



MEETING DATE: June 3, 2026

PRESENTED BY: Xavier Cervantes, Director of Planning

AGENDA ITEM: Site Plan Approval for the construction of a 105-unit senior living community on a 6-acre tract of land out of Lot 2, Mrs. E.V. Flores Subdivision located along the South side of Leonor Street approximately 700 feet East of Schuerbach Road, Applicant: Roundstone Development, LLC – Cervantes

NATURE OF REQUEST:

Project Timeline:

- April 30, 2025 – Original Planning and Zoning Application submitted to the City for Site Plan Approval
- June 3, 2026 – Consideration of the Site Plan Approval by the Planning and Zoning Commission

Summary:

- Las Fuentes Senior Living will be an affordable 105-unit gated community catered to seniors 55+ on 6 landscaped acres developed by Roundstone,
- Located at 2801 Leonor St, Mission, TX. the property sits along the South side of Leonor Street, approximately 700 feet East of Schuerbach Road. The property is currently open with a proposed use of R-3 multifamily residential. The proposed site plan shows to be compliant with its zoning requirements to include setbacks and restrictions.
- Las Fuentes Senior Living Apartments will consist of 105 apartments organized into 5 garden style buildings, with building 1 being 3 stories in height. The proposed units will range from 1 and 2-bedroom apartments: 58 – one-bedroom units; 47 – two-bedroom units. Also, included is a single-story, wood framed free standing leasing office/clubhouse, shade covered children's playground, and a dog park. The project is served via surface parking and a detention pond.
- The subdivision has frontage to Leonor Street being a public 40-foot ROW with proposed curb and gutters, drainage, and utilities.
- The minimum number of paved, striped off-street parking spaces required are 2 for each apartment for a grand total of 210 spaces: 184 allocated for residential and 26 for the clubhouse.
- A landscaping plan has been submitted and reviewed for compliance per subdivision ordinance Ch. 98 Subdivision – Landscaping regulations and a lighting layout per site plan requirements.

STAFF RECOMMENDATION:

Staff recommends approval of the Site Plan as submitted.

RECORD OF VOTE:

APPROVED:

DISAPPROVED:

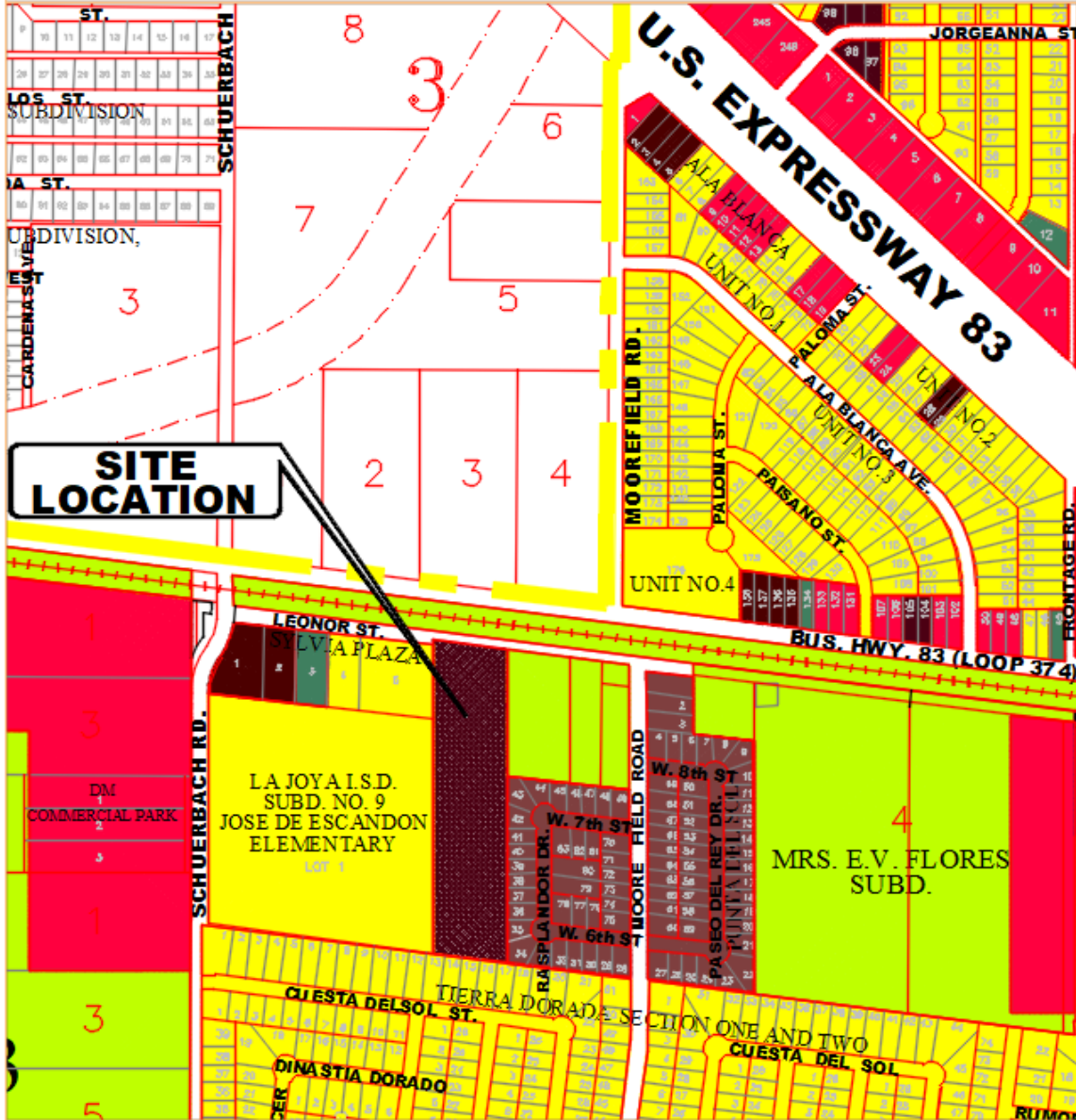
TABLED:

_____ AYES

_____ NAYS

_____ DISSENTING

ZONING MAP



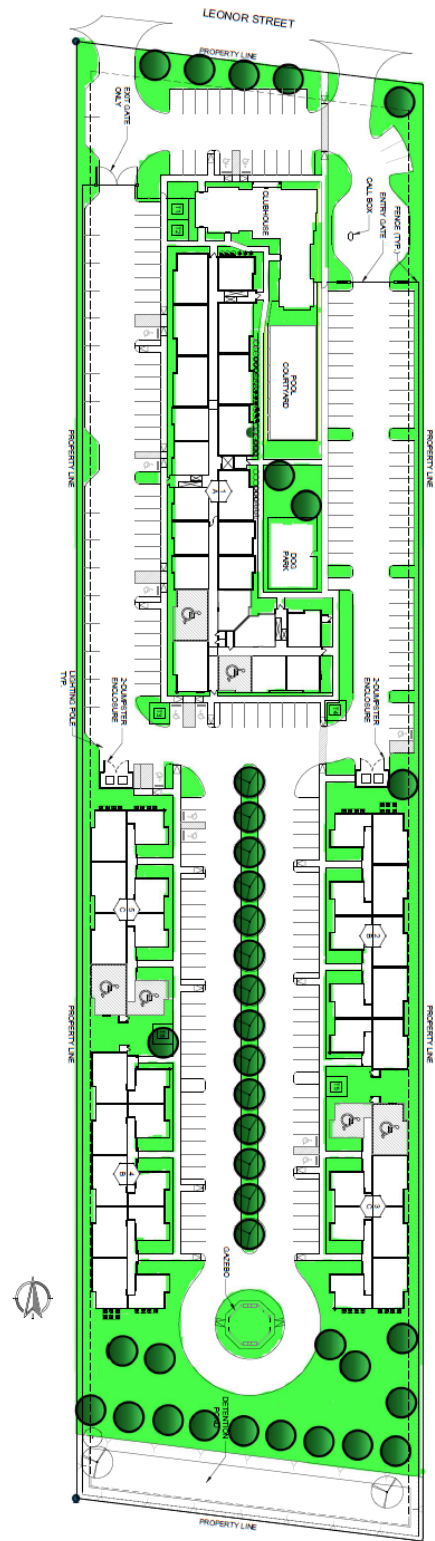
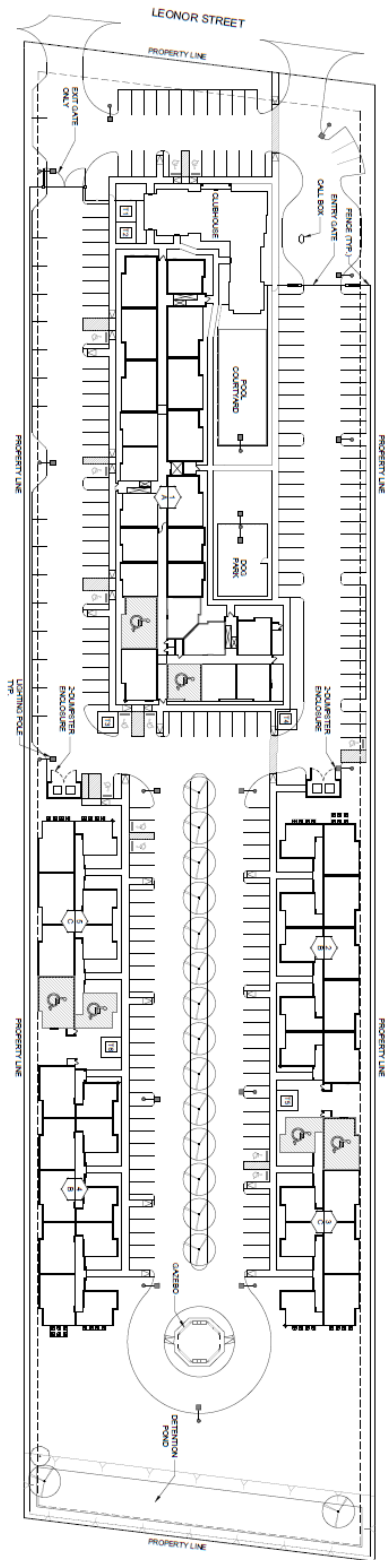
ZONING LEGEND

- | | | |
|----------------------------------|--------------------------------|------------------------------|
| A0-I AGRICULTURAL OPEN INTERIM | R-3 MULTI-FAMILY RESIDENTIAL | C-4 HEAVY COMMERCIAL |
| A0-P AGRICULTURAL OPEN PERMANENT | R-4 MOBILE & MODULAR HOME | C-5 ADAPTIVE COMMERCIAL |
| R-1A LARGE LOT SINGLE FAMILY | R-5 HIGH DENSITY MFCTD HOUSING | I-1 LIGHT INDUSTRIAL |
| R-1T TOWNHOUSE RESIDENTIAL | C-1 OFFICE BUILDING | I-2 HEAVY INDUSTRIAL |
| R-1 SINGLE FAMILY RESIDENTIAL | C-2 NEIGHBORHOOD COMMERCIAL | PUD PLANNED UNIT DEVELOPMENT |
| R-2 DUPLEX-FOURPLEX RESIDENTIAL | C-3 GENERAL BUSINESS | P PUBLIC |

AERIAL PHOTO



SITE PLAN



BUILDING FAÇADE – BLDG 1



04 BUILDING A RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
1 REQUIRED



03 BUILDING A LEFT ELEVATION
SCALE: 1/8" = 1'-0"
1 REQUIRED

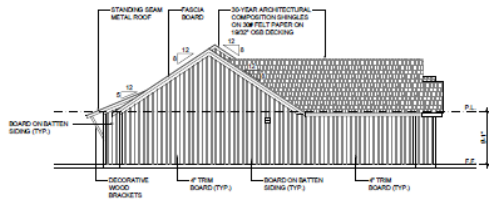


02 BUILDING A REAR ELEVATION
SCALE: 1/8" = 1'-0"
1 REQUIRED

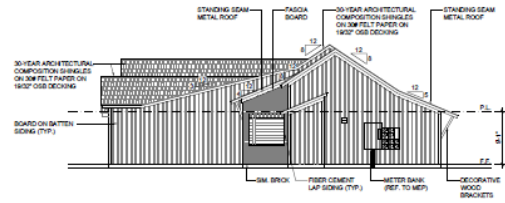


01 BUILDING A FRONT ELEVATION
SCALE: 1/8" = 1'-0"
1 REQUIRED

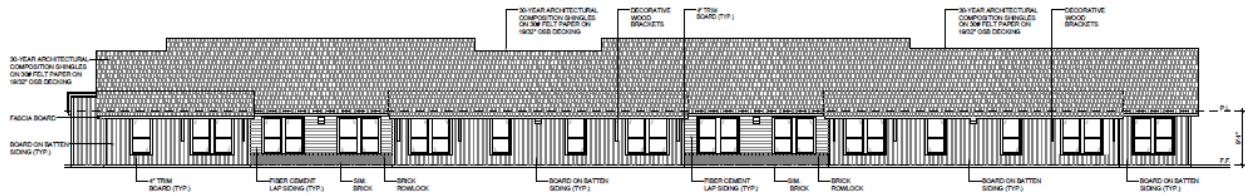
BUILDING FAÇADE – BLDG 2



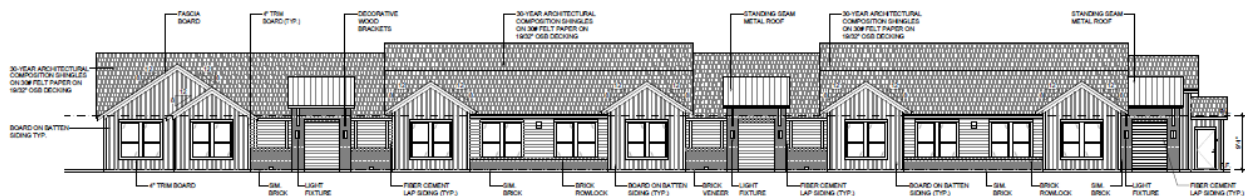
04 BUILDING B LEFT ELEVATION
SCALE: 1/8" = 1'-0"
2 REQUIRED



03 BUILDING B RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
2 REQUIRED

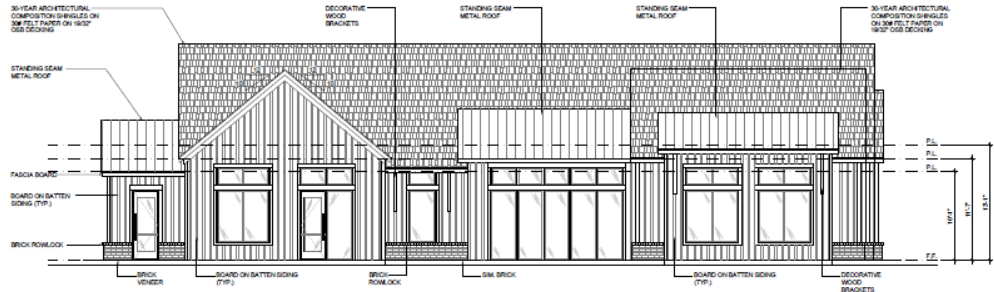


02 BUILDING B REAR ELEVATION
SCALE: 1/8" = 1'-0"
2 REQUIRED

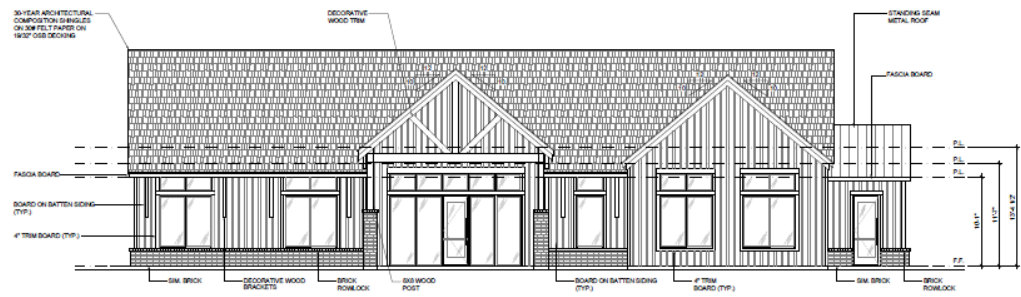


01 BUILDING B FRONT ELEVATION
SCALE: 1/8" = 1'-0"
2 REQUIRED

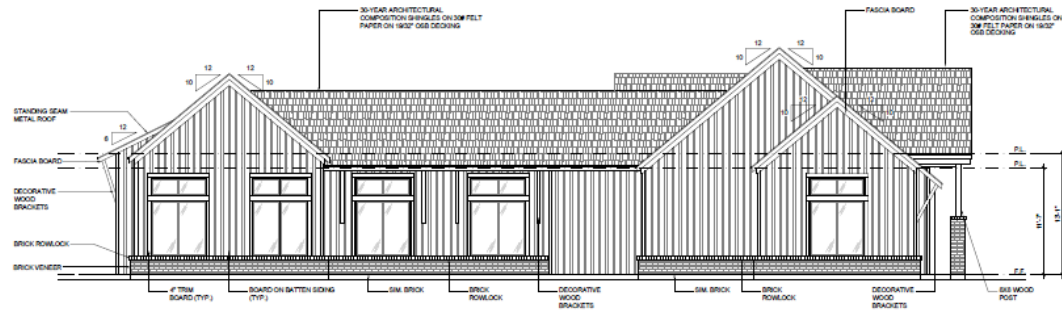
BUILDING FAÇADE – OFFICE/CLUBHOUSE



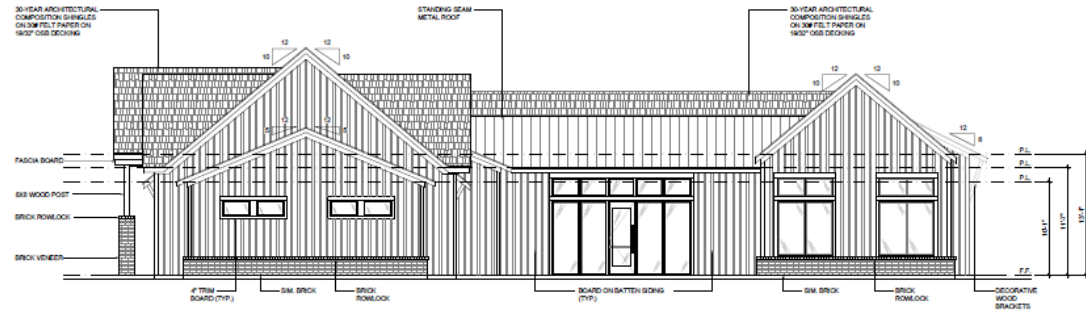
02 CLUBHOUSE REAR ELEVATION
SCALE: 1/8" = 1'-0"
1 REQUIRED



01 CLUBHOUSE FRONT ELEVATION
SCALE: 1/8" = 1'-0"
1 REQUIRED



02 CLUBHOUSE LEFT ELEVATION
SCALE: 1/8" = 1'-0"
1 REQUIRED



01 CLUBHOUSE RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
1 REQUIRED