

## **ITEM# 1.7**

**CONDITIONAL USE PERMIT:** Construct a Pool House on Property Zoned  
Large Lot Single Family Residential  
1300 Encanto Blvd.  
Lot 3, Encanto Estates  
R-1A  
Gerardo Hinojosa

### **REVIEW DATA**

The subject site is located approximately 435' east of Bryan Road along the south side of Fair Oaks Drive. – see vicinity map. The applicant is requesting a conditional use permit for the construction of a pool house. The proposed pool house will have 2,891 square feet. It will consist of a game room, indoor lounge, bath, storage shed, covered patio. Pool houses are allowed in a Large Lot Single Family Zone as long as they apply for a conditional use permit and comply with the following conditions:

- Lot be a minimal of 12,000 sq. ft.
- Cannot be made available or used for lease, rent, hire, and the owner of such use may not receive remuneration for the use of one of the above
- Proposal must be clearly secondary to the primary residence
- Shall not have access to a public street (No shared/extended driveway)
- Shall not have separate kitchen area or utilities

**REVIEW COMMENTS:** The lot total square footage is 48,902 sq. ft. and all building setbacks will be met. The proposed driveway is more than sufficient to accommodate any incoming vehicle. The pool house must be connected to the same water and electrical meters, i.e. no separate utilities. Staff mailed out 9 notices to property owners within '200' radius and staff has not received any comments in favor or against this request.

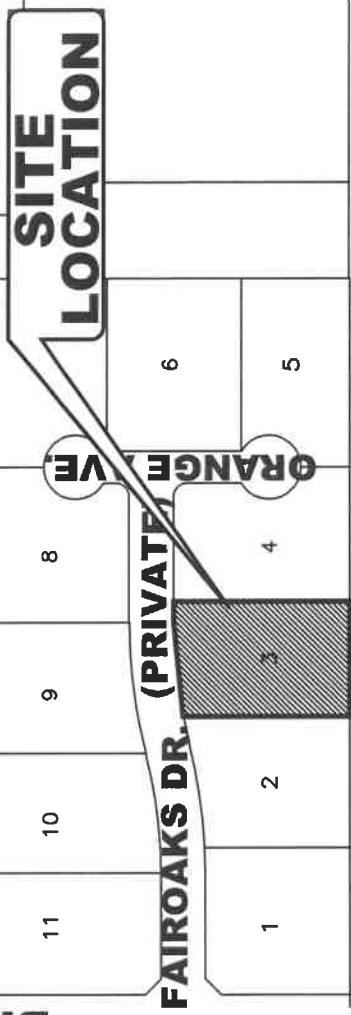
**RECOMMENDATION:** Staff recommends approval subject to:

- 1) No separate utility and electrical connections,
- 2) Transferability to other future owners imposing the same conditions imposed to this applicant,  
and
- 3) Not to be used for rental purposes.

D&D  
1

BRYAN RD.

ENCANTO ESTATES



27-10

27-11 MISSION LATERAL 27-

|    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |              |   |   |              |   |   |   |   |   |    |    |    |    |    |    |    |    |    |
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| 35 | 34 | 33 | 32 | 31 | 30 | 29 | 28 | 27 | 26 | 25 | 24 | 23 | 22 | 21 | 20 | 19 | 18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 9            | 8 | 7 | 6            | 5 | 4 | 3 | 2 | 1 | 60 | 59 | 58 | 57 | 56 | 55 | 54 | 53 | 52 |
| 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 61 | 62 | 63 |    |    |    |    |    |    |    |    |    |              |   |   | <b>E. 29</b> |   |   |   |   |   |    |    |    |    |    |    |    |    |    |
| 63 | 62 | 61 | 60 | 59 | 58 | 57 | 56 | 55 | 54 | 53 | 52 | 51 | 50 |    |    |    |    |    |    |    |    |    |    |    |    | <b>E. 28</b> |   |   |              |   |   |   |   |   |    |    |    |    |    |    |    |    |    |

|                                  |   |   |   |   |   |   |   |   |    |    |    |    |    |    |                    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |     |
|----------------------------------|---|---|---|---|---|---|---|---|----|----|----|----|----|----|--------------------|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----------------|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----------------|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|
| 1                                | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16                 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31             | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46             | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| <b>HERITAGE PARK SUBD. PH II</b> |   |   |   |   |   |   |   |   |    |    |    |    |    |    | <b>HERITAGE PA</b> |    |    |    |    |    |    |    |    |    |    |    |    |    |    | <b>SUNTERI</b> |    |    |    |    |    |    |    |    |    |    |    |    |    |    | <b>LAS BRI</b> |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |     |

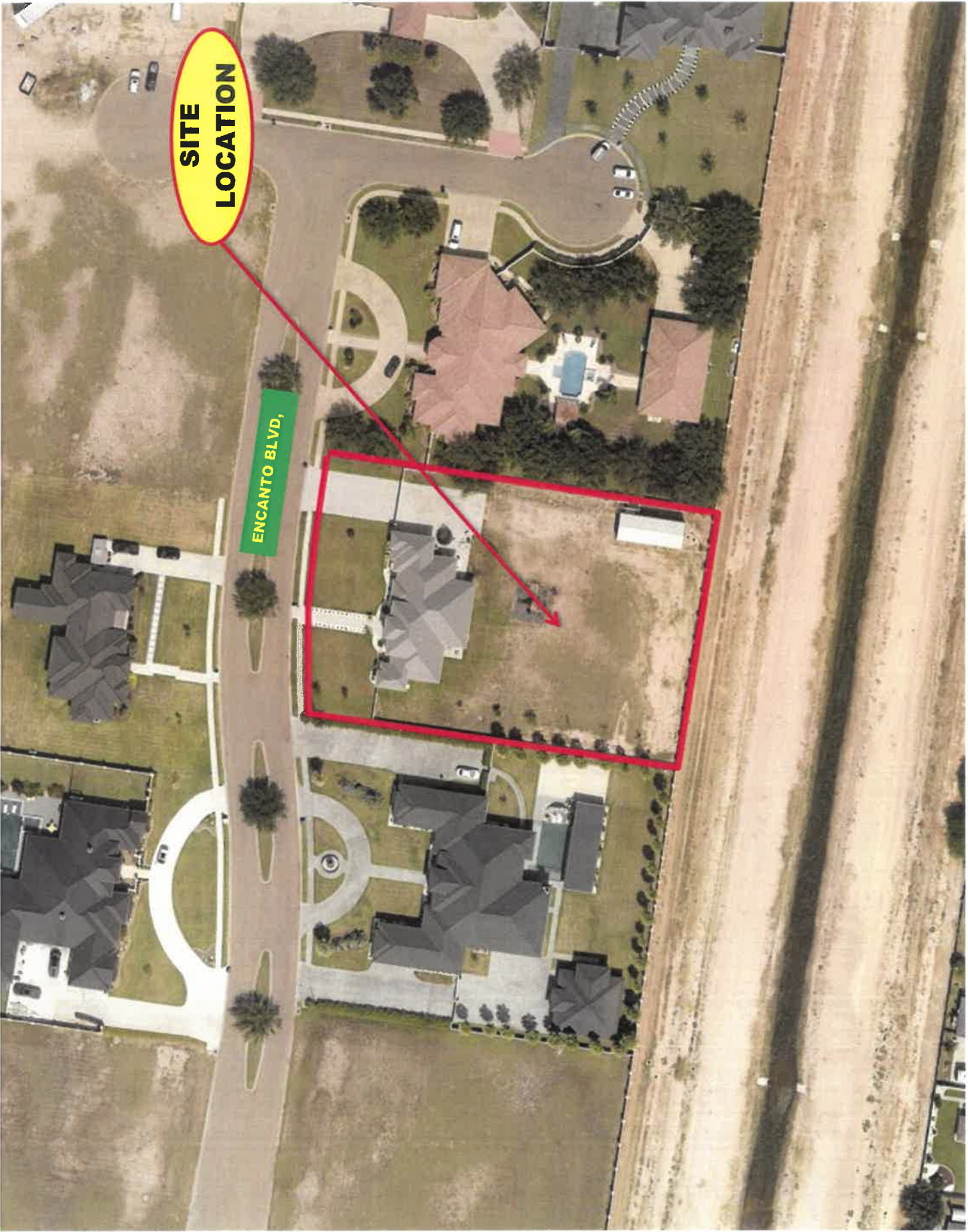


**CITY OF MISSION**  
 HIDALGO COUNTY, TEXAS  
 1201 E. 8th Street  
 MISSION, TX 78572  
 PH: (956) 580-8672  
 FAX: (956) 580-8680

No.

**SITE  
LOCATION**

**ENCANTO BLVD,**



# HINOJOSA POOL HOUSE

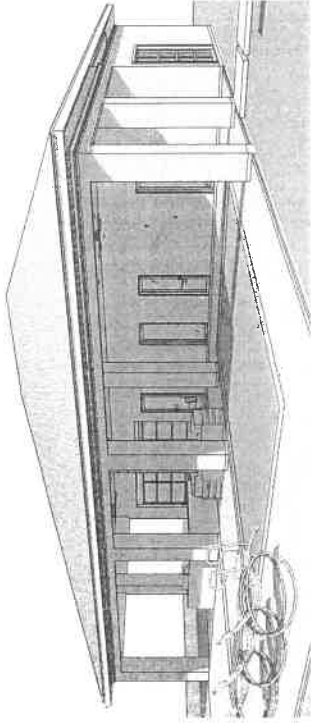
1300 Encanto Blvd Mission Tx 78574

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Sheet List  
 100 SITE & ROOF PLANS  
 101 FOUNDATION PLAN AND DETAILS  
 200 INTERIOR FINISHES  
 300 EXTERIOR ELEVATIONS  
 400 ELECTRICAL PLAN



3 PRELIMINARY FLOOR PLAN



2 3D View 1

**BUILDING AREA**

|               |               |
|---------------|---------------|
| COVERED PATIO | 168 SF        |
| INDOOR AREA   | 342 SF        |
| SHED          | 294 SF        |
| <b>TOTAL</b>  | <b>804 SF</b> |

## POOL HOUSE

1300 Encanto Blvd  
 Mission TX 78574

PERMIT/  
 CONSTRUCTION  
 SET

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herman.mendez@mdz.com  
 956.650.9362

Drawn By: H.M.  
 Plan No: 20050  
 Date: 1-10-23

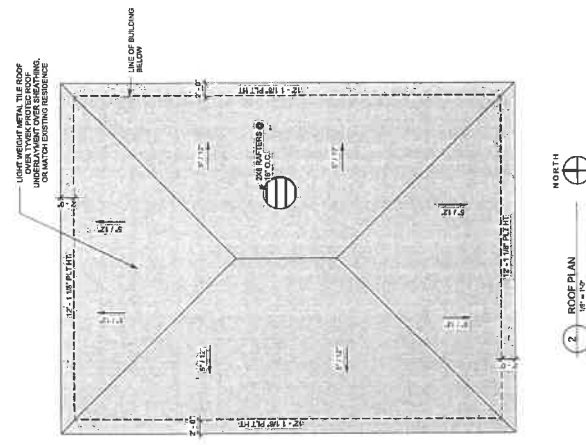
Drawing Title:  
**COVER SHEET**

Drawing No:  
**CVR**

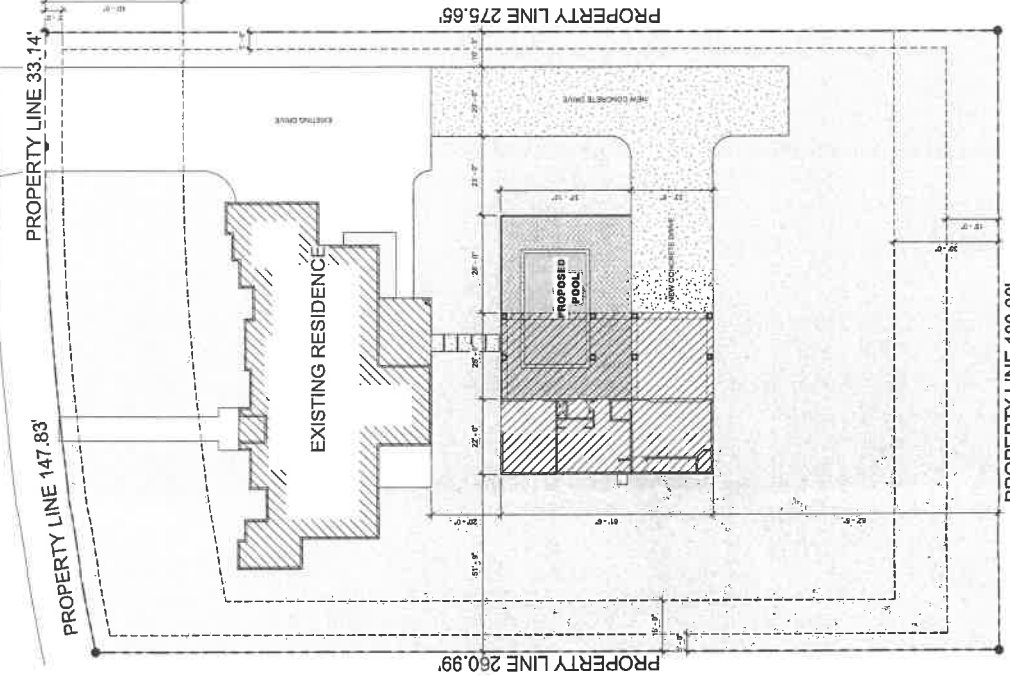


# ENCANTO BLVD.

- GENERAL ROOF PLAN NOTES:**
1. O.C. SHALL VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO COMMENCING WORK.
  2. ROOF FLASHING ARE TO BE AS NOTED ON SHEETS.
  3. USE NAILS & BRICES TO BE EXPOSED OVER SHEET LARGER THAN 48" X 96".
  4. OVERSHEATH IS TO BE 3/4" TYPICAL FROM FRAMED WALL, D.A.C.
  5. NOT IN USE.
  6. ALL EXTERIOR OPENINGS TO BE LEAD AND GLASS.
  7. ALL EXTERIOR OPENINGS TO BE LEAD AND GLASS.
  8. WHEN DIMENSIONED TRIMMER IS TO BE USED, THIS SECTION IS SUBJECT TO BE PER.
  9. ALL WALLS OVER 8' TO BE FRAMED WITH 2x8 STUDS IF WALLS OVER 8' STUDS THEY MUST BE BUILT WITH DOUBLE STUDS AT 16" O.C.
  10. POOL CHECKING PLANS TO ASSURE COMPLIANCE WITH ALL APPLICABLE BUILDING CODES. SHOULD ANY CHANGES BE IDENTIFIED WITHIN 10 DAYS OF THE DATE OF THE ISSUANCE OF THE PERMITS, THE ARCHITECT SHALL BE ADVISED IMMEDIATELY BY THE OWNER.
  11. ALL LOAD BEARING MEMBERS ARE TO BE DESIGNED PER ENGINEER OR BUILDER.



2. ROOF PLAN  
1/8" = 1'-0"



1. SITE PLAN  
1/8" = 1'-0"

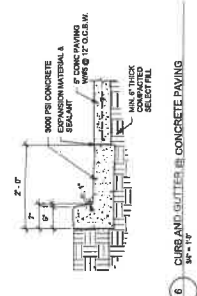
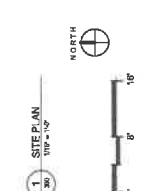
- SITE GENERAL NOTES:**
1. THE EXISTING RESIDENCE SHALL BE DEMOLISHED AND THE FOUNDATION SHALL BE REMOVED TO A MINIMUM OF 4" BELOW FINISH GRADE.
  2. THE EXISTING RESIDENCE SHALL BE DEMOLISHED AND THE FOUNDATION SHALL BE REMOVED TO A MINIMUM OF 4" BELOW FINISH GRADE.
  3. THE EXISTING RESIDENCE SHALL BE DEMOLISHED AND THE FOUNDATION SHALL BE REMOVED TO A MINIMUM OF 4" BELOW FINISH GRADE.
  4. THE EXISTING RESIDENCE SHALL BE DEMOLISHED AND THE FOUNDATION SHALL BE REMOVED TO A MINIMUM OF 4" BELOW FINISH GRADE.
  5. THE EXISTING RESIDENCE SHALL BE DEMOLISHED AND THE FOUNDATION SHALL BE REMOVED TO A MINIMUM OF 4" BELOW FINISH GRADE.

**NOTE:**

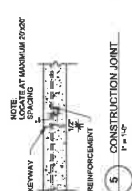
OWNER, BUILDER, AND SURVEYOR TO VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO COMMENCING WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND LOCATIONS SHOWN ON THIS PLAN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND LOCATIONS SHOWN ON THIS PLAN.

**DRIVEWAY & SIDEWALK NOTES:**

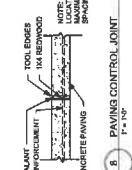
DRIVEWAYS SHALL BE 4" THICK FOR RESIDENTIAL USE AND 6" THICK FOR COMMERCIAL, INDUSTRIAL, ETC. DRIVEWAYS AND SIDEWALKS SHALL BE CONCRETE AND SHALL BE FINISHED WITH A POLISHED CONCRETE FINISH. THE FINISH SHALL BE AS NOTED ON THE FINISH SCHEDULE. THE FINISH SHALL BE AS NOTED ON THE FINISH SCHEDULE.



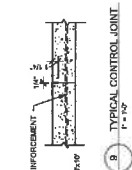
6. CURB AND GUTTER IN CONCRETE PAVING  
3/4" = 1'-0"



5. CONSTRUCTION JOINT  
1/4" = 1'-0"



8. PAVING CONTROL JOINT  
1/4" = 1'-0"



9. TYPICAL CONTROL JOINT  
1/4" = 1'-0"



**PERMIT/ CONSTRUCTION SET**

1300 ESCANTO BLVD  
MISSION TX 75714

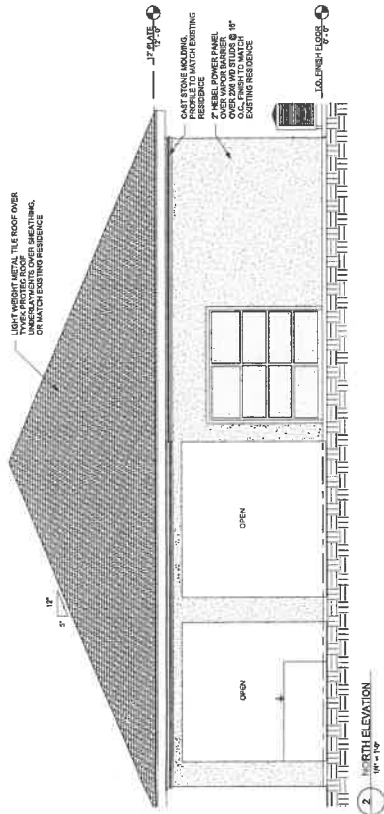
**POOL HOUSE**

Drawn By: H.M.  
Plan No: 22050  
Date: 1-19-23

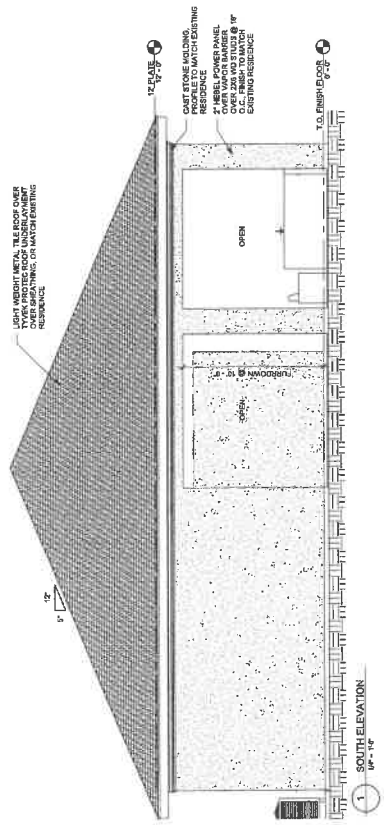
Drawing Title:  
**SITE & ROOF PLANS**  
Drawing No:  
**100**



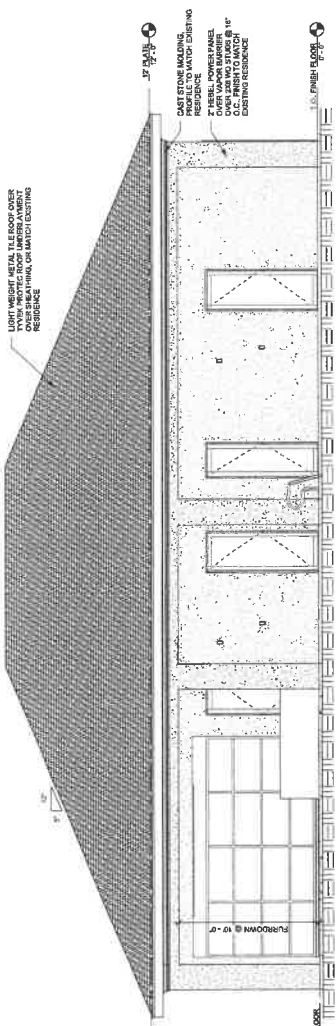




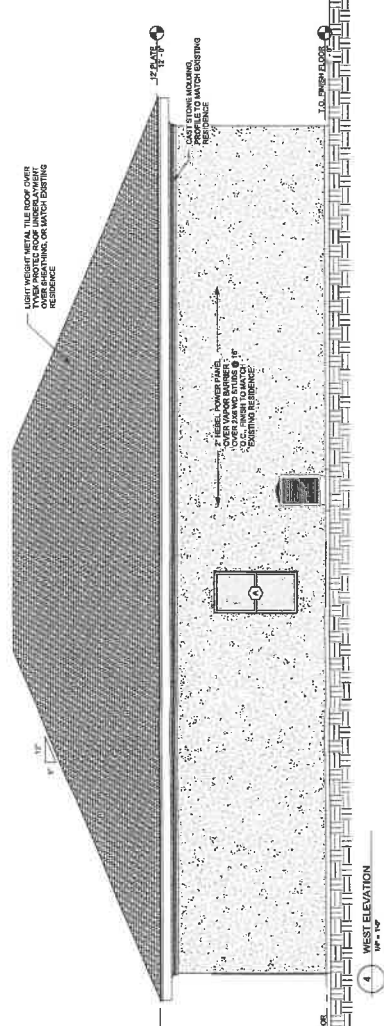
2 NORTH ELEVATION  
 1/2" = 1'-0"



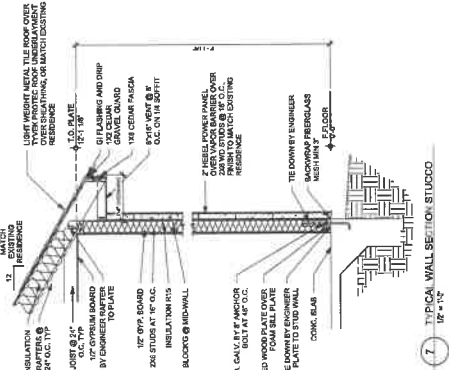
1 SOUTH ELEVATION  
 1/2" = 1'-0"



3 EAST ELEVATION  
 1/2" = 1'-0"



4 WEST ELEVATION  
 1/2" = 1'-0"



7 TYPICAL WALL SECTION - STUCCO  
 1/2" = 1'-0"



**PERMIT/ CONSTRUCTION SET**

Plan Submittal:

# POOL HOUSE

1300 Emerald Blvd  
Mission, TX 78574

Drawn By: H.M.  
Plan No: 22050  
Date: 1-10-23

Drawing Title:  
**ELECTRICAL PLAN**  
Drawing No:  
**400**

- ELECTRICAL SERVICE NOTES:**
- RECEPTACLES SHALL BE SPACED SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 14 FT FROM AN OUTLET. ALSO NO POINT EXCEEDS 18 FT FROM THE CENTER OF THE OUTLET.
  - RECEPTACLES IN BATHROOMS, CHANGES OR LOCATED OUTDOORS SHALL BE PROTECTED BY A GROUND-Fault INTERRUPTER (GFI, GFCI).
  - ALL OUTLETS SHALL BE PROTECTED BY A GROUND-Fault INTERRUPTER (GFI, GFCI). ALL OUTLETS SHALL BE PROTECTED BY A GROUND-Fault INTERRUPTER (GFI, GFCI). ALL OUTLETS SHALL BE PROTECTED BY A GROUND-Fault INTERRUPTER (GFI, GFCI).
  - OUTLET BOXES IN WALLS BETWEEN THE DWELLING AND THE GARAGE SHALL BE METAL OR UL-APPROVED PLASTIC.
  - SWITCH PLATES AT 4" A.F. TO CENTER, TYPICAL.
  - ALL LIGHTING FIXTURES IN GARAGE SHALL BE LOCATED MINIMUM 18" FROM THE GARAGE WALLS.
  - TRAY OR RACE OR RAMP SHALL APPLY. ALL JUNCTIONS SHALL BE PROVIDED TO SERVE THE KITCHEN, BREAKFAST, AND OUTLET, N.E.C. ART 205.4(C).
  - CONNECT LOCAL UTILITY AND LOCAL CODE FOR PROPER SYSTEM GROUNDING.
- NOTES:**
- ALL KITCHEN COUNTER OUTLETS TO BE 4" A.F.
  - ALL KITCHEN COUNTER OUTLETS MUST BE NO MORE THAN 4" APART.
  - ALL KITCHEN COUNTER OUTLETS WITHIN 4" FT OF A WATER SOURCE MUST BE G.P.I. OR PER LOCAL CODES.
  - OWNER FOR HOME APPLIANCES AND FOR ADDITIONAL OUTLETS.
  - PROVIDE POWER FOR A/C UNIT @ ATTIC.
  - VERIFY OUTLET REQUIREMENTS FOR FREEZER & REFRIGERATOR.

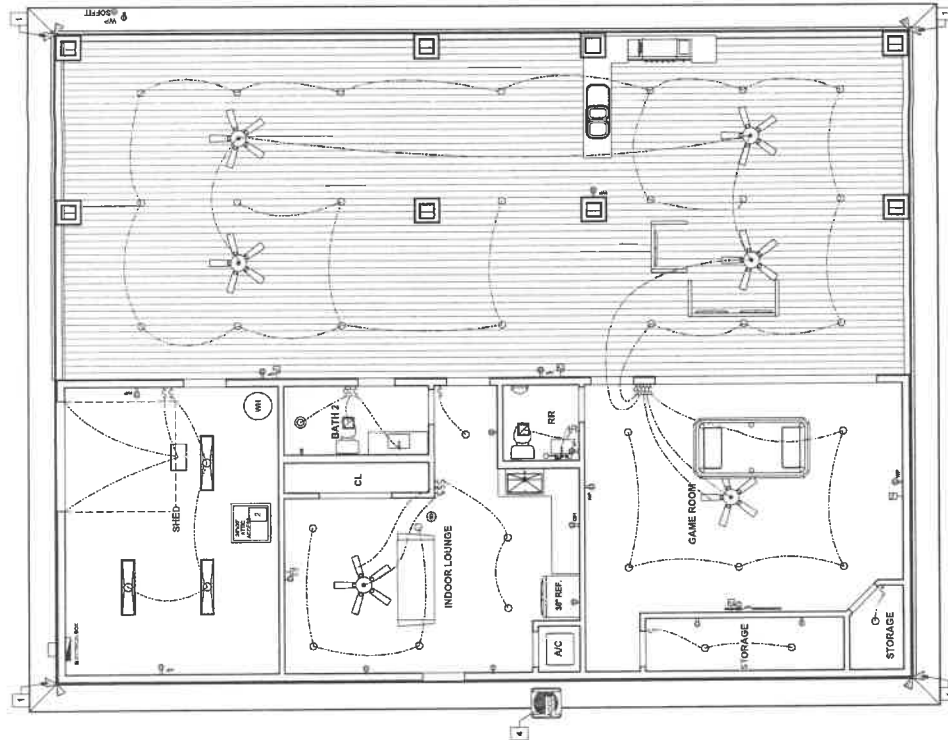
- SIZE NOTES:**
- 1" MOTION DETECTOR LIGHT FIXTURE TO BE CONNECTED TO DROP SWITCH
  - 2" PROVIDE LIGHT & SWITCH IN ATTIC ABOVE
  - 3" N/A
  - 4" PROVIDE POWER FOR A/C UNIT AS REQ. AND EMERGENCY DISCONNECT FOR ALL EXTERIOR LIGHTING
  - 5" CONNECT TO ALL EXTERIOR LIGHTING
  - 6" PROVIDE POWER FOR A/C UNIT

**NOTE:**

- ALL KITCHEN COUNTER OUTLETS TO BE 4" A.F.
- ALL KITCHEN COUNTER OUTLETS MUST BE NO MORE THAN 4" APART
- ALL KITCHEN COUNTER OUTLETS WITHIN 4" FT OF A WATER SOURCE MUST BE G.P.I. OR PER LOCAL CODES
- OWNER FOR HOME APPLIANCES AND FOR ADDITIONAL OUTLETS



- SYMBOL LEGEND:**
- OUTLET
  - 2" OUTLET
  - ⊕ GROUND-Fault INTERRUPTER (GFI, GFCI)
  - ⊖ WATER PROTECTOR OUTLET
  - ⊗ TELEVISION JACK
  - ⊘ DOOR BELL
  - ⊙ DOOR CHIME
  - ⊚ SINGLE POLE SWITCH
  - ⊛ THREE WAY SWITCH
  - ⊜ RECESSED LIGHT FIXTURE
  - ⊝ VIBRATOR PROOF RECESSED LIGHT
  - ⊞ EYE BALL RECESSED LIGHT
  - ⊟ WALL MOUNTED FUTURE
  - ⊠ MOTION DETECTOR
  - ⊡ WATER SUPPLY
  - ⊢ GARAGE DOOR OPENER W/ DOOR SENSORS
  - ⊣ CHIMNEY



OR ALL C. FIXTURES  
W/ 4" A.F.

E5662-00-000-0000-05 ( 712206)  
HIDALGO COUNTY DRAINAGE DISTRICT NO.  
902 N DOOLITTLE RD  
EDINBURG TX 78542

E5662-00-000-0001-00 ( 712207)  
AREVALO JAMES BRIAN  
1608 E 23RD 1/2 ST  
MISSION TX 78574

E5662-00-000-0002-00 ( 712208)  
SANTIAGO PEDRO HERNANDEZ & MARI  
1208 ENCANTO BLVD  
MISSION TX 78574

E5662-00-000-0003-00 ( 712209)  
HINOJOSA GERARDO & NELDY  
1300 ENCANTO BLVD  
MISSION TX 78574

E5662-00-000-0004-00 ( 712210)  
HINOJOSA JAVIER & MARIA ALMA  
1308 ENCANTO BLVD  
MISSION TX 78574

E5662-00-000-0008-00 ( 712214)  
MARTINEZ KARIS NICOLE  
4900 N 34TH ST  
MCALLEN TX 78504

E5662-00-000-0009-00 ( 712215)  
DE LUNA CARINA C GARZA  
1305 DON'S DR  
MISSION TX 78572

E5662-00-000-0010-00 ( 712216)  
GERLACH SCOTT & MARISSA  
1207 ENCANTO BLVD  
MISSION TX 78574

H2080-02-000-0000-00 ( 709037)  
HIDALGO COUNTY DRAINAGE DISTRICT  
902 N DOOLITTLE RD  
EDINBURG TX 78542