



SUMMARY

478 Eagle St , Minturn, CO 81645

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05/24/2024

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Below is a summary of the items noted.

This is not a bidding document for contractors.

All items noted should be further evaluated before the expiration of your inspection objection deadline.

Each item/system should be assessed in full by a specially trained, licensed, or certified contractor working on the specified system. Handyman-type repairs and evaluation should be avoided in all but the simplest repairs.

We suggest obtaining receipts and warranties for all work performed.

We will not reinspect any items without detailed receipts and warranty documents provided three days before reinspection.



ITEMS INSPECTED



REPAIR



FURTHER REVIEW



SAFETY CONCERN

3.3.1 Driveway Condition

POOR DRAINAGE

Repair

The driveway drainage shows signs of poor drainage toward the house. The condition can lead to adverse effects on the foundation walls and surrounding soils. We recommend that the driveway area be evaluated to understand better the present situation and cost associated with correction as deemed necessary.

Recommendation

Contact a qualified driveway contractor.



3.5.1 Walkways Condition

DAMAGES STAIR BOARD

Repair

ENTRY

While still functional damage was noted to the exterior stairs. We suggest review with repairs made as deemed necessary.

Recommendation

Contact a qualified professional.



3.9.1 Entrance Cover

POST BASES NOT VISIBLE

The concrete post bases (if present) were below grade and not visible and the wood posts are buried below grade. This condition will accelerate the decay and deterioration of building materials.



3.10.1 Landscaping

TREES CLOSE TO BUILDING

SEVERAL

Tree(s) were located close to or touching the building. This can lead to damage to the structure. We recommend further review to understand the present condition and remedies.

Recommendation

Contact a qualified landscaping contractor



3.10.2 Landscaping

TREES TOUCHING ROOF

SEVERAL

Trees near the building had overhanging branches or branches in contact with the roof surface, which may cause damage to the roof surface. We recommend that all overhanging/contact branches should be cleared to reduce the potential damage to the roof surface.

Recommendation

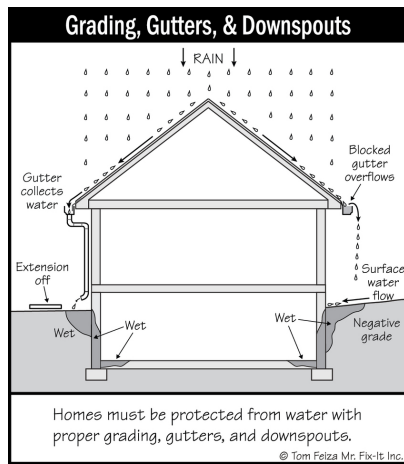
Contact a qualified landscaping contractor



3.14.1 Site Grading

NEGATIVE GRADE

ENTRY



X035



Repair

The grading was sloped toward the building condition promotes water accumulation near the building, which could result in deterioration of the foundation and water penetration under the structure. We recommend re-grading areas near the building as needed to ensure the unobstructed flow of the surface water away from the foundation.

Recommendation
Contact a qualified grading contractor.



3.16.1 Retaining Walls

DISPLACED

ENTRY

The retaining walls were observed to be displaced. The movement of the wall should be monitored with correction as necessary.

Recommendation
Contact your builder.



Repair



3.17.1 Fencing

DAMAGED

ENTRY

The site fencing was damaged. We recommend that the affected sections be repaired or replaced.

Recommendation

Contact a qualified fencing contractor



4.1.1 Structural

LOG HOME

Portions or all of the homes are constructed with log framing. Complete evaluation of log homes is beyond a general home inspection scope. Many hidden conditions may exist. We recommend further review by a log framing contractor or engineer to better understand replacement/repair costs and present conditions.

Any comments made are out of courtesy and should not be construed as a full inspection of the log framing.

Recommendation

Contact a qualified professional.



4.1.2 Structural

OLD BUILDING METHODS

Old building methods and construction techniques are present in the home. Multiple reportable conditions exist, such as, but not limited to the following: Foundation, wall and roof framing, plumbing systems, electrical systems, deck framing, interior and exterior material defects. Several health and safety hazards exist and many hidden hazards may be present. We suggest a full review of all areas and systems of the home by qualified contractors and a structural engineer for evaluation. All areas should be inspected, and no attempt was made to photograph all areas, and photographs are examples only.

Recommendation

Contact your builder.



4.1.3 Structural
EVIDENCE OF STRUCTURAL ADDITION WAS NOTED

 Further Reveiw

An area of the home appears to have been altered since the original construction. We suggest a review of engineering, permits, and other associated documents to better understand the scope of work performed.

Recommendation
Contact your builder.



4.1.4 Structural
DECAYED LOGS

 Repair

ENTRY
Decayed log(s) were noted. We suggest a further review with repairs made to restore the structural integrity.

Recommendation
Contact a qualified professional.

4.1.5 Structural

FAUX BEAMS[Further Review](#)

The visible beams in the house appeared to be made of styrofoam and were not structural.



4.3.1 Wood siding

SIDING FINISH WEATHERED OR DETERIORATED[Repair](#)**SEVERAL**

The exterior wall paint/stain is in a weathered condition. Attention is required to prolong the life of the exterior wood cladding and aesthetics. We recommend further review to understand better the present condition and cost associated. Photographs are examples only. No attempt was made to list all areas. A qualified contractor should inspect all areas, with repairs made as deemed necessary.

Recommendation

Contact a qualified painting contractor.



4.3.2 Wood siding
GROUND CLEARANCE

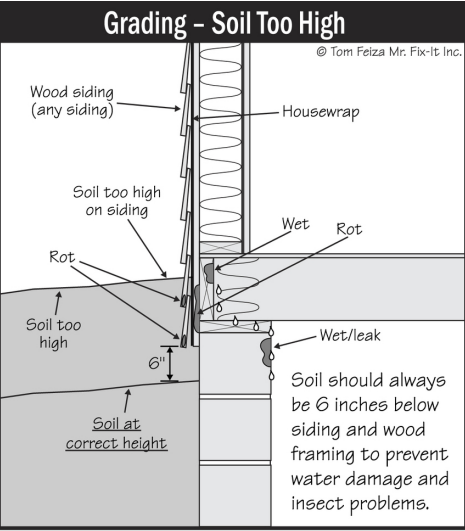


WEST

The inspector observed inadequate clearance between the siding and the ground. Best practices recommend a minimum ground clearance of 4" between the bottom of the siding and the ground. Siding in contact with the ground or soil is a concern because that condition can provide direct access for wood-destroying insects and moisture. We recommend monitoring this area with repairs as necessary.

Photographs are examples only of conditions present. No attempt was made to list all areas. A qualified contractor should inspect all areas, with repairs made as deemed necessary.

Recommendation
Contact a qualified grading contractor.



5060



4.3.3 Wood siding

DETERIORATED SIDING

SEVERAL

The wood siding was observed to have deteriorated. We recommend repair or replacement to prevent moisture intrusion, restore aesthetics and extend the service life of the siding.

Photographs are examples only of conditions present. No attempt was made to list all areas. A qualified contractor should inspect all areas, with repairs made as deemed necessary.

Recommendation

Contact a qualified siding specialist.



4.3.4 Wood siding

EXPOSED FRAMING

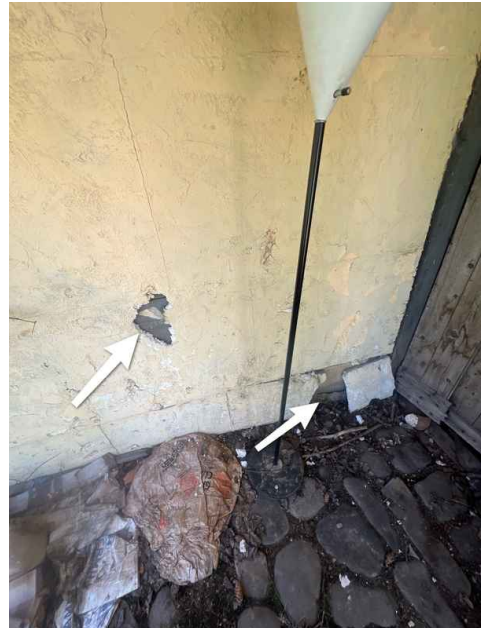
SEVERAL

Exposed and unfinished wood framing was noted. We suggest further review with flashing or finishing to prevent water intrusion and premature deterioration of the wood.

Photographs are examples only of conditions present. No attempt was made to list all areas. A qualified contractor should inspect all areas, with repairs made as deemed necessary.

Recommendation

Contact a qualified siding specialist.



4.3.5 Wood siding

MISSING SIDING

SEVERAL AREAS

Missing siding was noted. We suggest installing to prevent moisture and pest intrusion.

Photographs are examples only of conditions present. No attempt was made to list all areas. A qualified contractor should inspect all areas, with repairs made as deemed necessary.

Recommendation

Contact a qualified siding specialist.



4.3.6 Wood siding

CHINKING REPAIRS NEEDED

SEVERAL

Chinking was noted to be weathered and failing. We suggest maintenance to prevent water and pest intrusion.

Photographs are examples only of conditions present. No attempt was made to list all areas. A qualified contractor should inspect all areas, with repairs made as deemed necessary.

Recommendation

Contact a qualified professional.



4.7.1 Trim

DETERIORATED FINISH

SEVERAL

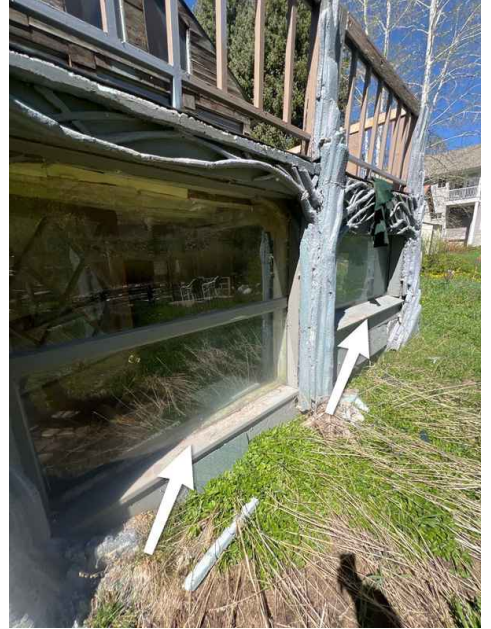
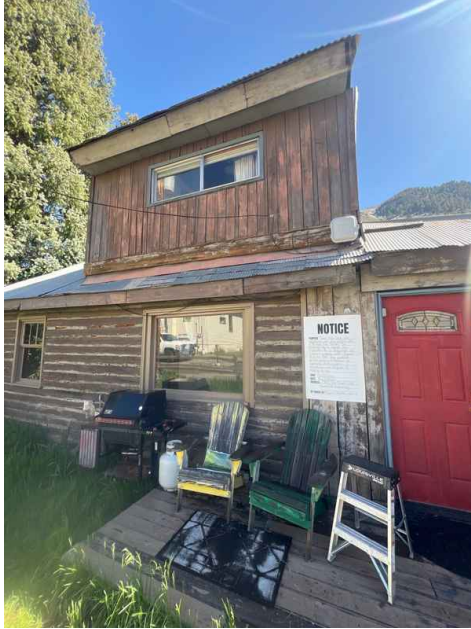


The paint/finish at the exterior trim has deteriorated. Attention to the paint/finish is recommended to maintain the appearance and design function of the trim.

Photographs are examples only. No attempt was made to list all areas. All areas should be inspected by a qualified contractor, with repairs made as deemed necessary.

Recommendation

Contact a qualified painting contractor.



4.7.2 Trim

DETERIORATED TRIM

SEVERAL

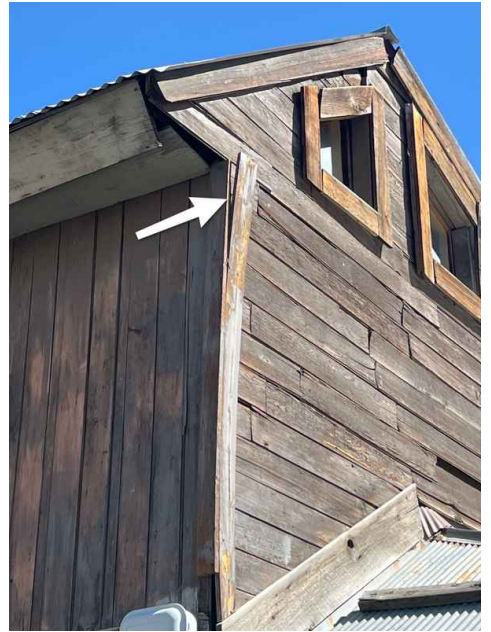


Deterioration of the exterior trim was observed. We recommend that any deteriorated trim be repaired or replaced as required.

Photographs are examples only. No attempt was made to list all areas. All areas should be inspected by a qualified contractor, with repairs made as deemed necessary.

Recommendation

Contact a qualified siding specialist.



4.7.3 Trim

MISSING TRIM

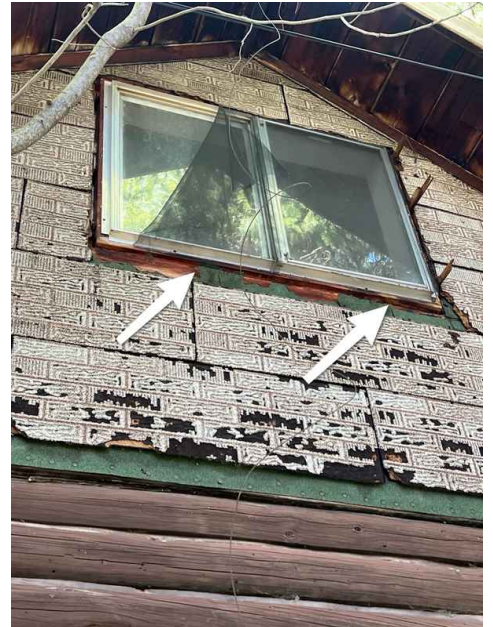
NORTH

Missing trim was noted, this will eventually allow moisture and pest intrusion. We recommend that the trim be repaired or replaced as required.

Photographs are examples only. No attempt was made to list all areas. All areas should be inspected by a qualified contractor, with repairs made as deemed necessary.

Recommendation

Contact a qualified carpenter.



4.8.1 Flashing

FLASHING MISSING

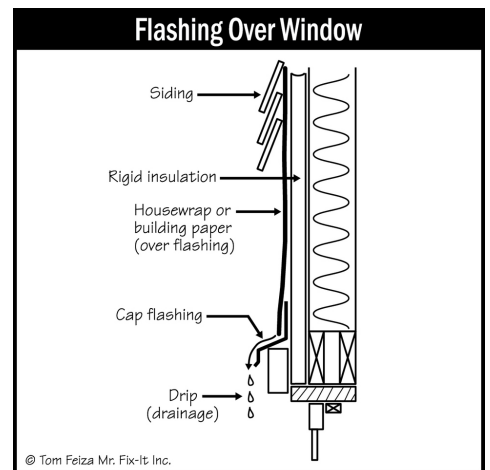
SEVERAL

Wall flashings are missing. Wall flashing is suggested to guard against water intrusion. We recommend monitoring and installing as deemed necessary.

Photographs are examples only. No attempt was made to list all areas. All areas should be inspected by a qualified contractor, with repairs made as deemed necessary.

Recommendation

Contact a qualified siding specialist.



XO10

4.9.1 Eaves, Soffits & Fascia

WATER STAINED SOFFIT

NORTH

Water stains were evident at the eve/soffit area(s). We recommend that the area(s) be evaluated and repaired as required to prevent water intrusion.

Recommendation

Contact a qualified roofing professional.



4.9.2 Eaves, Soffits & Fascia

FASCIA -DETERIORATED OR DECAY**SEVERAL**

One or more sections of the fascia are deteriorated or decaying. We suggest further review with repairs made as deemed necessary to restore proper function and aesthetics.

Recommendation

Contact a qualified carpenter.



4.9.3 Eaves, Soffits & Fascia

GAP OR OPENING IN SOFFIT OR FASCIA

SEVERAL

There is an opening, gap, or hole in the fascia/soffit which should be repaired. This can allow water intrusion and pest infestation as well as deterioration of the surrounding material.

Recommendation

Contact a qualified handyman.



5.6.1 Deck surface

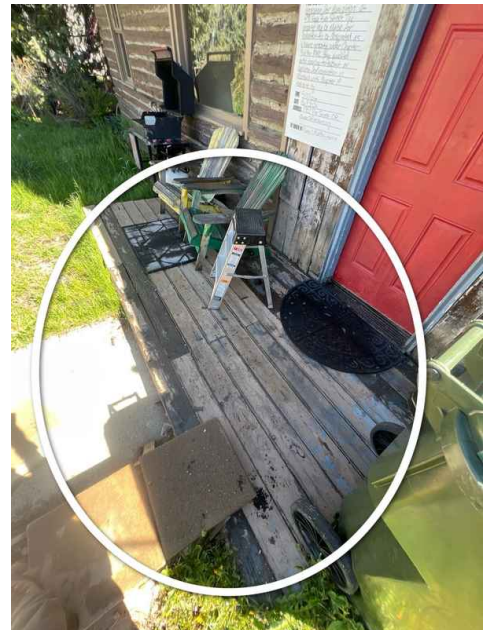
WEATHERED

ENTRY

The deck(s) surfaces were weathered and in need of general maintenance. We suggest refinishing to restore UV and moisture protection as well as to restore aesthetics

Recommendation

Contact a qualified painting contractor.



5.6.2 Deck surface

RAISED FASTENERS

ENTRY

The deck surface exhibited raised/unsecured fasteners. This is a safety aspect and requires attention. We recommend all raised fasteners be secured and/or deck framing and surface be repaired as deemed necessary.

Recommendation

Contact a qualified deck contractor.

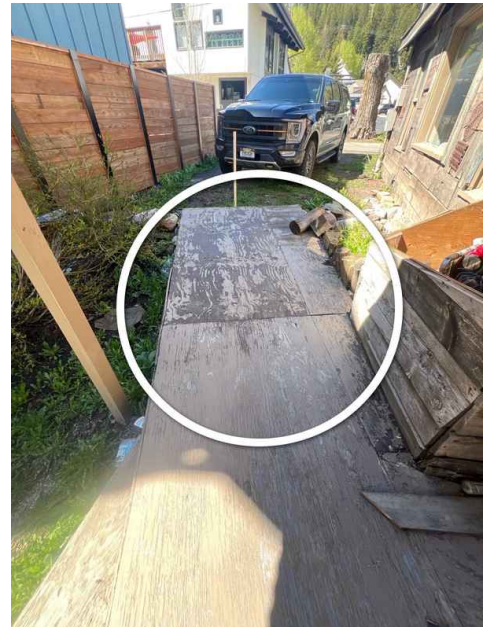


6.6.1 Deck surface

WEATHERED

SEVERAL

The deck(s) surfaces were weathered and in need of general maintenance. We suggest refinishing to restore UV and moisture protection as well as to restore aesthetics



6.6.2 Deck surface

OUT OF LEVEL

The deck surface was not level from apparent structural settlement. We suggest a further review with repair or replacement as needed.



6.7.1 Guard rails

DETERIORATED FINISH

SEVERAL

The guard rail exhibited deteriorated finish and needs maintenance and refinishing.



6.7.2 Guard rails

BALUSTER SPACING GREATER THAN 4"

SEVERAL

The baluster spacing on the deck railing is too wide based on modern safety standards. Railings should not have openings larger than 4" to prevent small children's heads from fitting through them. Although this installation may have been acceptable at the construction time, upgrading for safety should be considered.



Safety Concern



6.7.3 Guard rails

LOOSE GUARD RAIL

SEVERAL

The deck guardrail assemblies were loose and should be secured to prevent possible safety concerns.



Safety Concern



6.7.4 Guard rails

DETERIORATED

SEVERAL

The deck guardrail assemblies exhibited deterioration. Photographs are examples only. We suggest a review of the complete rail system by a qualified contractor and repairs made as needed.



6.7.5 Guard rails

DAMAGED RAILINGS

Damaged railings were noted. We suggest repair for safe deck usage.



6.8.1 Deck steps

UNEQUAL RISERS**Safety Concern**

At this staircase, the tallest riser height measurement exceeded the shortest height by more than the 3/8-inch maximum dictated by generally-accepted current standards. This condition is a potential trip/fall hazard. We recommend considering upgrading the stairs to prevent a trip or fall.



6.8.2 Deck steps

DAMAGED OR DETERIORATED**SEVERAL**

The steps were generally deteriorated and/or structurally damaged, making them potentially hazardous to a person who might use them.

We recommend further review for a better understanding of replacement costs/repairs and present condition.

**Safety Concern**

6.8.3 Deck steps

OUT OF LEVEL

The stairs are out of level from an apparent structural settlement. We suggest repair or replacement as needed for safe usage.

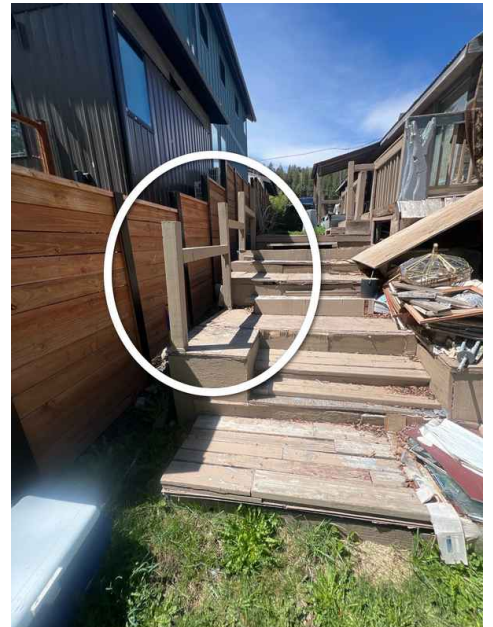


6.9.1 Handrails

NO HANDRAIL

The handrail is missing. While the home may have complied with the building code when it was built, upgrading for safety should be considered.

Upgrading a home to modern standards is not required at the time of sale, and this would be considered an upgrade.



7.7.1 Flashings

POOR DETAIL

A poor flashing detail was noted with heavy use of sealant. We suggest further review with repairs made as deemed necessary to prevent moisture damage.

Recommendation

Contact a qualified professional.



Repair



7.10.1 Roof Ventilation

NO VENTING PRESENT

No ventilation was noted on the exterior of the roof and no attic space was accessible. Poor ventilation can raise temperatures beyond acceptable levels which can cause excessive thermal expansion and affect the building's roof material life cycle as well as cause moisture-related damage. We recommend further review with correction as required.

Recommendation

Contact your builder.



Further Review

7.12.1 Roof Drainage Systems

IMPROVE- ADD GUTTERS

There are no gutters present on the structure or on certain areas of the structure. Gutters are recommended because they collect rainwater from the roof and direct it away from the building.



Further Review



7.13.1 Heat tape

ADD HEAT TAPE

Further Reveiw

Adding heat tape could be beneficial to stopping ice damming and frozen gutters. We suggest monitoring and adding as needed.

Recommendation

Contact a qualified roofing professional.

8.3.1 Finish conditions

DETERIORATED/DAMAGED

Safety Concern

The exterior chimney has deteriorated and is badly damaged. Repair or replacement is required to keep functioning as designed as well as to prevent fire danger

Recommendation

Contact a qualified painting contractor.



8.4.1 Flue/ vent pipe condition

DAMAGED

Repair

The flue pipe has visible damage, we suggest repairs as needed.



9.4.1 Metal roofing material condition

DAMAGED ROOF PANELS

SEVERAL

The metal panels are damaged. This damage should be repaired to avoid the possibility of damage to the home structure or materials from roof leakage. All corrections should be made by a qualified contractor.



9.5.1 Fasteners

LOOSE OR MISSING FASTENERS

The metal roof had loose, protruding, or missing fasteners visible at the time of the inspection. This condition should be corrected to avoid wind damage and/or damage from moisture intrusion.



9.6.1 Snow Fence or retainage devices

SNOW GUARDS

The roof had no snow guards installed to protect exposed areas below from snowpack sliding off the roof.



10.1.1 Cosmetic conditions

COSMETIC'S AND NORMAL HOME CONDITIONS

Regardless of a Homes age, cosmetic concerns range from drywall damage, stress cracks, stains, floor scratches, etc.

The purpose of a home inspection is not to document the home's cosmetic condition or to ask the seller to repair these items. Documenting these conditions completely can greatly exceed the scope of a home inspection and would take substantially more time and increase the cost of the inspection. As well as be very inflammatory to a seller/homeowner.

We assume that you have viewed the home and are aware of the cosmetic conditions present.

While the inspector may list or photograph these items, this is done out of courtesy only, and no expectation should be assumed that the inspector photographed or listed all conditions. Any cosmetic concerns will be listed in the general body of the report and not the summary page. **We highly suggest you read the entire inspection report as many important items will be located in the body of the report.**

Recommendation

Contact a qualified professional.

10.2.1 Interior Door

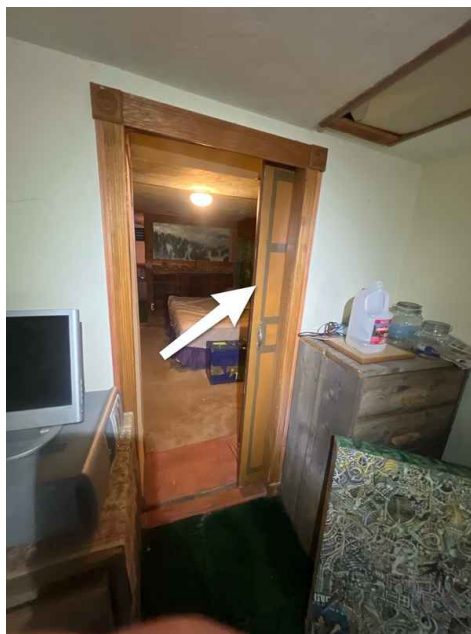
DOOR OFF TRACK OR RESTRICTED MOVEMENT

SEVERAL

The door was off its track or had a restrictive movement. Hardware may be missing, damaged, or in need of adjustment at the track or door rollers. We recommend repair as required for the full operation of the door.

Recommendation

Contact a qualified handyman.



10.3.1 Door hardware

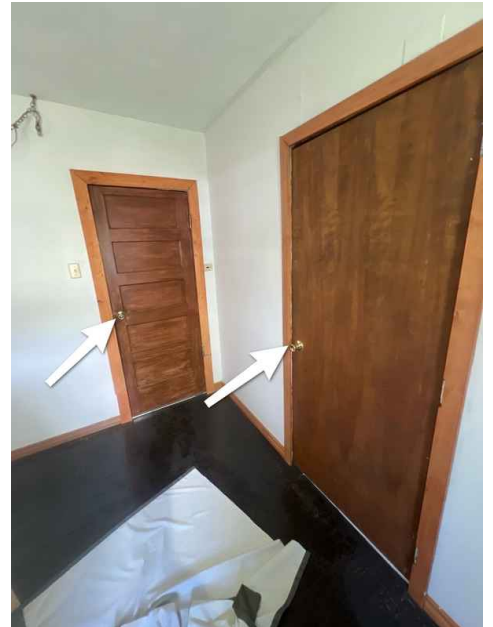
HARDWARE MISSING

MAIN LEVEL BEDROOM

The door(s) were observed to be missing hardware for the proper operation of the door(s). We recommend correction as necessary to return the door(s) to its original functional design.

Recommendation

Contact a handyman or DIY project



10.4.1 Walls

EVIDENCE OF MOISTURE - DRY

SEVERAL

Stains or drip marks on the walls visible at the time of the inspection appeared to be the result of moisture intrusion. The source of moisture may have been corrected. We suggest asking the owners for more information about this condition. If no information is available, we recommend a further examination by a qualified contractor to better understand the situation.



10.4.2 Walls

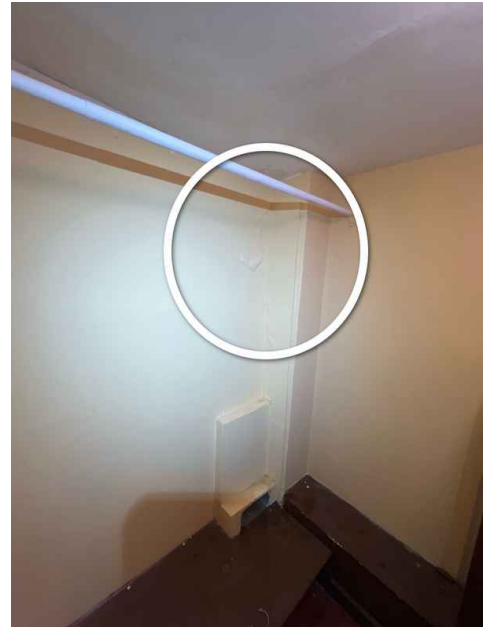
ACTIVE LEAK PRESENT

1ST FLOOR CLOSET

Active leaking was noted, and the wall was wet at the time of inspection. We suggest further investigation of the moisture source, correction with proper drying techniques to prevent microbial growth.

Recommendation

Contact a qualified professional.



10.7.1 Floors

WATER DAMAGED WOOD FLOOR

BATHROOMS

Bowing and cupping was noted on the wood floor. This is possible evidence of a water intrusion event and we suggest asking the seller for more information. We recommend that all floor damage be repaired.

Recommendation

Contact a qualified flooring contractor



10.7.2 Floors

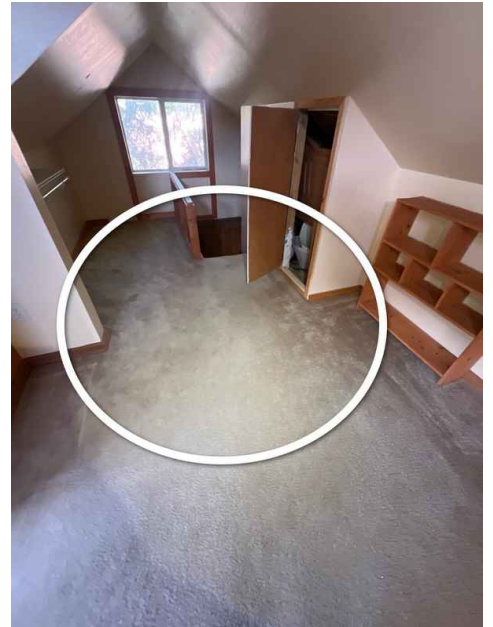
SQUEAKY OR LOOSE FLOOR

SEVERAL

The floor was observed to be squeaky or loose. Squeaky or loose flooring may indicate non-visible structural or attachment issues. We recommend further review for a better understanding of replacement costs/repairs and present condition.

Recommendation

Contact your builder.



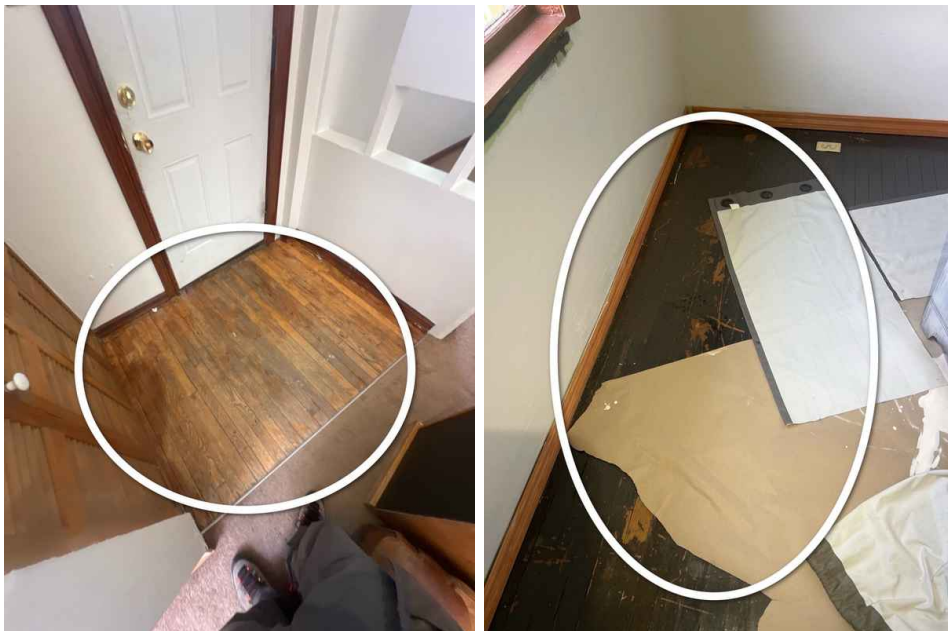
10.7.3 Floors

HEAVY USE

MAIN APARTMENT



Wear and tear in the flooring was evident throughout the building. We have made no attempt to list all the cosmetic flaws and recommend that these deficiencies be addressed by routine maintenance.



10.7.4 Floors

TRIP HAZARD

MAIN KITCHEN

**Safety Concern**

An elevation change of fewer than 4 inches was observed. This creates a trip hazard and should be corrected before personal injury results. We recommend that the lip be corrected as necessary.



10.7.5 Floors

AREA(S) NOT LEVEL

SEVERAL

Several areas of the floors in the home were not level with either low or high spots noted. This is most likely caused by settlement or old building practices and materials.

If you have further concerns, we suggest a review by a structural engineer.

Recommendation

Contact a qualified professional.

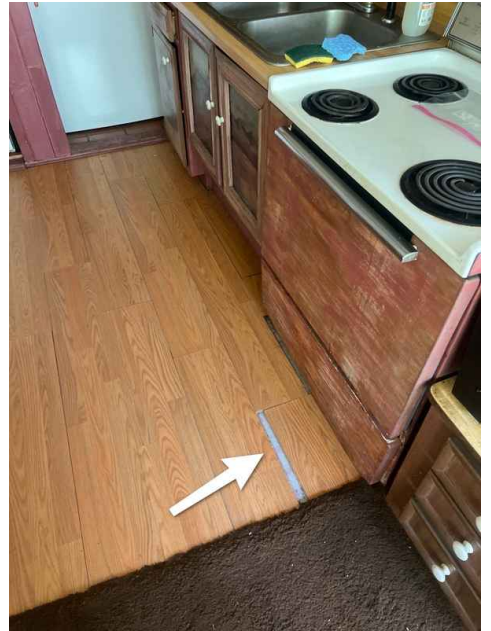
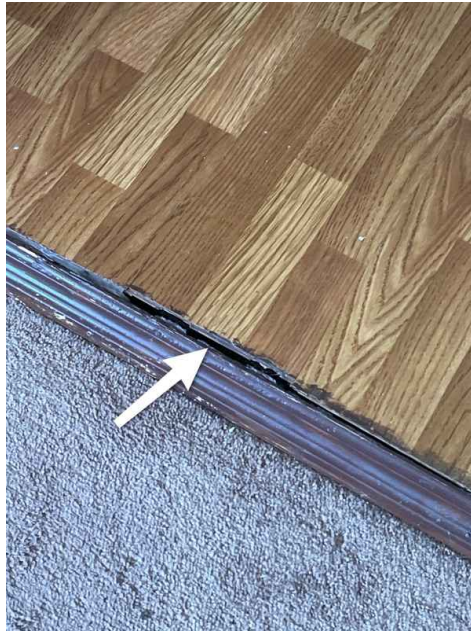


10.7.6 Floors

GAPS IN THE FLOOR

SEVERAL

Several areas of flooring have wide gaps from poor installation. We suggest repairs.



10.8.1 Ceilings

STAIN(S) ON CEILINGS/WALLS- DRY

SEVERAL

Water stains were observed indicating a past or present leak. The area was dry at the time of inspection. Monitoring the stained area(s) is recommended if repairs have been made. We recommend further review to understand repair costs and present conditions better.



10.13.1 Egress

ROOMS SHOULD NOT BE USED AS SLEEPING AREA-NO EGRESS

1ST FL BEDROOM

A room in the home does not have proper egress per modern standards. Although means of egress may not have been required at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Proper egress is a life-safety issue, as such these rooms should not be used as sleeping rooms.

Recommendation

Contact a qualified professional.

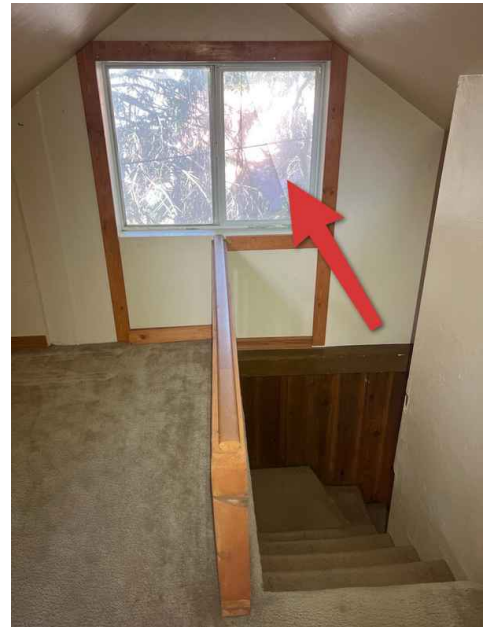


10.13.2 Egress

OPERABLE WINDOW OVER STAIRS

UPPER BEDROOM

The bedroom egress window is located above the stairwell and is not readily accessible.



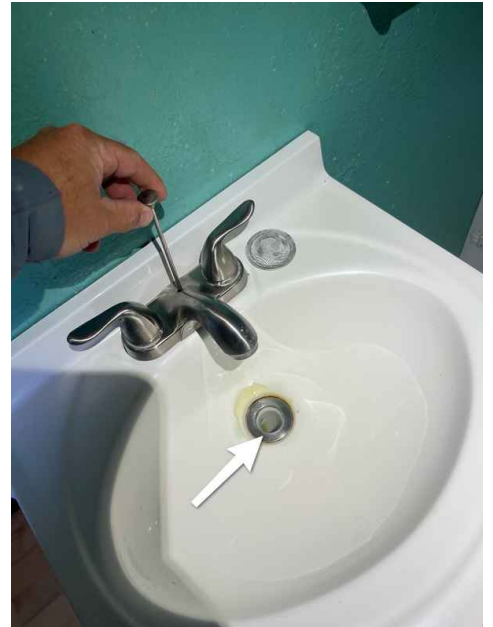
12.2.1 Sink drains

DRAIN STOPS MISSING OR INOPERABLE

The drain stops were inoperable or missing. We recommend that all inoperable drain stops should be repaired or replaced to restore function.

Recommendation

Contact a qualified plumbing contractor.



12.2.2 Sink drains

FLEXIBLE DRAIN PIPE

Corrugated or flexible drain lines are present. Drain pipes should have smooth walls to promote proper drainage and prevent clogs. These types of drains are prone to clog, and should only be installed vertically if used at all. We suggest further review with repairs made as deemed necessary.

Recommendation

Contact a qualified plumbing contractor.



12.3.1 Cabinets

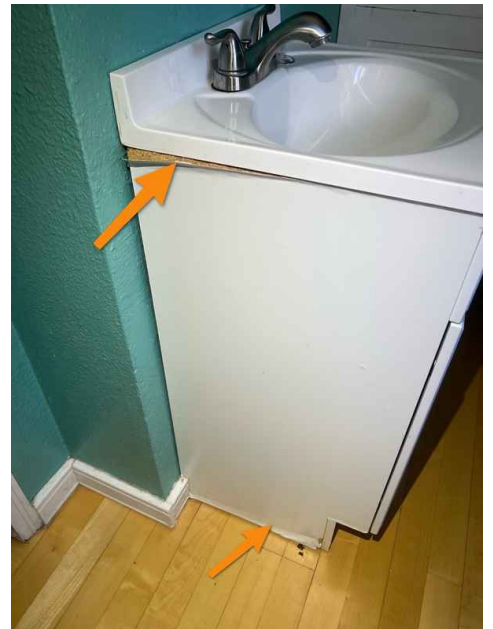
CABINETS DAMAGED

Repair

Cabinets are damaged in one or more areas. Recommend a qualified cabinets contractor evaluate and repair.

Recommendation

Contact a qualified cabinet contractor.

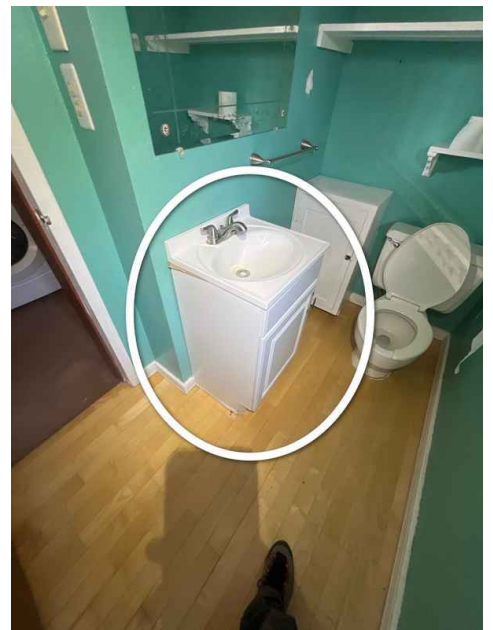


12.3.2 Cabinets

VANITY LOOSE

Repair

Vanity was improperly installed and not secured. Recommend qualified contractor secure vanity properly.



12.5.1 Tile

JOINT CAULKING

Joint caulking at the shower/tub wall area in the bathroom(s) was deteriorated in one or more places. We recommend that the deteriorated caulking be repaired to reduce water penetration and possible damage to the surrounding areas.

Recommendation

Contact a qualified tile contractor



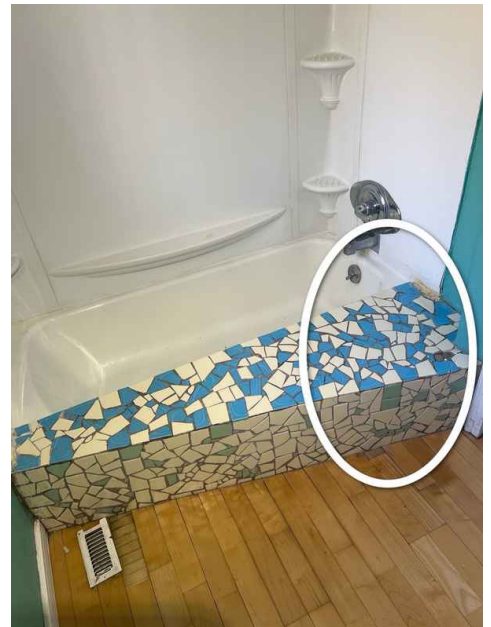
12.5.2 Tile

CRACKED TILES

Cracked tiles were observed in the bath(s) shower/tub wall area. We recommend that all cracked tiles be repaired or replaced to reduce water penetration and possible damage to the surrounding areas.

Recommendation

Contact a qualified tile contractor



12.5.3 Tile

LOOSE OR DAMAGED TILES

Loose or damaged tiles were observed in the bath(s) shower/tub area. We recommend that all loose and damaged tiles be repaired or replaced to reduce water penetration, health concerns and possible damage to the surrounding areas.

Recommendation

Contact a qualified tile contractor



12.12.1 Toilets

LOOSE TOILET

The bath toilet was not securely attached to the soil pipe flange at the floor surface. We recommend that the toilet(s) be secured or repaired for health and safety considerations.

Recommendation

Contact a qualified plumbing contractor.



12.15.1 Ventilation

WINDOW ONLY

Further Review

Improvement suggested - The ventilation in the bath is a window. A working ventilation fan or window is required for the proper removal of moist air from the structure. The window will most likely not be operated in the winter months. We recommend that an additional exhaust fan be installed.

Recommendation

Contact a qualified professional.

13.1.1 Sinks and faucets

LOOSE FAUCET

Repair

The faucet (s) was found to be loose. We recommend that the faucet(s) be secured to the sink basin or countertop as required.



13.2.1 Sink drains

PAST LEAKS

Further Review

Evidence of past leakage was noted under the bath sink(s). We recommend that the sink(s) be reviewed and repaired as necessary.

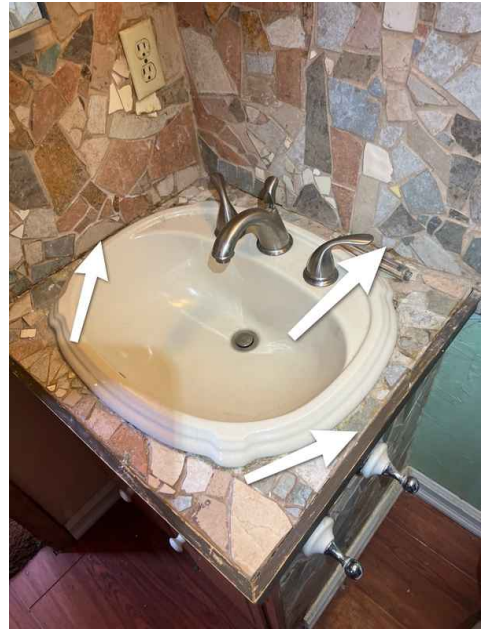


13.4.1 Counter tops

CAULK BACK SPLASH

Repair

The caulking or grout for the backsplash is in need of repair or replacement. We recommend that caulking be installed and/or gaps filled to prevent possible water intrusion at the wall areas.



13.5.1 Tile

JOINT CAULKING

Repair

Joint caulking at the shower/tub wall area in the bathroom(s) was deteriorated in one or more places. We recommend that the deteriorated caulking be repaired to reduce water penetration and possible damage to the surrounding areas.

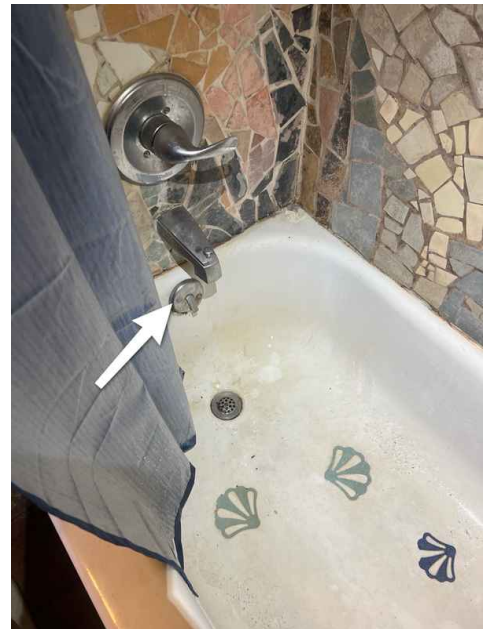


13.9.1 Drain

DRAIN STOPPER

Repair

The drain stop was missing or defective in the bathtub(s). We recommend that all missing, damaged or non-functioning drain stops be repaired or replaced.



13.10.1 Bathtub

DAMAGED TUB

Further Review

Damage was noted to the bathtub.



13.12.1 Toilets

LOOSE TOILET

Repair

The bath toilet was not securely attached to the soil pipe flange at the floor surface. We recommend that the toilet(s) be secured or repaired for health and safety considerations.



13.15.1 Ventilation

WINDOW ONLY

Further Review

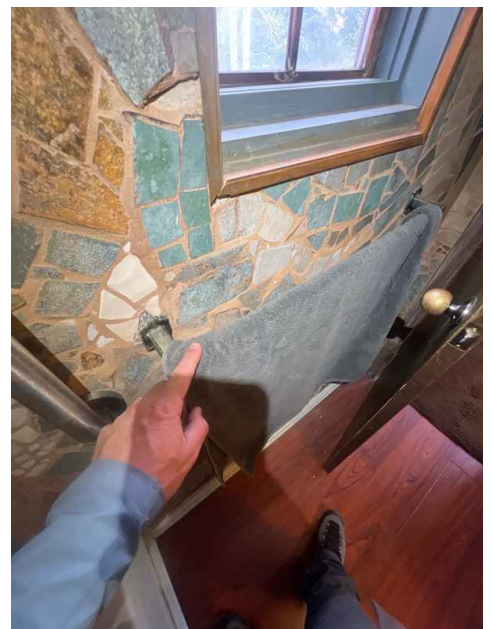
Improvement suggested - The ventilation in the bath is a window. A working ventilation fan or window is required for the proper removal of moist air from the structure. The window will most likely not be operated in the winter months. We recommend that an additional exhaust fan be installed.

13.16.1 Bath accessories

LOOSE TOWEL BAR

Repair

A loose towel bar was noted.



14.5.1 Window condition

MISSING OR DAMAGED HARDWARE

The hardware at the windows was observed to be missing or broken. We recommend repair or replacement.

Recommendation

Contact a qualified window repair/installation contractor.



14.5.2 Window condition

DETERIORATED FINISH**SEVERAL**

Deteriorated finish was noted on the windows. We suggest repair to restore proper aesthetics.

Recommendation

Contact a qualified professional.



14.5.3 Window condition
DETERIORATED WINDOWS

 Repair

SEVERAL

Wood windows have deteriorated.
We suggest further review to better understand repair or replacement costs.
Recommendation
Contact a qualified professional.



14.5.4 Window condition
INSTALLED UPSIDE DOWN

 Repair

EAST APARTMENT
We suggest repairs as needed for proper function.



14.6.1 Window Screens

DAMAGED SCREENS

Window screens at one or more areas were worn or damaged. We recommend that all worn or damaged screens be repaired or replaced to restore proper function.

Recommendation

Contact a handyman or DIY project

14.8.1 Windows - Glass

FAILED WINDOW SEAL- SEVERAL

1ST AND 2ND FL EAST

Several windows and/or sliding glass doors presented symptoms of a breach seal or film failure between the two pieces of glass. This often takes the form of striations, molting, fogging, discoloration, or condensation between the panes of an insulated glass unit. These failures are not always apparent at the inspection time due to lighting conditions, dirt builds up, and/or attached sunscreens. We recommend evaluation of all the windows by an appropriate person with replacement as necessary.

Recommendation

Contact a qualified window repair/installation contractor.



14.8.2 Windows - Glass

CRACKED OR BROKEN GLASS

MECHANICAL ROOM/1ST FL APARTMENT

Cracked or broken glass was observed. We recommend an immediate replacement for all cracked or broken windows. This is a safety concern and should be addressed.

Recommendation

Contact a qualified window repair/installation contractor.



14.8.3 Windows - Glass

MISSING TEMPERED GLASS

MAIN APARTMENT STAIRWELL

Tempered glass was not found or could not be verified in currently recommended locations. This building may have been built before this feature was required. Upgrading is not required in a pre-1960's building but should be considered for glass in the more vulnerable locations.

Recommendation

Contact a qualified window repair/installation contractor.

**Safety Concern**

15.1.1 Exterior doors

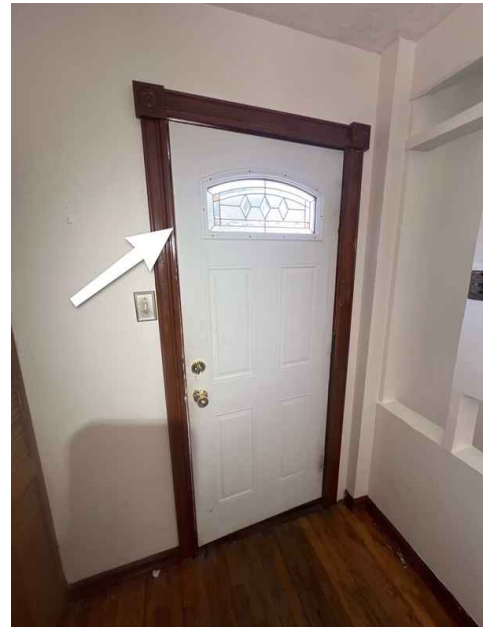
DOOR RUBBED

ENTRY

The exterior door(s) rubbed on a portion of the frame or floor area. We recommend repair as necessary to restore the door(s) to proper function.

Recommendation

Contact a qualified carpenter.

**Repair**

15.1.2 Exterior doors

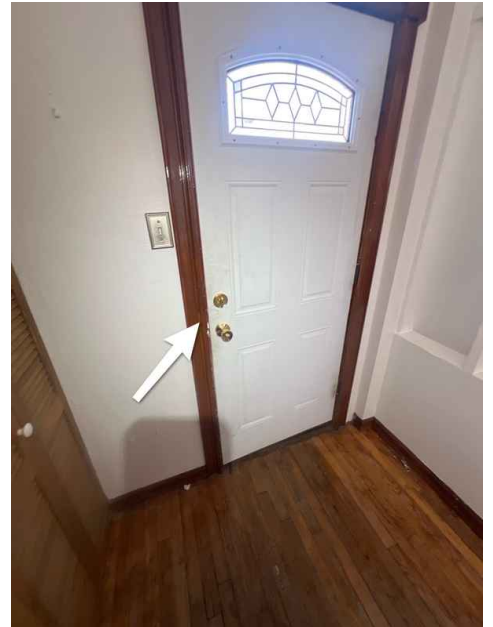
BAD LATCH

ENTRY

The exterior door(s) did not latch properly. We recommend repair to return the door to proper operation.

Recommendation

Contact a handyman or DIY project



16.1.1 Stairways

HEAD ROOM

Inadequate headroom, less than 6'-8"

This staircase did not comply with generally-accepted modern standards for headroom which require that staircases have a minimum vertical clearance of 6 feet 8 inches, measured from the sloped plane represented by the nose of the stair treads.

Recommendation

Contact your builder.



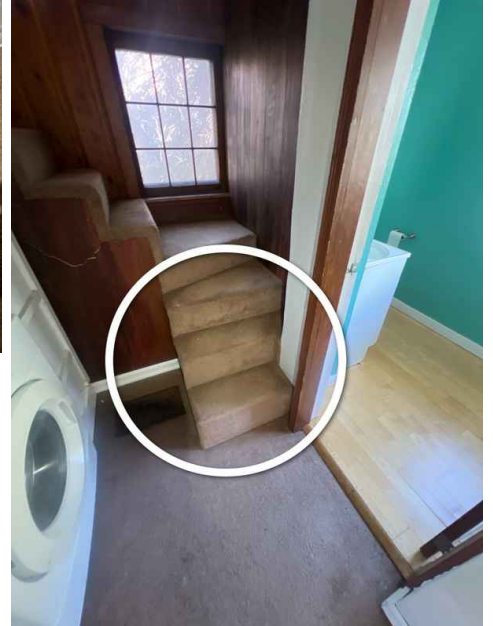
16.1.2 Stairways

TOO NARROW

This staircase did not have a minimum clear width of 31 inches, measured at and just below the handrail. This condition is not uncommon in older homes built to standards that were accepted practice at the time of original construction.

Recommendation

Contact a qualified professional.



16.2.1 Staircase illumination

NO STAIRCASE LIGHT**Safety Concern**

No lighting was provided to illuminate this staircase. Modern safety standards require that all staircases with 6 risers or more, such as this one, have lights installed that illuminate the stairs, including landings and treads. The lights illuminating the stairs must be controlled by switches installed at and operable from both the top and bottom of the staircase. For safety reasons, the Inspector recommends that lighting and switches be installed by a qualified electrical contractor.

Recommendation

Contact a qualified electrical contractor.



16.3.1 Stair Risers

OPEN RISERS GREATER THAN 4"**Safety Concern**

This staircase had open risers in which the space between treads allowed the passage of a 4-inch sphere. In staircases having 4 or more risers, such as this one, the space between treads should be less than 4 inches for child-safety reasons.

This condition is not uncommon in older homes built to standards that may have been the generally-accepted practice at the time of original construction, but which differ from generally-accepted current standards.

Recommendation

Contact your builder.



16.3.2 Stair Risers

RISERS TOO TALL- OLDER HOME**Safety Concern**

Risers at this staircase exceeded 7 3/4 inches (19.6cm) in height. Although this condition is now considered a potential trip/fall hazard, it is not uncommon in older homes such as this one, built during a time period during which safety standards were different from generally-accepted current safety standards. Current standards mandate a minimum height of 4 inches minimum and maximum height of 7 3/4 inches.

Recommendation

Contact your builder.



16.4.1 Stair Treads

TREADS TOO NARROW**Safety Concern**

Treads at this staircase were less than 10 inches in depth measured from riser to nosing. This condition is a potential trip/fall hazard. A 10-inch minimum and 10 3/8-inch maximum are the generally-accepted current standard tread depths.

While the home may have complied with the building code at the time it was built, upgrading for safety should be considered.

Upgrading a home to modern standards is not required at the time of sale and this would be considered an upgrade.

Recommendation

Contact your builder.



16.5.1 Railings

BALLUSTER SPACING**Safety Concern**

The baluster spacing on the stairs or landings was non-conforming, the balusters were spaced too far apart (greater than 4") or the gap at the base was too wide. Although this installation may have been acceptable at the time of construction, upgrading for safety should be considered.

Recommendation

Contact a qualified professional.



16.5.2 Railings

NO GUARD RAIL**Safety Concern**

Present industry standards for railings indicate that railings should be present when there are 3 or more steps or where the drop off exceeds 30" in height. In addition, all railing balusters (poles) to be spaced close enough together so as to prevent the passage of a 4" sphere through any part of the railing.

Recommendation

Contact a qualified professional.



16.5.3 Railings

GUARD RAIL HEIGHT TO LOW**Safety Concern**

The guard rail is too low. The current safety standards state that the minimum guardrail height is 36 inches. Although this installation may have been acceptable at the time of construction, upgrading for safety standards should be considered.

Recommendation

Contact a qualified professional.



16.6.1 Handrails

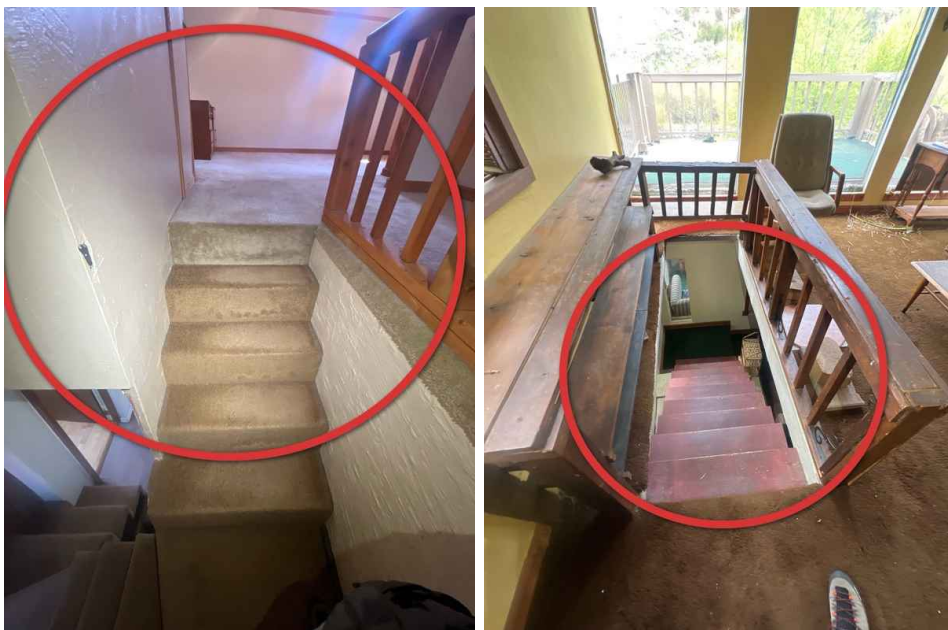
NO HANDRAIL**Safety Concern**

The handrail is missing. While the home may have complied with the building code at the time it was built, upgrading for safety should be considered.

Upgrading a home to modern standards is not required at the time of sale and this would be considered an upgrade.

Recommendation

Contact a qualified carpenter.



17.1.1 Faucet and sink

HOT AND COLD WATER REVERSED

NORTH UNIT

The hot and cold controls on the faucet were reversed. We recommend that the hot water be plumbed to the left faucet and the cold water be plumbed to the right faucet for safety reasons.

Recommendation

Contact a qualified professional.

 Further Review

17.2.1 Sink Drain

INSUFFICIENT PITCH OF DRAIN PIPE

The drain line for the kitchen sink lacks adequate pitch from the trap to the wall. This configuration can promote clogging. We recommend adjustments be made to give the line a constant downhill slope of at least 1/4" per foot.

Recommendation

Contact a qualified plumbing contractor.

 Repair

17.2.2 Sink Drain

LEAKING DRAIN

Repair

The drain trap or drain of the kitchen sink appeared to be leaking. We recommend repair of the drain trap or drain.

Recommendation

Contact a qualified plumbing contractor.



17.2.3 Sink Drain

FLEXIBLE DRAIN PIPE

Further Review

A flexible drain pipe was noted under the kitchen sink, this is not recommended and suggests a nonprofessional installation. These types of pipes can become easily clogged by collecting dirt and grime in the accordion corrugations that impede flow. We recommend further review by a qualified plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



17.4.1 Dishwasher

DAMAGED CONTROLS

Repair

The dishwasher controls were damaged. We recommend that the controls be repaired or replaced.

Recommendation

Contact a qualified professional.



17.7.1 Cabinets

ADJUST CABINET DOORS

Repair

The cabinet doors were noted to need adjustment. We recommend all cabinet doors be adjusted for proper aesthetics and operation.

Recommendation

Contact a handyman or DIY project



17.7.2 Cabinets

WATER DAMAGED

BOTH KITCHENS

The inside base of the kitchen sink cabinet was water damaged from a leak. Environmental concerns may be present anywhere excessive moisture is present.

Recommendation

Contact a qualified professional.

[Further Reveiw](#)

17.7.3 Cabinets

LOOSE TOE KICK

Repair

The base cabinets in the kitchen had loose sections of toe kick trim.

Recommendation

Contact a qualified cabinet contractor.



17.10.1 Range / Cook top/ oven

BURNER FAILED TO OPERATE

NORTH KITCHEN

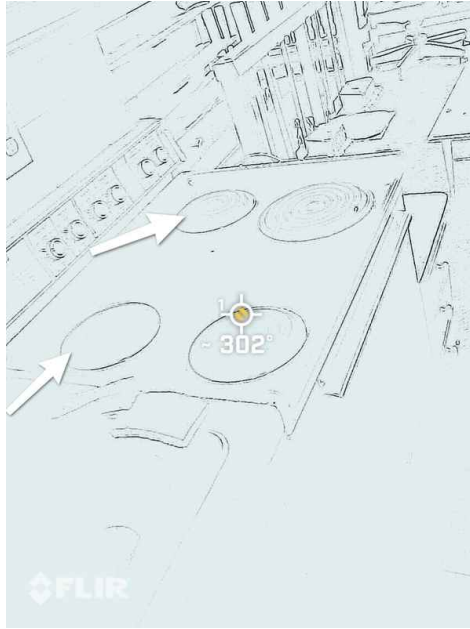


One or more heating elements did not heat up when turned on. We recommend qualified professional evaluation & repair.

[Here is a DIY resource](#) on possible solutions.

Recommendation

Contact a qualified appliance repair professional.



17.11.1 Ventilation

EXHAUST SYSTEM MISSING

BOTH KITCHENS



No exhaust system is present to prevent moisture and grease and carbon monoxide in the kitchen area. We recommend further review with installation as deemed necessary.

[Here is a resource on choosing a range hood.](#)



17.13.1 Refrigerator

INTERIOR IN POOR CONDITION

Further Review

The interior of the refrigerator was found to be in poor condition. We recommend further review for a better understanding of replacement/repair costs and present condition.

Recommendation

Contact a qualified appliance repair professional.



17.13.2 Refrigerator

DAMAGED OR MISSING SHELVES

Repair

The shelving in the refrigerator or freezer was damaged or missing.

Recommendation

Contact a qualified appliance repair professional.



18.6.1 Presence of Installed Heat Source in Each Room

NO HEATING UNITS NOTED

Further Review

SEVERAL

Several areas of the home did not appear to have a heating source. We suggest a further review.

Recommendation

Contact a qualified professional.

19.6.1 Furnace operation

NO RECENT SERVICE TAGS NOTED

No recent service tags or records were present for the heating unit. We suggest asking the owners for service records. If no records are present we suggest service and inspection.

Recommendation

Contact a qualified HVAC professional.

19.8.1 Exhaust flue

CORROSION

Corrosion visible on the exhaust flue indicated that the flue system may have a problem with condensation. the boiler should be serviced by a qualified HVAC technician or plumbing contractor.

Recommendation

Contact a qualified HVAC professional.



19.8.2 Exhaust flue

TO CLOSE TO COMBUSTIBLES

The combustion exhaust flue had improper clearance from combustible materials. The minimum clearance is 1 inch. This condition is a potential fire hazard and should be corrected by a qualified contractor.

Recommendation

Contact a qualified HVAC professional.



19.8.3 Exhaust flue

CORROSION BASE OF VENT

Corrosion visible at the base of the combustion exhaust vent of the furnace indicated the presence of excessive amounts of moisture, typically related to condensation formed by improper furnace exhaust vent conditions. This condition may result in premature failure of furnace components. The Inspector recommends that the furnace be serviced by a qualified HVAC contractor.

Recommendation

Contact a qualified heating and cooling contractor



19.10.1 Combustion air

COMBUSTION AIR NOT SUFFICIENT (FORMULA)

Combustion air supply appeared to be insufficient at the time of the inspection. Combustion appliances require 50 cubic feet per 1000 BTU/h aggregate input. "Aggregate" means that if two combustion appliances such as a gas-fired boiler and a gas-fired water heater are installed in the same room, each of their input ratings in BTU/h must be included when calculating adequate combustion air. Insufficient combustion air can cause a combustion appliance to operate inefficiently, increasing heating costs and may cause the furnace to produce unacceptably high levels of toxic gases such as carbon monoxide. The Inspector recommends correction by a qualified HVAC or plumbing contractor.

Recommendation

Contact a qualified HVAC professional.

19.11.1 Furnace interior

DIRTY INTERIOR

The heatig unit interior is excessively dirty. We suggest service by a qualified heating contractor

Recommendation

Contact a qualified HVAC professional.



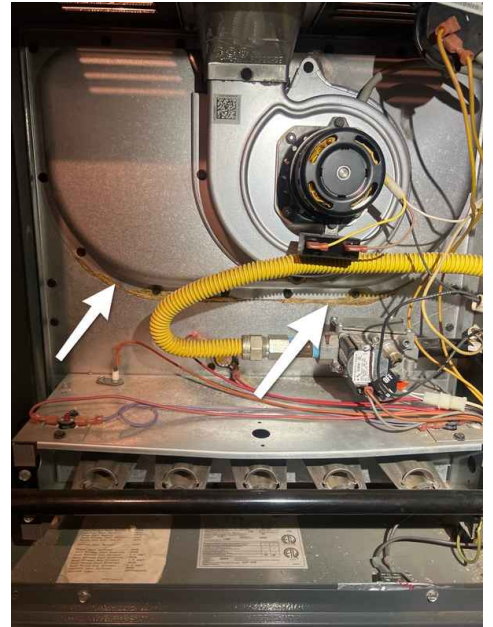
19.11.2 Furnace interior

CORROSION

Corrosion was noted on the interior of the heating system. We suggest further reviewing the heating system with repairs made as deemed necessary by a qualified heating contractor.

Recommendation

Contact a qualified professional.



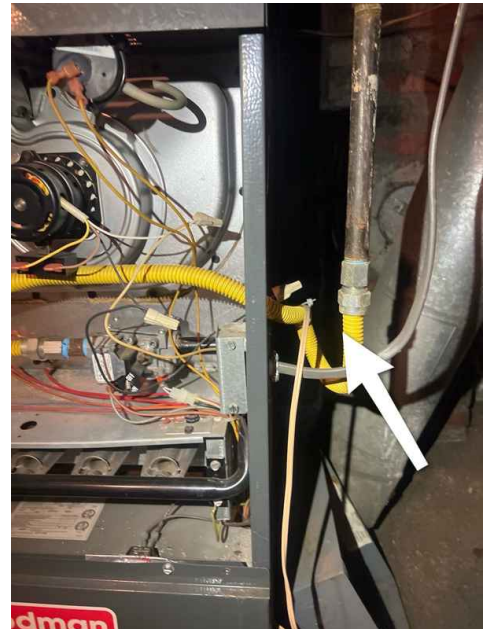
19.12.1 Fuel pipe

NO DRIP LEG / SEDIMENT TRAP

No sediment trap or drip leg was installed at this heating unit. Sediment traps and drip legs are installed to keep particulates and moisture out of the gas valve. Particulates or moisture in the gas valve can interfere with burner operation. The Inspector recommends the installation of a sediment trap/drip leg by a qualified plumbing contractor.

Recommendation

Contact a qualified HVAC professional.



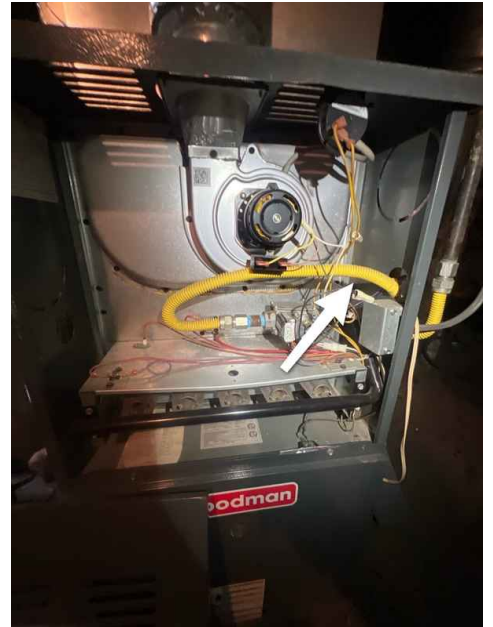
19.12.2 Fuel pipe

FLEXIBLE TUBING THROUGH CABINET

Flexible tubing used to provide gas fuel to the furnace penetrated the furnace cabinet. This condition is improper. Gas should enter the cabinet through a solid pipe. The Inspector recommends the installation of a proper gas supply pipe by a qualified HVAC contractor.

Recommendation

Contact a qualified heating and cooling contractor



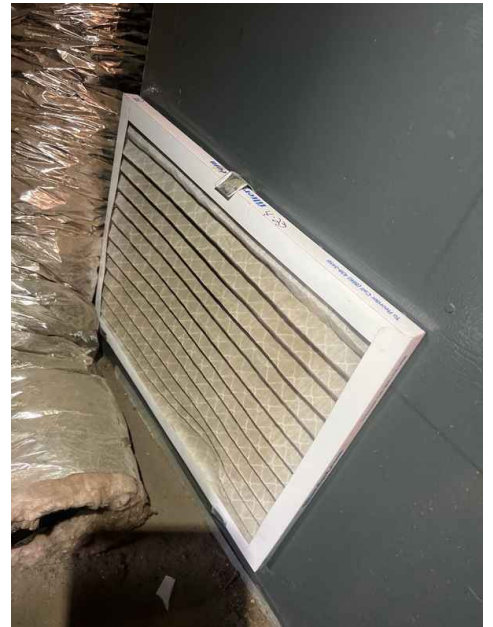
19.16.1 Air filter

DIRTY FILTER

The air filter had accumulated debris which decreased its effectiveness and blocked airflow. This can dramatically decrease the efficiency of the system. We recommend that the filter be cleaned or replaced as required.

Recommendation

Contact a handyman or DIY project



19.16.2 Air filter

RETURN AIR DUCT DISCONNECTED

We suggest repairs for proper function.



19.18.1 Distribution Systems

DUCTS NOT SEALED

Air supply ducts were not properly sealed. Recommend a qualified HVAC contractor to seal supply and return ducts for maximum efficiency.



19.18.2 Distribution Systems

DUCTS IN UNHEATED SPACE

Air supply ducts routed through unheated space were not insulated. During cold weather, un-insulated heating ducts routed through unheated space can lose 25% to 40% of the energy they contain. The means that between 25 and 40 cents of each dollar spent to heat home air can be wasted.

The Inspector recommends that heat supply ducts routed through unheated space be sealed and insulated by a qualified heating, ventilation, and air-conditioning (HVAC) contractor for significant savings on heating costs.

Recommendation

Contact a qualified heating and cooling contractor



20.14.1 Drain, Waste, & Vent Systems

LEAKING PIPE

MECHANICAL ROOM

Past or present leaking drain/waste pipes were observed. Attention to the leaking pipes is required for damage control as well as health issues. We recommend that the leaks be repaired as required.

Recommendation

Contact a qualified plumbing contractor.



20.14.2 Drain, Waste, & Vent Systems

MISSING SEWER CAP

MECHANICAL ROOM

An improper cap (soup can) was noted on the sewer line, this may allow sewer gas to enter the home.

Recommendation

Contact a qualified professional.



20.16.1 Fuel Storage & Distribution Systems

IMPROPER SUPPORT OF GAS LINES

ENTRY

The gas piping needs support at six-foot to eight-foot intervals if suspended above a surface. Piping was observed without this support. Attention to the proper support of the piping is required to ensure the integrity of the piping system. We recommend that the proper supports and/or strapping be provided.

Recommendation

Contact a qualified plumbing contractor.



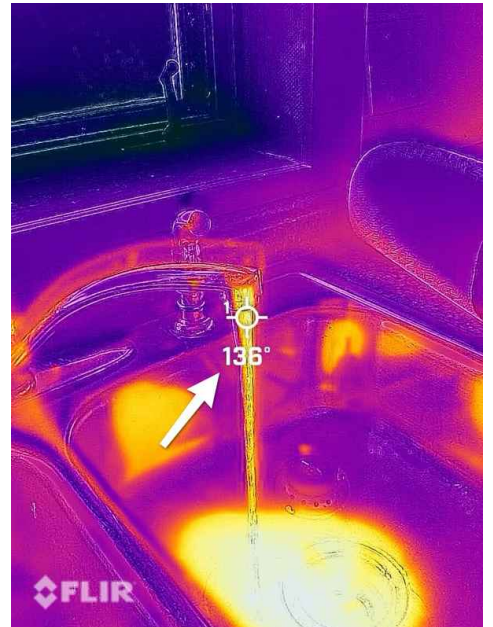
21.2.1 Hot water heater operation

TEMPERATURE SET TOO HIGH

Hot water can cause severe scalding. After taking occupancy you should have your plumber adjust the water heater so it does not produce water hotter than 120 degrees F.

Recommendation

Contact a qualified plumbing contractor.



21.12.1 Venting and flue pipe

SEPARATED OR DAMAGED FLUE

The exhaust flue of the gas-fired water heater was separated or damaged this is a hazardous condition that may allow the invisible, odorless, tasteless, toxic products of combustion (such as carbon monoxide) to enter the living space.

Recommendation

Contact a qualified plumbing contractor.



21.13.1 Combustion air

INADEQUATE COMBUSTION AIR

The combustion air supply for this water heater appeared to be insufficient at the time of the inspection. Insufficient combustion air may cause incomplete combustion that can produce excessive amounts of invisible, odorless, tasteless, toxic gases like carbon monoxide. The inspector recommends additional air be provided to allow for proper combustion.

Recommendation

Contact a qualified HVAC professional.

21.15.1 Water connections

CORROSION

The water connections at the water heater were observed to be corroded (a non-visible leak that leaves mineral deposits) and visible leakage may occur with time. These connections should be repaired or replaced as required.

Recommendation

Contact a qualified plumbing contractor.



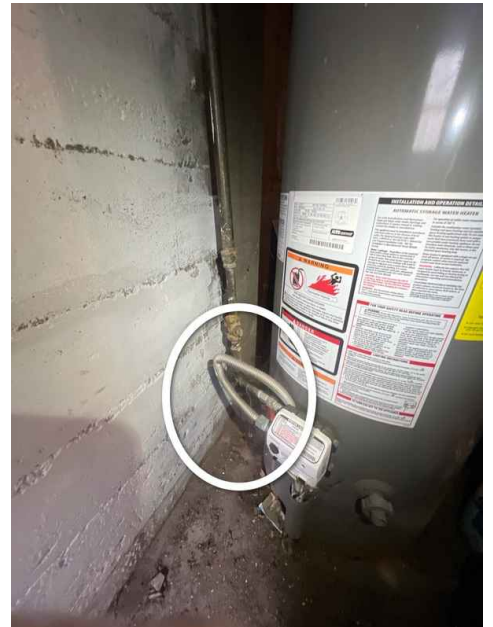
21.17.1 Fuel supply

NO DRIP LEG (SEDIMENT TRAP)

No sediment trap or drip leg was installed. Sediment traps and drip legs are installed to keep particulates and moisture out of the gas valve. Particulates or moisture in the gas valve can interfere with water heater burner operation. The Inspector recommends the installation of a sediment trap/drip leg by a qualified plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



21.20.1 Temperature relief pipe

TPR RELIEF PIPE SHORT OR MISSING**Safety Concern**

The water heater temperature pressure relief (TPR) valve discharge piping terminates too high off the ground. For safety, the temperature and relief valve discharge pipe should terminate within 6" of the ground or floor. We recommend repair as required.

Recommendation

Contact a qualified plumbing contractor.



21.21.1 Expansion tank

IMPROVE- CONSIDER ADDING EXPANSION TANK**Further Review**

The water heater had no expansion tank installed to allow for the thermal expansion of water in the plumbing pipes. Expansion tanks are typically required for new installations we suggest consulting with a plumbing contractor and the water heater manufacturers' installation guidelines about the need for the installation of an expansion tank on this system.

Recommendation

Contact a qualified plumbing contractor.

22.9.1 Main service -Condition

DETERIORATED INSULATION**Repair**

The overhead main service conductor insulation has deteriorated. We recommend contacting the electrical service provider for remedy as necessary.

Recommendation

Contact a qualified electrical contractor.



22.9.2 Main service -Condition

SERVICE LESS THAN 10'**Safety Concern**

The overhead clearance of service entrance conductors to the ground was estimated to be less than the minimum (10 feet) required. This creates a potentially hazardous condition and we recommend repair.

Recommendation

Contact a qualified electrical contractor.



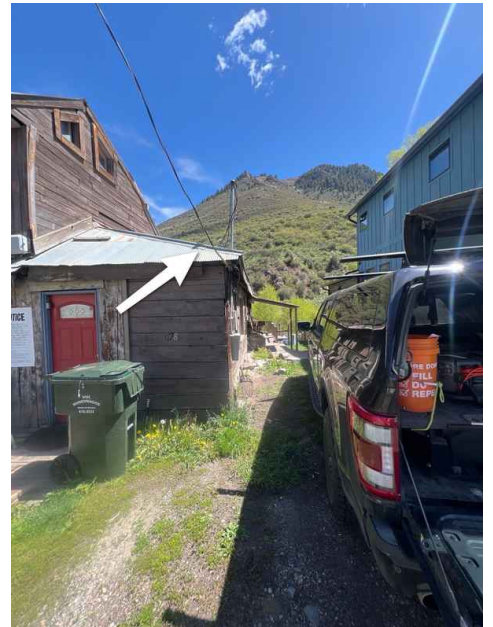
22.9.3 Main service -Condition

LESS THAN 12' OVER DRIVEWAY**Safety Concern**

The overhead clearance of service entrance conductors across the driveway was estimated to be less than the minimum (12 feet) required. This creates a potentially hazardous condition and we recommend repair.

Recommendation

Contact a qualified electrical contractor.



22.9.4 Main service -Condition

LOOSE METER CABINET

Safety Concern

The electrical meter cabinet was loosely mounted. It should be securely fastened to the mounting surface by a qualified electrical contractor.

Recommendation

Contact a qualified electrical contractor.



22.10.1 Disconnect -condition

NO MAIN POWER SHUT OFF (MORE THAN 6)

Safety Concern

The electrical service equipment did not include a main shutoff, and more than six disconnects were used to completely shut off power to the building. A main shutoff may be required by local standards. We recommend further review for a better understanding of replacement costs/repairs and present condition.

Recommendation

Contact a qualified electrical contractor.

22.12.1 Bonding systems

MISSING JUMPER AT WATER METER

The bonding cable is not present at the water meter. We suggest reviewing installation as deemed necessary to meet modern safety standards.

Recommendation

Contact a qualified professional.



22.12.2 Bonding systems

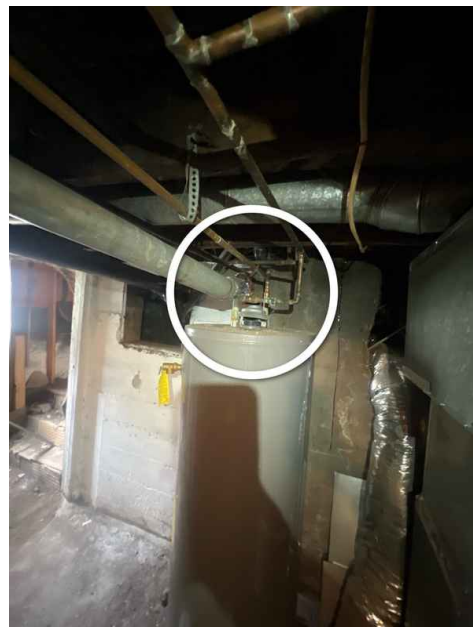
MISSING JUMPER AT WATER HEATER

Repair

The bonding cable is not present at the water heater system. We suggest reviewing installation as deemed necessary to meet modern safety standards.

Recommendation

Contact a qualified professional.



22.15.1 Panel labeling

MISSING LABELS ON PANEL

Repair

At the time of inspection, panel was missing labeling. Recommend a qualified electrician or person identify and map out locations.

22.18.1 Panel wiring

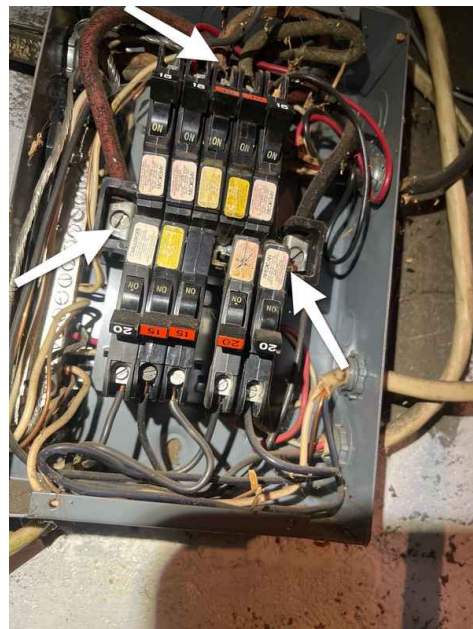
NO ANTI CORROSIVE SOLUTION ON ALUMINUM WIRE

Repair

The visible aluminum connections were not wired using an appropriate anti-corrosive solution at the wire ends. Good electrical practice dictates that stranded aluminum wiring be installed with the use of anti-oxidant paste, applied to the exposed ends of wiring and provided to prevent the formation of non-conductive aluminum oxide. We recommend that all the aluminum wire connections be upgraded, using the currently accepted trade technology appropriate for stranded aluminum wire.

Recommendation

Contact a qualified electrical contractor.



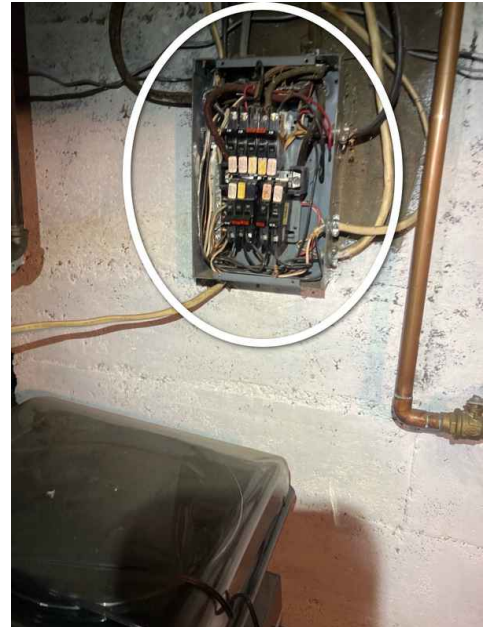
22.19.1 Main & Subpanels- Conditions

DEAD FRONT MISSING**Safety Concern**

The protective "dead front" cover, which would help to prevent hazardous shocks if it were in place, was missing from the service panel. Replacing the cover plate is recommended.

Recommendation

Contact a qualified professional.



22.21.1 Wiring General

OPEN JUNCTION BOX(S)**Repair****KITCHEN SINK/ATTIC**

Open junction box(s) were observed. Open junction boxes should be enclosed within an approved cover in accordance with industry standards. We recommend the installation of an approved cover.

Recommendation

Contact a qualified electrical contractor.



22.21.2 Wiring General

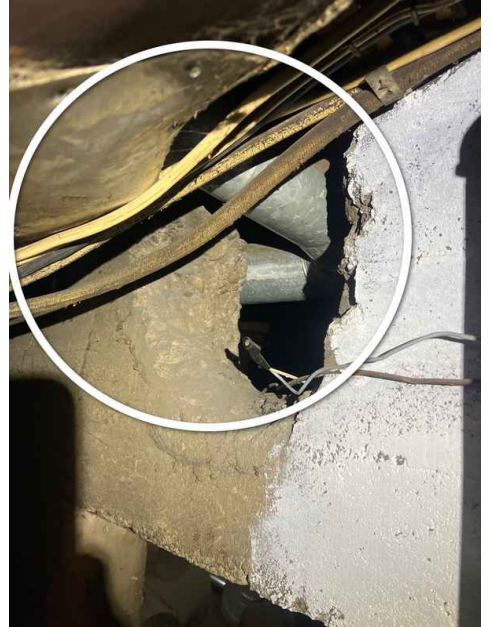
EXPOSED WIRING

SEVERAL

Exposed wiring was observed. We recommend that any electrical wiring which is exposed to damage and human contact be enclosed or otherwise protected according to current applicable standards for safety.

Recommendation

Contact a qualified electrical contractor.



22.23.1 Lights

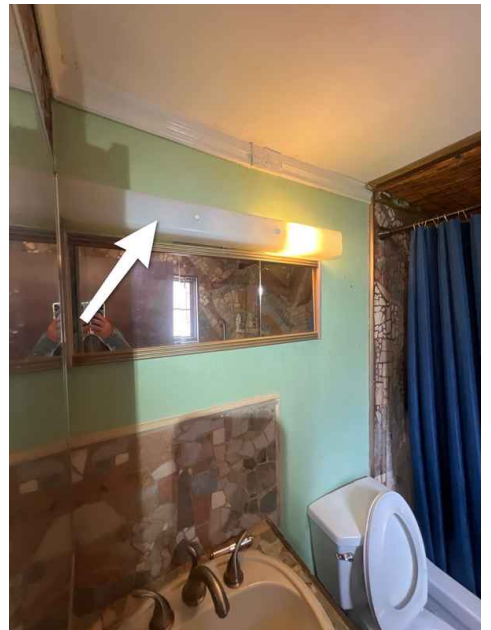
LIGHT INOPERABLE

One or more lights were not operating. New light bulbs are possibly needed.

We suggest further review to confirm proper operation of all lights

Recommendation

Contact a qualified handyman.



22.23.2 Lights

DAMAGED OR IMPROPERLY INSTALLED

ENTRY

The light fixture was damaged or improperly installed. All damaged or improperly installed fixtures should be repaired or replaced to proper operation by an electrician.

Recommendation

Contact a qualified electrical contractor.



22.23.3 Lights

DAMAGED LIGHT COVER

1ST FLOOR LIVING

The light fixture had a damaged cover. We recommend that the fixture cover be replaced.

Recommendation

Contact a qualified electrical contractor.



22.23.4 Lights
INCANDESCENT BULB IN CLOSET

 Repair

ENTRY

The closet has an incandescent light to close to combustibles. We recommend the removal of the fixture or top shelf for safety reasons.

Recommendation
Contact a handyman or DIY project



22.24.1 Receptacles
INADEQUATE NUMBER OF RECEPTACLES

 Repair

SEVERAL

Current standards dictate electrical outlets every 6 feet. Areas of the home do not meet this standard. We recommend a licensed electrician add additional receptacles as deemed necessary.



22.26.1 Ground Fault protection interrupter- GFCI

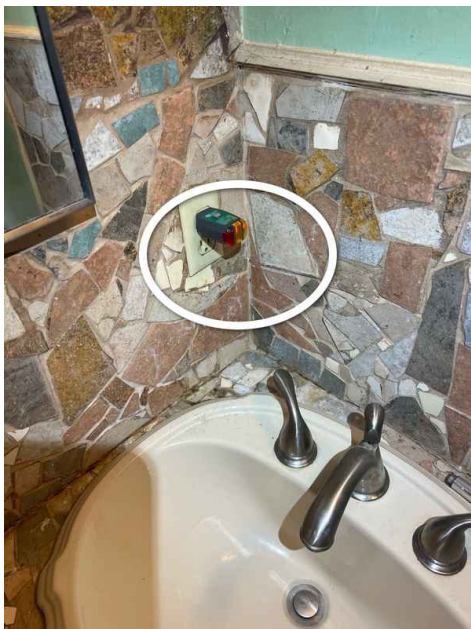
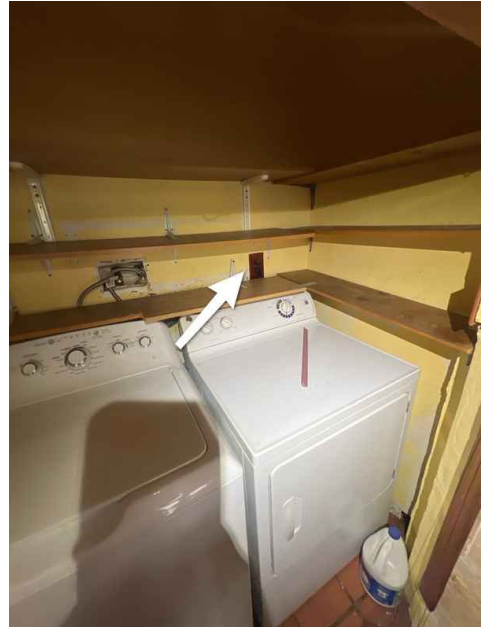
ADD GFCI PER MODERN STANDARDS

SEVERAL

Safety Concern: A ground fault circuit interrupter breaker (GFCI) was not installed for all currently required locations. This could pose a serious safety condition and this shock protection device should be installed at locations within 6 feet of a water source (sink), a garage or workshop area, and at all exterior receptacle locations. We recommend that GFCI receptacle protection be installed according to current applicable standards as a safety upgrade wherever needed.

Recommendation

Contact a qualified electrical contractor.



22.27.1 Arc Fault protection -AFCI

ARC FAULT PROTECTION -UPGRADE SUGGESTED

An arc-fault circuit interrupter (AFCI) is a device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.

An AFCI is a product that is designed to detect a wide range of arcing electrical faults to help reduce the electrical system from being an ignition source of a fire. Conventional overcurrent protective devices do not detect low-level hazardous arcing currents that have the potential to initiate electrical fires.

While the home may have complied with building standards at the time of its construction we suggest a further review and the consideration of upgrading the home to modern safety standards.

Modern safety standards require

All 120-volt, single-phase, 15- and 20-ampere branch circuits supplying outlets or devices installed in dwelling unit kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms or areas shall be protected.

Additional information provided in the 2020 NEC <https://www.nfpa.org/codes-and-standards/all-codes-and-standards/list-of-codes-and-standards/detail?code=70>

Recommendation

Contact a qualified professional.

22.28.1 Smoke Detectors

INSTALL IN LOCATIONS PER MODERN STANDARDS

SEVERAL

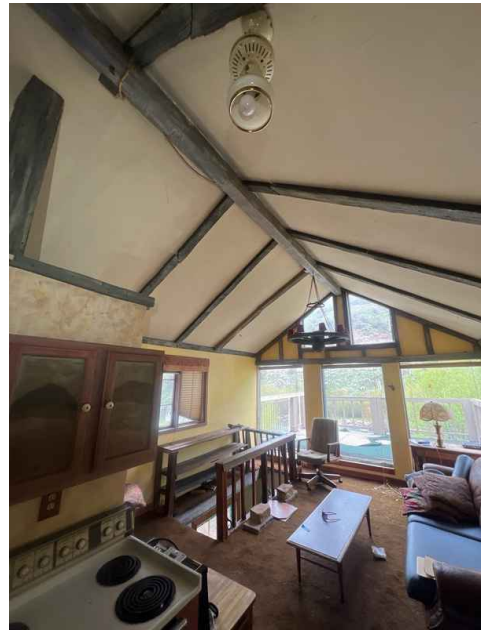
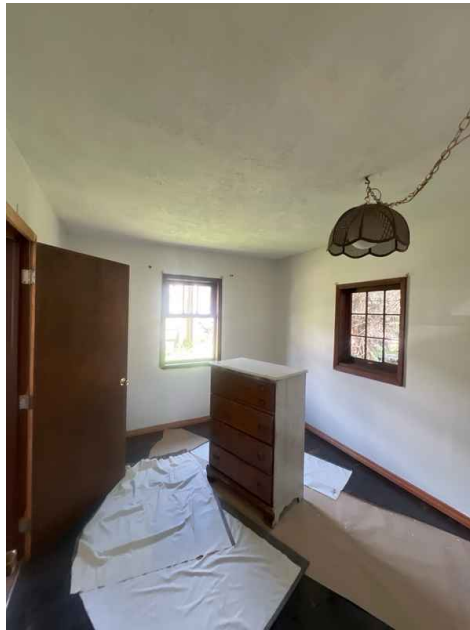


Smoke alarms should be installed in the following locations:

- on the ceiling or wall outside of each separate sleeping area in the vicinity of bedrooms;
- in each bedroom, as most fires occur during sleeping hours;
- in the basement, preferably on the ceiling near the basement stairs;
- in the garage, due to all the combustible materials commonly stored there;
- on the ceiling or on the wall with the top of the detector between 6 to 12 inches from the ceiling; and/or
- in each story within a building, including basements and cellars, but not crawlspaces or uninhabited attics.

Recommendation

Contact a qualified electrical contractor.



22.28.2 Smoke Detectors

SMOKE DETECTOR COVER MISSING Safety Concern

One or more of the smoke detectors were missing their covers. We recommend replacement as necessary.

Recommendation

Contact a qualified electrical contractor.



22.29.1 Carbon Monoxide Detectors

ADD OR UPDATE CARBON MONOXIDE DETECTORS Safety Concern

Colorado law requires that home sellers install carbon monoxide alarms within 15 feet of each bedroom prior to the sale of the home. The International Association of Fire Chiefs recommends a carbon monoxide detector on every floor of your home, including the basement. It is also recommended to have a detector in the vicinity of wood or gas burning appliances such as fireplaces. Carbon monoxide detectors have a maximum of 7 years of reliability. We suggest installation as needed per Colorado law and replacement of older units.

Recommendation

Contact a qualified professional.

22.29.2 Carbon Monoxide Detectors

NO DATE STAMP Further Review

No date tag was present or visible. Carbon monoxide detectors have a maximum of 7 years of reliability. We suggest installation as needed per Colorado law and replacement of older units.

Recommendation

Contact a qualified professional.



23.3.1 Ceiling and roof structure

OLD PRACTICES

Old practices

Methods and materials used in the roof framing, while not acceptable by modern standards, were typical of methods and materials commonly used when the home was originally constructed.

Recommendation

Contact a qualified professional.

 Further Review

23.6.1 Rafters

RAFTER SAG

The rafters sagged visibly at the time of the inspection. This condition appeared to be due to inadequately sized or overspaced rafters. We suggest you consult with a qualified contractor to understand the options and costs for correcting or stabilizing this condition.

Recommendation

Contact a qualified professional.

 Repair

23.6.2 Rafters

SPLICED RAFTERS

Repairs have been made to the rafters in the attic. The inspector recommends evaluation by a structural engineer. Any correction should be made by a qualified contractor.

Recommendation

Contact your builder.



23.6.3 Rafters

UNDERSIZED RAFTERS

23.11.1 Attic Insulation Conditions

INSUFFICIENT INSULATION

Installing additional insulation to bring ceiling insulation levels in the home current with modern recommendations will help save on heating and cooling costs and prevent condensation concerns that may lead to microbial growth. The modern recommended value for ceilings is R-38.

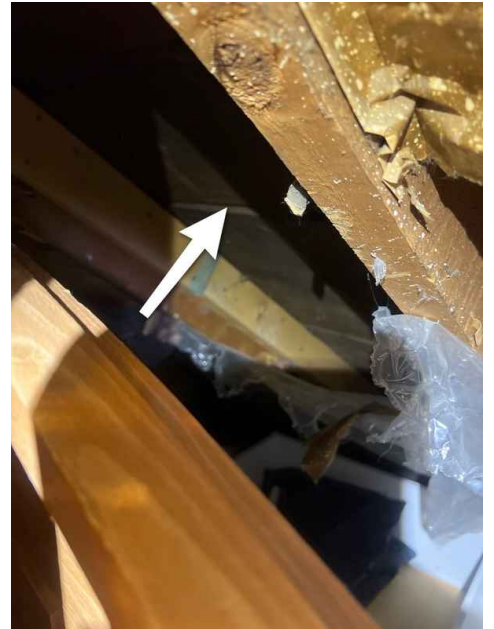
23.11.2 Attic Insulation Conditions

MISSING INSULATION

The attic was missing insulation over areas of significant size. This condition can increase heating and cooling costs, allow condensation that leads to microbial growth and reduce comfort levels. It may contribute to ice damming of the roof during the winter. The Inspector recommends that insulation be properly distributed to cover all portions of the attic located above the home living space.

Recommendation

Contact a qualified insulation contractor.



24.4.1 Foundation walls

WOOD FOUNDATION WALLS

Portions of the home appear to have a wood foundation. While this can be an acceptable means of construction these types of foundations do not typically last as long as concrete foundation walls and need careful monitoring of water issues. We suggest a full review of the foundation walls by a qualified contractor, waterproofing consultant, and/ or professional engineer.

Recommendation

Contact a qualified professional.

24.4.2 Foundation walls

CRACKING

A large crack was observed in the perimeter structure foundation wall. We recommend further review for a better understanding of repair costs and present conditions.

Recommendation

Contact a qualified professional engineer



24.4.3 Foundation walls

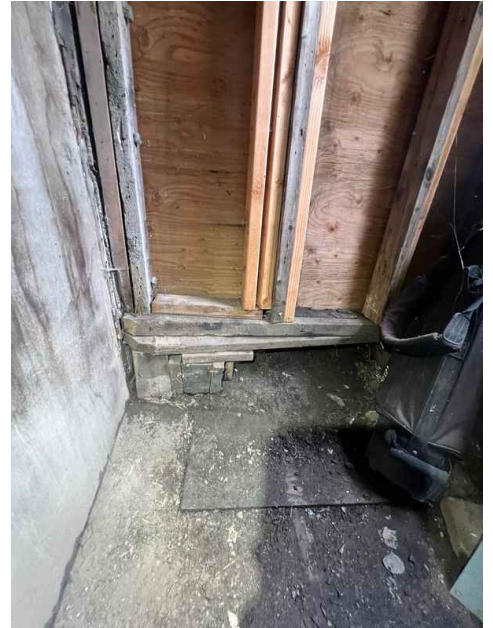
OLD BUILDING PRACTICES

Further Reveiw

Portions of the home did not appear to have a foundation, the photo below shows a wall sitting on wood and rock. We suggest a further review.

Recommendation

Contact a qualified professional.



24.4.4 Foundation walls

DETERIORATED WALLS

Repair

The wood foundation walls are significantly bowing in towards the home. Damaged foundation plywood, moisture and soil intrusion, and drywall damage are visible. We suggest a further review by a qualified professional or structural engineer to evaluate this condition.



24.6.1 Damp-proofing

NO VISIBLE DAMP-PROOFING- PORTIONS[Further Review](#)

Portions of the exterior foundation walls had no visible damp-proofing. Damp-proofing involves spraying a material onto the outside of the foundation walls that will be buried once backfill operations are complete. After drying, this sprayed coating becomes highly resistant to water penetration. Its purpose is to help prevent moisture seepage through the foundation walls. Application after backfill operations are complete requires excavating the foundation.

Recommendation

Contact a qualified waterproofing contractor

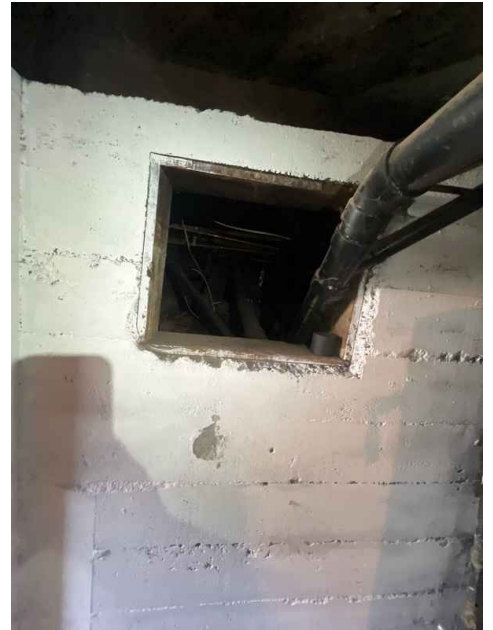
25.2.1 Inspection method

LIMITED ACCESS[Further Review](#)

There was limited access to the crawl space at the time of the inspection due to obstructions, inspector safety, or stored items. Therefore the crawl space was only inspected from the entry or limited accessible areas with a flashlight. As a result of this condition, there may be hidden defects that were not detected at the time of the inspection.

Recommendation

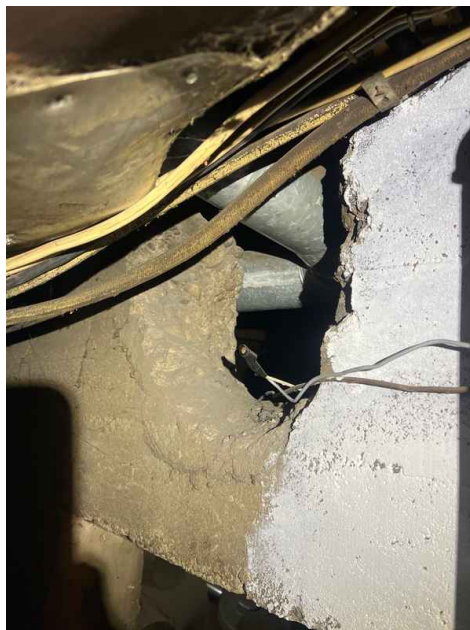
Contact a qualified professional.



25.4.1 Foundation walls

ALTERED OR CUT FOUNDATION WALLS[Further Review](#)

The foundation walls were noted to have been cut to accommodate HVAC ducts. We suggest a further review of this condition by a qualified professional.



25.6.1 Damp-proofing

NO VISIBLE DAMP-PROOFING-ALL

Exterior foundation walls had no visible damp-proofing. Damp-proofing involves spraying a material onto the outside of the foundation walls that will be buried once backfill operations are complete. After drying, this sprayed coating becomes highly resistant to water penetration. Its purpose is to help prevent moisture seepage through the foundation walls. Application after backfill operations are complete requires excavating the foundation and is expensive. Damp proofing may be present but hidden beneath soil.

Recommendation

Contact a qualified waterproofing contractor

25.8.1 Floor framing

OLD HOME - MULTIPLE CONDITIONS EXIST[Further Review](#)

The home was constructed before many of today's current building standards. Multiple conditions exist such as (but not limited to).

Undersized framing members, over-spanned joists, improper splices, lack of proper bearing (missing hardware), cut/modified framing, temporary repairs, and other hidden conditions are likely present. All of these conditions could lead to future settling and structural movement. No attempt was made to list or photograph all conditions. Photographs are examples only.

We suggest a full review of the framing and foundation support to better understand current conditions, need for repairs, and cost associated.

Recommendation

Contact a qualified professional engineer





25.9.1 Insulation

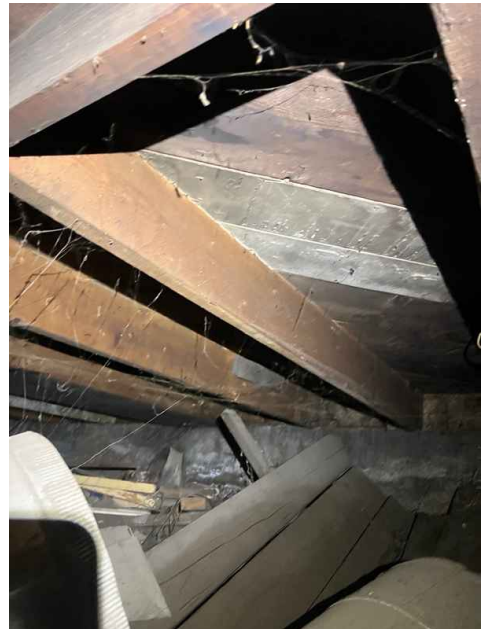
NO INSULATION



Insulation was not present at the floor areas of the crawlspace. This condition may lead to moisture buildup and/or energy efficiency losses. We recommend that the floor structure be evaluated for insulation requirements with repair as necessary.

Recommendation

Contact a qualified insulation contractor.



25.10.1 Moisture and leaks

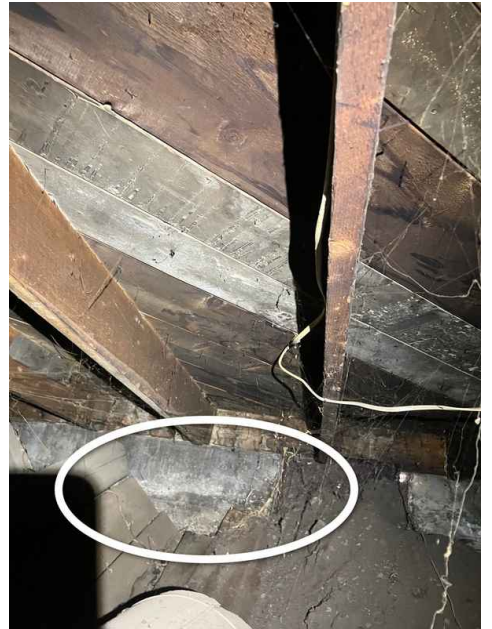
EFFLORESCENCE- WALLS

SEVERAL

Efflorescence was visible on some of the interior surfaces of the foundation walls. Efflorescence is a white, powdery residue left by moisture seeping through the foundation wall and its presence indicates high moisture levels in the soil near the foundation. Excessively high moisture levels in soil supporting the foundation can cause various structural problems related to soil movement. The source of moisture should be identified and the condition corrected.

Recommendation

Contact a qualified general contractor.

[Further Review](#)

25.10.2 Moisture and leaks

EVIDENCE OF MOISTURE FLOOR FRAMING-DRY

Evidence of moisture concerns and deterioration was noted on the floor framing. The area was dry, suggesting a past event. We recommend asking the owners for more information to confirm no active leaking is present. If no information is available, we suggest further investigation to understand the condition better.

Recommendation

Contact a qualified professional.

[Further Review](#)

25.11.1 Ventilation

INADEQUATE OR MISSING VENTILATION

Crawlspace ventilation appears to be insufficient. Inadequate ventilation can cause moisture concerns and microbial growth. We recommend further review with ventilation added as deemed necessary.

Recommendation

Contact a qualified professional.

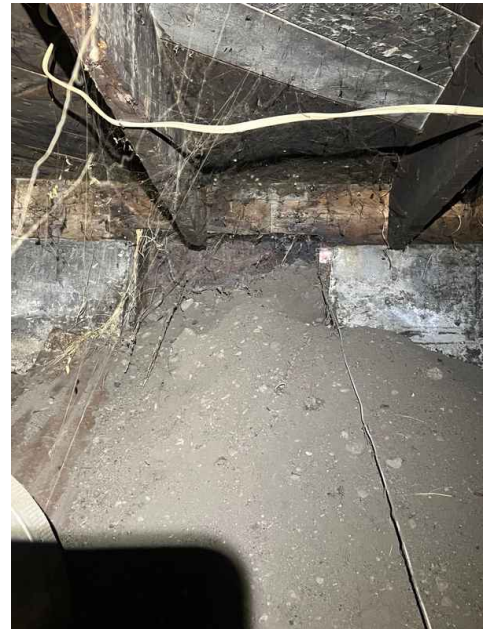
25.12.1 Vapor barrier

NO VAPOR BARRIER

A vapor barrier was not present at the crawlspace. Vapor barriers are beneficial in that they effectively block moisture migration from the ground soil to the under structure. We recommend that a vapor barrier be considered for the crawlspace.

Recommendation

Contact a qualified professional.



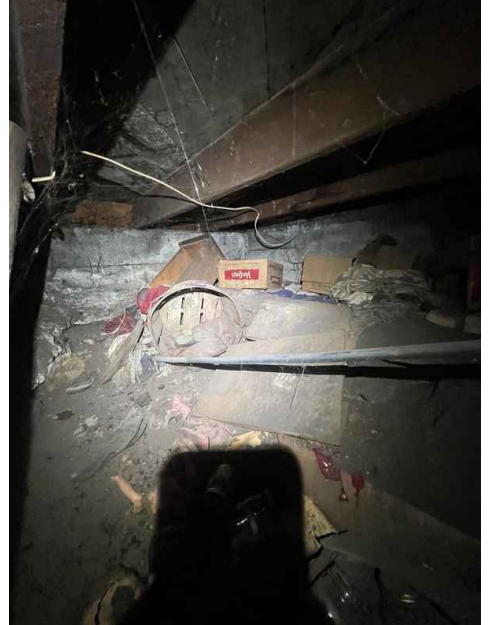
25.13.1 Crawlspace conditions

DEBRIS

Old construction debris was noted in the crawl space. This type of debris can provide a food source for microbial growth. We suggest removal and cleaning of this material.

Recommendation

Contact a qualified professional.



28.4.1 Mold testing results

ELEVATED AIR SAMPLES FURTHER INVESTIGATION/MITIGATION SUGGESTED

Elevated mold levels were noted. See attached laboratory mold analyses.

Air testing mold results should be lower than or equal to outside samples.

Both in quantity and genera of mold found. The samples taken inside the home did not meet this standard.

Levels in the home were noted as follows.

Elevated levels of mold are present in the 1st-floor living room

•
No destructive testing or investigation was done. The source of moisture and areas of contamination are the inspector's "best guess." The amount of contamination, moisture sources, and areas requiring mitigation cannot be commented on without further investigation and, as such, are beyond the scope of a general home inspection.

The inspector's best guess for the elevated mold levels is a current leak in the closet and moisture intrusion at the foundation wall.

We suggest further investigation by a trained mold mitigation contractor using the guidelines below at a minimum. Maintenance personnel or handypersons may do more harm than good without proper mold mitigation training and increase overall mitigation costs.

All work should be done by a certified mold remediation contractor(IICRC- AMRT) following IICRC S520 Mold Remediation guidelines.

1. Further investigation is needed to understand the contamination level and the source of moisture better. All exploration work shall be done under containment with negative air with a HEPA filtration system in place.

Per Colorado state law, drywall or drywall surfacing with an area greater than 32 square feet may not be removed without an asbestos test.

2. Removal and or cleaning of all mold affected materials

3. Removal of all moisture sources contributing to mold growth and proper drying of wetted materials.

4. Post remediation verification by a certified indoor environmental consultant to confirm the home has been returned to normal fungal ecology before build back or encapsulation. True Perspective Home Consultants can provide this service if needed.

5. Cosmetic and structural materials to be returned to pre-damage condition to match surrounding finishes substantially.

Recommendation

Contact a qualified mold remediation contractor

28.4.2 Mold testing results

MOLD GROWTH PRESENT[Further Review](#)

Sample analysis indicated the presence of what may be considered high mold spore levels or high mold fiber levels, also known as mycelium fragments, conidiophores, or hyphal elements, on the surface tested indicate mold growth is present. Based on the inspector's visual findings and the sample analysis results, it appears that this is confirmation of likely active mold growth.

Levels in the home were noted as follows.

Mold growth is present in the main kitchen under the sink

•
No destructive testing or investigation was done. The source of moisture and areas of contamination are the inspector's "best guess." The amount of contamination, moisture sources, and areas requiring mitigation cannot be commented on without further investigation and, as such, are beyond the scope of a general home inspection.

The inspector's best guess for the presence of mold is a past or current leak under the sink.

We suggest further investigation by a trained mold mitigation contractor using the guidelines below at a minimum. Maintenance personnel or handypersons may do more harm than good without proper mold mitigation training and increase overall mitigation costs.

All work should be done by a certified mold remediation contractor(IICRC- AMRT) following IICRC S520 Mold Remediation guidelines.

1. Further investigation is needed to understand the contamination level and the source of moisture better. All exploration work shall be done under containment with negative air with a HEPA filtration system in place.

Per Colorado state law, drywall or drywall surfacing with an area greater than 32 square feet may not be removed without an asbestos test.

A brief synopsis of this law can be seen by clicking [Here](#)

2. Removal and or cleaning of all mold affected materials

3. Removal of all moisture sources contributing to mold growth and proper drying of wetted materials.

4. Post remediation verification by a certified indoor environmental consultant to confirm the home has been returned to normal fungal ecology before build back or encapsulation. True Perspective Home Consultants can provide this service if needed.

5. Cosmetic and structural materials to be returned to pre-damage condition to match surrounding finishes substantially.

Recommendation

Contact a qualified mold remediation contractor

28.6.1 Mold conditions

VISIBLE MICROBIAL GROWTH

KITCHEN

Recommendation

Contact a qualified professional.



Further Review



30.15.1 Special concerns

ACTIVE LEAK NOTED

1ST FLOOR CLOSET

An active leak was noted.

Recommendation

Contact a qualified professional.



Further Review