

VIEW OF PROPOSED PROJECT



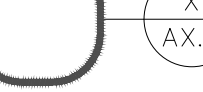

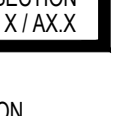
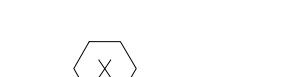

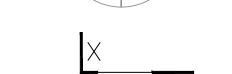


This architectural rendering shows a proposed two-story building with a modern, rustic aesthetic. The structure features dark wood siding and a prominent balcony with a corrugated metal railing. Large, multi-paned windows are visible on both floors, offering a view of the surrounding landscape. The building is situated on a flat, open area with a clear blue sky in the background. A small evergreen tree is visible in the foreground to the right, and a distant hill is visible on the horizon.

PROJECT.SUMMARY

ADDRESS:	1014 TWO ELK LANE MINTURN, CO 81645
TAX AREA:	SC024 - MINTURN (TOWN)
PARCEL NUMBER:	2103-363-10-005
LOT SIZE:	.11 ACRES
LEGAL SUMMARY:	SUBDIVISION: CROSS CREEK PLACE LOT: 3E
BUILDING HEIGHT:	28' MAX ALLOWED PER SEC., 16-2-60, TABLE 16-B 'TABLE HEIGHT', MINTURN MUNICIPAL CODE HEIGHT MEASURED FROM FINISHED OR NATURAL GRADE, WHICHEVER IS MORE RESTRICTIVE, TO MIDPOINT OF ROOF

PLANS.SQ. FT.	
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100	100

## SYMBOLS.LEGEND

ROOM NAME 	— AREA NAME
	— AREA NUMBER
	— DOOR NUMBER
	— EXTERIOR ELEVATION NUMBER
	— EXTERIOR ELEVATION SHEET NUMBER
	— DETAIL NUMBER
	— DETAIL SHEET NUMBER
	— BUILDING SECTION NUMBER
	— BUILDING SECTION SHEET NUMBER
	— SPOT ELEVATION REFERENCE
	— WINDOW TYPE
	— INTERIOR GLASS TYPE
	— SKYLIGHT TYPE
	— NORTH ARROW
	— INTERIOR ELEVATION REFERENCE
	— CHANGE IN FLOOR OR CEILING ELEVATION

PROJECT TEAM

**OWNER**  
ADAM AND LAINE MINNICK  
452 LEYDEN STREET  
DENVER, CO 80220  
303.319.6178  
303.956.2537  
aminnick@arinetwincapital.com  
laine.minnick@gmail.com

**ARCHITECT**  
BOSS ARCHITECTURE  
CHRIS DAVIS  
KEVIN STEPHENSON  
3300 E 17TH AVE  
DENVER, COLORADO 80206  
  
303.377.6322  
chris@BOSSarchitecture.com  
kevin@BOSSarchitecture.com

**GENERAL CONTRACTOR**  
THE GROFF COMPANY, LLC  
1036 POLAR STAR DR.  
EAGLE, CO 81631  
  
303.638.0956  
fletcher@thegroffcompany.com

**STRUCTURAL ENGINEER**  
IMEG CORP.  
MEGHAN C. BAKEMEYER  
1400 BLENARM PLACE, SUITE 101  
DENVER, CO 80202  
  
303.623.4927  
meghan.c.bakemeyer@imegcorp.com

**CIVIL ENGINEER**  
N/A

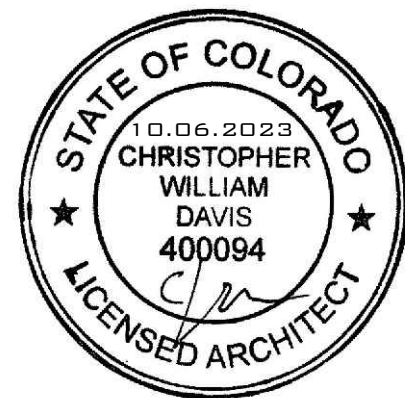
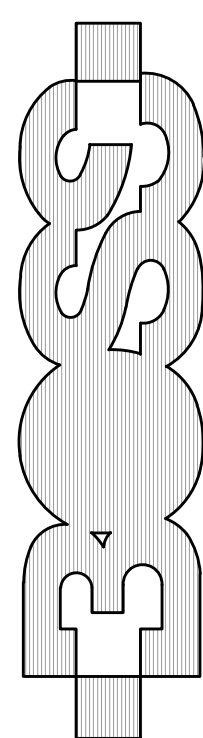
**MECHANICAL**  
N/A

**LANDSCAPE ARCHITECT**  
N/A

## BUILDING CODE INFORMATION

APPLICABLE CODES

2021 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2021 INTERNATIONAL FIRE CODE (IFC)  
2021 INTERNATIONAL PLUMBING CODE (IPC)

[illegible][illegible]

OWNERS:  
ADAM AND LAINIE MINNICK  
LOCATION:  
1014 TWO ELK LANE  
MINTURN, COLORADO 81645

Q3 | 2024 FOR PRICING  
Q4 | 2024 DESIGN REVIEW

COVER SHEET

**TWO.ELKCONDO**

**ABOS**  
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DENVER, CO 80202

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GARY R. GILMAN  
JULIE M. STOXEN  
PO BOX 1550  
VAIL, CO 81658

PARCEL #210336310001  
JOHN & CAROLINE OSBORNE  
3454 NEWARK ST NW  
WASHINGTON DC 20016

PARCEL #210336310006  
JOHN & CAROLINE OSBORNE  
3454 NEWARK ST NW  
WASHINGTON DC 20016



EAGLE RIVER

PARCEL #210336310003  
1010 TWO ELK LANE  
MINTURN, CO 81645

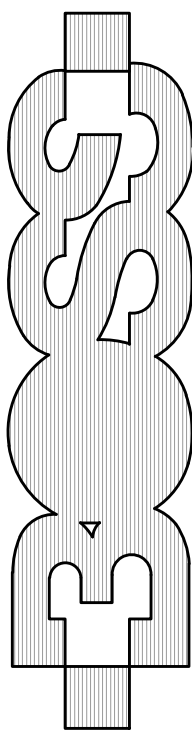
PARCEL #210336310005  
ADAM & ELENI MINNICK  
452 LEYDEN ST  
DENVER CO 80220

HIGHWAY 24

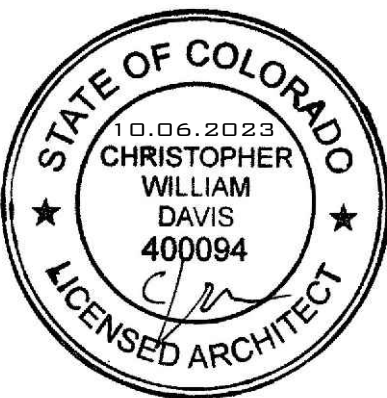
CROSS CREEK

CROSS CREEK ROAD

1  VICINITY MAP  
NOT TO SCALE



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.KEVIN .STEPHENSON  
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📅 | 2024 DESIGN REVIEW

VICINITY MAP

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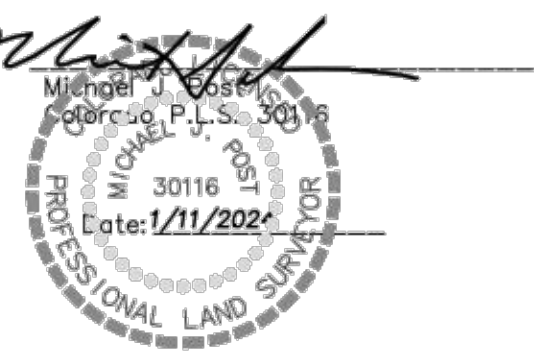
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- NOTES:
- DATE OF SURVEY: 12/14/2023.
  - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AMENDED PLATS, EASEMENTS OF RECORD (OTHER THAN PLATTED), ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
  - NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
  - THIS SURVEY AND THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OF OR TRANSFER TO OTHERS IS PROHIBITED.
  - BASIS OF BEARINGS: MONUMENTS FOUND MARKING THE WEST CORNER LOT 1 AND SOUTH CORNER LOT 3W, (SEE DRAWING).
  - 1.0' OF SNOW ON LOT AT TIME OF SURVEY; SOME FEATURES MAY EXIST BENEATH SNOW THAT ARE NOT SHOWN ON THIS DRAWING.
  - BASIS OF ELEVATION: USGS NAVD 88 BM S-280 EAGLE COUNTY SURVEY CONTROL EL=7894.20'.
  - 1' CONTOUR INTERVAL.
  - THE U.S. SURVEY FOOT IS THE LINEAL UNIT USED FOR THE DIMENSIONS ON THIS PLAT.
  - THIS PROPERTY DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN.

SURVEYOR'S CERTIFICATE:  
Certified to: ADAM & ELIENI MINNICK.  
I, Michael J. Post, a registered Professional Land Surveyor in the State of Colorado, do hereby certify that on 12/14/2023 this Improvement Survey Plat was performed under my supervision and that dimensions accurately represent said survey.



SURVEYOR'S CERTIFICATE:  
I, Michael J. Post, a Professional Land Surveyor registered under the laws of the State of Colorado, do hereby certify that this topographic survey was made by me and under my supervision, and that the survey is accurate and correct to the best of my knowledge.



LEGEND

- UTILITY POLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- CPP
- OVERHEAD POWER LINE
- ASPHALT SURFACE
- ROCK WALL
- FLAGSTONE SURFACE
- CONCRETE SURFACE
- DENOTES DECIDUOUS TREE W/ APPROX. 0.3' TRUNK DIAMETER
- DENOTES CONIFEROUS TREE W/ APPROX. 0.5' TRUNK DIAMETER

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
CT	03°46'06"	756.30'	49.73'	24.88'	49.74'	N 17°36'39" W

TOPOGRAPHIC SURVEY  
IMPROVEMENT SURVEY PLAT  
LOT 3E  
CROSS CREEK PLACE  
TOWN OF MINTURN, EAGLE COUNTY, COLORADO

JOB No. 3518

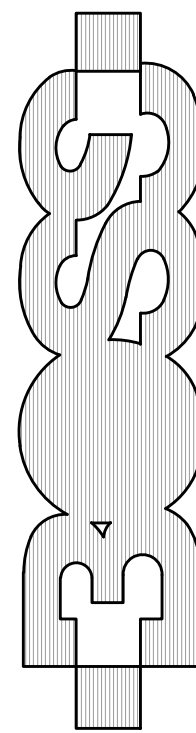
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DRN. BY: MLT	PAGE: 1 OF 1

1 SURVEY  
1/4" = 1'

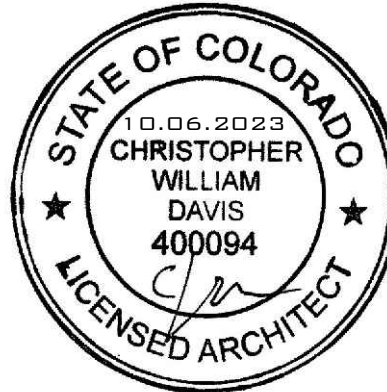
TWO.ELKCONDO

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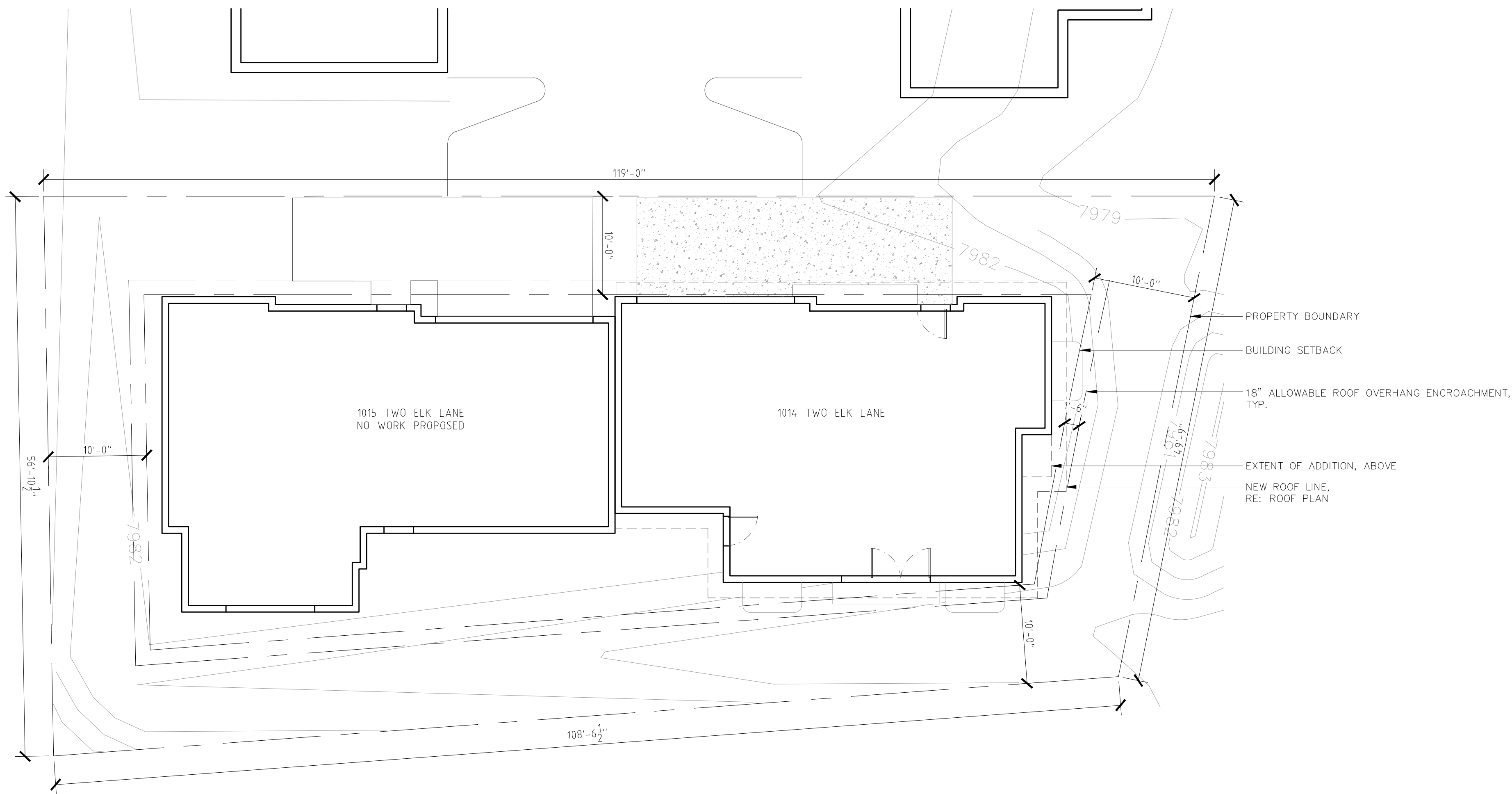
CHRISTOPHER.DAVIS  
KEVIN STEPHENSON



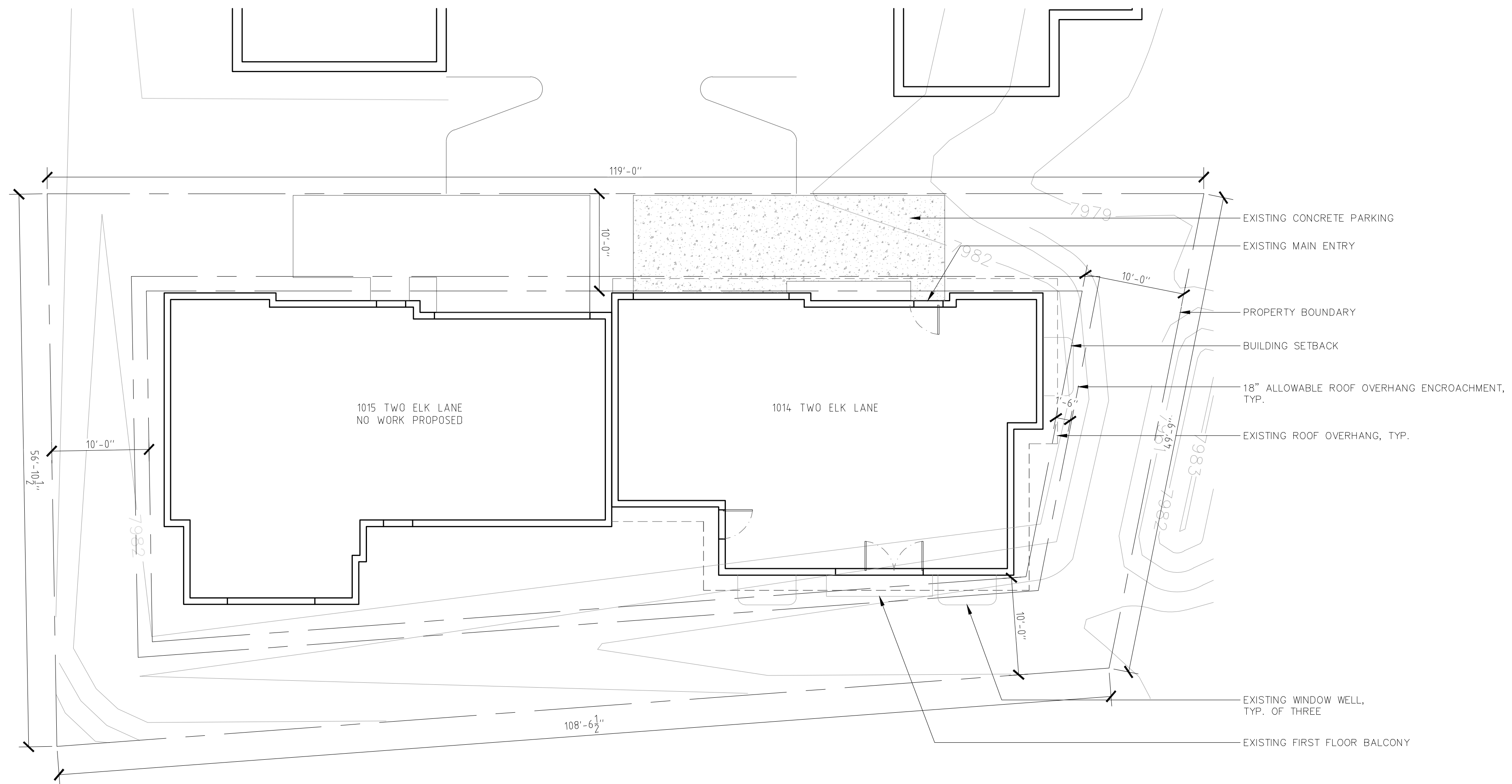
OWNERS:  
ADAM AND LAINIE MINNICK  
LOCATION:  
1014 TWO ELK LANE  
MINTURN, COLORADO 81645

DATE: 2024 FOR PRICING  
DATE: 2024 DESIGN REVIEW

SURVEY

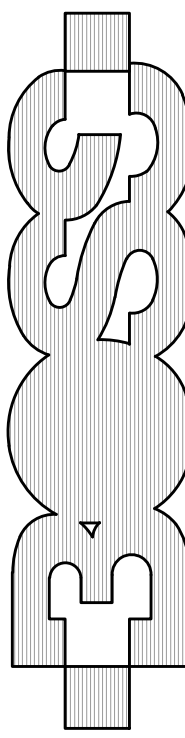


2  PROPOSED SITE PLAN  
1/4" : 1'



1  EXISTING SITE PLAN  
1/4" : 1'

LOT COVERAGE, SQ. FT.	
LOT COVERAGE	
LOT SIZE	5,963 SF (.13 ACRES)
ALLOWED	2,981 SF (50%)
PROPOSED	2,363 SF (39%)
IMPERVIOUS	
ALLOWED	3,577.8 SF (60%)
PROPOSED	2,986 SF
BUILDING	2,363 SF
DRIVEWAYS (EX.)	623 SF
TOTAL	2,986 SF (50%)



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9/7 | 2024 FOR PRICING  
9/8 | 2024 DESIGN REVIEW



DEMO.LEGEND

EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED

EXISTING WALL TO REMAIN

NEW WALL

AREA TO BE DEMOLISHED

DEMOLITION.NOTES

THE GENERAL CONTRACTOR IS SUPPLIED, HEREIN, WITH THE CONSTRUCTION DOCUMENTS FOR THEIR USE IN PRICING & CONSTRUCTING THIS WORK. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL (E) CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES & UNFORESEEN CONDITIONS & COORDINATE PRICING & CONSTRUCTION INFORMATION ACCORDINGLY.

THESE DEMOLITION DRAWINGS ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR. VERIFY ALL CONDITIONS BEFORE PROCEEDING W/ THE DEMOLITION WORK IN ANY AREA. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT & STRUCTURAL ENGINEER, & SECURE INSTRUCTIONS PRIOR TO PROCEEDING WITH ANY WORK.

THE CONTRACTOR SHALL REMOVE (E) WALLS & OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS W/ DASHED LINES.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES & OTHER FORMS OF PROTECTION AS REQUIRED, TO PROTECT PERSONNEL, VISITORS, & GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.

ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT INTERNATIONAL RESIDENTIAL CODE, ADA, & ANY OTHER FEDERAL, STATE OR LOCAL AGENCIES HAVING JURISDICTION OVER THIS PROJECT.

DISCONNECT AND SAFELY PROTECT ALL UTILITY MAIN AND SUB CONNECTIONS SUCH AS BUT NOT LIMITED TO GAS, ELECTRIC, AND PLUMBING SO THEY CAN BE SAFELY TIED INTO, REMOVED OR RELOCATED AT A LATER DATE.

RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

PLAN.MATERIALS

STONE PAVERS

WOOD FLOORING

PLAN.NOTES

VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

- GENERAL NOTES
- FLOOR, ROOF / CEILING, & WALL ASSEMBLY NOTES

REFER TO SHEET A0.2 FOR ROOM FINISH SCHEDULE.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

PROVIDE 6 MIL. POLY VAPOR RETARDER (INTERIOR SIDE OF FRAMING)  
⊗ ALL EXTERIOR FRAMED WALL ASSEMBLIES.

REPLACE 5/8" GYP.BD. WITH 5/8" 'GREEN BOARD'  
⊗ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).

REPLACE 5/8" GYP.BD. WITH 3/4" 'CEMENTICIOUS TILE BACKER BOARD'  
⊗ ALL LOCATIONS TO RECEIVE TILE.

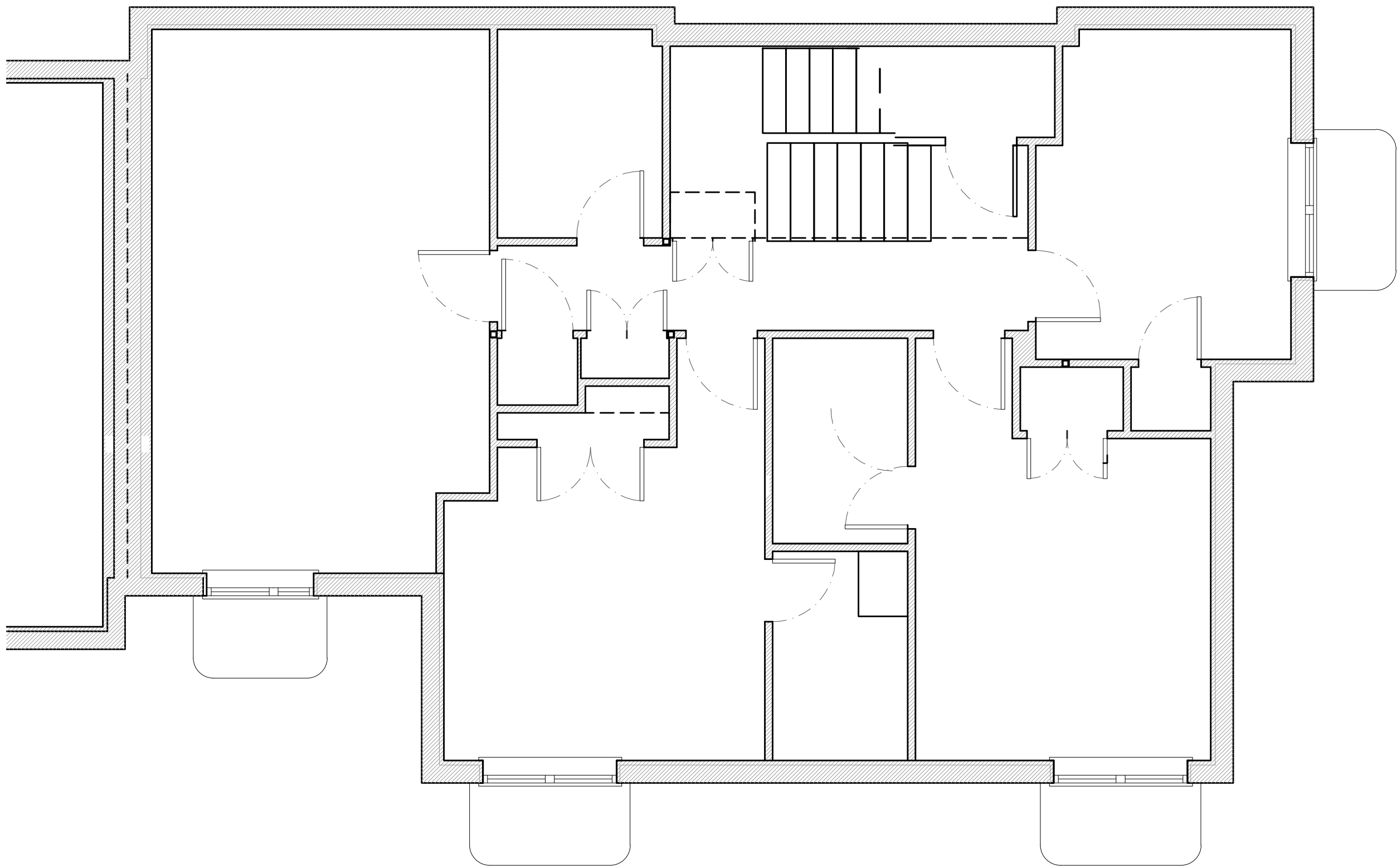
ALL ELEVATIONS ARE RELATIVE TO T.O. FINISH FLOOR '100'-0" = 5211.83'

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.

FLOOR REGISTERS:

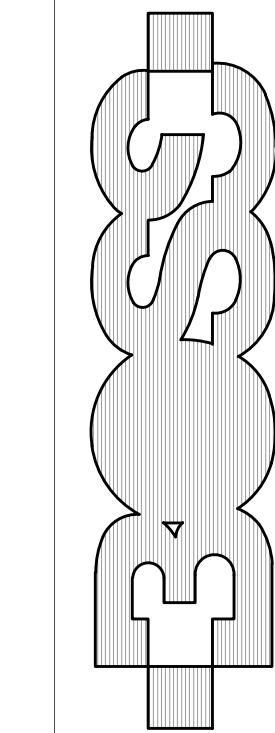
REGISTERS IN WOOD FLOORS TO BE SHOEMAKER MFG 'LCF-SUB' FLOOR GRILL, FINISH TBD. W/ 3/4" WIDE WOOD BORDER AROUND OPENING, CUT FROM MATCHING WOOD FLOORING MATERIAL, STAINED TO MATCH WOOD FLOORS.

REGISTERS IN TILE TO BE SHOEMAKER 'LTM' LINEAR BAR GRILLE WITH TAPE AND MUD FRAME AND REMOVABLE CORE, OR EQ. MECHANICAL GRILLE FINISH T.B.D.



1

BASEMENT PLAN  
NO WORK PROPOSED  
1/4" = 1'



CHRISTOPHER.DAVIS

KEVIN STEPHENSON

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OWNERS:

ADAM AND LAINIE MINNICK

LOCATION:

1014 TWO ELK LANE  
MINTURN, COLORADO 81645

07/24 | 2024 FOR PRICING

08/24 | 2024 DESIGN REVIEW

TWO.ELKCONDO

BOSS

ARCHITECTURE

3300 E 17TH AVE  
DENVER, COLORADO 80206 USA

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303.377.6326 | F  
WWW.BOSSARCHITECTURE.COM

BASEMENT PLAN

2.0

DEMO.LEGEND	
<div><div></div><div></div></div>	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
<div><div></div><div></div></div>	EXISTING WALL TO REMAIN
<div><div></div><div></div></div>	NEW WALL
<div><div></div><div></div></div>	AREA TO BE DEMOLISHED

THE GENERAL CONTRACTOR IS SUPPLIED, HEREIN, WITH THE CONSTRUCTION DOCUMENTS FOR THEIR USE IN PRICING & CONSTRUCTING THIS WORK. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL (E) CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES & UNFORESEEN CONDITIONS & COORDINATE PRICING & CONSTRUCTION INFORMATION ACCORDINGLY.

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RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

PLAN.MATERIALS	
<div><div></div><div></div></div>	STONE PAVERS
<div><div></div><div></div></div>	WOOD FLOORING

VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

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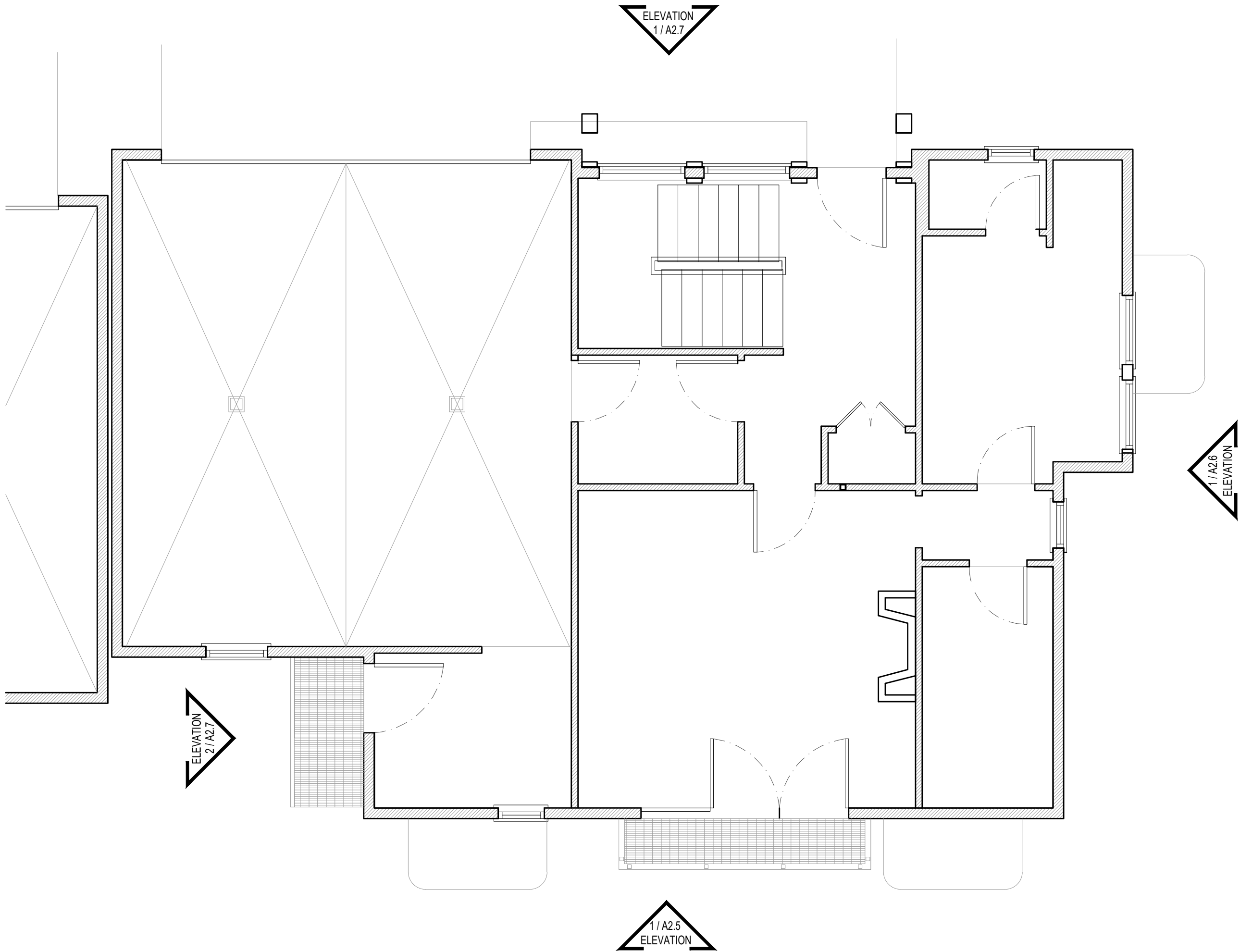
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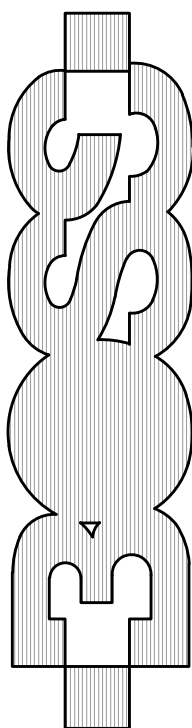
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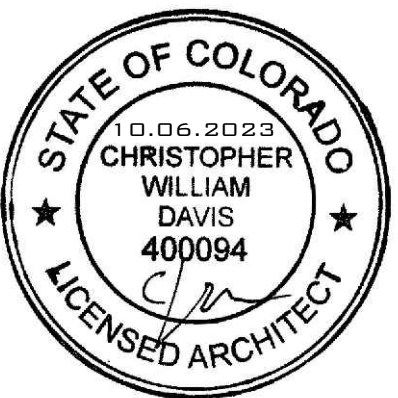


1 LOWER LEVEL PLAN  
1/4" = 1'



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KEVIN STEPHENSON

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LOCATION:  
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DATE | 2024 FOR PRICING  
DATE | 2024 DESIGN REVIEW

LOWER LEVEL  
PLAN

TWO.ELKCONDO

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DEMO.LEGEND

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EXISTING WALL TO REMAIN

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PLAN.MATERIALS

STONE PAVERS

WOOD FLOORING

PLAN.NOTES

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REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

- GENERAL NOTES
- FLOOR, ROOF / CEILING, & WALL ASSEMBLY NOTES

REFER TO SHEET A0.2 FOR ROOM FINISH SCHEDULE.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

PROVIDE 6 MIL. POLY VAPOR RETARDER (INTERIOR SIDE OF FRAMING)  
⊗ ALL EXTERIOR FRAMED WALL ASSEMBLIES.

REPLACE 5/8" GYP.BD. WITH 5/8" 'GREEN BOARD'  
⊗ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).

REPLACE 5/8" GYP.BD. WITH 3/4" 'CEMENTICIOUS TILE BACKER BOARD'  
⊗ ALL LOCATIONS TO RECEIVE TILE.

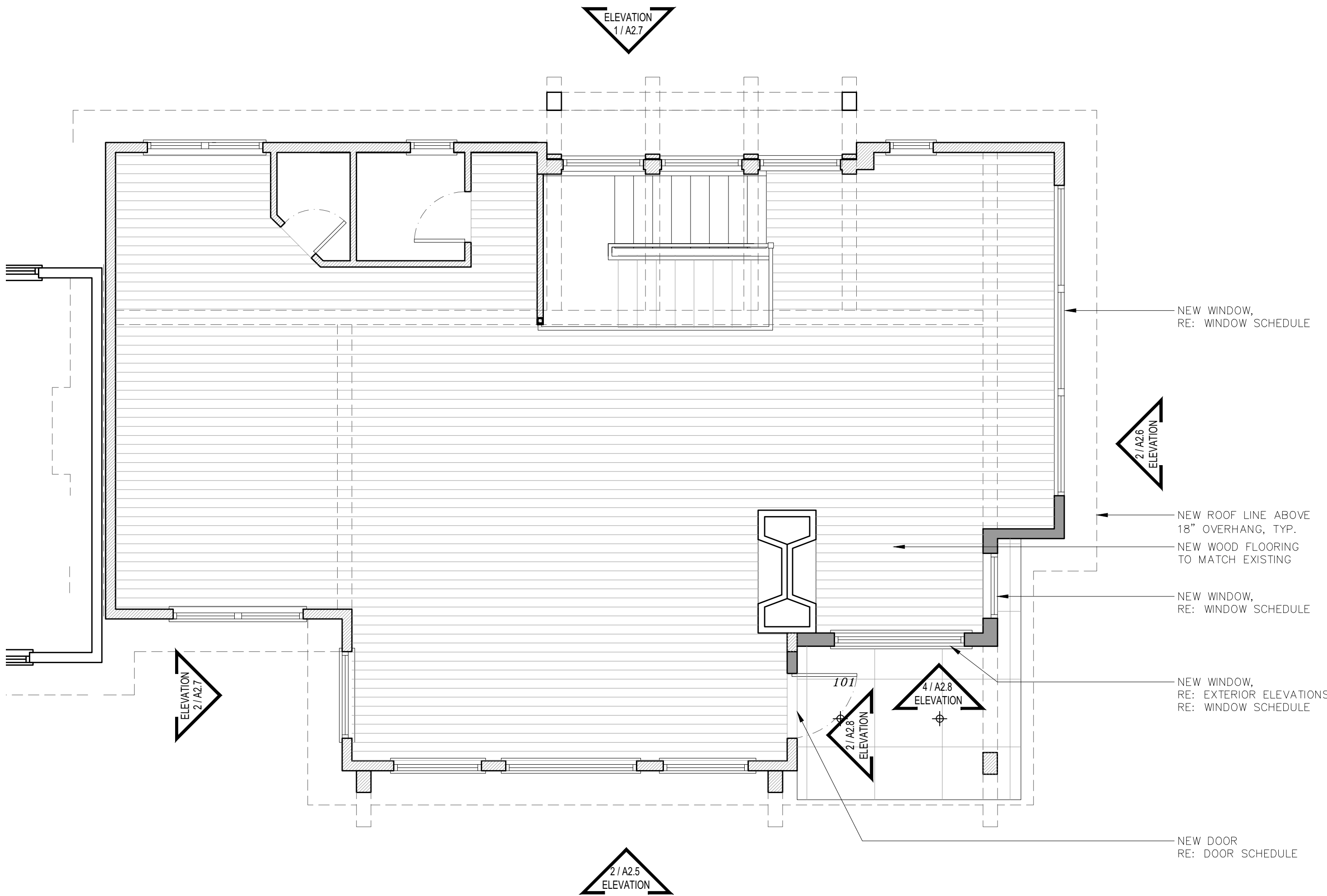
ALL ELEVATIONS ARE RELATIVE TO T.O. FINISH FLOOR 100'-0" = 5211.83'

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES, AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.

FLOOR REGISTERS:

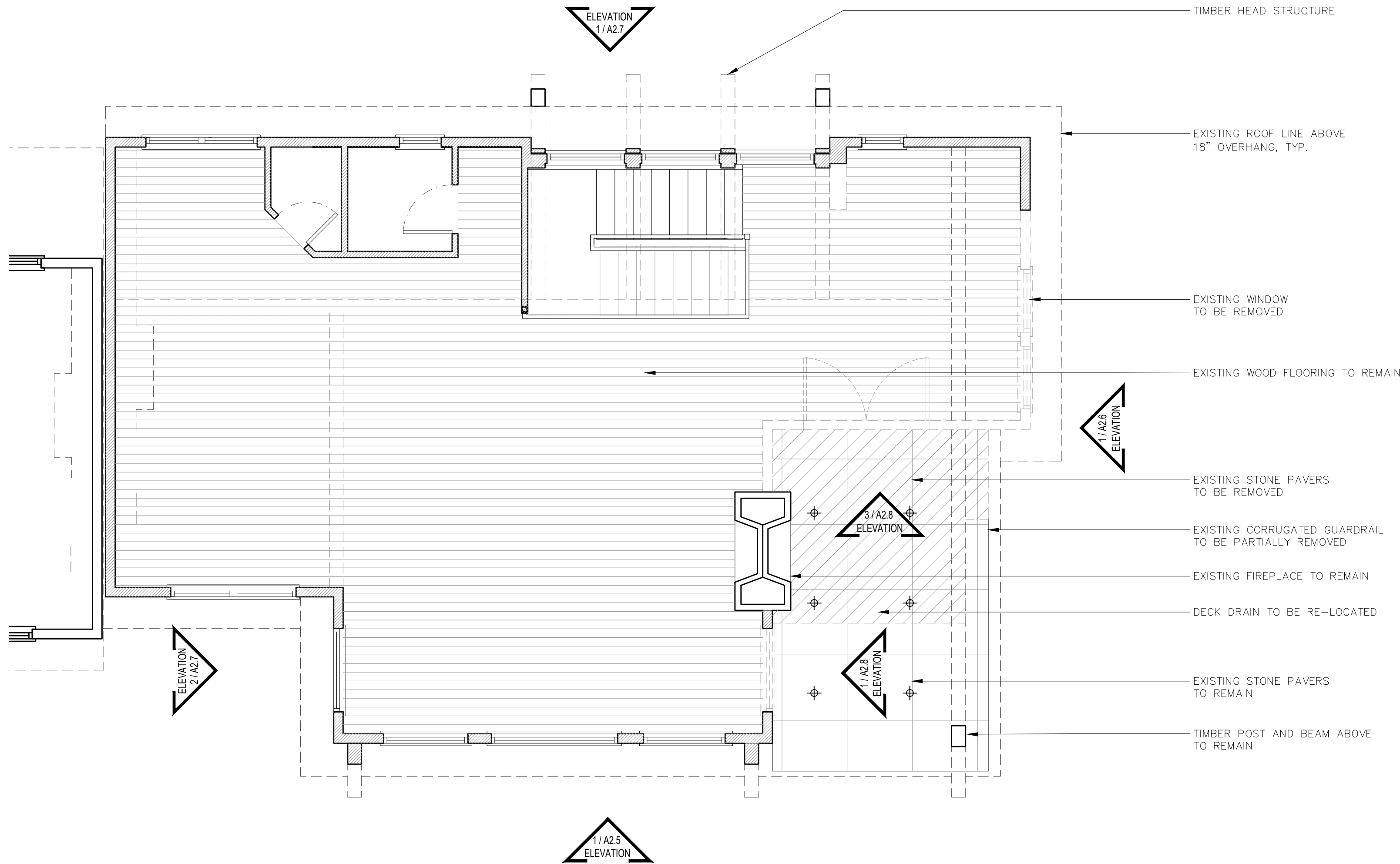
REGISTERS IN WOOD FLOORS TO BE SHOEMAKER MFG 'LCF-SUB' FLOOR GRILL, FINISH TBD. W/ 3/4" WIDE WOOD BORDER AROUND OPENING, CUT FROM MATCHING WOOD FLOORING MATERIAL, STAINED TO MATCH WOOD FLOORS.

REGISTERS IN TILE TO BE SHOEMAKER 'LTM' LINEAR BAR GRILLE WITH TAPE AND MUD FRAME AND REMOVABLE CORE, OR EQ. MECHANICAL GRILLE FINISH T.B.D.



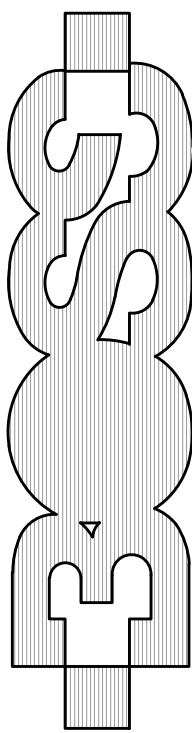
2

UPPER LEVEL  
PROPOSED PLAN  
1/4" = 1'



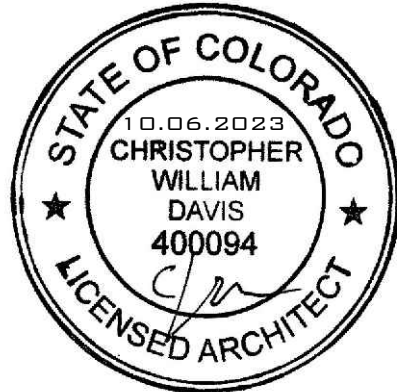
1

UPPER LEVEL  
DEMO PLAN  
1/4" = 1'



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KEVIN STEPHENSON

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ADAM AND LAINIE MINNICK

LOCATION:  
1014 TWO ELK LANE  
MINTURN, COLORADO 81645

2024 FOR PRICING  
2024 DESIGN REVIEW

UPPER LEVEL  
PLANS

TWO.ELKCONDO

BOSS ARCHITECTURE

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2.2

DEMO.LEGEND	
	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

THE GENERAL CONTRACTOR IS SUPPLIED, HEREIN, WITH THE CONSTRUCTION DOCUMENTS FOR THEIR USE IN PRICING & CONSTRUCTING THIS WORK. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL (E) CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES & UNFORESEEN CONDITIONS & COORDINATE PRICING & CONSTRUCTION INFORMATION ACCORDINGLY.

THESE DEMOLITION DRAWINGS ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR. VERIFY ALL CONDITIONS BEFORE PROCEEDING W/ THE DEMOLITION WORK IN ANY AREA. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT & STRUCTURAL ENGINEER, & SECURE INSTRUCTIONS PRIOR TO PROCEEDING WITH ANY WORK.

THE CONTRACTOR SHALL REMOVE (E) WALLS & OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS W/ DASHED LINES.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES & OTHER FORMS OF PROTECTION AS REQUIRED, TO PROTECT PERSONNEL, VISITORS, & GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.

ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT INTERNATIONAL RESIDENTIAL CODE, ADA, & ANY OTHER FEDERAL, STATE OR LOCAL AGENCIES HAVING JURISDICTION OVER THIS PROJECT.

DISCONNECT AND SAFELY PROTECT ALL UTILITY MAIN AND SUB CONNECTIONS SUCH AS BUT NOT LIMITED TO GAS, ELECTRIC, AND PLUMBING SO THEY CAN BE SAFELY TIED INTO, REMOVED OR RELOCATED AT A LATER DATE.

RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

ROOF PLAN.MATERIALS	
	FULLY ADHERED, CONTINUOUS, 60 MIL EPDM ROOFING
	CORRUGATED METAL ROOF
	DS. SYMBOL INDICATES LOCATIONS OF DOWNSPOUTS

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

ALL LOW SLOPE ROOFED AREAS SHALL BE FULLY ADHERED 60 MIL EPDM, (INCLUDING ALL REQUIRED EPDM FLASHINGS FOR CORNERS, TRANSITIONS, ROOF PENETRATIONS, & VENTS)

PROVIDE PROTECTIVE CAGES OVER ROOF DRAINS TO PREVENT DEBRIS FROM CLOGGING DRAINS, TYP.

WHEN ROOF & OVERFLOW DRAINS DRAIN INTERNALLY, THEY SHALL EXIT THE STRUCTURE VIA LAMBS TONGUES, ROUTED TO RAIN GARDEN #2. (RE: CIVIL.)

FOR EVERY ROOF DRAIN, A SECONDARY OVERFLOW DRAIN SHALL BE PROVIDED, TYP. PER IRC 903.4 AND R903.4.1. (ALL OVERFLOW DRAIN INLET ELEVATIONS SHALL BE NO MORE THAN 2" ABOVE ROOF DRAIN INLETS, TYP.)

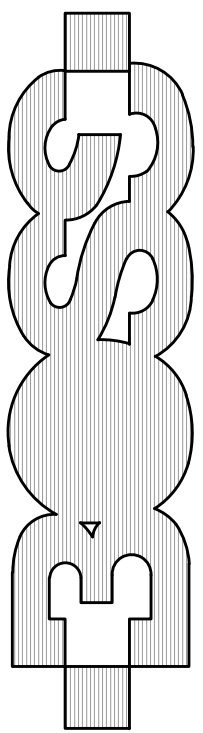
PROVIDE SLOPED PARAPET CAP FLASHING & GRAVEL STOPS, AS INDICATED ON THE WALL SECTIONS. (ALL PARAPET CAPS, GRAVEL STOPS, SHALL BE SEAMLESS, PREFINISHED METAL, TYP.)

ALL FLASHING SHALL BE PREFINISHED METAL, U.N.O.

CONTRACTOR TO INSTALL HPC APPROVED 4" DOWN SPOUTS AND 6" GUTTERS WHERE INDICATED. AND INSTALL HPC APPROVED SNOW GUARDS AS REQD.

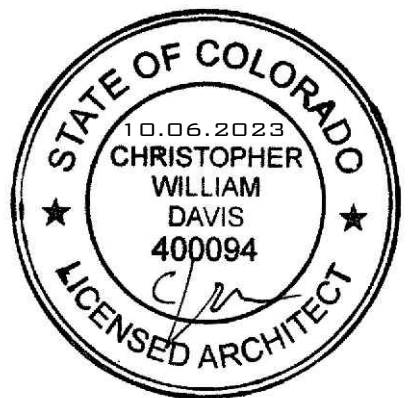
COORDINATE ALL VENT PIPE / FLUE / AND OTHER ROOF PENETRATIONS WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

NOTE: ICE DAM BARRIER OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL EXTEND FROM THE ROOF EAVE EDGE AT LEAST SIX FEET INSIDE THE EXTERIOR WALL LINE AS MEASURED ALONG THE ROOF SURFACE. EIGHTEEN INCHES FROM THE CENTERLINE OF THE VALLEY AND UP TWENTY-FOUR INCHES ON THE VERTICAL WALL AT A ROOF AND WALL JUNCTURE. (CITY OF ASPEN, ORDINANCE 31, 2011)



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KEVIN STEPHENSON

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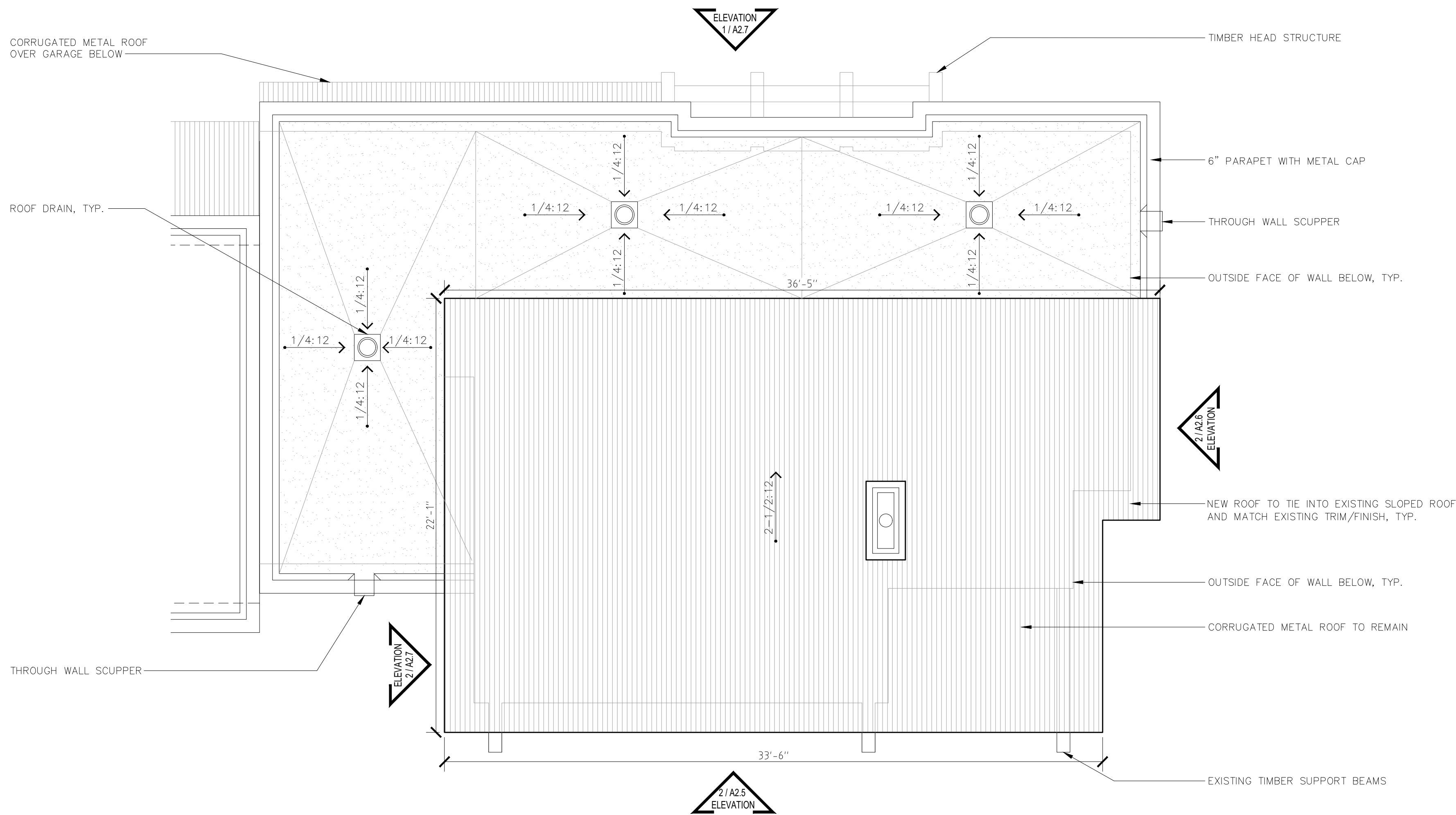
DATE: 2024 FOR PRICING  
DATE: 2024 DESIGN REVIEW

ROOF PLANS

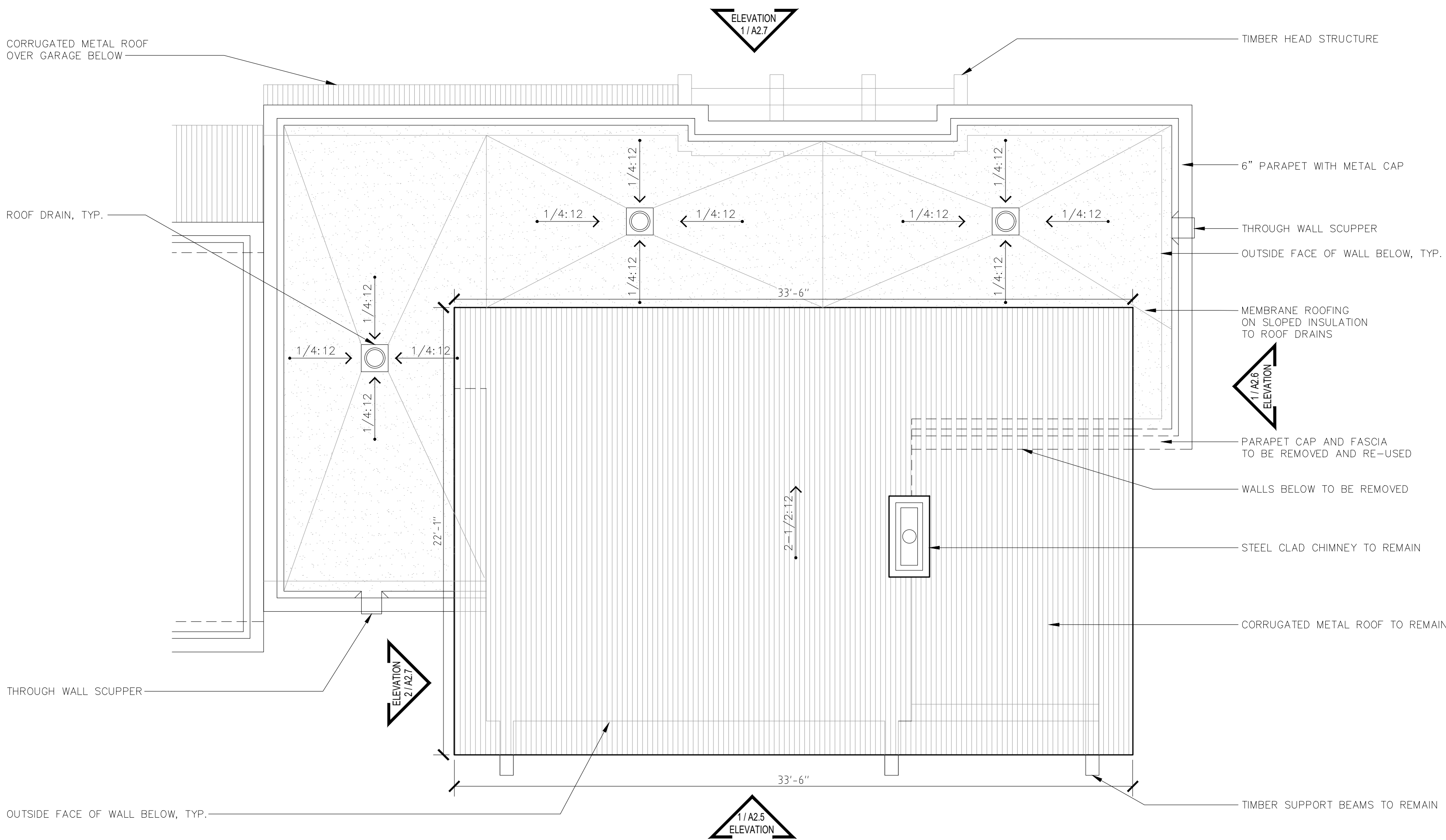
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2.3



2 ROOF PROPOSED PLAN  
1/4" = 1'



1 ROOF DEMO PLAN  
1/4" = 1'



DEMO.LEGEND	
	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

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RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

RCP.MATERIALS	
	GYP BOARD, PRIME & PAINT
	CVG T&G SOFFIT
	AREA TO BE REMOVED

REFER TO THE FOLLOWING SHEETS FOR :

- A0.0 - GENERAL NOTES
- A0.3 - WALL ASSEMBLIES
- A0.3 - FLOOR, ROOF / CEILING / SOFFIT ASSEMBLIES
- A0.3 - ROOM FINISH SCHEDULE

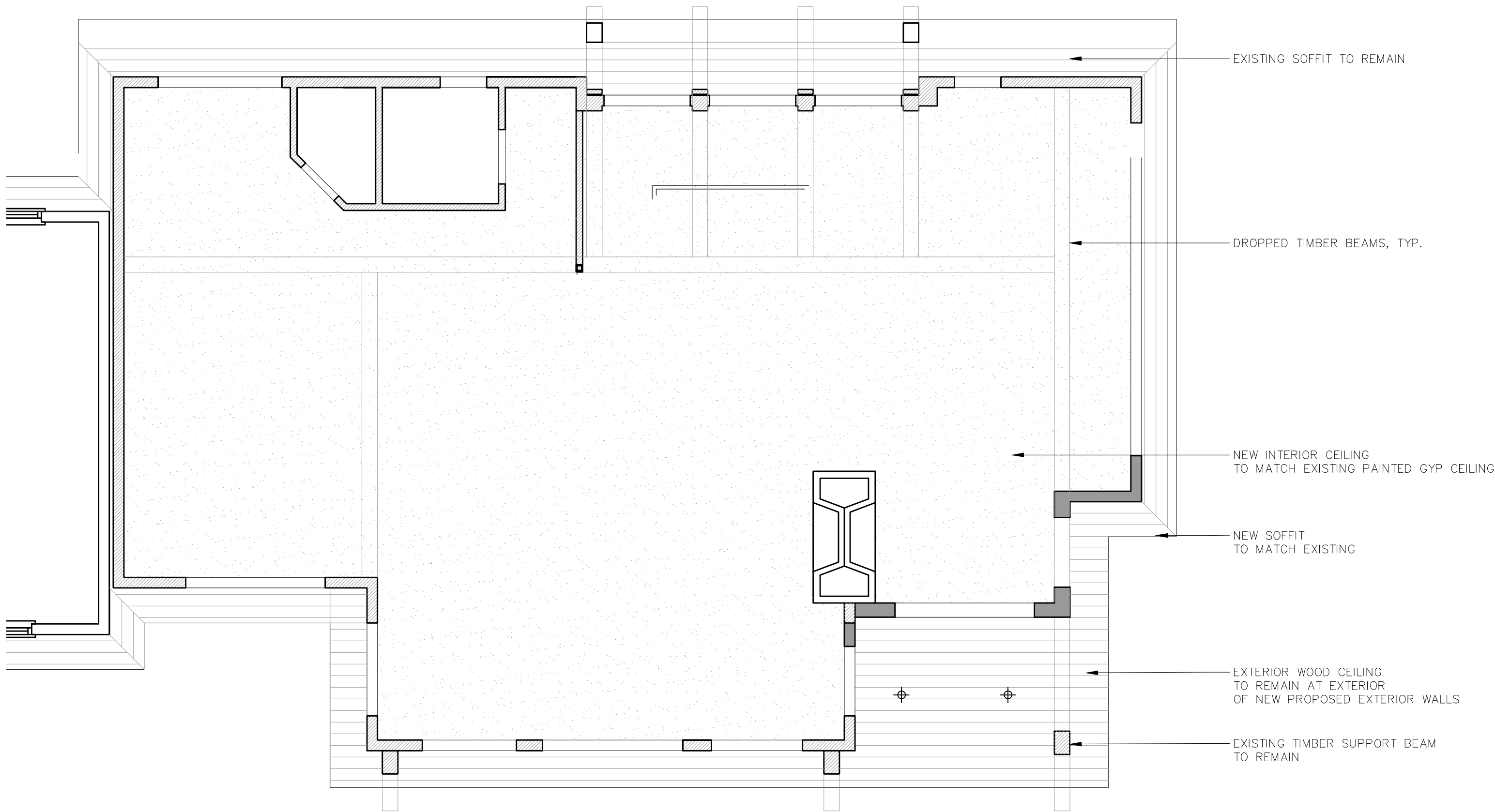
PROVIDE SMOKE DETECTORS, AS REQUIRED BY CODE.

REFER TO MECHANICAL PLANS FOR DIFFUSER AND GRILLE LOCATIONS.

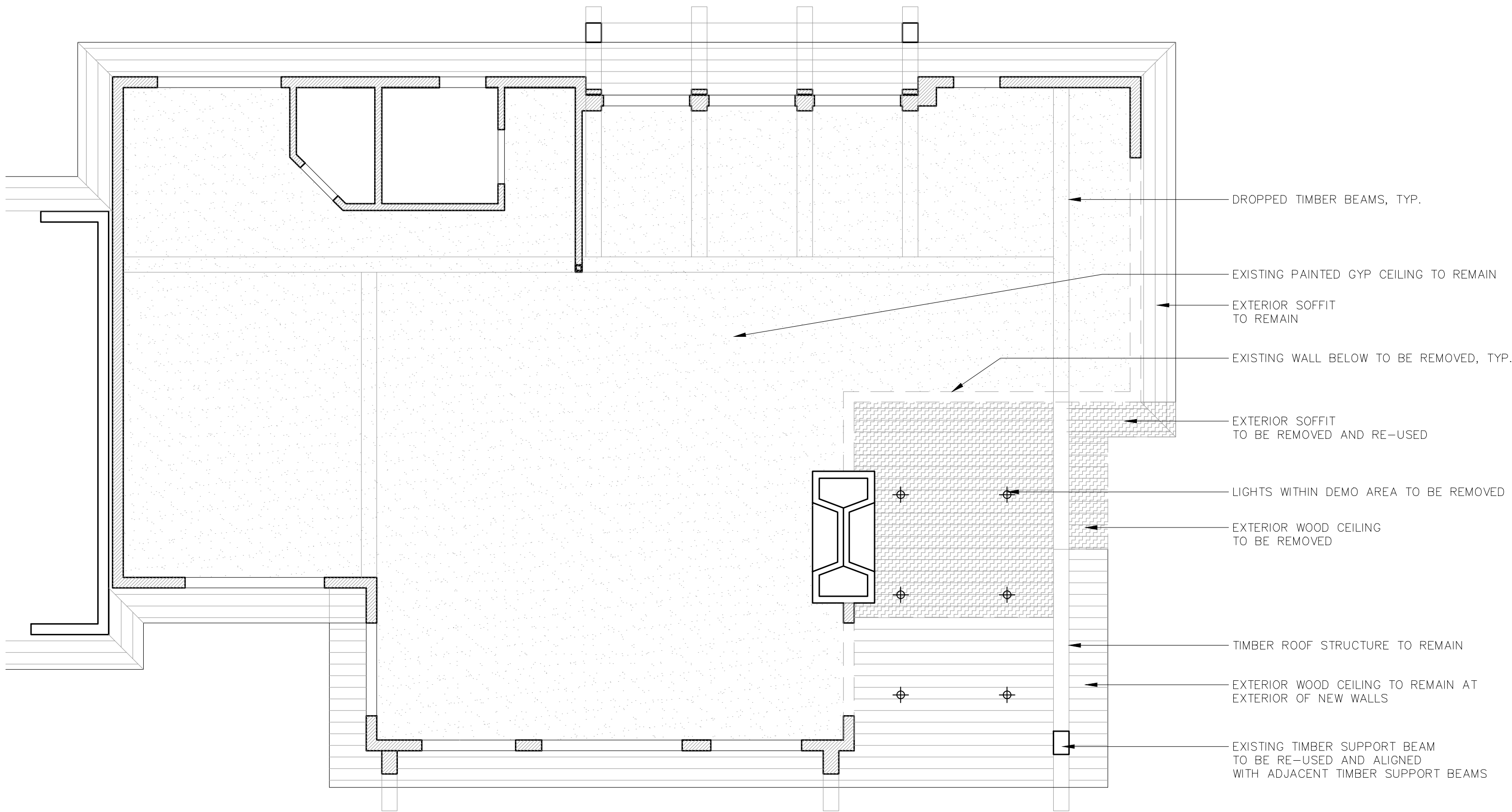
NOTIFY OWNER & ARCHITECT OF ANY CONFLICTS BETWEEN LIGHT FIXTURES & MECHANICAL EQUIPMENT PRIOR TO INSTALLATION. PENDANT LIGHT FIXTURES MAY BE "TRAPEZED" AROUND CONFLICTING MECHANICAL EQUIPMENT, PER OWNER'S AND ARCHITECT'S APPROVAL.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

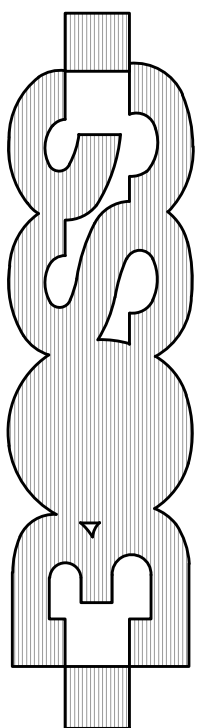
ALL SPRINKLER HEADS AND PIPE IN AREAS EXPOSED TO STRUCTURE TO ALIGN WITH STRUCTURAL MEMBERS, AND BE INSTALLED IN A CLEAN & ORGANIZED MANNER COORD. LAYOUT WITH ARCHITECT PRIOR TO SUBMITTING FOR PERMIT. ALL EXPOSED SPRINKLER PIPE TO BE PAINTED (COLOR T.B.D.)



2 UPPER LEVEL  
PROPOSED RCP  
1/4" : 1'

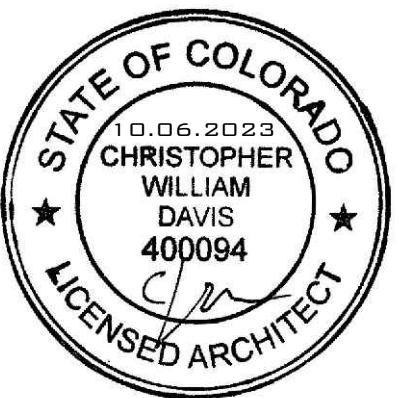


1 UPPER LEVEL  
DEMO RCP  
1/4" : 1'



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REFLECTED CEILING  
PLANS

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2.4

ELEVATION NOTES

VERIFY ALL DIMENSIONS IN FIELD.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

ALL WINDOWS ARE EXISTING, TO REMAIN, UNLESS NOTED OTHERWISE. ALL NEW WINDOWS TO MATCH EXISTING WINDOWS IN FRAME, PROFILE, FRAME SIZE, FRAME FINISH / COLOR, AND GLASS TYPE.

ALL EXTERIOR MATERIALS AND FINISHES ARE EXISTING, TO REMAIN, UNLESS NOTED OTHERWISE. ALL NEW MATERIALS TO MATCH EXISTING MATERIALS IN SIZE, COLOR AND INSTALLATION.

COORDINATE MOUNTING HEIGHTS FOR ALL EXTERIOR SCONCES AND SUSPENSION HEIGHTS FOR ALL SUSPENDED LIGHT FIXTURES.

ELEVATION MATERIALS

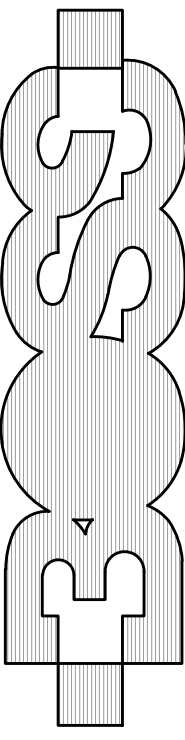
- WOOD SIDING
- CORRUGATED STEEL SIDING
- AREA TO BE REMOVED
- EXISTING WINDOWS OR DOORS TO BE REMOVED



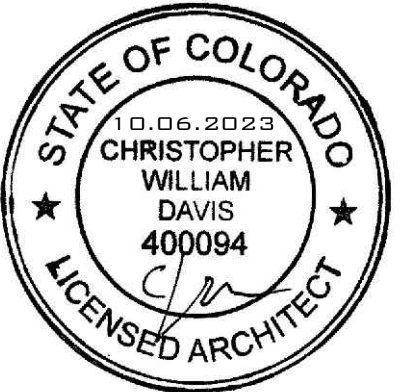
2 SOUTHEAST  
PROPOSED ELEVATION  
1/4" = 1'



1 SOUTHEAST  
DEMO ELEVATION  
1/4" = 1'



CHRISTOPHER DAVIS  
KEVIN STEPHENSON



OWNERS:  
ADAM AND LAINIE MINNICK

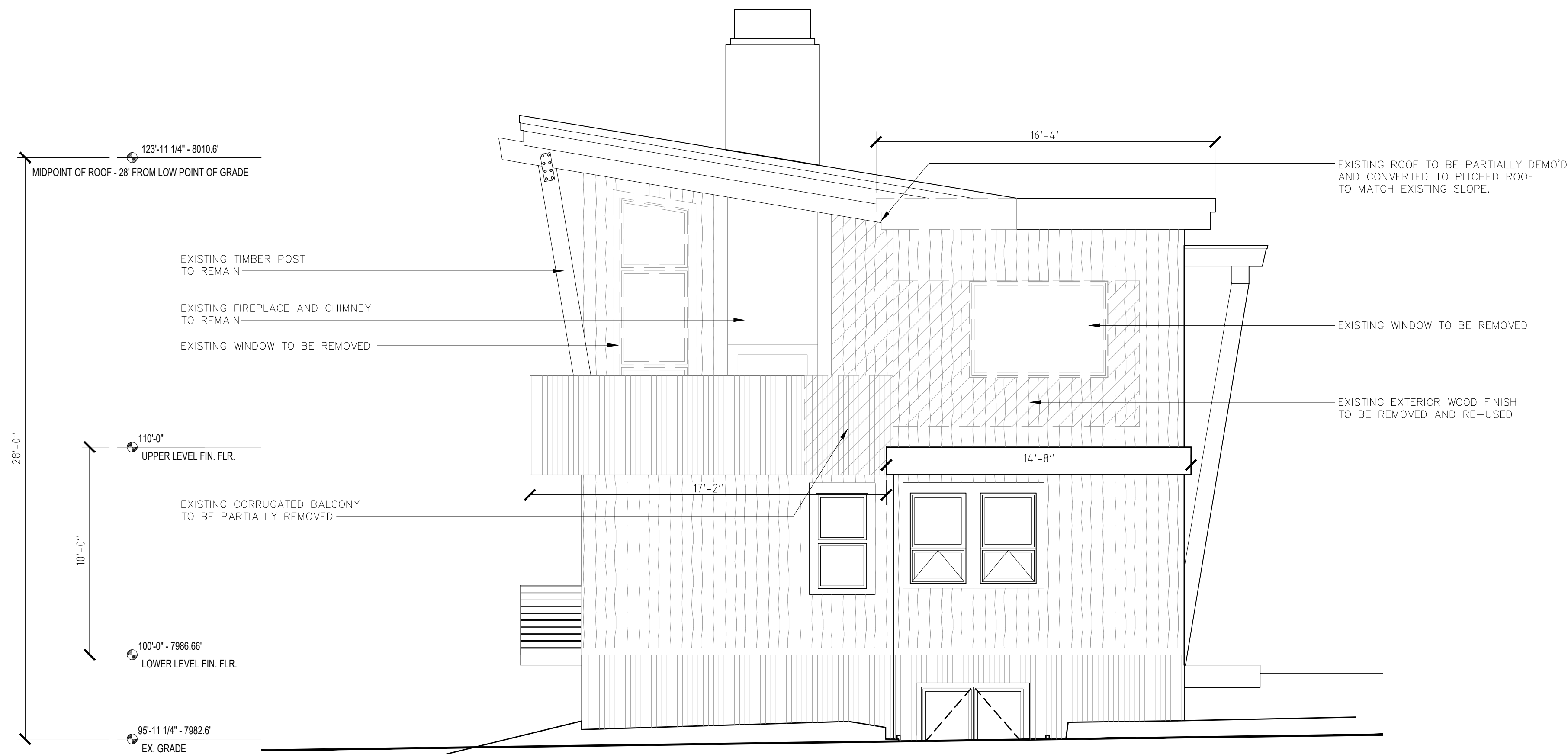
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MINTURN, COLORADO 81645

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2024 DESIGN REVIEW





2 NORTHEAST  
PROPOSED ELEVATION  
1/4" : 1'



1 NORTHEAST  
DEMO ELEVATION  
1/4" : 1'

ELEVATION NOTES

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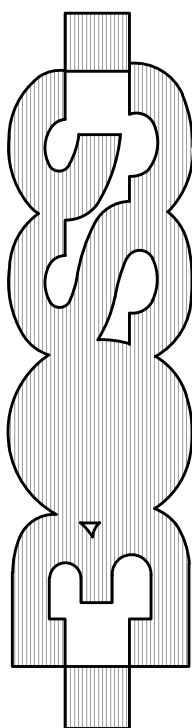
ELEVATION MATERIALS

WOOD SIDING

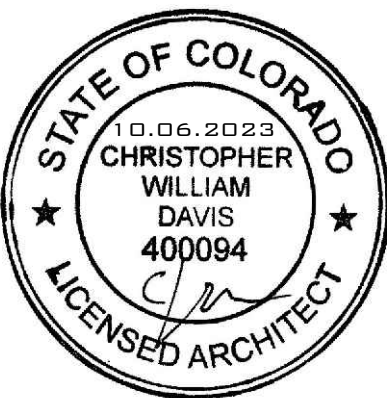
CORRUGATED STEEL SIDING

AREA TO BE REMOVED

EXISTING WINDOWS OR DOORS TO BE REMOVED



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TWO.ELKCONDO

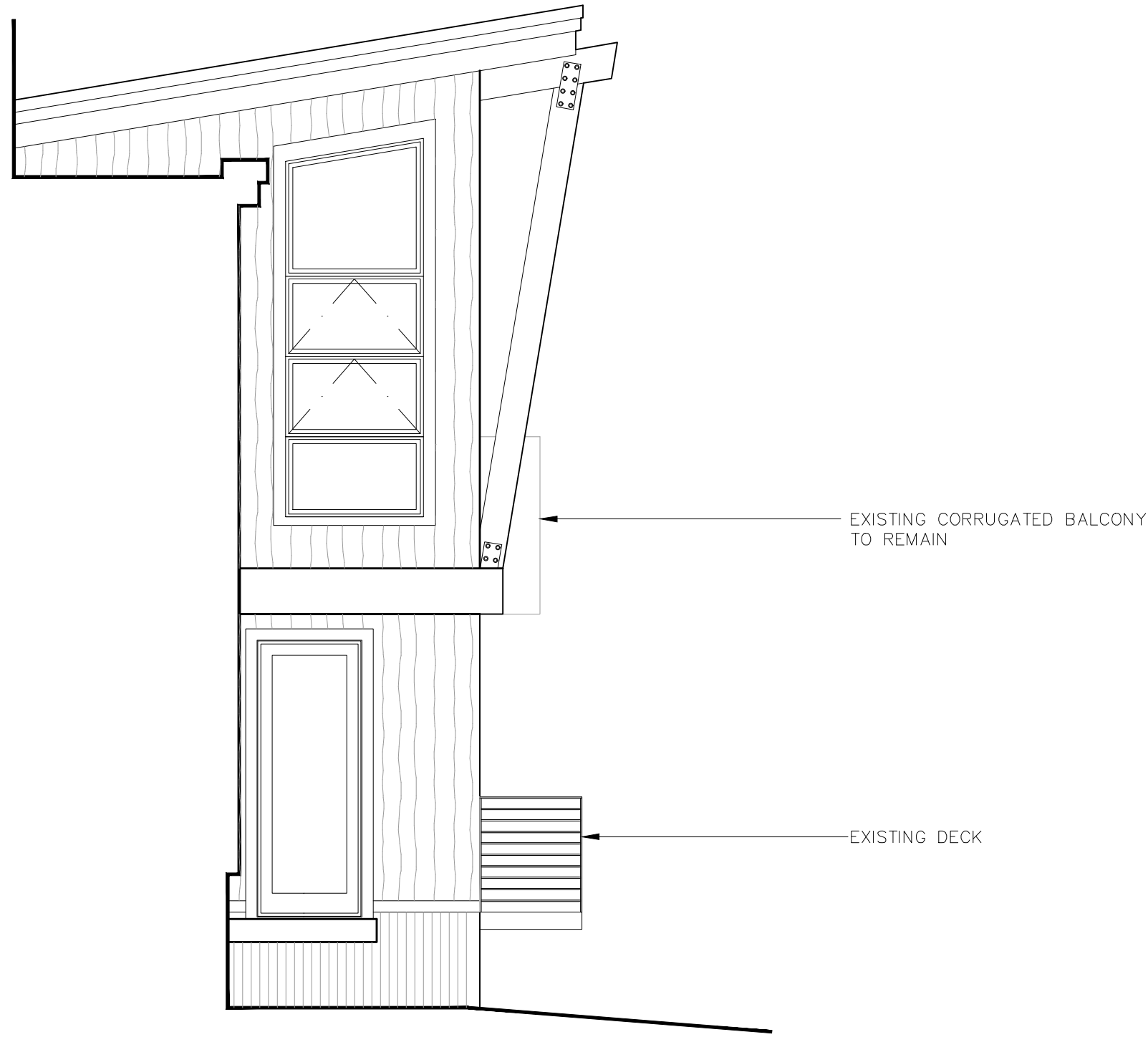
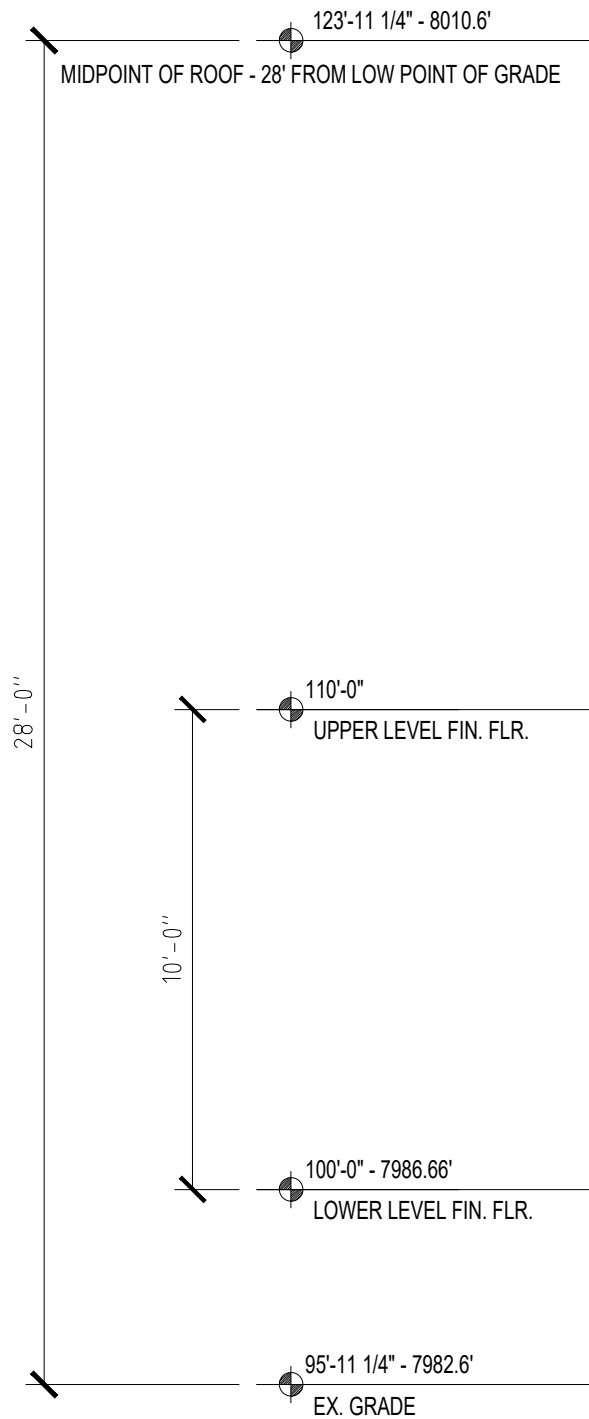
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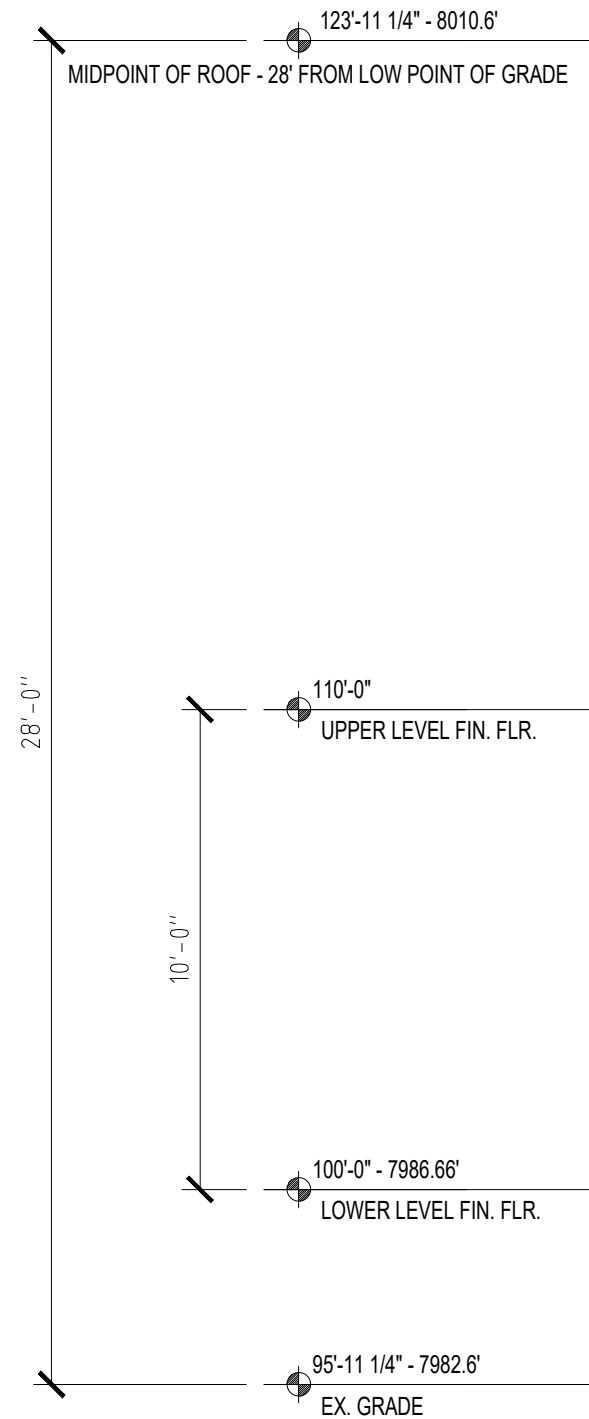
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EXTERIOR ELEVATIONS

3.1



2 SOUTHWEST ELEVATION  
NO WORK PROPOSED  
1/4" : 1'



1 NORTHWEST ELEVATION  
NO WORK PROPOSED  
1/4" : 1'

ELEVATION.NOTES

VERIFY ALL DIMENSIONS IN FIELD.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

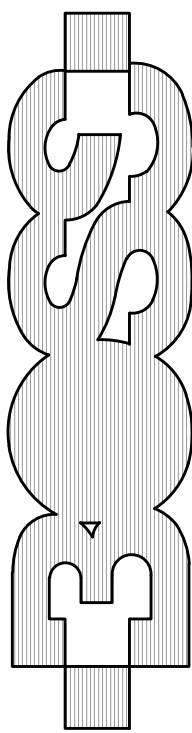
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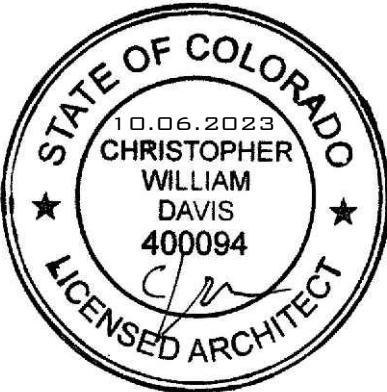
COORDINATE MOUNTING HEIGHTS FOR ALL EXTERIOR SCONCES AND SUSPENSION HEIGHTS FOR ALL SUSPENDED LIGHT FIXTURES.

ELEVATION.MATERIALS

- WOOD SIDING
- CORRUGATED STEEL SIDING
- AREA TO BE REMOVED
- EXISTING WINDOWS OR DOORS TO BE REMOVED



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.KEVIN .STEPHENSON



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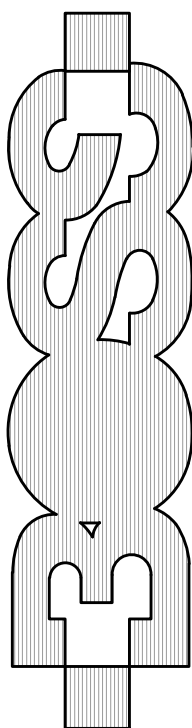
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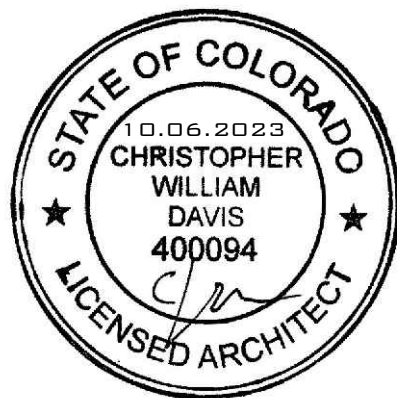
EXTERIOR ELEVATIONS





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## ELEVATION.NOTES

VERIFY ALL DIMENSIONS IN FIELD.

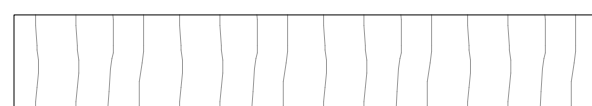
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## ELEVATION.MATERIALS



WOOD SIDING



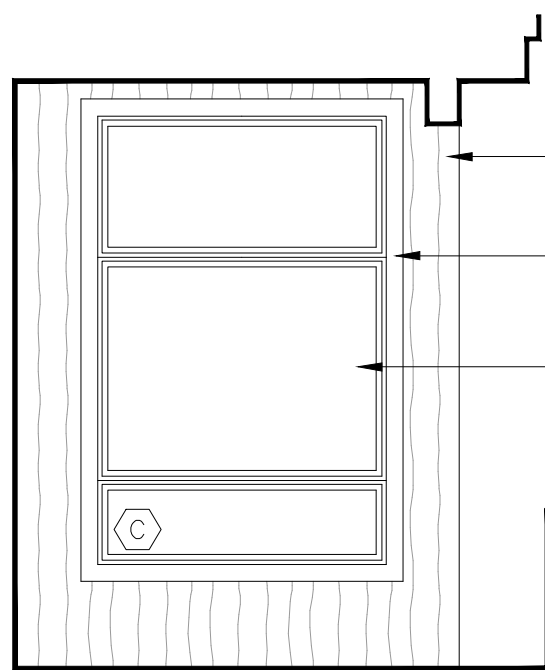
CORRUGATED STEEL SIDING



AREA TO BE REMOVED



EXISTING WINDOWS OR DOORS  
TO BE REMOVED

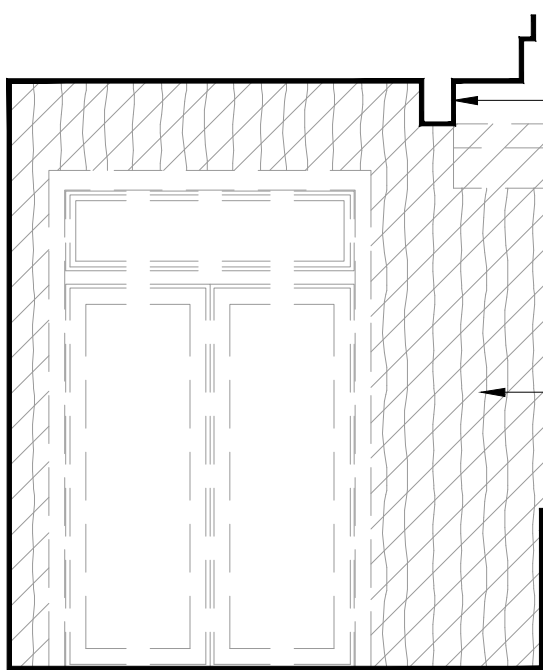


NEW WALL TO BE FRAMED  
BELOW EXISTING STRUCTURAL TIMBER

NEW TRIM  
TO MATCH EXISTING

NEW WINDOW  
RE: WINDOW SCHEDULE

4 SOUTHEAST DECK  
PROPOSED ELEVATION  
1/4" : 1'



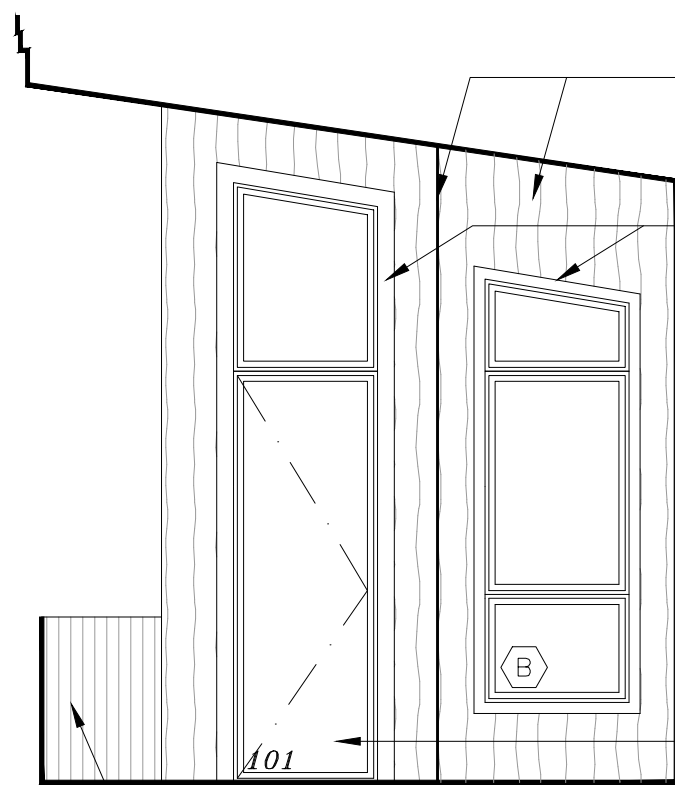
EXISTING TIMBER BEAM  
TO REMAIN

EXISTING TRIM TO BE REMOVED  
AND RE-USED

EXISTING WOOD SIDING  
TO BE REMOVED AND RE-USED

EXISTING CORRUGATED BALCONY  
TO BE PARTIALLY REMOVED.  
RE: PLANS

3 SOUTHEAST DECK  
DEMO ELEVATION  
1/4" : 1'



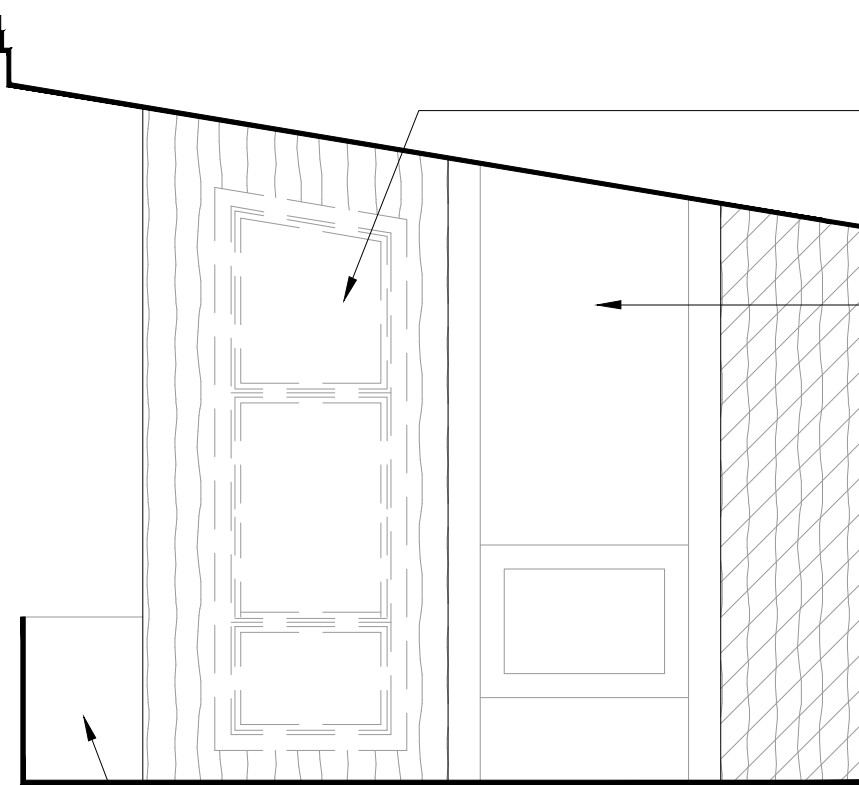
NEW FRAMED EXTERIOR WALL  
RE: PLANS

NEW TRIM  
TO MATCH EXISTING

NEW DOOR WITH TRANSOM  
RE: DOOR SCHEDULE

EXISTING GUARDRAIL TO REMAIN

2 NORTHEAST DECK  
PROPOSED ELEVATION  
1/4" : 1'



EXISTING WINDOW TO BE REMOVED

EXISTING FIREPLACE AND CHIMNEY  
TO REMAIN

EXISTING GUARDRAIL TO REMAIN

1 NORTHEAST DECK  
DEMO ELEVATION  
1/4" : 1'