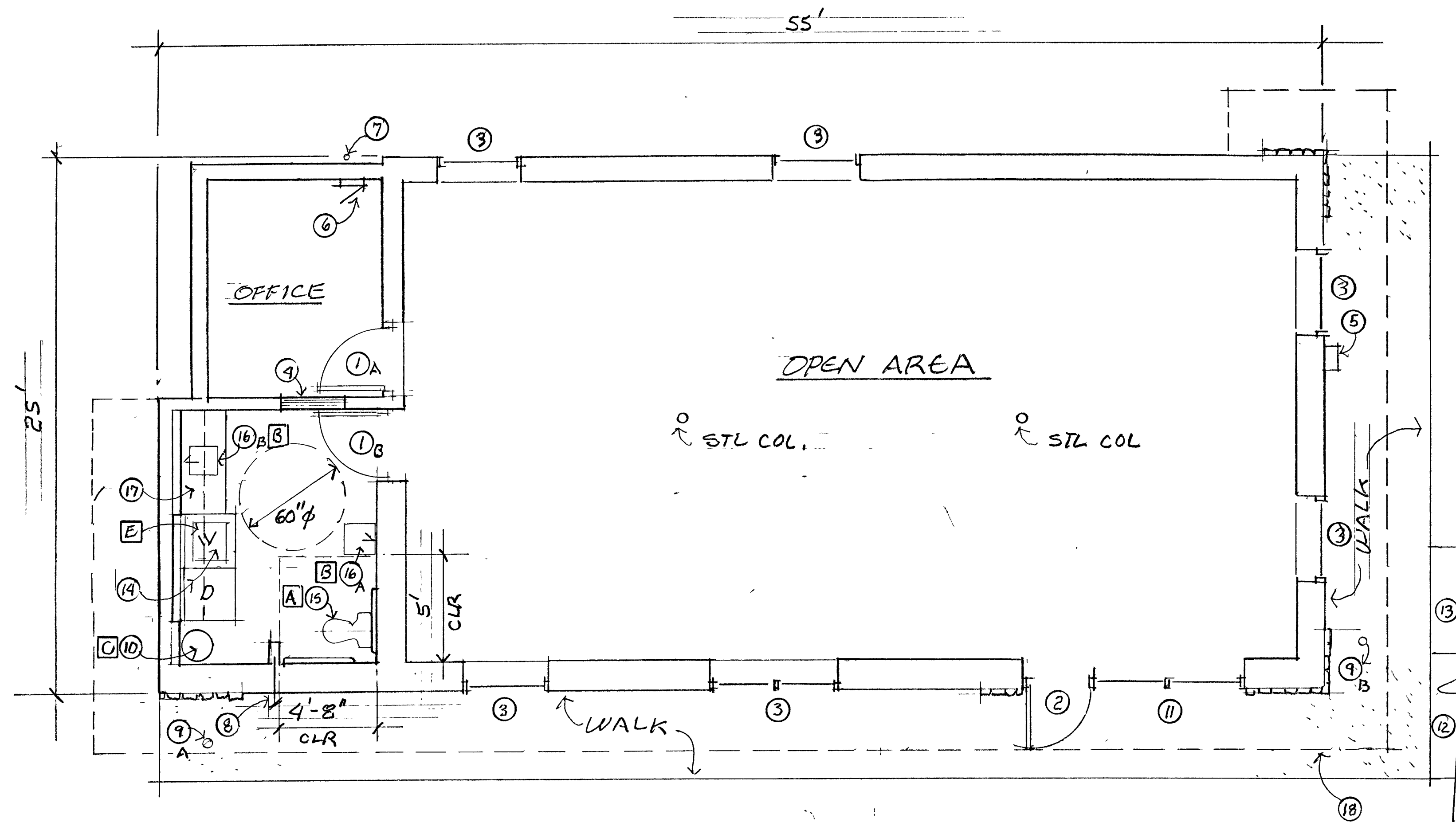
OF 4

Permit # MW-2026-0021

RECEIVED

Aug 11 2026

COSV PERMIT CENTER

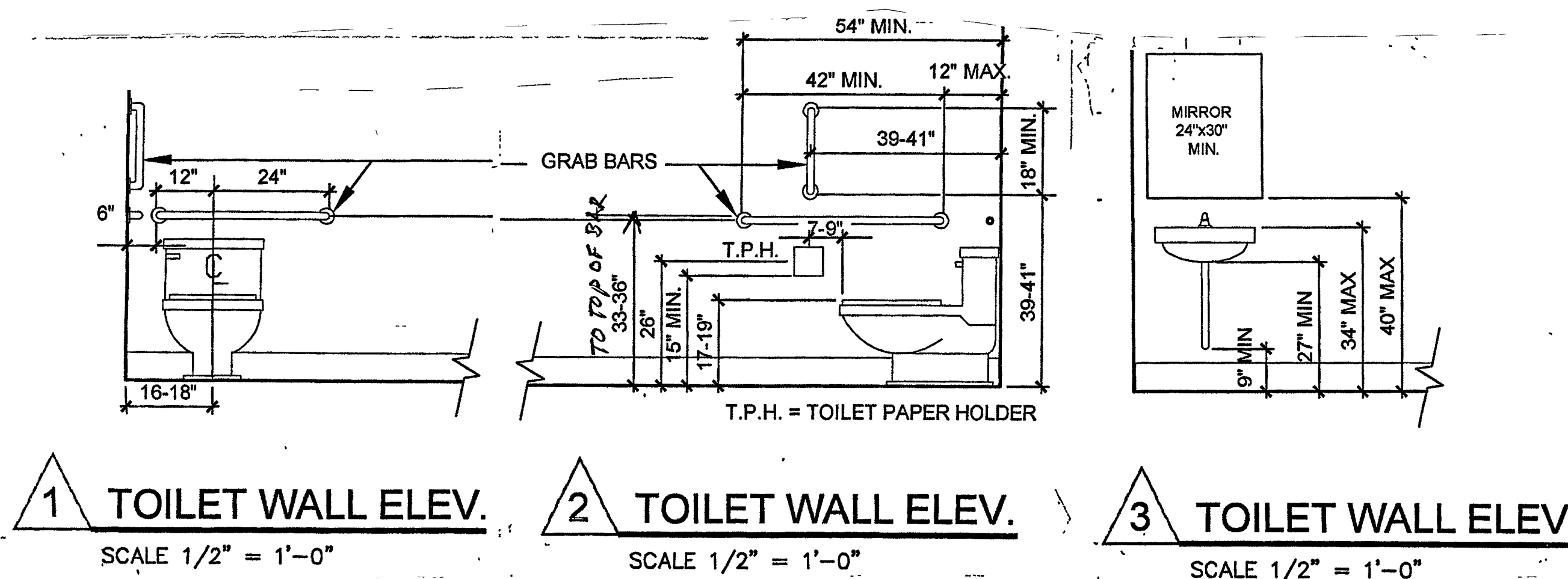


FLOOR PLAN
1/4" = 1'-0"

- FLOOR PLAN NOTES**
- 3" x 7" DR & FR W/ LEVER HDWR
 - 3" x 7" AL & GL DR & FR W/ PUSH/PULL HDWR
 - THERMOBREAK GLAZING & ALUMINUM THERMOBREAK FRAME WINDOWS.
 - METAL FRAMED WALL W/ 5/8" GWB CA SIDE & W/ SOUND BATTS.
 - GAS METER
 - ELECTRICAL PANEL
 - ELECTRIC POWER METER.
 - HOSE BIBS - WATER, FROST PROOF
 - WATER SHUTOFF?
 - WATER HEATER
 - THERMOBREAK AL FR & GLAZING STORE FRONT. SEE STRUT. FOR HEADER DESIGN
 - EXTERIOR CONC. RAMP - SEE SITE PLAN
 - EXTERIOR CONC. LANDING - SEE SITE PLAN
 - WASHER & DRYER HOOK-UP (ONLY)
 - ADA TOILET
 - SINK & LEVER HANDLE FAUCET
 - UPPER & LOWER CABINETS.
 - ROOF OVERHANG - DASHED LINE

A ACCESSIBLE TOILET ROOM CONSTRUCTION COMMENTS

- CENTER WATER CLOSET 16"-18" CLEAR FROM FINISHED SIDEWALL
- CLEARANCE AROUND THE WATER CLOSET SHALL BE 60 INCHES MINIMUM, MEASURED PERPENDICULAR FROM THE SIDE WALL TO THE LAVATORY, AND 56 INCHES MEASURED PERPENDICULAR FROM THE REAR WALL. NO OTHER FIXTURE OR OBSTRUCTION SHALL BE WITHIN THE WATER CLOSET CLEARANCE
- WATER CLOSET SEAT HEIGHT 17"-19" AFF
- GRAB BARS, 1-36" LONG @ REAR OF WATER CLOSET EXTENDING 24" FROM TOWARDS SINK & 1-42" ON SIDE STARTING 12" FROM BACK OF WATER CLOSET TOWARDS OPPOSITE WALL, MOUNTING HEIGHT 34" AFF TO TOP OF GRAB BAR. GRAB BAR 1 1/2" Ø STAINLESS STEEL FINISH.
- SINK MOUNTING HEIGHT-RIM TO FINISH FLOOR 34" WITH 29" CLEAR UNDER.
- MIRROR 24" x 30", W/ STAINLESS STEEL FRAME, MOUNTING HEIGHT BOTTOM TO FINISH FLOOR 40".
- PAPER TOWEL ACCESS MAXIMUM HEIGHT 40" AFF.
- SIGNAGE TO BE APPROVED BARRIER FREE DESIGN & COLOR.
- INSULATE HOT WATER LINE & P-TRAP UNDER SINK
- WALL FINISH, 4" HIGH NONABSORBENT WAINSCOT. PAINT ABOVE.
- FLOOR FINISH, SMOOTH HARD NONABSORBENT SURFACE WHICH EXTENDS UPWARD ON TO WALL 6" COVE DESIGN
- 18" VERTICAL GRAB BAR MOUNTED 39" - 41" ABOVE FLOOR & CENTERED 39" - 41" FROM REAR WALL



S/N	DESCRIPTION	W	V	H	C	REMARKS
A	WATER CLOSET	3"	2"	1/2"		ADA DESIGN
B	HAND SINK	3"	2"	1/2"	1/2"	W/ SINGLE LEVER FAUCET
C	WATER HEATER			34"	3/4"	GAS FIRED INSUL WRAP R-10 INSUL PAD POP OFF CATCH PAN. CONFIRM SIZE
D	MOP SINK (REQUESTED)	2"	2"	1/2"	1/2"	W/ V.B. VACUUM BREAKER
E	WASHER	3"	2"	1/2"	1/2"	

REVISION

INTERIOR & EXTERIOR REMODEL FOR:

MARK BAUER

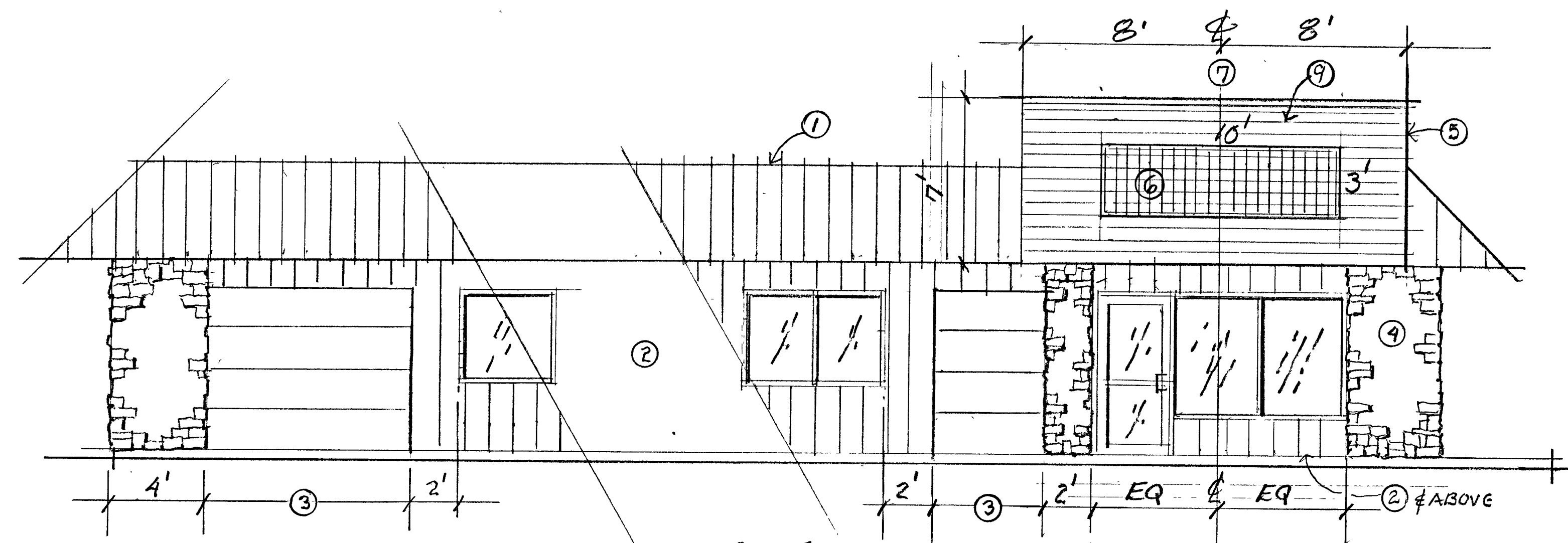
3019 N. ARGONNE MILWAUKEE, WI

DATE: 5/19/20

DWN: M. HILL

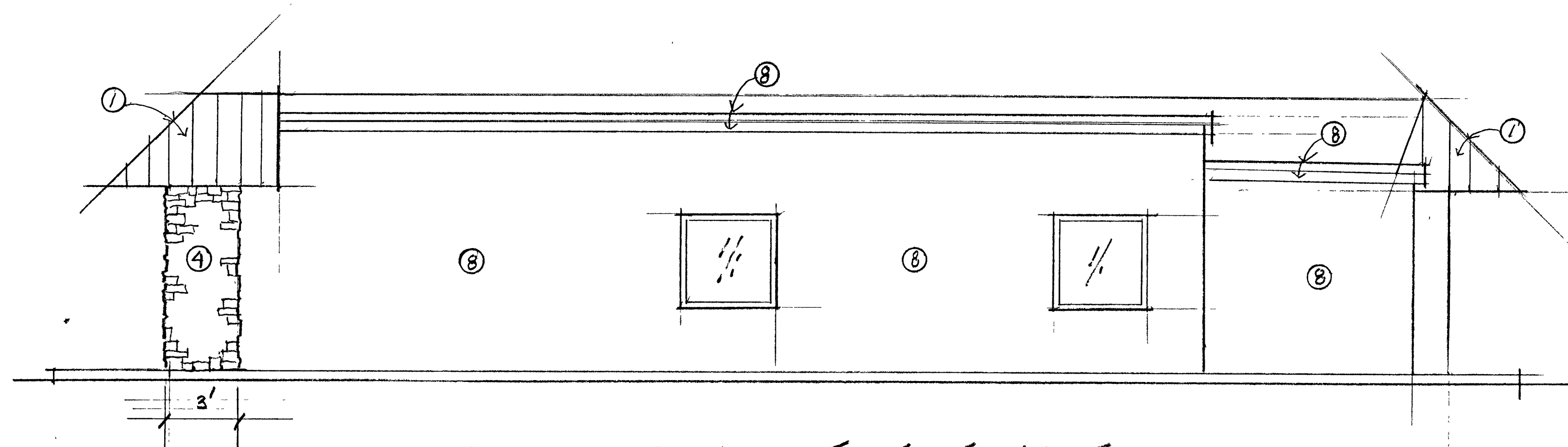
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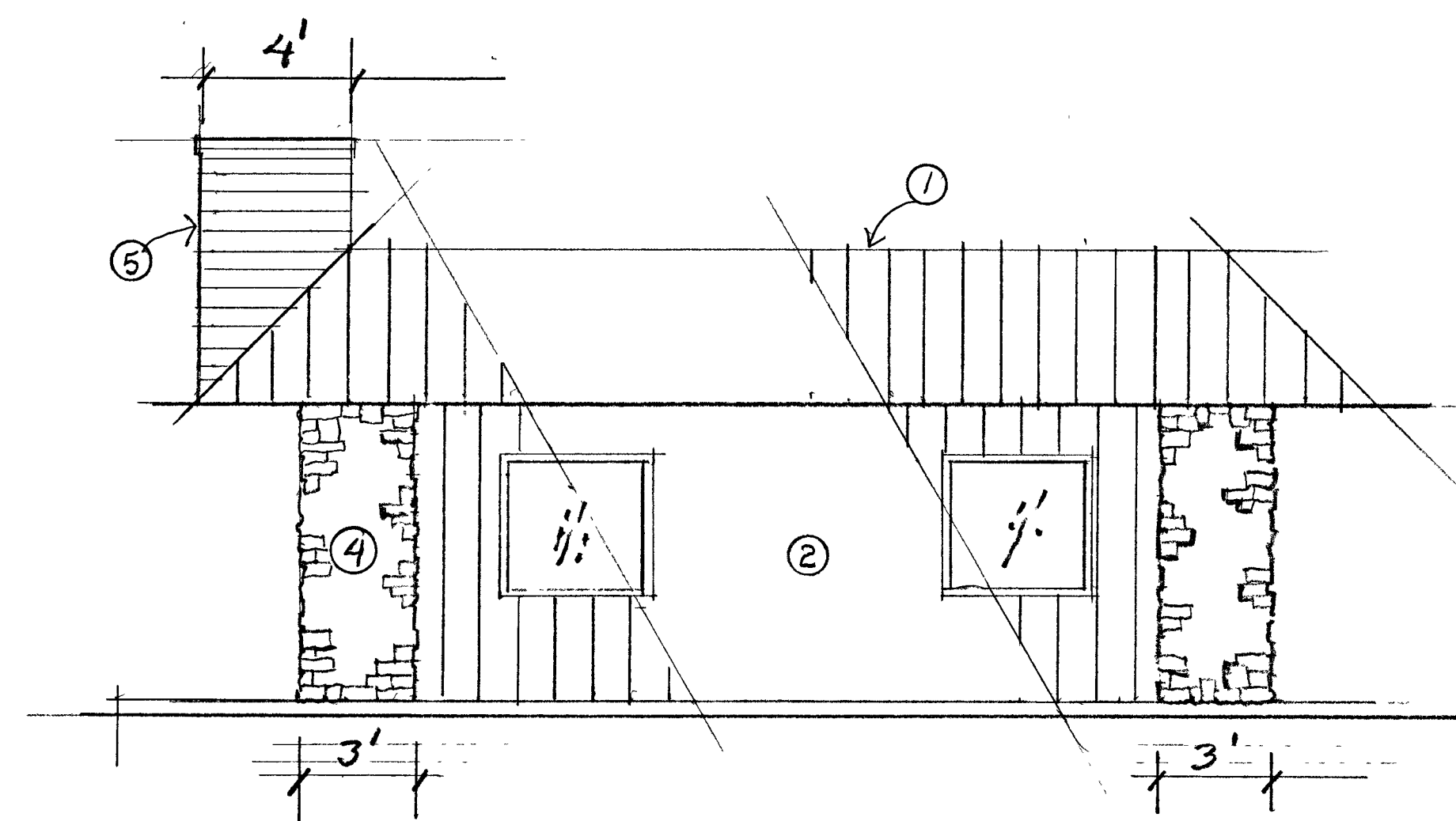
EAST ELEVATION

1/4" = 1'-0"



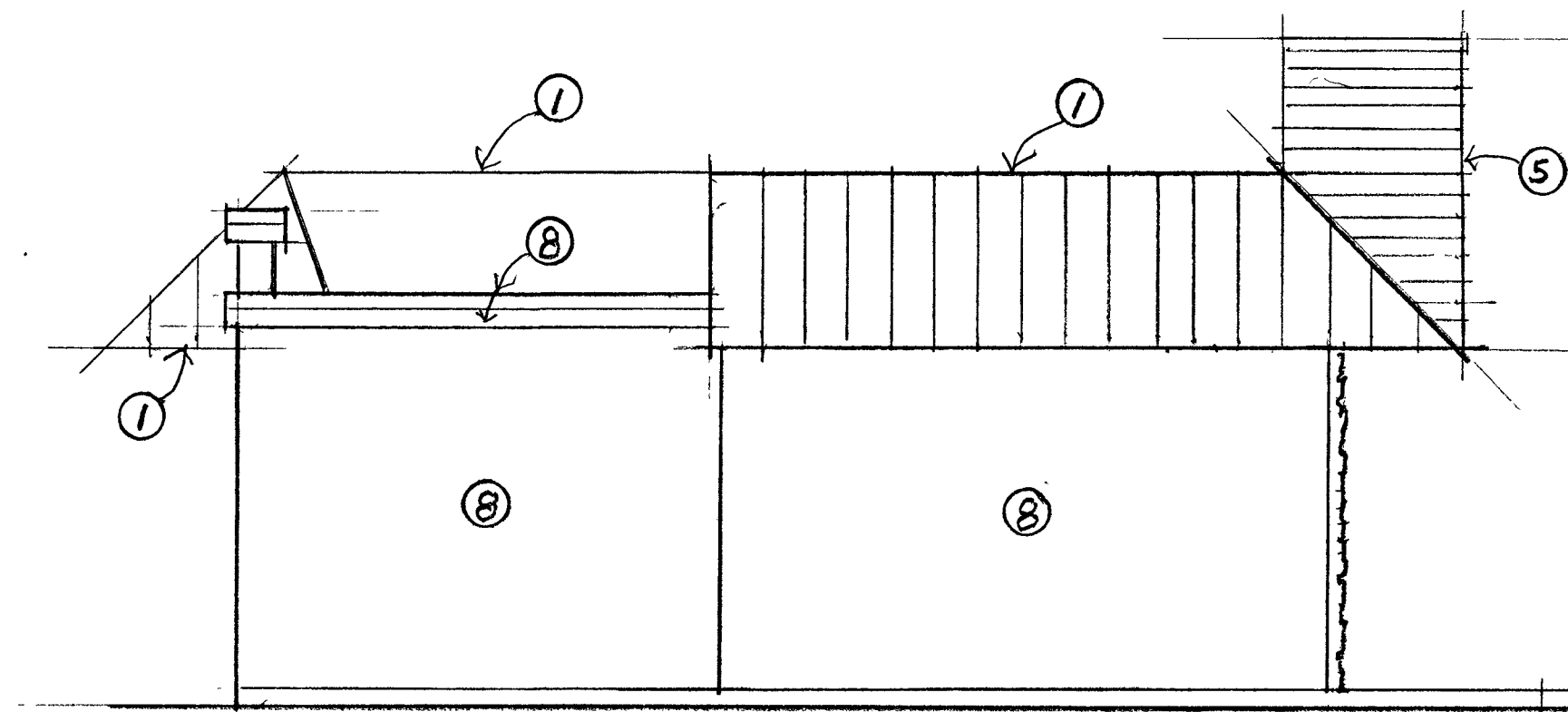
WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

ELEVATION NOTES

- ① METAL ROOFING
- ② METAL SIDING - SEE ELEVATION NOTE ⑩
- ③ CEMENT SIDING PANEL
- ④ TEXTURED CEMENT STONE VENEER-TYP
- ⑤ HORIZONTAL METAL PANEL
- ⑥ FRAMED METAL WIRE MESH SIGN PANEL
- ⑦ CENTER ON AL & GL STOREFRONT.
- ⑧ PAINT
- ⑨ SEE STRUCTURAL ENG. FOR RAISED SIGN FRAMING & SUPPORT
- ⑩ SEE REQUEST FOR WAIVER - METAL SIDING REQUIREMENT MILLWOOD C-2 ZONE PER MMC 17.24.010(F) LETTER FROM GERALD KOFMEHL DATED 5/27/26 ON SHEET A-4 DATED 8/10/26

REVISION

Δ REQUEST FOR WAIVER LETTER ADDED ON SHEET A-4 DATED 8/10/26

INTERIOR & EXTERIOR REMODEL FOR:

MARK BAUER

3019 N. ARGONNE MILLWOOD, WA

DATE: 3/19/26

DRWN: M. HILL

A-3

OF 4

5/22/26.

Request for Waiver — Metal Siding Requirement (Millwood C-2 Zone)

To: City of Millwood - Planning & Building Department
Attn: Plan Reviewer
Re: Request for Exception Under MMC 17.24.010(F) Metal Siding Restriction
Project: Millwood Commercial Building Improvements

Dear Plan Reviewer,

I am submitting this request for an exception under MMC 17.24.010(F) regarding the prohibition of metal siding within the C-2 zone. After reviewing the applicable development standards and evaluating the design intent of this project, I believe there is a clear and well-supported basis for granting relief from this specific requirement

1. The Proposed Metal Siding Meets the Intent of the Code

MMC 17.24.010 emphasizes neighborhood- and pedestrian-scale design, architectural detail, and high-quality exterior materials. The metal siding selected for this project is a modern architectural panel system, not a pole-building material. It provides:

- A clean, contemporary profile
- High durability and long-term performance
- A finished appearance consistent with commercial-grade construction
- Compatibility with the surrounding commercial context

The intent of the code—to avoid low-quality or industrial-grade metal structures—is fully met by the proposed materials.

2. The Building Design Already Incorporates Multiple High-Quality Materials

The overall exterior design includes:

- Brick elements
- Glass storefront systems
- An enhanced, clearly defined main entrance
- Architectural detailing consistent with pedestrian-scale design
- Concrete board siding (already incorporated and available as an alternative if required)

These features collectively satisfy the ordinance's goals for architectural interest, façade articulation, and pedestrian-friendly design.

3. The Project Meets or Exceeds All Other Applicable Design Standards

The building design complies with the following requirements of MMC 17.24.010:

- Interest-creating features on the street-facing façade
- Architectural detailing on visible facades
- Prominent entrance treatment
- Ground-level pedestrian-oriented features
- Window percentage requirements
- Blank wall treatment standards

The metal siding is used only as one component of a multi-material façade system and does not diminish compliance with any of these standards.

4. Basis for Exception Under MMC 17.24.010(F)

Under subsection (F), the Planning Commission may waive a standard when:

1. The underlying design principles are not furthered by applying the standard. In this case, prohibiting modern architectural metal siding does not enhance pedestrian scale, architectural detail, or neighborhood compatibility.
2. Another design principle is enhanced by not applying the standard. • Allowing the proposed siding, supports durability, cohesive design, and long-term maintenance quality.

3. Unique site or project factors make the standard unworkable. The building's design integrates multiple materials, and the siding has already been custom-cut and fabricated for this project. Replacing it would create unnecessary waste and delay without improving design outcomes.

5. Commitment to Provide Additional Documentation

We can provide:

- Material specifications
- Color and finish samples
- Elevation drawings
- Perspective renderings
- Detailed facade breakdowns

These documents will demonstrate that the proposed siding meets the intent of the ordinance and contributes to the building's architectural character.

Conclusion

For the reasons outlined above, I respectfully request approval of an exception to use the proposed architectural metal siding on this project. The design meets the spirit and intent of MMC 17.24.010 and results in a high-quality, visually appealing commercial building consistent with the goals of the C-2 zone.

I appreciate your consideration. I am available to provide any additional information or clarification as needed.

Gerald Kofmehl

REVISION

INTERIOR & EXTERIOR RENODEL FOR:

MARK BAKER

3019 N. ARGONNE MILLWOOD, WA

DATE: 8/10/26

DWYN 3

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