

## **ITEM# 4.0**

### **PRELIMINARY & FINAL PLAT APPROVAL:**

Las Esperanzas Subdivision  
A tract of land containing 27.22 acres of land,  
being part or portion of Lot 183,  
John H. Shary Subdivision  
R-3  
Developer: Dragonfly 6265, LLC  
Engineer: Javier Hinojosa Engineering

### **REVIEW DATA**

#### **PLAT DATA**

This subdivision is located along the east side of Glasscock Road, approximately 1,550 feet north of E. U. S. Expressway 83. — **see vicinity map**. The developer is proposing a (66) sixty-six lot multi-family residential development. — see plat for actual dimensions, square footages, and land uses.

#### **WATER**

The developer is proposing to connect from a proposed 12” water line located along the east side of Glasscock Road and looped with a proposed 8” water line to service each lot. They are proposing 8 fire hydrants as via direction of the Fire Marshal’s office. — **see utility plan**

#### **SEWER**

Wastewater service will connect to a proposed lift station on the southwest corner of the subdivision. An internal 8” sewer line system will provide sewer service to all the lots. The Capital Sewer Recovery Fee is required at \$670.00/Lot which equates to \$44,220.00 (\$670.00 is pro-rated for multifamily x 66 lots).

#### **STREETS & STORM DRAINAGE**

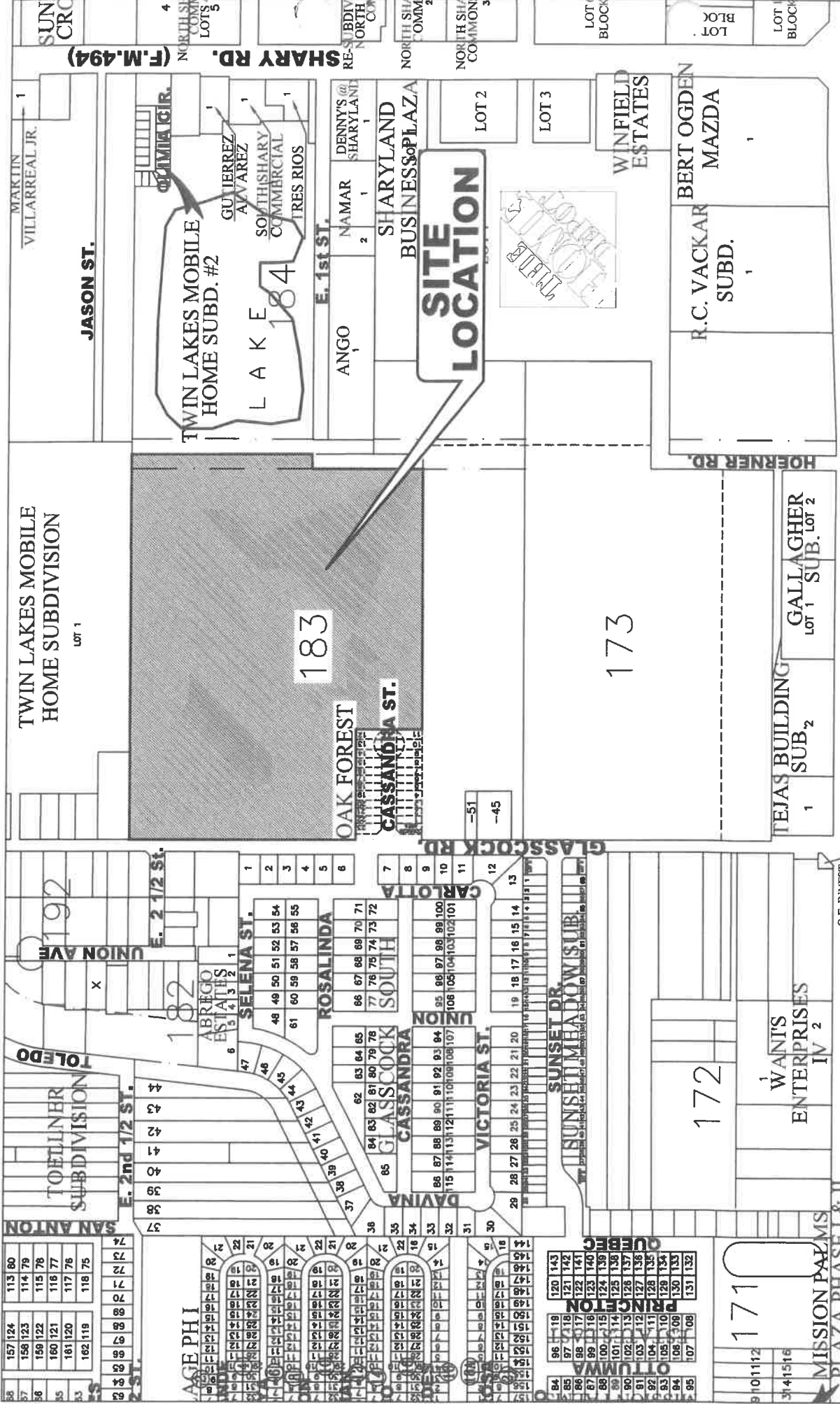
The proposed internal street is a 37’ Back-to-Back within a 60’ Right of Way. Access will be from Glasscock Road. The proposed drainage system shall consist of 11 Inlets within the streets to collect surface runoff from the lots and streets. Storm pipe ranges from 24” to 36” RCP and shall discharge into an existing detention pond adjacent to the east side of this subdivision. The detention pond shall discharge via a 24” RCP storm drain back into an existing City of Mission 36” storm drain located along Glasscock Road. The required detention for this subdivision is 239,249 cubic feet (5,492 Ac.Ft.). The existing lake/detention pond, owned by the developer currently has a capacity of 2,438,735 cubic feet (55.986 Ac.Ft.). The City Engineer has reviewed and approved the drainage report.

#### **OTHER COMMENTS**

Water District Exclusion  
Escrow Park fees (278 units x \$500 = 139,000.00)  
Installation of Street Lighting as per City Standards  
Must Comply with all other format findings

#### **RECOMMENDATION**

Staff recommends approval



**SITE LOCATION**

**U.S. EXPRESSWAY 83**



**CITY OF MISSION**  
 HIDALGO COUNTY, TEXAS  
 1201 E. 8th Street  
 MISSION, TX 78572  
 PH: (512) 580-8672  
 FAX: (512) 580-8680

No.



**SITE  
LOCATION**

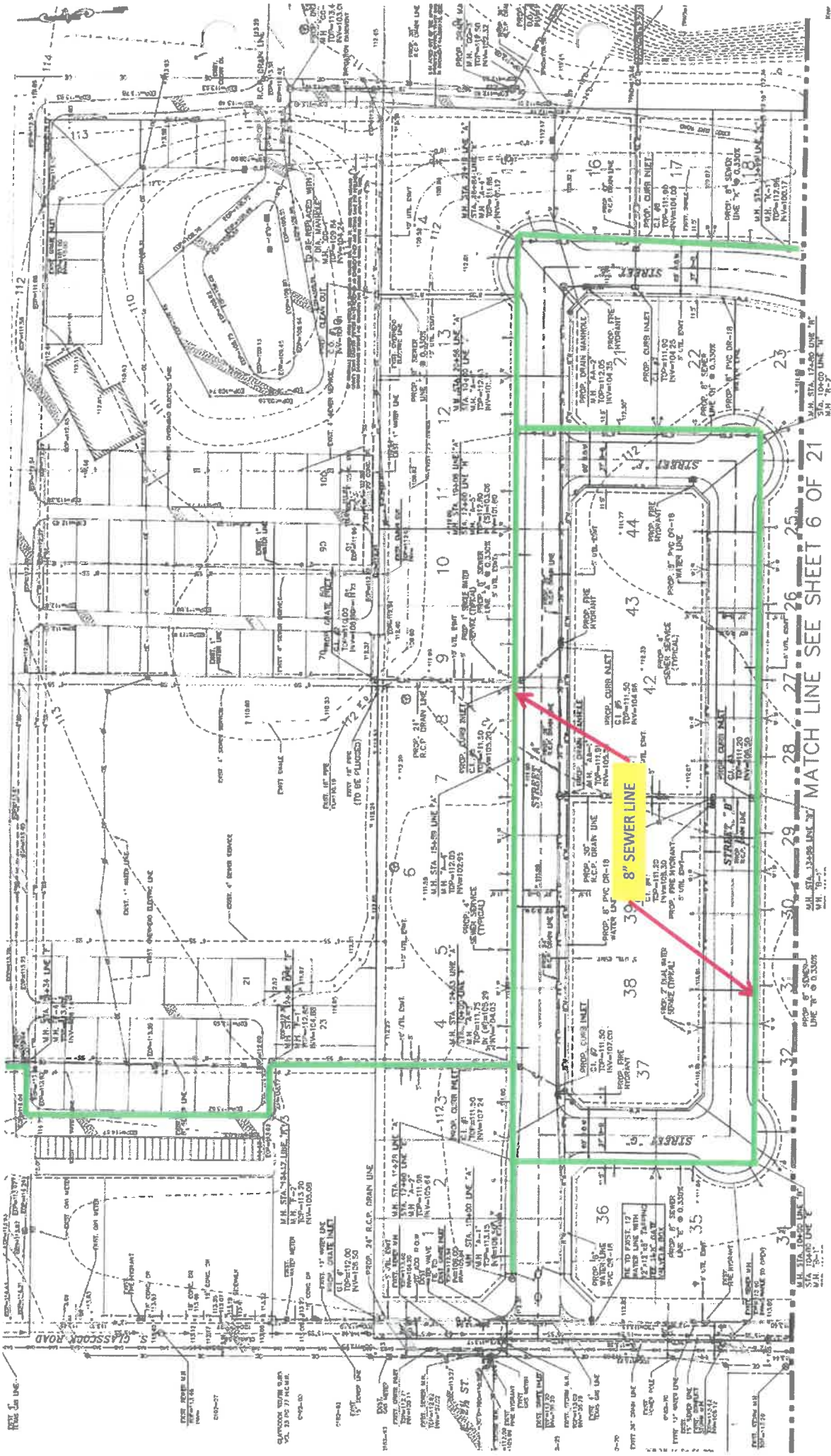
**E 1st St.**

**Glasscock Road**









MATCH LINE SEE SHEET 6 OF 21

PROP. 8\"/>

PROP. 8\"/>

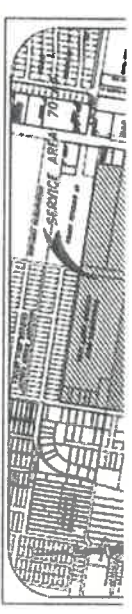
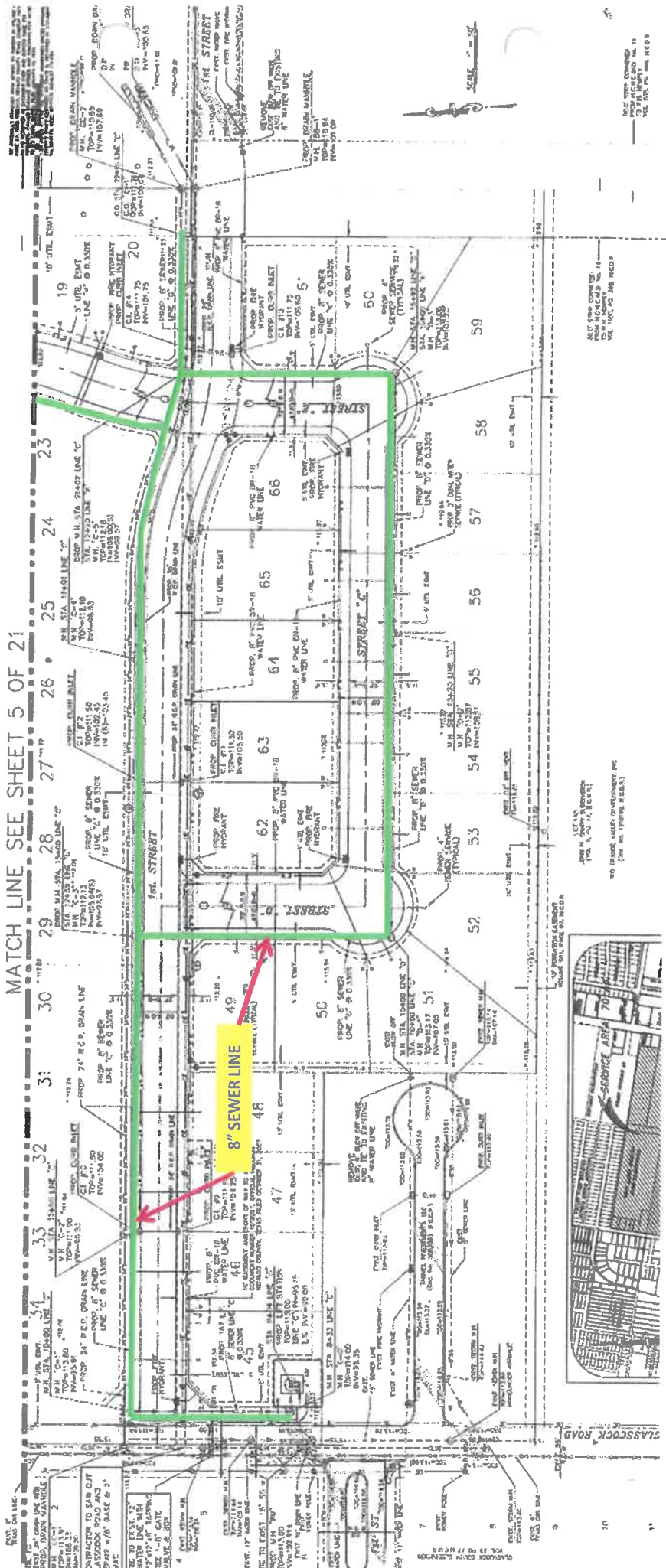
PROP. 8\"/>

PROP. 8\"/>

PROP. 8\"/>

PROP. 8\"/>

MATCH LINE SEE SHEET 5 OF 21



SEE PLAN FOR PROPOSED SEWER LINE  
 SEE PLAN FOR PROPOSED WATER LINE  
 SEE PLAN FOR PROPOSED GAS LINE

SEE PLAN FOR PROPOSED SEWER LINE  
 SEE PLAN FOR PROPOSED WATER LINE  
 SEE PLAN FOR PROPOSED GAS LINE

SCALE 1" = 40'

CONTRACTOR TO SUBMIT PROPOSED SEWER LINE AND WATER LINE WITH 7'10" OF TYPICAL COVER TO THE MAINLINE MANHOLE.

SEE PLAN FOR PROPOSED SEWER LINE  
 SEE PLAN FOR PROPOSED WATER LINE  
 SEE PLAN FOR PROPOSED GAS LINE

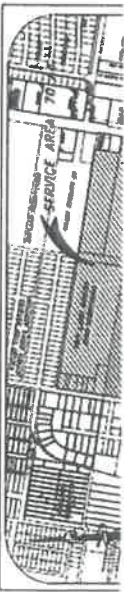
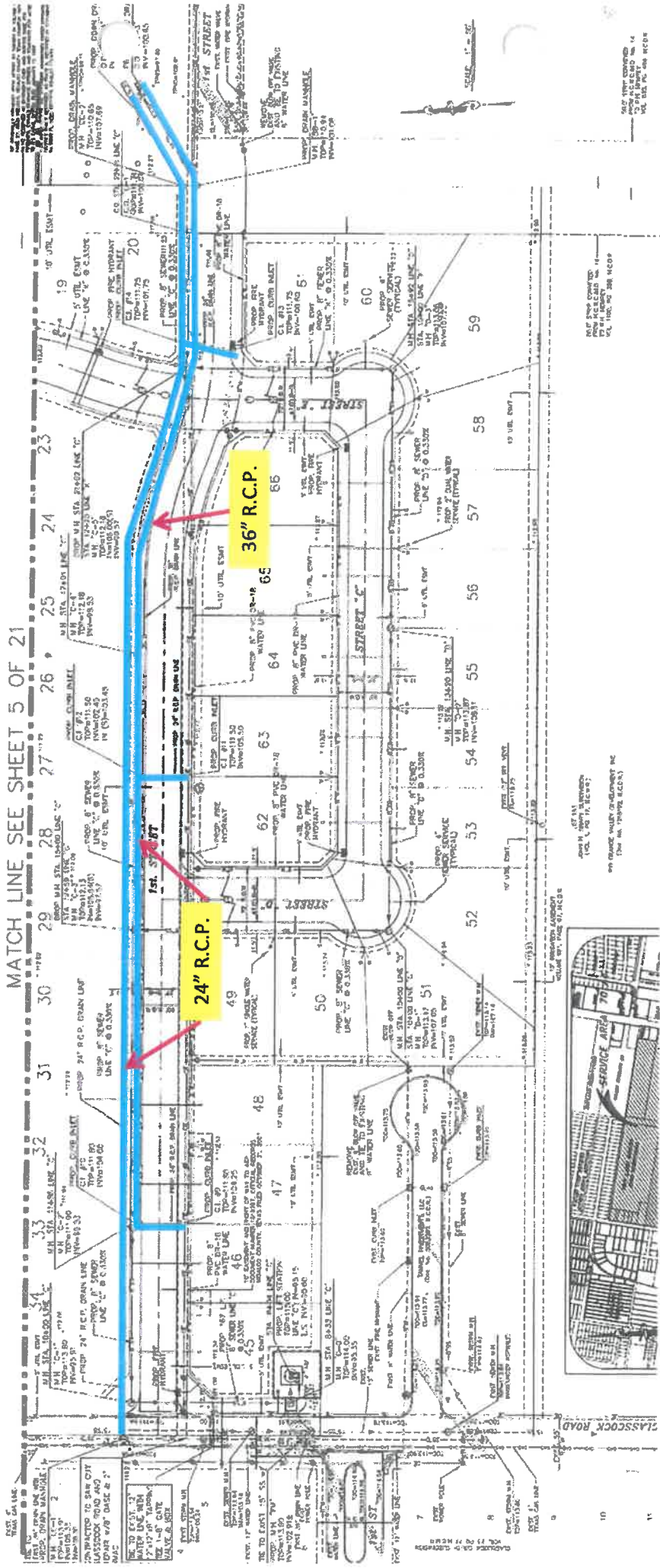
CONTRACTOR TO SUBMIT PROPOSED SEWER LINE AND WATER LINE WITH 7'10" OF TYPICAL COVER TO THE MAINLINE MANHOLE.

SEE PLAN FOR PROPOSED SEWER LINE  
 SEE PLAN FOR PROPOSED WATER LINE  
 SEE PLAN FOR PROPOSED GAS LINE





MATCH LINE SEE SHEET 5 OF 21



DATE: 11/15/11  
DRAWN BY: J. H. BROWN  
CHECKED BY: J. H. BROWN  
SCALE: 1" = 40'

PROJECT: SEWER MAIN REPLACEMENT  
SHEET NO. 5 OF 21

DATE: 11/15/11  
DRAWN BY: J. H. BROWN  
CHECKED BY: J. H. BROWN  
SCALE: 1" = 40'

**Drainage Statement**  
**LAS ESPERANZAS SUBDIVISION**  
**Mission, Texas**

**Introduction**

Las Esperanzas Subdivision is a 27.22 acre tract of land being a part or portion of Lot 183, John H. Shary Subdivision as recorded in Volume 1, Page 17, Hidalgo County Map Records. This subdivision is located along the east side of Glasscock Road, approximately 1,550 feet north of U.S. Expressway 83 and is located within the city limits of Mission, Texas.

**Flood Plain**

The subject tract of land is located within Zone "X" (shaded) on a Flood Insurance Rate Map, Community Panel No. 480345 0005C, revised November 20, 1991. Zone "X" is defined as "areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood". The minimum finish floor elevation shall be 18" above the top of curb as measured at the center of the lot.

**Soil Conditions**

According to the soil survey report prepared for Hidalgo County by the USDA National Resources Conservation Service; the soils in this subdivision are found to be Brennan Fine Sandy Loam (3), Hidalgo Sandy Clay Loam (28), Pits (45) and Raymondville Clay Loam (54). Soils group 3, 28, and 45 are in hydrologic group "B", which is moderately pervious with a relative low plasticity index. Soils group 54 is in hydrologic group "D" which is not very pervious with a relatively high plasticity index. According to the soil survey report, soils group 3 and 54 make up less than 0.1% of the subdivision so therefore the property can be considered to be in hydrologic group "B".

**Pre-developed Conditions**

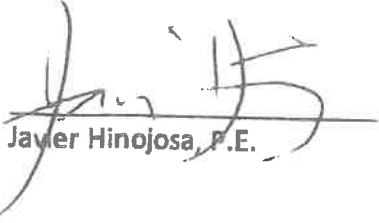
The current land use for this property is for agricultural purposes and has an existing runoff generally in an easterly direction. Based on an existing 10-year storm, a total storm runoff of 13.13 cubic feet per second is being generated by this site.

**Proposed Conditions**

Las Esperanzas Subdivision is a proposed 66-lot multi-family (4-plex) subdivision. Drainage shall be accomplished in this development with the placement of curb inlets to intercept drainage runoff generated by this subdivision. Pipe sizes shall range from a 24" to 42" and shall discharge into an existing detention pond adjacent to the east side of this subdivision. The detention pond shall discharge via a 24" storm drain back into an existing City of Mission 36" storm drain located along Glasscock Road. The proposed development will increase runoff to a


Las Esperanzas

maximum of 114.95 cubic feet per second for an increase Q of 101.82 cubic feet per second based on a 50-year storm. Required detention for this subdivision is 239,249 cubic feet (5.492 Ac.Ft.). The existing lake/detention pond, owned by the developer currently has a capacity of 2,438,735 cubic feet (55.986 Ac.Ft.).

  
Javier Hinojosa, P.E.



9/17/22

<input type="checkbox"/> REJECTED	
<input checked="" type="checkbox"/> APPROVED FOR SUBMITTAL	
<input type="checkbox"/> TO H.C. PLANNING DEPT.	
<input checked="" type="checkbox"/> TO CITY	
<input type="checkbox"/> DISCHARGE PERMIT REQUIRED	
<input type="checkbox"/> DISTRICT FACILITY	
<input type="checkbox"/> CITY FACILITY	
<input type="checkbox"/> OTHER _____	
H.C.D.D. NO. 1	7-30-22 DATE