

BELDEN PLACE

Lot 12 - 0019 Belden Way

Single Family w/ ADU

Minturn, CO 81645



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VICINITY MAP

DESIGN REVIEW
12/11/2024



TAB Associates
The Architectural Balance
0056 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
fax: (970) 766-1471
email: tab@tab.net
www.tabnet.com

Civil Engineer
Timberline Engineering
(970) 963-9869
Structural Engineer
KRM Consultants, Inc.
(970) 949-9391
Mechanical Engineer

Electrical Engineer

Seal

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Revisions:		
No	Description	Date

Issue Dates:
DRB-10/10/2024
DRB-12/11/2024

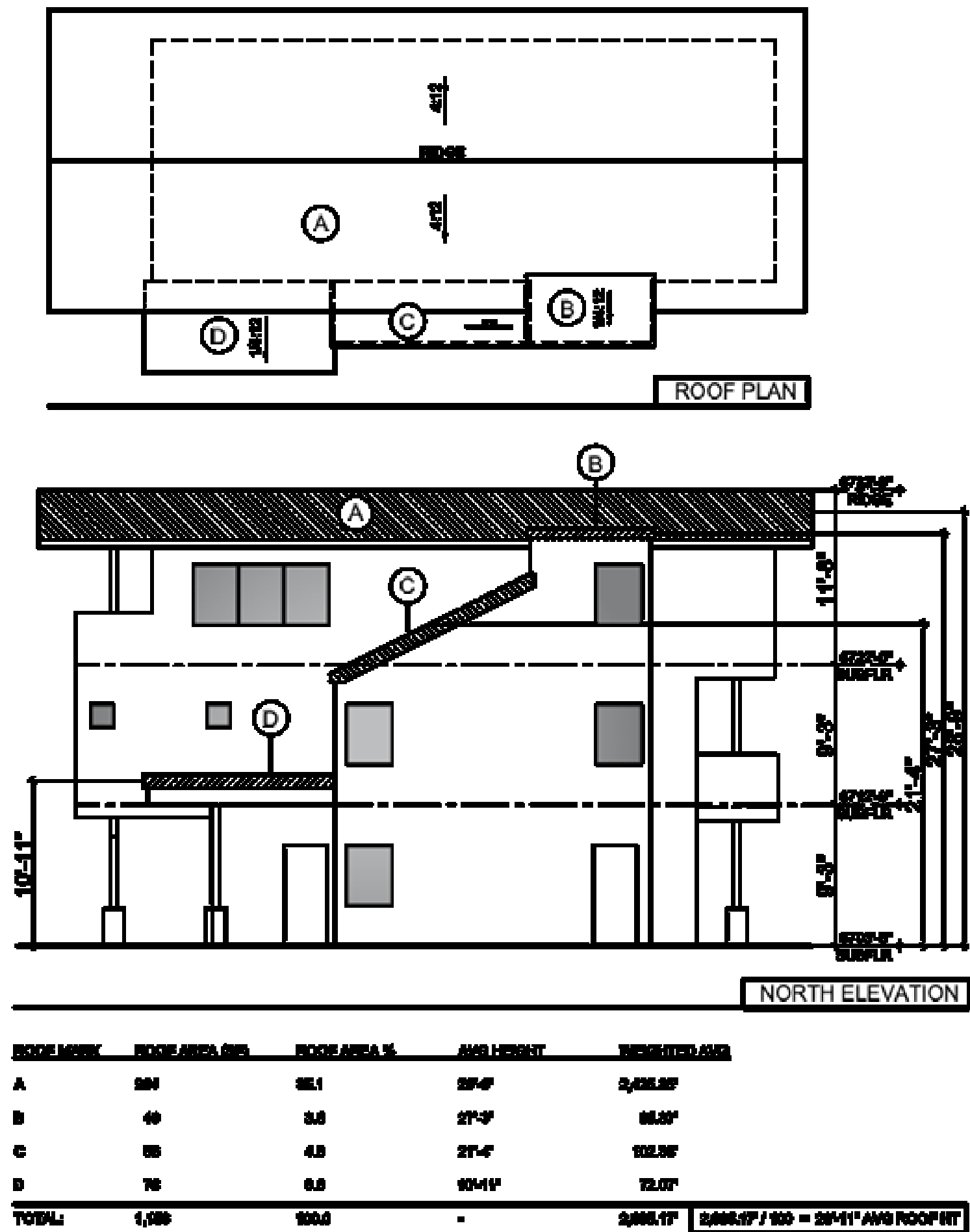
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Cover

Project No:
2215

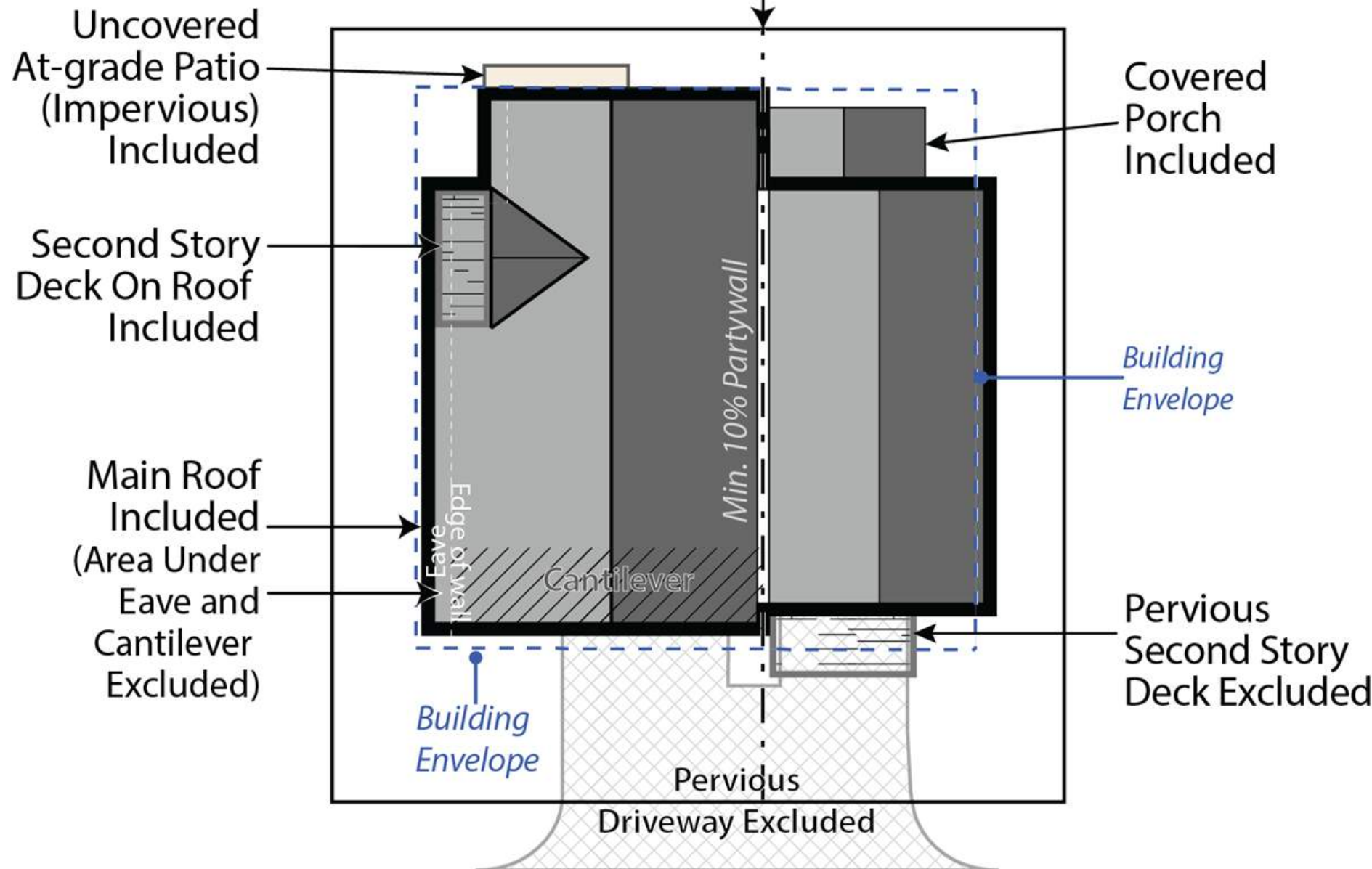
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BELDEN PLACE PUD GUIDE INFORMATION
The following is an abbreviated version of information found in the PUD guide.

Building Height. Determining building height uses a weighted height calculation as measured from final/finished grade. Max heights - 28' for single famil and duplex, 35' for Row Houses and Flats.



Site Coverage. Site coverage means the portion of a lot covered by materials forming any unbroken surface, impervious to water including, but not limited to: buildings, streets, slab on-grade patios, exterior fireplaces, and other hardscape materials. Site coverage excludes non-hardscape areas under eaves or similar (e.g., open-sided cantilever).



BUILDING PLACEMENT AND ENVELOPES

Residential building envelopes are necessary in order to maximize the buildability and economic viability of the lots while offering greenspace and or space between neighbors to the greatest extent possible. All portions of structure- including fireplaces, chimneys, window wells, eaves, overhangs, etc. must be contained within property lines; however, with the platted building envelope acting as building setbacks for each lot, encroachments are available for certain features.

The following encroachments are permitted beyond the platted building envelope:

Unenclosed or uncovered decks; deck supports; eaves up to 18" beyond the envelope; porches, patios and landings less than 30" above the surrounding natural or finished grade; window or light wells; heat or A/C units; residential solar alternative energy installations; fences; counterforts below grade; staircases (enclosed or otherwise); structures of less than 6" in height; landscaping and drainage features. No encroachment may be located within 24" from the property line or directly on top of in-ground utility easements. Underground parking elements and staircases may encroach within 12" of the most southern property line on Lot 7.

1. SINGLE-FAMILY DETACHED

- a. Style
- (1) Residences with the same architectural elevations and coloring shall not be placed adjacent to each other or directly across the street from one another.
 - (2) Each residential unit type shall have at least two (2) elevations to provide stylistic diversity. This may include:
 - i. Roof forms/lines and profiles
 - ii. Varied window and door styles
 - iii. Varied entry treatments and locations including porches, columns, etc.
 - iv. Two or three story homes
 - v. Second or third story decks or balconies
- b. Building Form
- (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front and sides of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

2. DUPLEX/TRI-PLEX or MULTIFAMILY STRUCTURES

- a. Style
- (1) Structures shall have at least two (2) elevations to provide stylistic diversity.
 - (2) Units may be multi-stories.
 - (3) Units may be divided horizontally (townhomes) or vertically (flats).
 - (4) Second story decks or balconies permitted.
 - (5) Units have no minimum length of connection and may be joined via shared walls of the garage, external staircases, or main living area wall(s) or floors.
- b. Building Form
- (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

3. MATERIALS

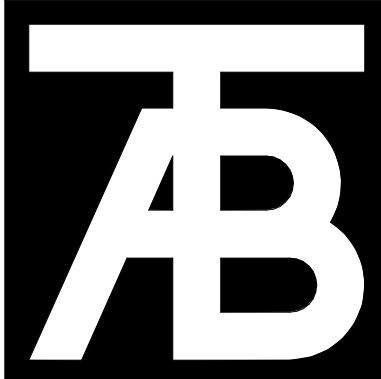
- a. Roofing materials are limited to the following:
- (1) Artificial wood shingle (to mimic wood shake shingle). Treated wood shake shingles or any other combustible material is prohibited.
 - (2) Standing seam metal.
 - (3) Asphalt shingles.
 - (4) Imitation (composite or similar); or, real slate tiles.
 - (5) Non-reflective solar tiles that mimic the above-mentioned products
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
- b. Siding materials are limited to the following:
- (1) Metal
 - (2) Wood
 - (3) Composite siding
 - (4) Fiber cement board (commonly known as "Hardie Board")
 - (5) Stucco.
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
 - (7) All siding materials to have non-reflective finishes.
- c. Doors and Windows:
- (1) Structures with multiple garage doors must always have identical, matching doors.
 - (2) All replacement windows shall be consistent and match the aesthetic of previous windows unless otherwise approved by the design review board. Skylight or solar tubes permitted.
 - (3) Screen or storm doors, in addition to typical front doors are permitted. Screen or storm doors cannot replace front doors at any time.
- d. Design Elements. This development may incorporate mountain appropriate design elements into the buildings, including, but not limited to, exposed heavy timber beams as accent elements or entry features, walls faced with wood, stone, faux stone or cultured stone, metal railings or accents. Stucco may only be utilized in small quantities on building facades and is not to be used as a primary material for home.
- e. Building materials for residential exteriors shall include at least two (2) types of materials as part of the building façade.

I. LANDSCAPING – See also PUD Landscaping Plan

Shall not interfere with any drainage way, utility, pedestrian access, or entry into any structure. Landscaping shall not obscure windows, be installed under gas fireplace or dryer vents, nor shall any landscaping material overtake any yard, or spread into any common or neighboring yards.

Landscaping minimums:

- 1. At least one (1) tree per 1,200 sf of lot area and two (2) shrubs for all lots. See also official Landscaping Plan for Belden Place.
- 2. All landscaping proposed on the approved Landscaping Plan shall be installed initially with expectations for maintenance.
- 3. No exposed soil is permitted. Soil must be covered in groundcover that may consist of seed (includes wildflower seed), cobble, perennials, mulch, or similar.
- 4. All dead materials must be replaced during the same season death occurs.



TAB Associates
The Architectural Balance
0058 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
fax: (970) 766-1471
email: tab@tab.net
www.tabnet.com
Civil Engineer
Timberline Engineering
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PUD Guide

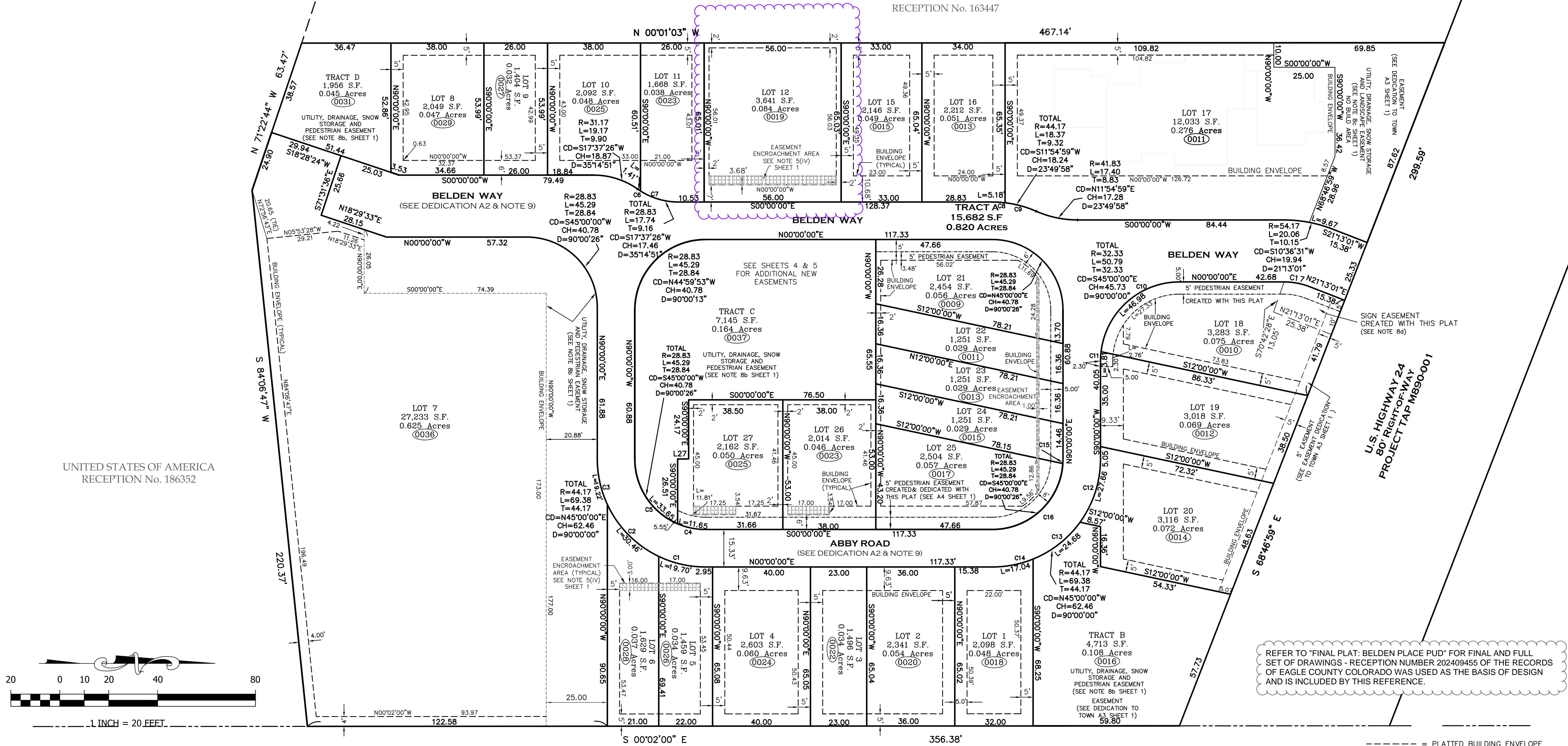
Project No:
2215

Sheet No:
A0.2

FINAL PLAT
BELDEN PLACE, P.U.D.
Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5
SUBDIVISION

LOT 28
SOUTH MINTURN ADDITION
RECEPTION No. 163447



CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C1	19.70	44.17	10.01	19.53	N12°46'33"E	25°33'06"
C2	30.46	44.17	15.86	29.86	N45°18'32"E	39°30'53"
C3	19.22	44.17	9.76	19.07	N77°31'59"E	24°56'01"
C4	11.65	28.83	5.91	11.57	N11°34'15"E	23°08'56"
C5	33.65	28.83	19.03	31.77	N56°34'28"E	66°51'30"
C6	1.41	28.83	0.71	1.41	N33°50'32"E	2°48'39"
C7	16.32	28.83	8.39	16.11	N16°13'06"E	32°26'12"
C8	5.18	44.17	2.59	5.18	S03°21'35"W	6°43'11"
C9	13.19	44.17	6.65	13.14	S15°16'34"W	17°06'47"
C10	46.98	32.33	28.73	42.95	S41°37'23"E	83°14'46"
C11	3.81	32.33	1.91	3.81	S86°37'23"E	6°45'14"
C12	27.66	44.17	14.30	27.21	N72°03'40"W	35°52'40"
C13	24.68	44.17	12.67	24.36	N38°06'40"W	32°01'20"
C14	17.04	44.17	8.63	16.93	N11°03'00"W	22°06'00"
C15	1.89	28.83	0.94	1.89	N88°07'42"W	3°45'03"
C16	43.41	28.83	27.01	39.42	N43°07'29"W	86°15'24"
C17	10.68	28.83	5.40	10.62	N10°36'31"E	21°13'28"

UNITED STATES OF AMERICA
RECEPTION No.246983

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

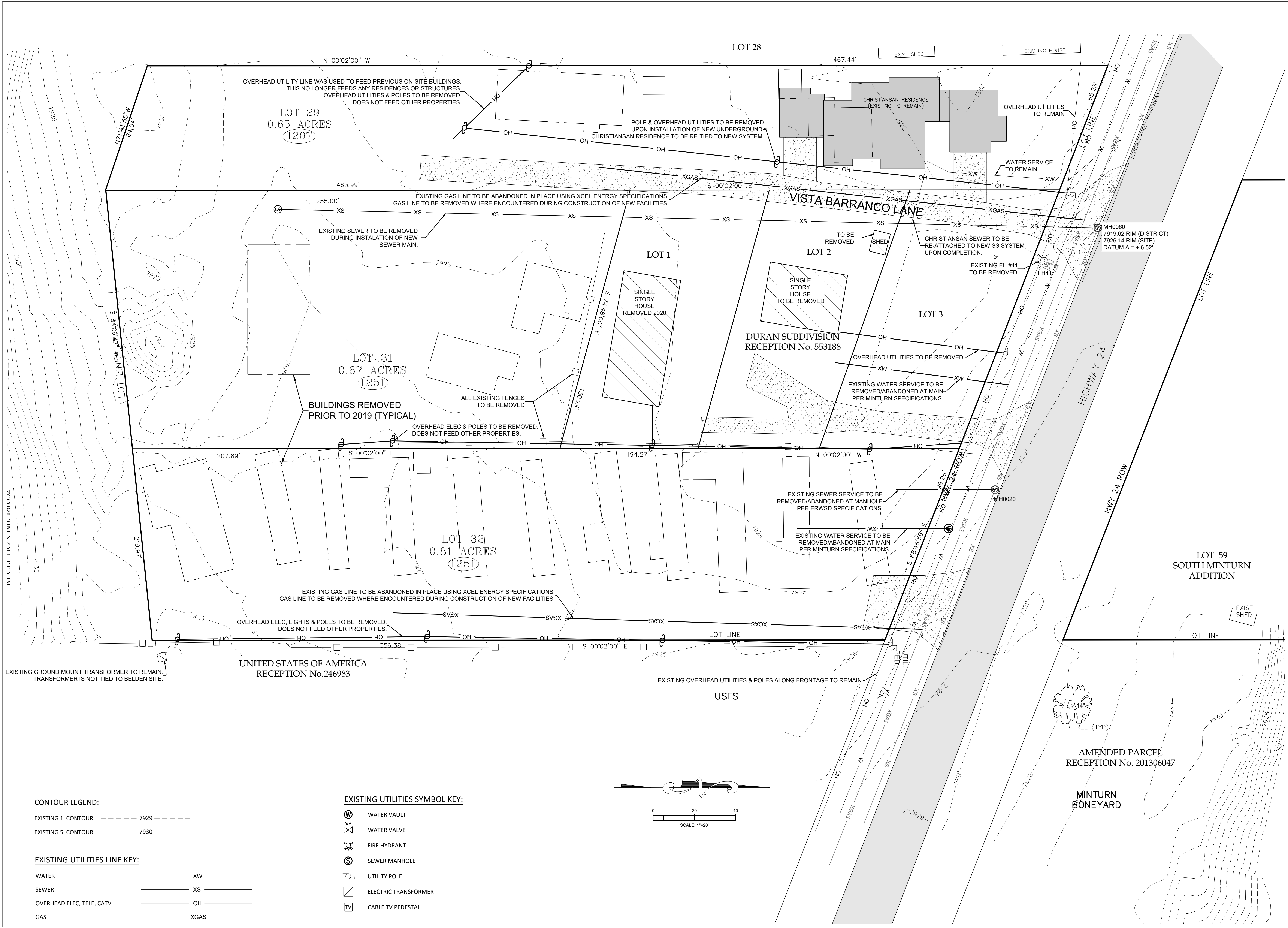
Matthew S. Slagle PLS 34998
Professional Land Surveyor
State of Colorado



SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
BELDEN PLACE, P.U.D.
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 18029	DRAWING NAME: 18029_PUD-23.dwg
SHEET 3 OF 5	DATE: 11-11-2023	



CONTOUR LEGEND:

EXISTING 1' CONTOUR - - - - - 7929 - - - - -
EXISTING 5' CONTOUR - - - - - 7930 - - - - -

EXISTING UTILITIES LINE KEY:

WATER - - - - - XW - - - - -
SEWER - - - - - XS - - - - -
OVERHEAD ELEC, TELE, CATV - - - - - OH - - - - -
GAS - - - - - XGAS - - - - -

EXISTING UTILITIES SYMBOL KEY:

W WATER VAULT
WV WATER VALVE
F FIRE HYDRANT
S SEWER MANHOLE
U UTILITY POLE
E ELECTRIC TRANSFORMER
TV CABLE TV PEDESTAL

TIMBERLINE
ENGINEERING
CIVIL STRUCTURAL

218 E. Valley Rd.
STE 104-PMB 177
Carbondale, Colorado 81623
p 970.963.9869
timberlineengineering@gmail.com

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Belden Place - 12 Plex (Flats)
Lot 7

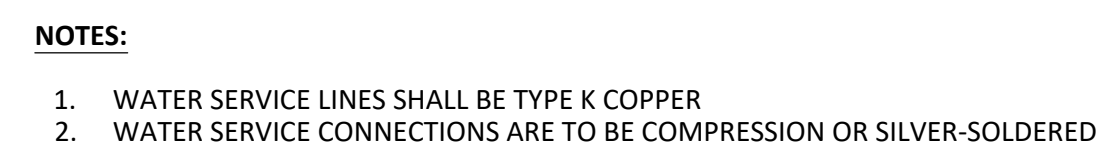
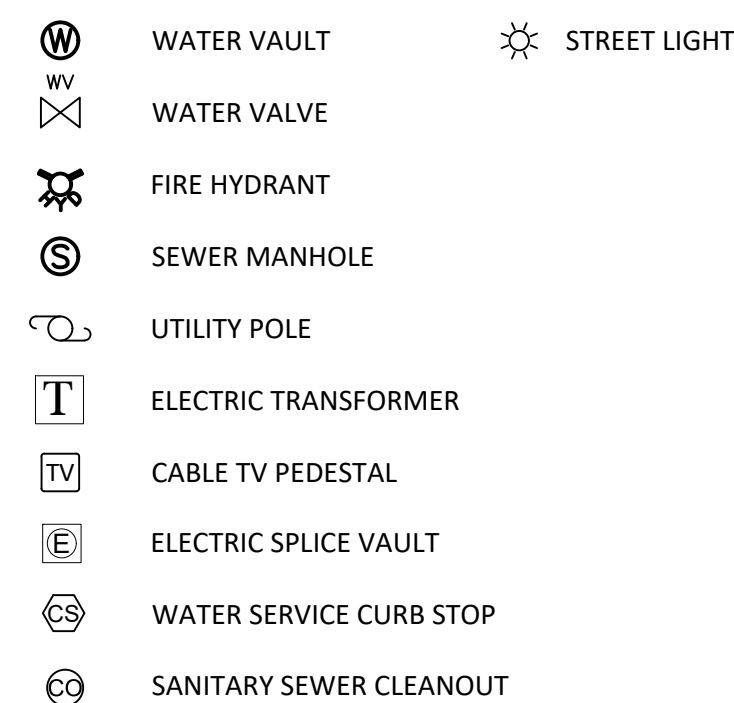
0036 Abby Road, Minturn, Colorado 81645

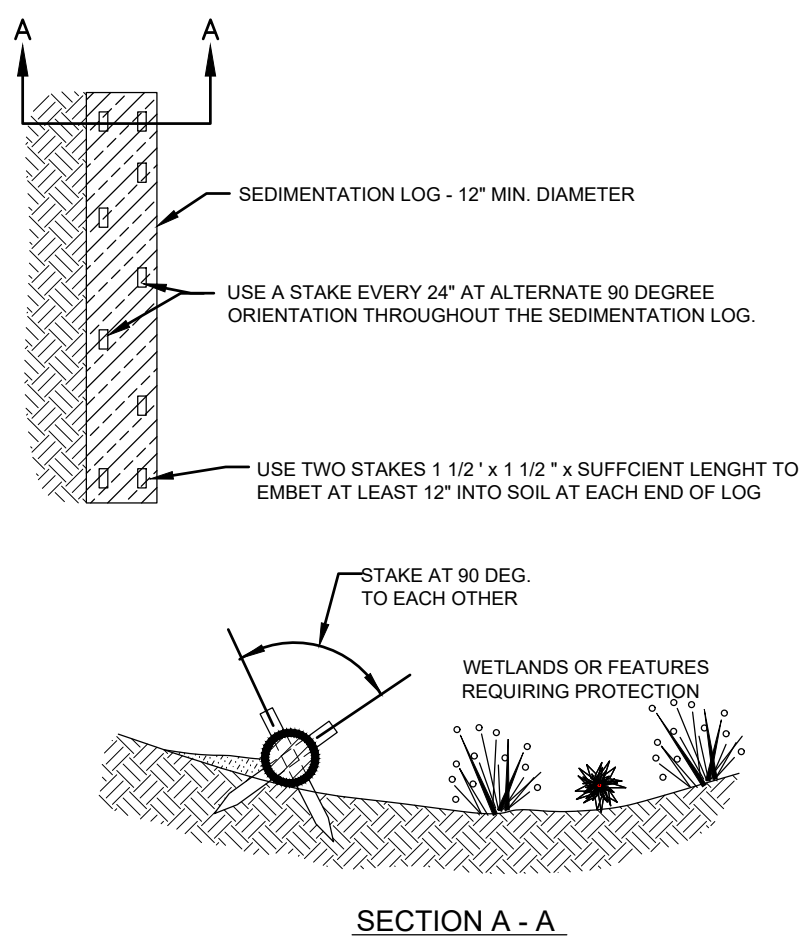
NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

Title: **EXISTING SITE & DEMOLITION PLAN**

Sheet: **C.110**





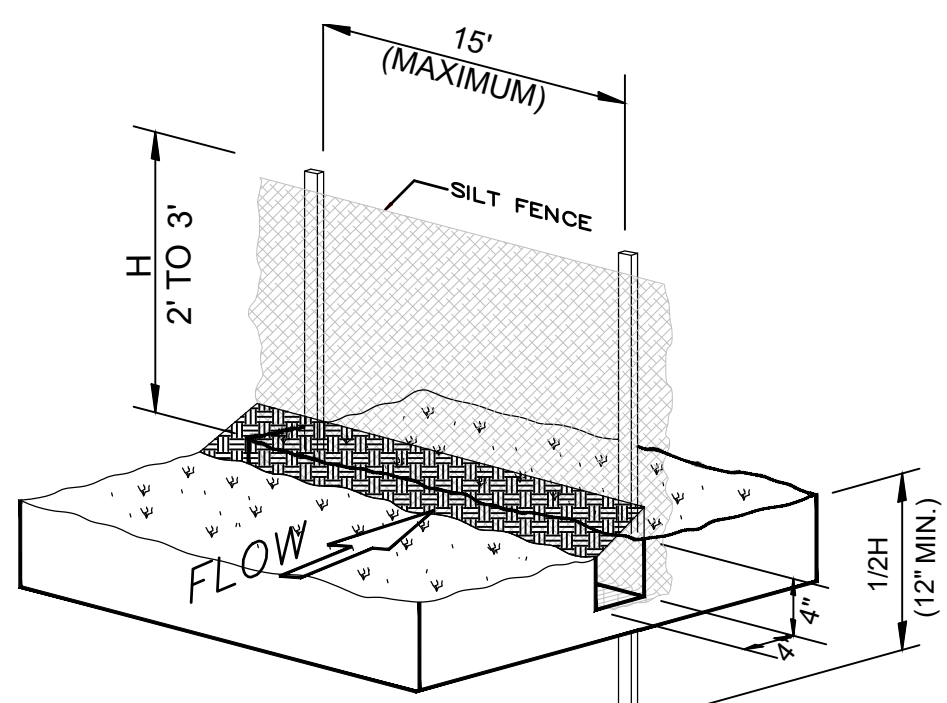
SEDIMENT CONTROL LOG INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
- LOCATION AND LENGTH OF SEDIMENT CONTROL LOG.
2. SEDIMENT CONTROL LOGS INDICATED ON INITIAL SWMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
4. NOT FOR USE IN CONCENTRATED FLOW AREAS.
5. THE SEDIMENT CONTROL LOG SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 2".

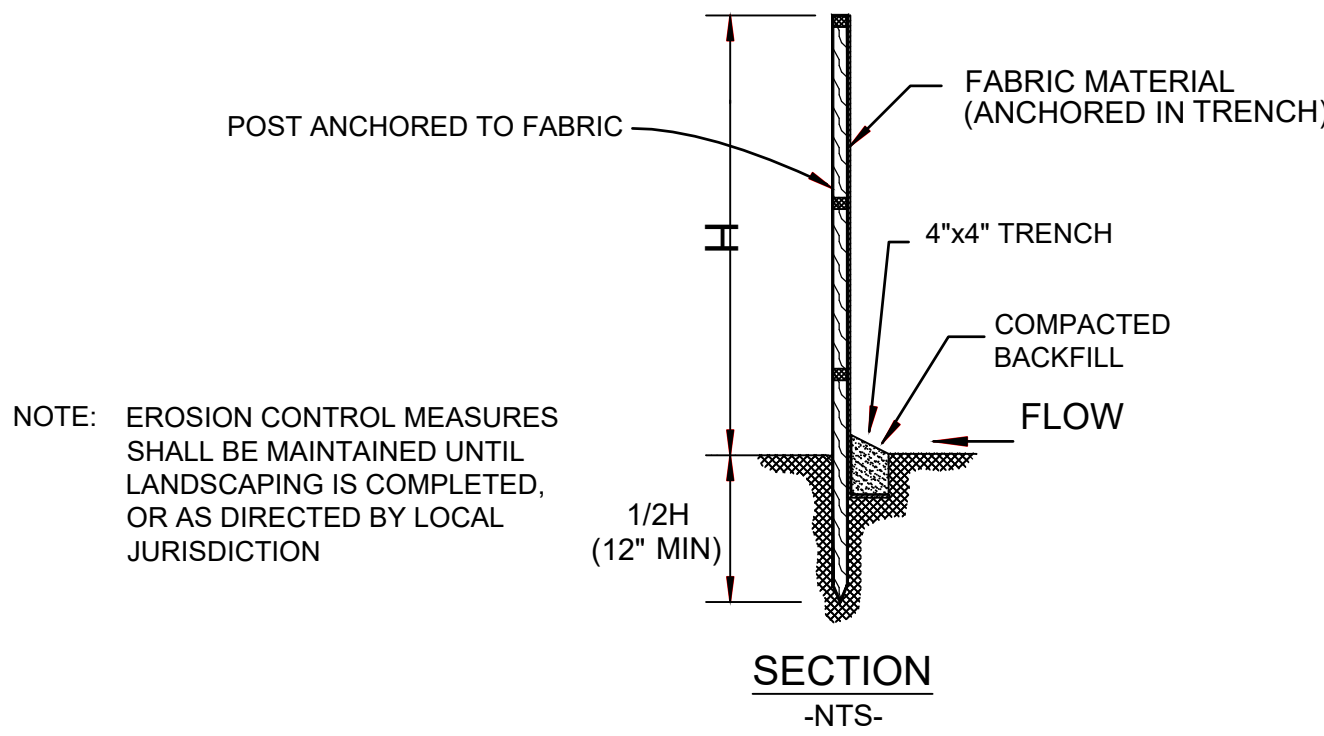
SEDIMENT CONTROL LOG MAINTENANCE NOTES

1. THE SWMP MANAGER SHALL INSPECT SEDIMENT CONTROL LOGS DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
2. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOGS SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST OF LOG.
3. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER REMOVAL, IT SHALL BE COVERED WITH TOP SOIL, DRILL SEEDED AND CRIMP MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

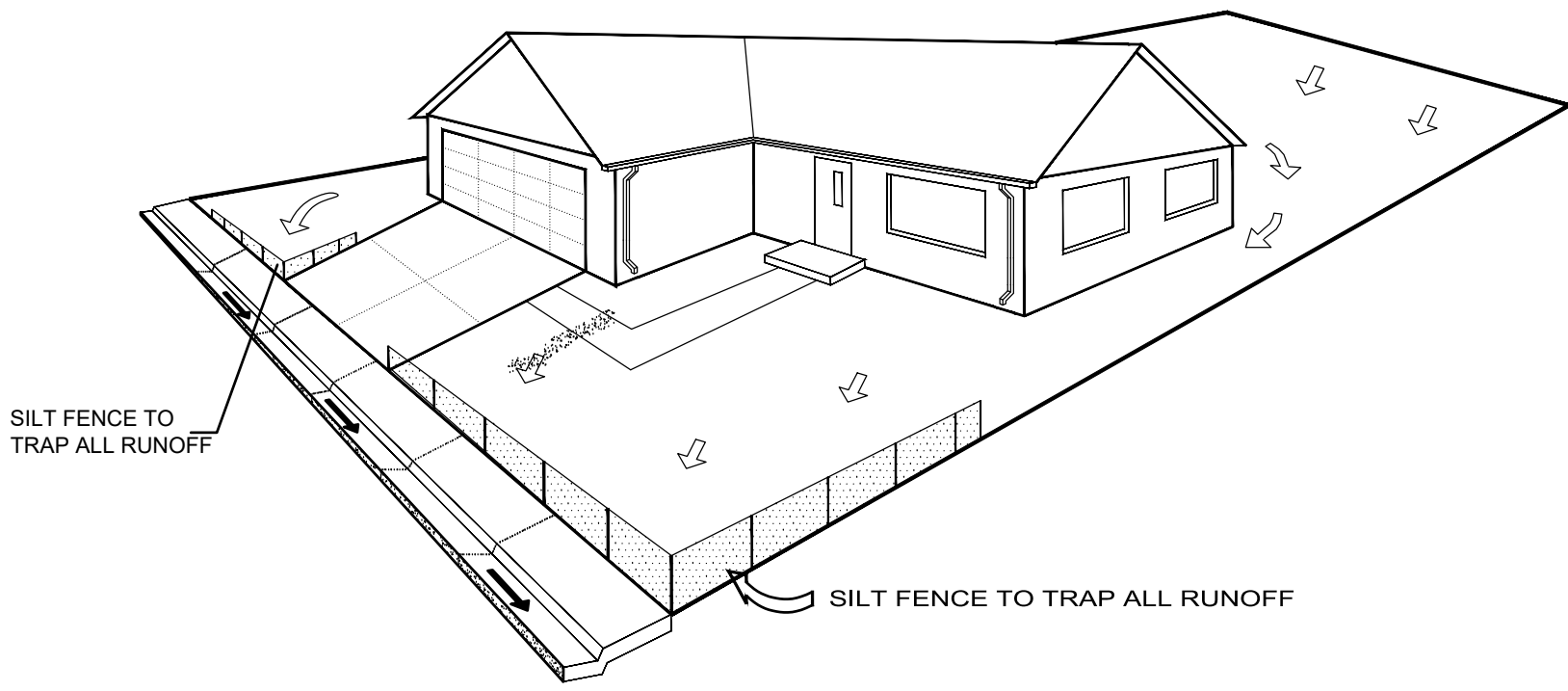
EROSION CONTROL LOG
DETAIL



SILT FENCE INSTALLATION
-NTS-

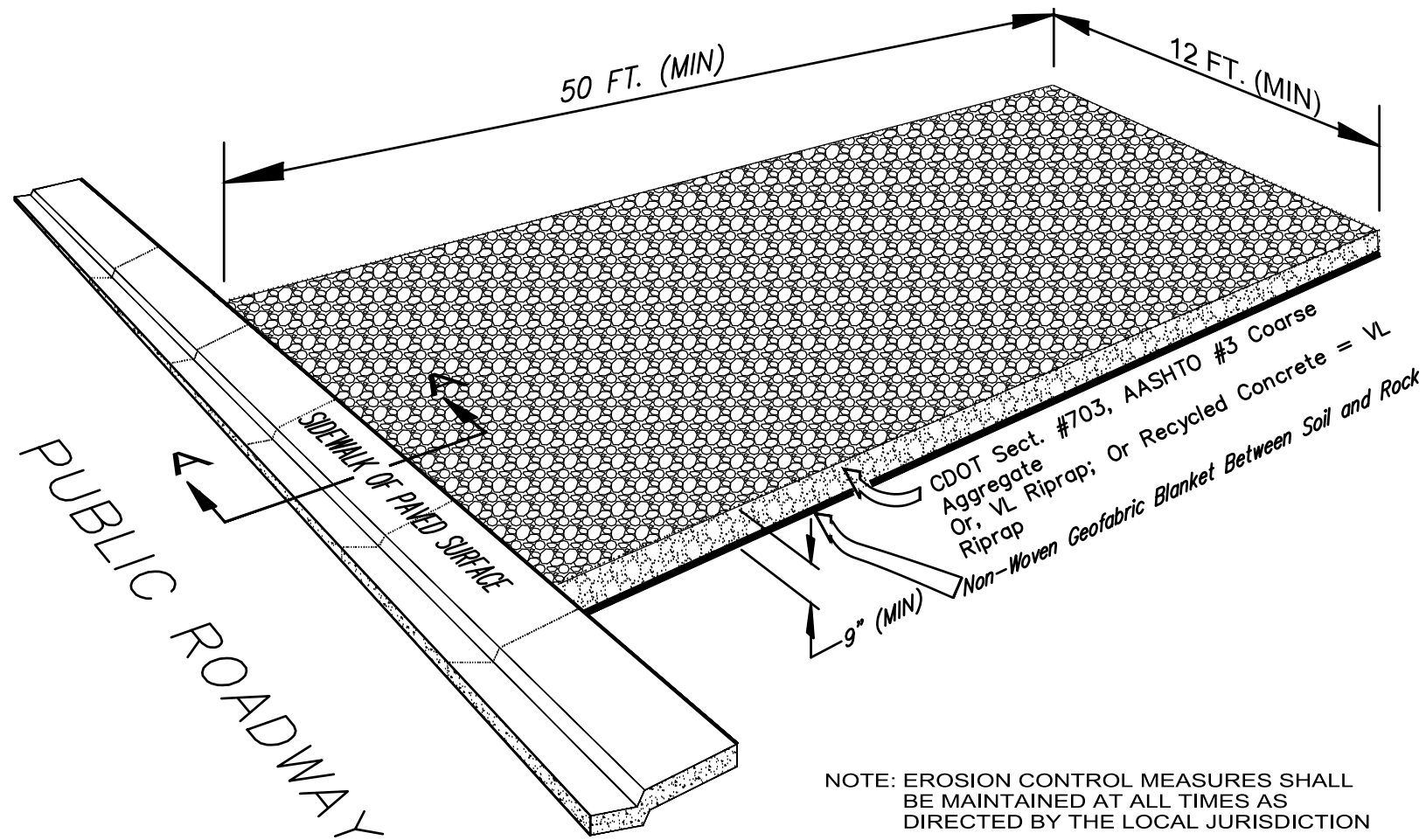


SILT FENCE INSTALLATION
DETAIL

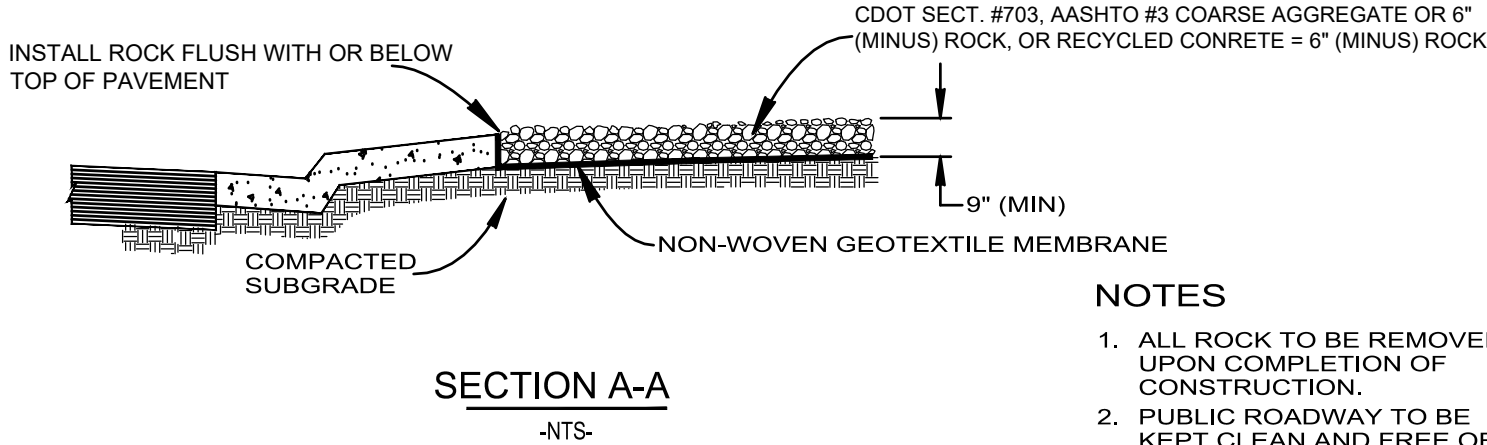


NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY LOCAL JURISDICTION

SILT FENCE PLACEMENT
DETAIL



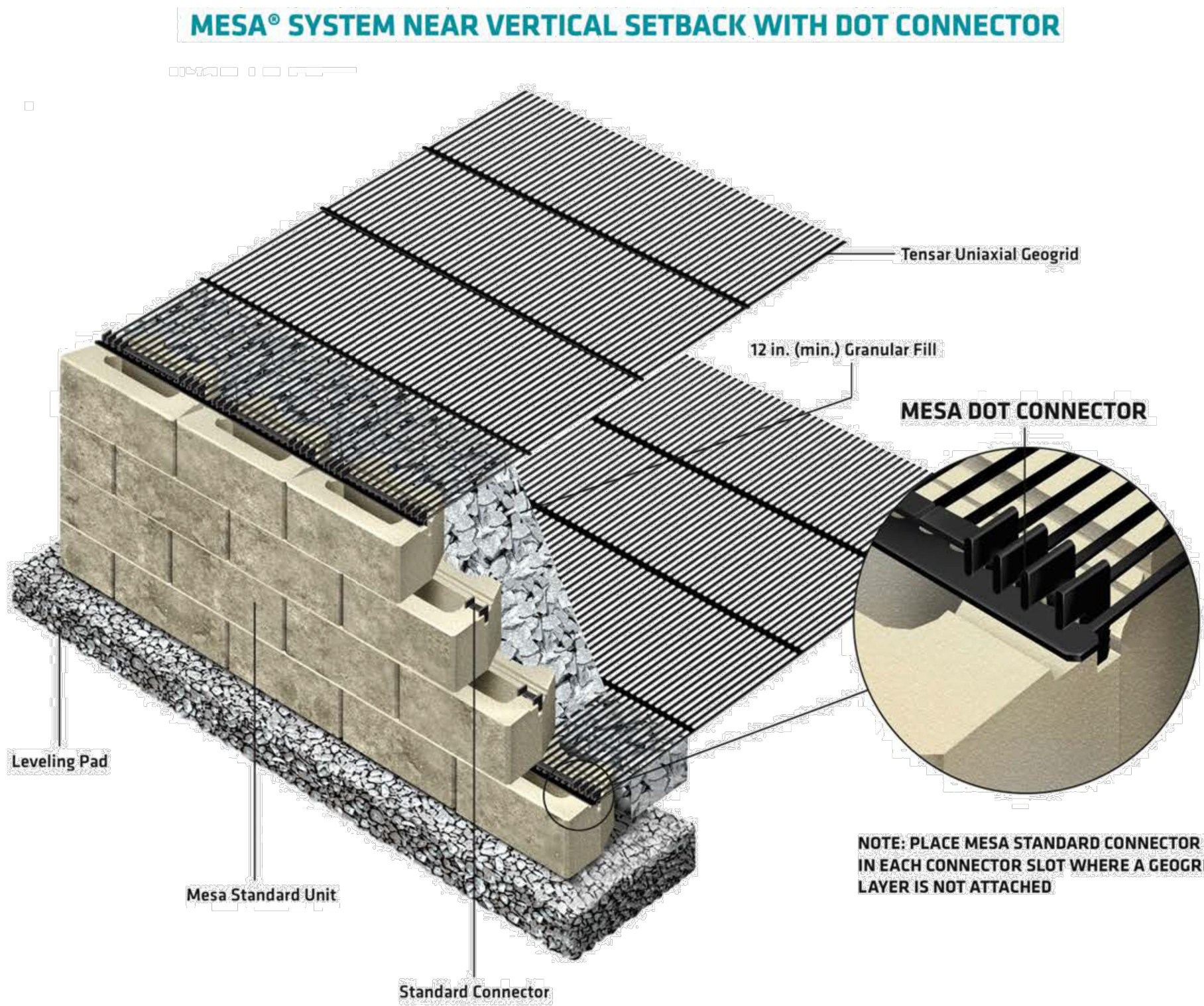
NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY THE LOCAL JURISDICTION



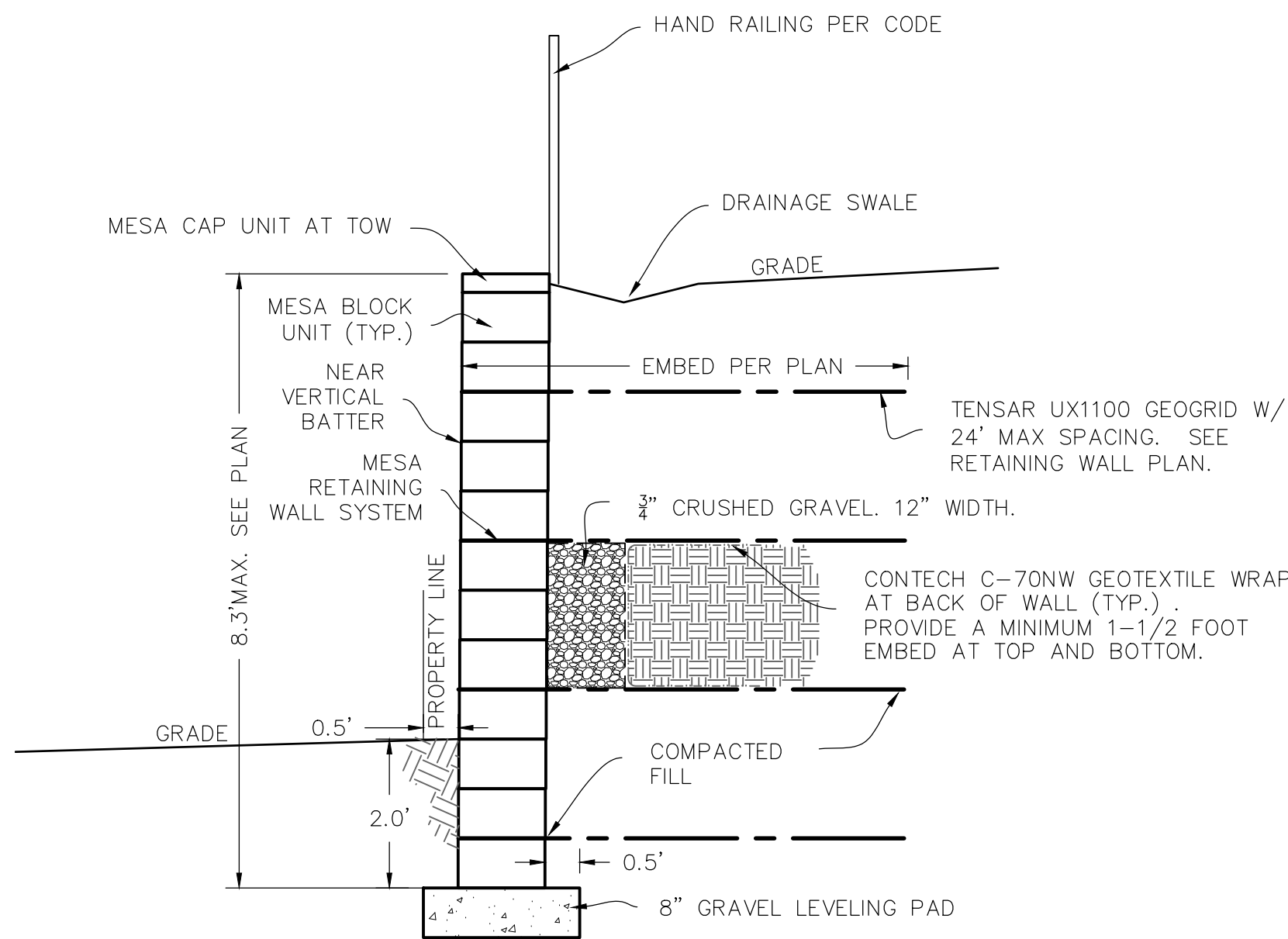
NOTES

1. ALL ROCK TO BE REMOVED UPON COMPLETION OF CONSTRUCTION.
2. PUBLIC ROADWAY TO BE KEPT CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES.

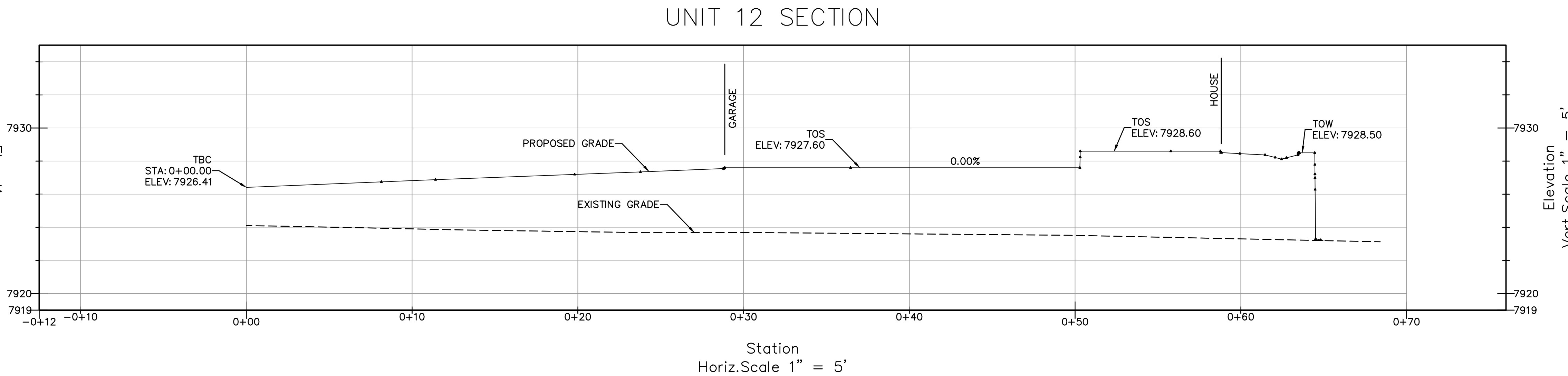
TEMPORARY VEHICLE TRACKING CONTROL
DETAIL



NOTE: PLACE MESA STANDARD CONNECTOR IN EACH CONNECTOR SLOT WHERE A GEOGRID LAYER IS NOT ATTACHED



RETAINING WALL
DETAIL



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Belden Place
UNIT 12 SINGLE FAMILY RESIDENCE W/ ADU
Mintum, Colorado

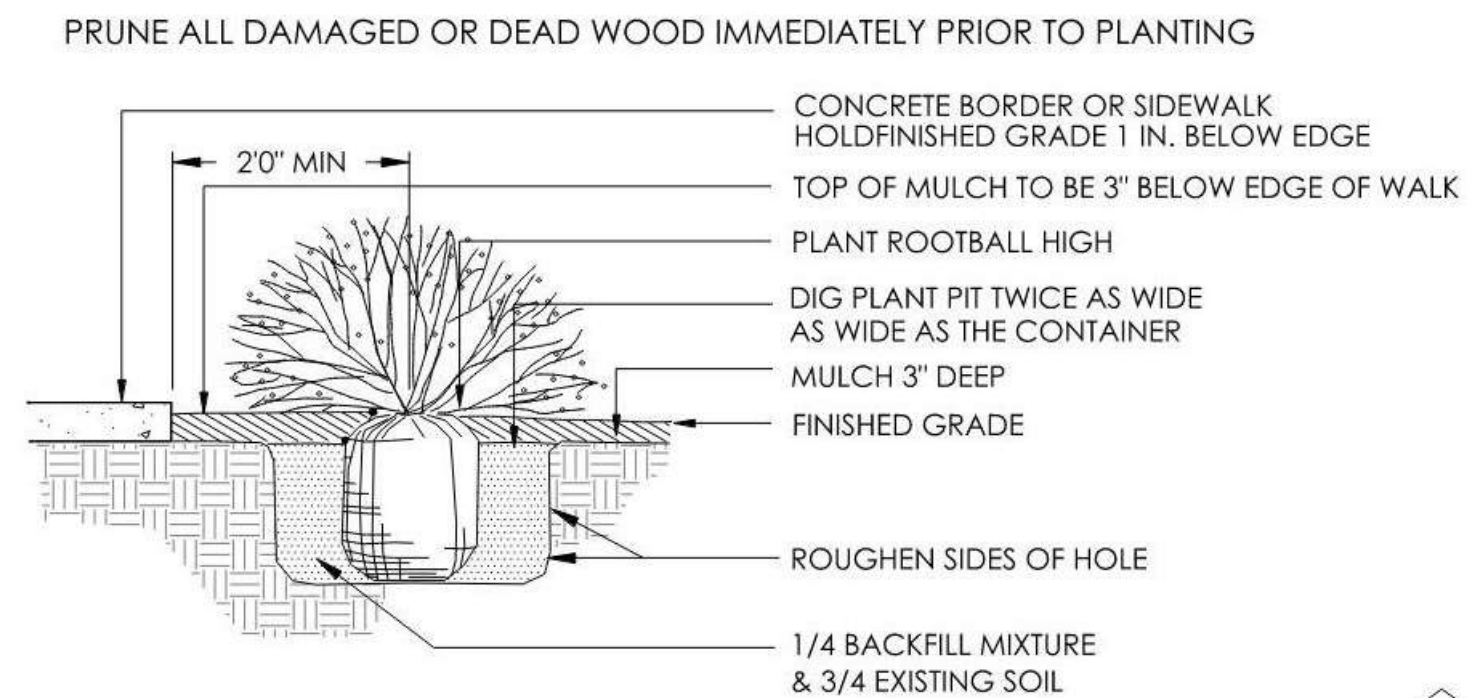
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DATE	REVISION
10/9/24	DRB Coordination
11/11/24	DRB Coord. updates
12/5/24	Permit submittal
12/30/24	Permit resubmittal

Title:

DETAILS &
CROSS
SECTION

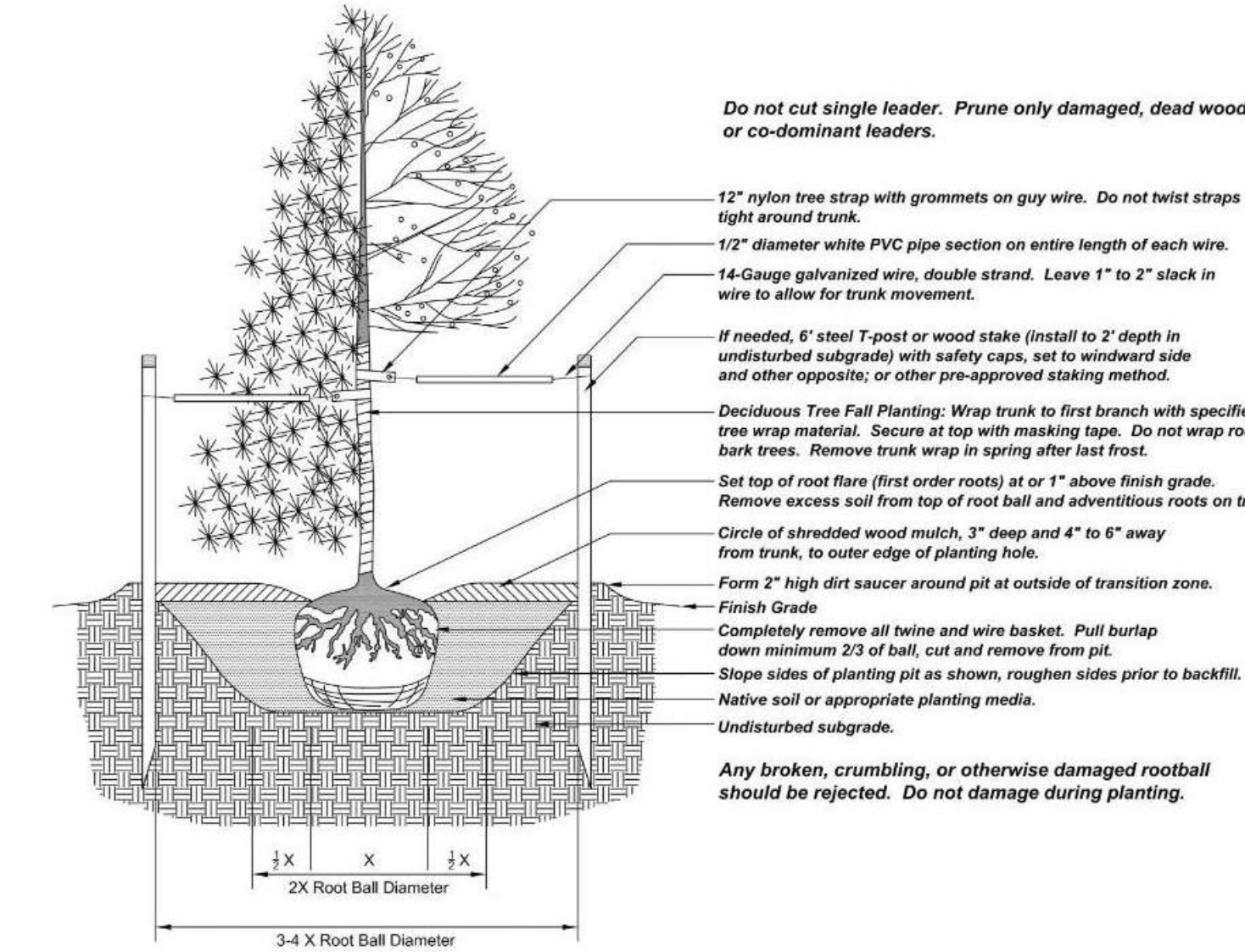
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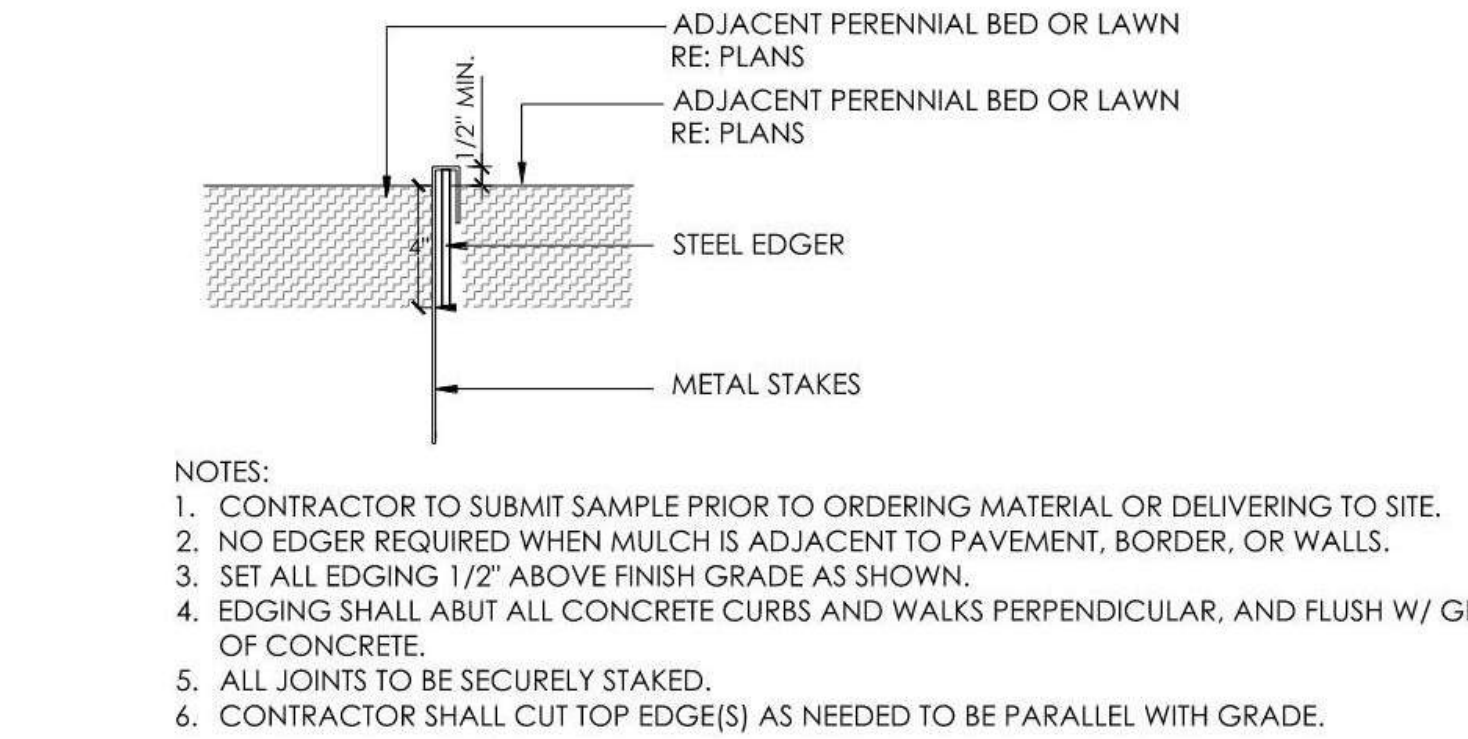
1 SHRUB PLANTING

SCALE: 3/4" = 1'-0"



3 TREE PLANTING

SCALE: N.T.S.



8 METAL EDGER

SCALE: 3/4" = 1'-0"

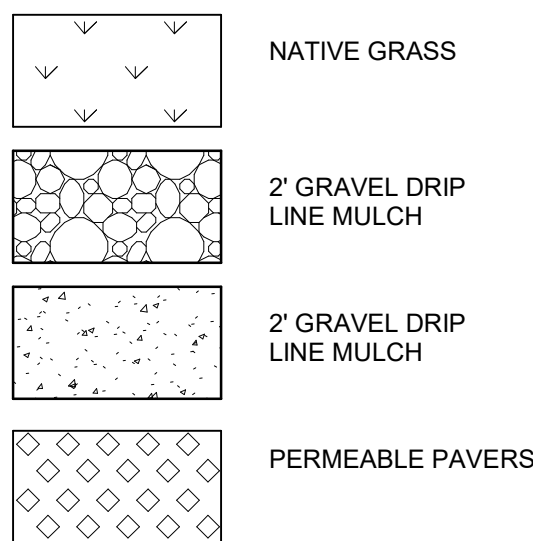
ORNAMENTAL TREES

ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY
AMG	<i>Amelanchier x grandiflora</i>	Autumn Brilliance Serviceberry	as shown	8' clump	21
CMT	<i>Crataegus x mordenensis</i> 'Toba'	Toba Hawthorn	as shown	2" Cal	5
MAS	<i>Malus x 'Spring Snow'</i>	Spring Snow Crabapple	as shown	2" Cal	8
MAT	<i>Malus 'Thunderchild'</i>	Thunderchild Crabapple	as shown	2" Cal	5
QUG	<i>Quercus gambelii</i>	Gambel Oak	as shown	8' clump	11

DECIDUOUS SHRUBS

ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY
SAR	<i>Salix repens</i>	Creeping Willow	as shown	5 Gal.	9
SOS	<i>Sorbaria sorbifolia</i>	Ash-leaf Spirea	as shown	5 Gal.	6
SPM	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	as shown	5 Gal.	9
SYO	<i>Symphoricarpos occidentalis</i>	Western Snowberry	as shown	5 Gal.	4

PLAN IS ENLARGED DETAIL AND UPDATE FROM THE PUD APPROVED PLAN. REFER TO PUD APPROVED PLAN FOR ADDITIONAL INFROMATION



SITE CALCULATIONS	
SITE SQFT	3,641 SQFT
BUILDING COVERAGE	1,820 SQFT
IMPERVIOUS COVERAGE (Includes Building)	2,180 SQFT
SITE COVERAGE ALLOWED	70%
SITE COVERAGE	59.9%



1 LANDSCAPE PLAN

A1.1 1/4" = 1'-0"

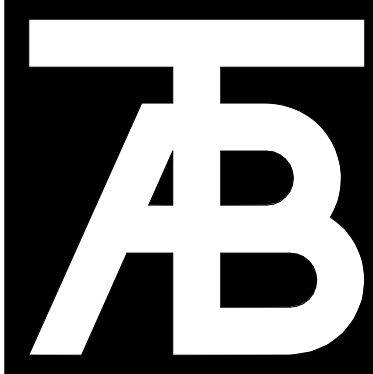
LANDSCAPE NOTES:

- ALL NEW LANDSCAPE AND IRRIGATION SHALL BE UNDER WARRANTY FOR A PERIOD OF (1) ONE YEAR. THE WARRANTY PERIOD SHALL COMMENCE ONCE ALL PUNCH LIST ITEMS ARE SATISFACTORY COMPLETED AND A LETTER OF FINAL COMPLETION IS PROVIDED FROM THE OWNER'S REPRESENTATIVE. ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1 YEAR AFTER THE FINAL COMPLETION IS PROVIDED IN WRITING.
- PLANT MATERIAL AND BED LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED.
- ROUGH GRADING TO PLUS OR MINUS ONE TENTH OF A FOOT BY GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADING IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO APPROVE ROUGH GRADES PRIOR TO MOBILIZATION. MOBILIZATION ON THE PART OF THE LANDSCAPE CONTRACTOR WILL INDICATE THAT ROUGH GRADING IS ACCEPTABLE TO THE LANDSCAPE CONTRACTOR, AND THEREFORE BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES TO MEET THE CIVIL GRADING PLANS.
- TREES AND SHRUBS WILL BE INSPECTED ON-SITE. LANDSCAPE PLANT MATERIALS MAY BE REJECTED AT ANY TIME DUE TO ISSUES OF QUALITY.
- ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED BY A COMMERCIAL GRADE, FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES SHALL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED. IRRIGATION TO BE DESIGN/BUILD. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT, LANDSCAPE ARCHITECT, AND MECHANICAL AND FOR GENERATION OF AN IRRIGATION PLAN FOR REVIEW WITH AS BUILT PLAN AS REQUIRED.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULE AND REGULATIONS.
- TRUNK-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4 INCHES [102 MM] WIDE MIN.
- WRAPPING TREE TRUNKS: WRAP TREES WITH TRUNK-WRAP TAPE. START AT BASE OF TRUNK AND SPIRAL COVER TRUNK TO HEIGHT OF FIRST BRANCHES. OVERLAP WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. DO NOT USE STAPLES. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION AND TAKE CORRECTIVE MEASURES REQUIRED BEFORE WRAPPING. DO NOT WRAP ROUGH BARK, POPULUS OR GLEDITSIA TREES. REMOVE WRAP IN SPRING.
- NO TREE SHALL BE WRAPPED AFTER MAY 21 OR BEFORE NOVEMBER 1.
 - ALL DECIDUOUS TREES SHALL BE WRAPPED BY NOV. 15. REMOVE TREE WRAP BY MAY 15.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR WRAPPING AND UNWRAPPING TREES DURING THE WARRANTY PERIOD.
- FIBER MULCH AT PLANTING BEDS: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF SHREDDED REDWOOD MULCH NOT LARGER THAN FOUR INCHES (4") IN LENGTH. SUBMIT 1.0 CF SAMPLE FOR APPROVAL.

SOIL PREPARATION:

SOIL SHALL BE AMENDED BASED ON THE SOIL TEST RECOMMENDATIONS (TO ADDRESS SPECIFIC DEFICIENCIES & ISSUES IN EXISTING SOIL). THE FOLLOWING INCLUDES THE SOIL TEST REQUIREMENTS AND RECOMMENDATIONS TO BE USED IN CONJUNCTION WITH THE SOIL TEST RESULTS:

- SOIL ANALYSIS, BULK DENSITY TESTING AND REMEDIATION REQUIRED. SOIL ANALYSIS FROM A LOCAL ACCREDITED SOIL ANALYSIS LABORATORY WITH EXPERIENCE IN LOCAL URBAN SOILS SHALL BE REQUIRED WHEN PLANTS ARE TO BE INSTALLED IN GREEN SPACE. ALL SOIL REMEDIATION SHALL BE BASED ON THE SOIL ANALYSIS.
 - MINIMUM SOIL ANALYSIS MUST DETERMINE SOIL TEXTURE AND STRUCTURE, PH BALANCE, SOIL SALINITY, FREE LIME, ORGANIC MATTER (OM) CONTENT, PLANT AVAILABLE NUTRIENTS AND COMPACTION. DEPTH OF LANDSCAPE SOIL ANALYSIS SHALL BE 24IN FOR TREES AND 8IN FOR ALL OTHER AREAS. SOIL REMEDIATION REQUIRED BASED ON SOIL ANALYSIS.
- COMPOSTED MATERIAL SHALL CONSIST OF AGED ORGANIC MATTER, FREE OF WEED OR OTHER NOXIOUS PLANT SEEDS, LUMPS, STONES, OR OTHER FOREIGN CONTAMINANTS HARMFUL TO PLANT LIFE, AND HAVING THE FOLLOWING CHARACTERISTICS BASED ON A NUTRIENT TEST PERFORMED NO LONGER THAN 3 MONTHS PRIOR TO ITS INCORPORATION INTO THE PROJECT:
 - ORGANIC MATTER: 25% MINIMUM.
 - SALT CONTENT: 5.0 MMHOS/CM MAXIMUM.
 - PH: 8.5 MAXIMUM.
 - CARBON TO NITROGEN RATIO OF 10:1 TO 20:1.
 - PARTICLE SIZE NO PARTICLE SMALLER THAN SILT OR CLAY SIZE, OR LARGER THAN 1/2" DIAMETER.
 - ACCEPTABLE COMPOST PRODUCT: CLASS I COMPOST, SUCH AS ECOGRO OR BIO-COMP, AS PROVIDED BY A1 ORGANICS, EATON, CO. OR APPROVED EQUAL.
- FINISH GRADE TO BE BELOW THE EDGE OF PAVEMENT PRIOR TO SODDING OR PLANTING:
 - SEED/SODDED AREAS: ALLOW 1 INCH FOR SOD.
 - PLANTED AREAS: ALLOW 3 INCHES FOR MULCH.
- AFTER APPLYING SOIL CONDITIONER AND FERTILIZER, THOROUGHLY TILL AREA TO DEPTH OF 6" MINIMUM UNTIL SOIL IS WELL PULVERIZED AND THOROUGHLY MIXED.



TAB Associates
The Architectural Balance
0066 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
fax: (970) 766-1471
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Civil Engineer
Timberline Engineering (970) 963-9869
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Revisions:		
No	Description	Date

Issue Dates:
DRB-10/2024

Sheet Title:
Landscape Plan

Project No:
2215

Sheet No:
A1.1

[illegible]

Sheet Title:

**Basement
& Ground
Floor
Plans**

Sheet No:
A2.1

CLOSET NOTES:

- ① SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSET'S TO BE "16" SHELF @ 7'-0" AFF, 16" SHELF & ROD @ 5'-6" AFF.
- ② DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSET'S TO BE "16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-6" AFF.
- ③ SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4"-0" OR AS OTHERWISE INDICATED.
- ④ LINEN SHELVES: 6 SHELVES, WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
- ⑤ STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

GENERAL CLOSET NOTES:

1. ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1x2 EDGE. SPECIES TO BE SPECIFIED BY DEVELOPER.
2. CLEATS TO BE 1x2 CLEAR PINE.
3. PROVIDE ROD SUPPORTS @ 36" OC MAX.
4. ALL TO BE STAINED TO MATCH CASE & BASE.

FLOOR PLAN GENERAL NOTES:

1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN; REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILING, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING, AND FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTE: IF NOT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO GRID LINE. FACE OF CONCRETE OR MASONRY OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.
12. "B" NEW CORK TACKBOARDS OR "MB" NEW MARKERBOARDS
13. PROVIDE EXIT DOOR NUMBERS PER DOOR SIGNAGE SHEET AT ALL EXIT DOORS.

GENERAL NOTES:

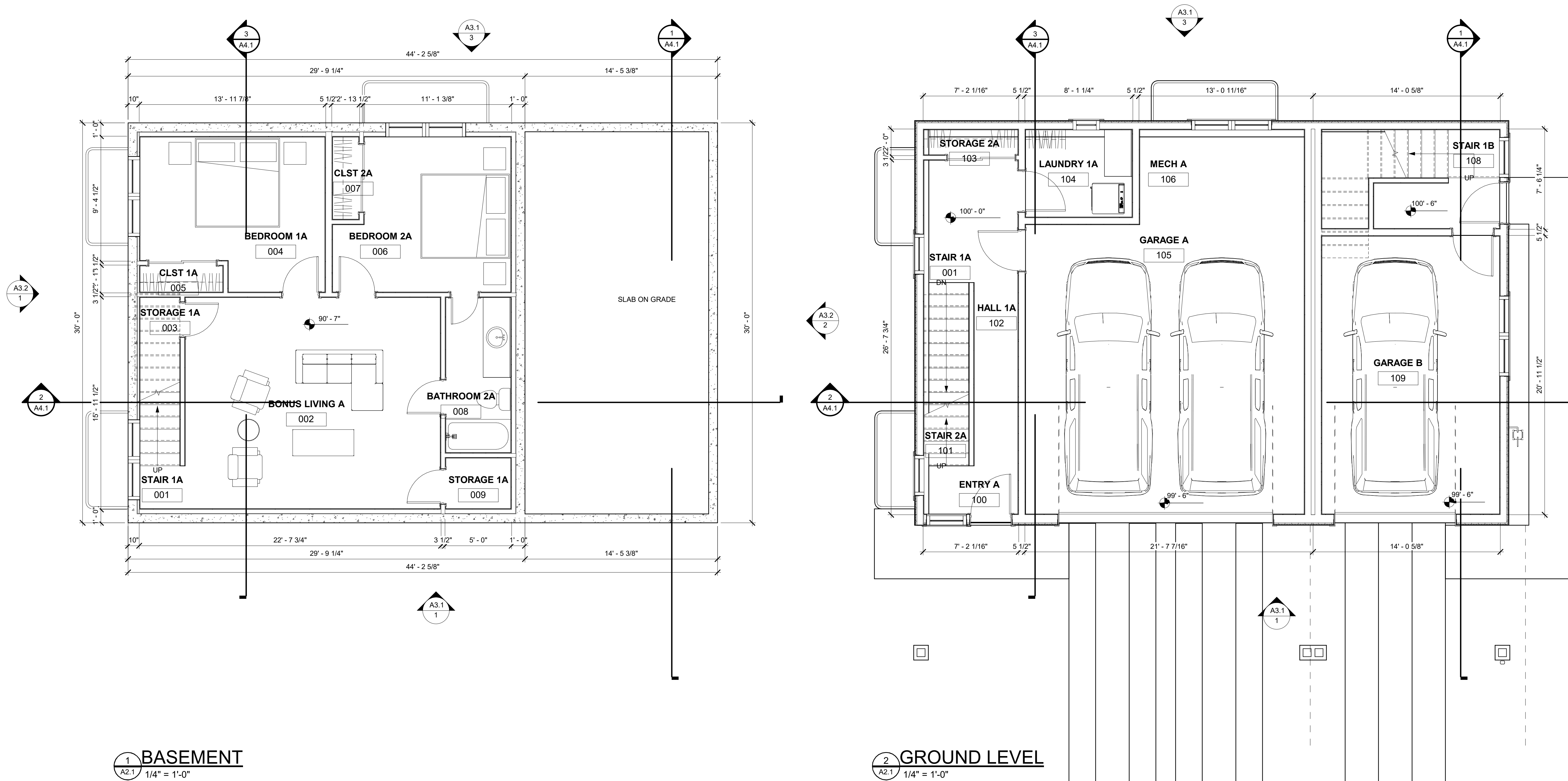
1. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN IN FEET AND INCHES. ALL WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION
2. SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS
3. PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS.
BLOCKING TO BE PROVIDED TO TIE, TOILET, AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
4. WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING WALLS, ALL JOINTS MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES. INFILL OPENINGS IN EXISTING WALLS WITH PARTITIONS TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
5. REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
6. EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED UPON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE DISCOVERED TO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
7. VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES BY THE ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
8. PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DRAIN THAT IS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
9. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR DRAIN SIZES SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
10. ALL INTERIOR WALLS SHALL SHOW TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.3
11. DATUM 100'-0" INDICATED ON ALL DRAWINGS. OTHER THAN CIVIL SERIES IS EQUALS XXXX.XX ON CIVIL DRAWINGS
12. ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMEN/DAMP PROOFING.
13. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.

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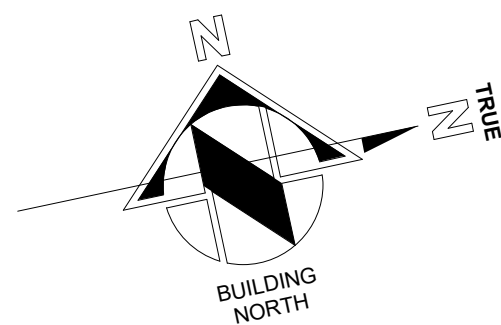
Sheet Title:

**Basement
& Ground
Floor
Plans**

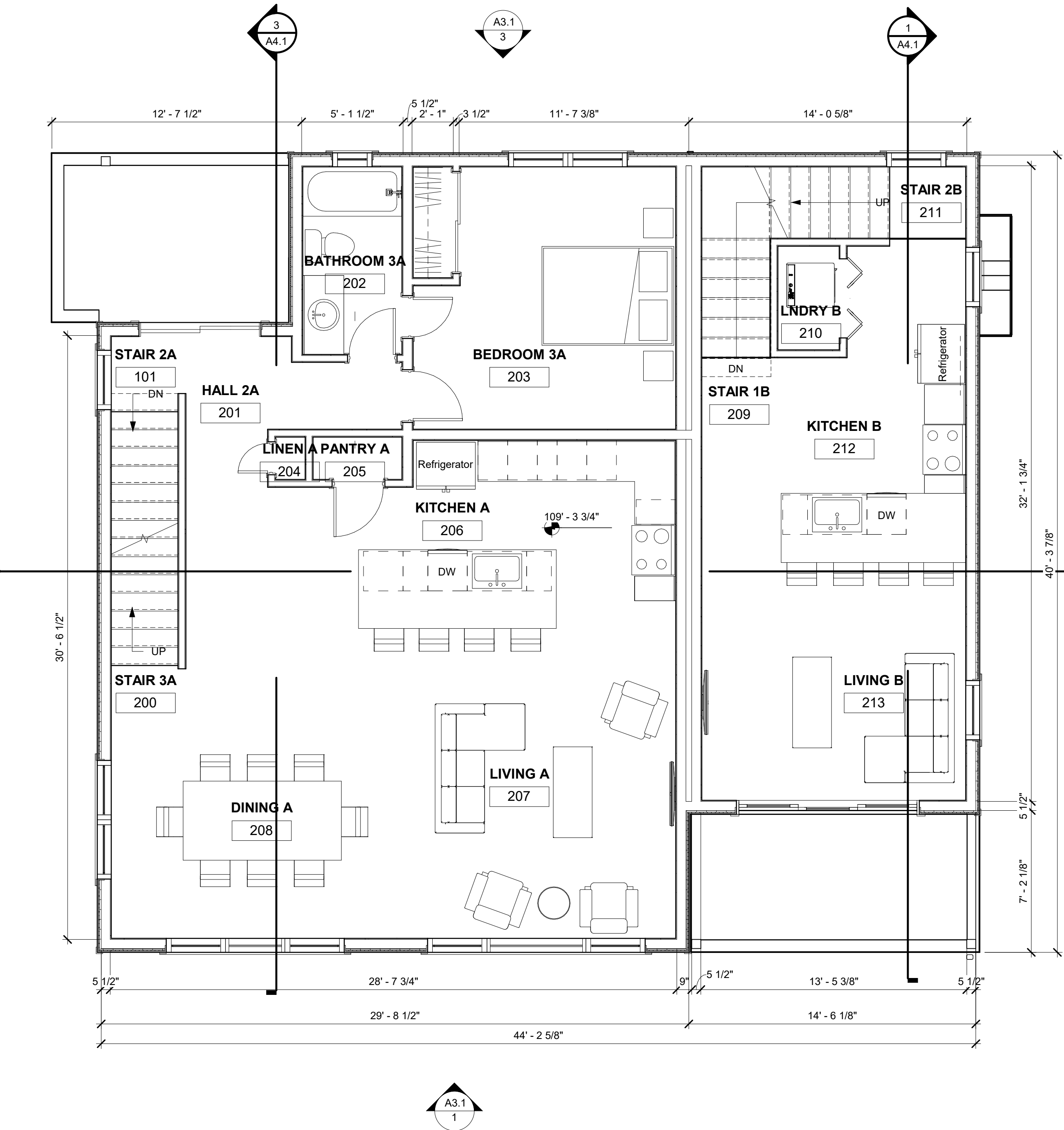
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A2.1



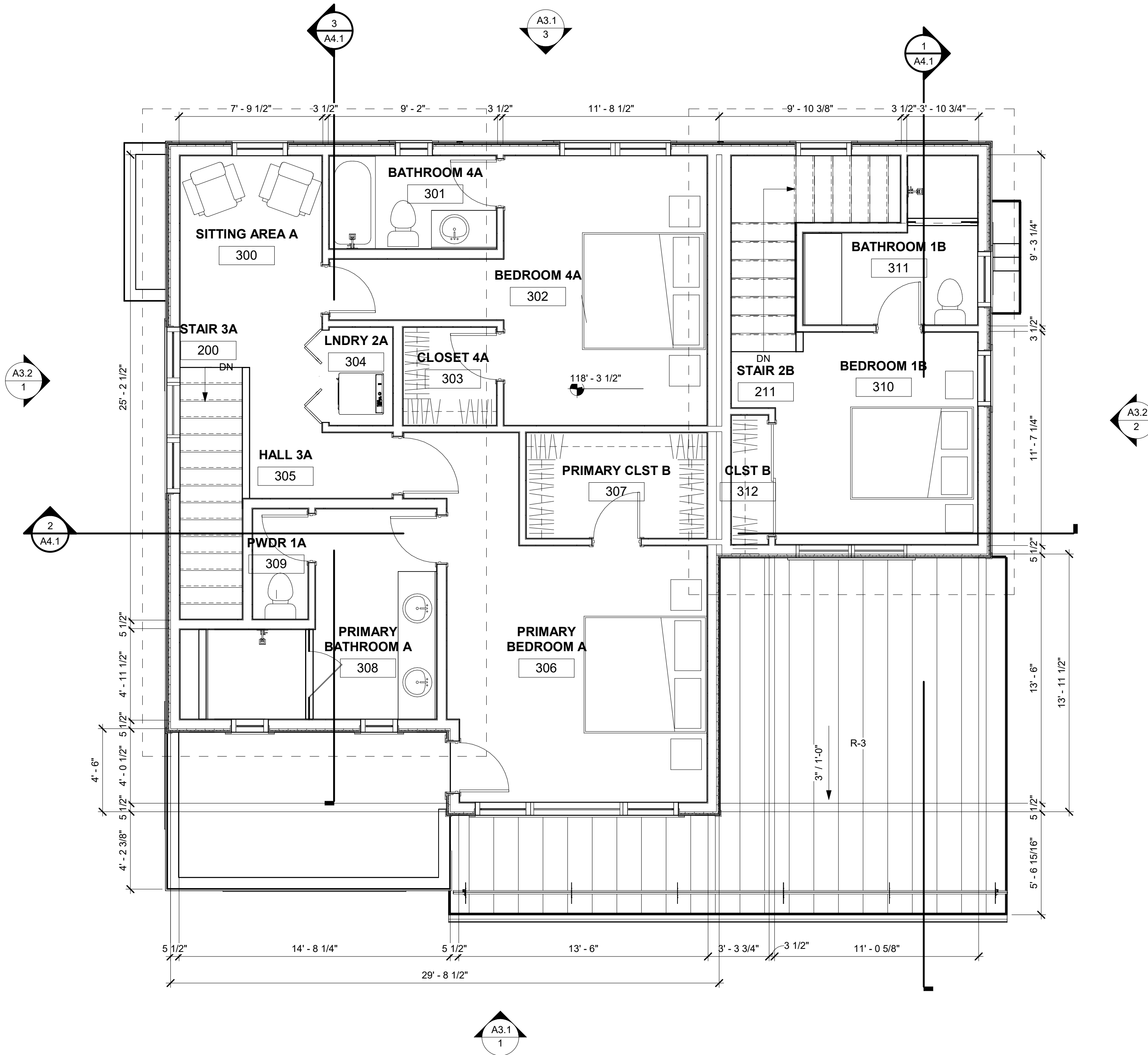
AREA SUMMARY		
PROPOSED CONDITIONED SQUARE FOOTAGE		
	UNIT A	UNIT B
BASEMENT LEVEL	738 SF	0 SF
GROUND LEVEL	271 SF	41 SF
MAIN LEVEL	1,031 SF	428 SF
UPPER LEVEL	932 SF	281 SF
TOTAL	2,972 SF	750 SF
PROPOSED UNCONDITIONED SQUARE FOOTAGE		
BASEMENT LEVEL	0	283 SF
GROUND LEVEL	553 SF	0 SF
MAIN LEVEL DECK	0	0
UPPER LEVEL	0	0
TOTAL	553 SF	283 SF
TOTAL COND & UNCOND	3,525 SF	1,033 SF



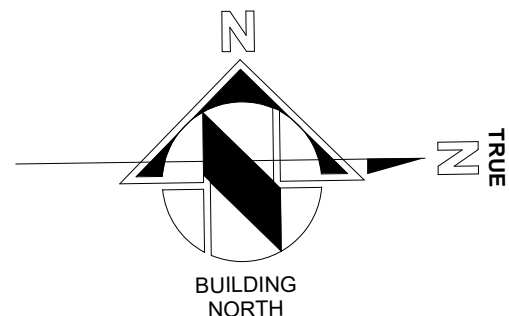
|



1 MAIN LEVEL
1/4" = 1'-0"



2 UPPER LEVEL
1/4" = 1'-0"



NOTES:

CLOSET NOTES:

1. SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE: 16" SHELF @ 7'-0" AFF, 16" SHELF & ROD @ 5'-6" AFF.
2. DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE: 16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-6" AFF.
3. SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
4. LINEN SHELVES: 6 SHELVES: WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
5. STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

GENERAL CLOSET NOTES:

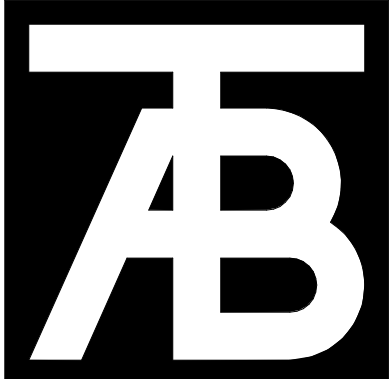
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2. CLEATS TO BE 1x2 CLEAR PINE.
3. PROVIDE ROD SUPPORTS @ 36" OC MAX.
4. ALL TO BE STAINED TO MATCH CASE & BASE.

FLOOR PLAN GENERAL NOTES:

1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
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11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.
12. "TB" NEW CORK TACKBOARDS OR "MB" NEW MARKERBOARDS
13. PROVIDE EXIT DOOR NUMBERS PER DOOR SIGNAGE SHEET AT ALL EXIT DOORS.

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
2. SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS
3. PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS. LOCATIONS INCLUDE BUT NOT LIMITED TO, TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
4. WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING ONES, NEW FINISH SURFACES MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES. INFILL OPENINGS IN EXISTING WALLS WITH MATERIAL TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
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6. EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED UPON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE ENCOUNTERED THAT DO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
7. VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES WITH THE ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
8. PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
9. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
10. ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.03
11. DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXXXX ON CIVIL DRAWINGS
12. ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
13. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.



TAB Associates
The Architectural Balance
0068 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
tel: (970) 766-1471
email: tab@vtab.net
www.tabassociates.com
Civil Engineer
Timberline Engineering
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Revisions:		
No	Description	Date

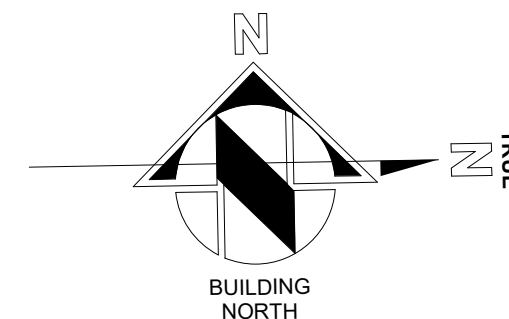
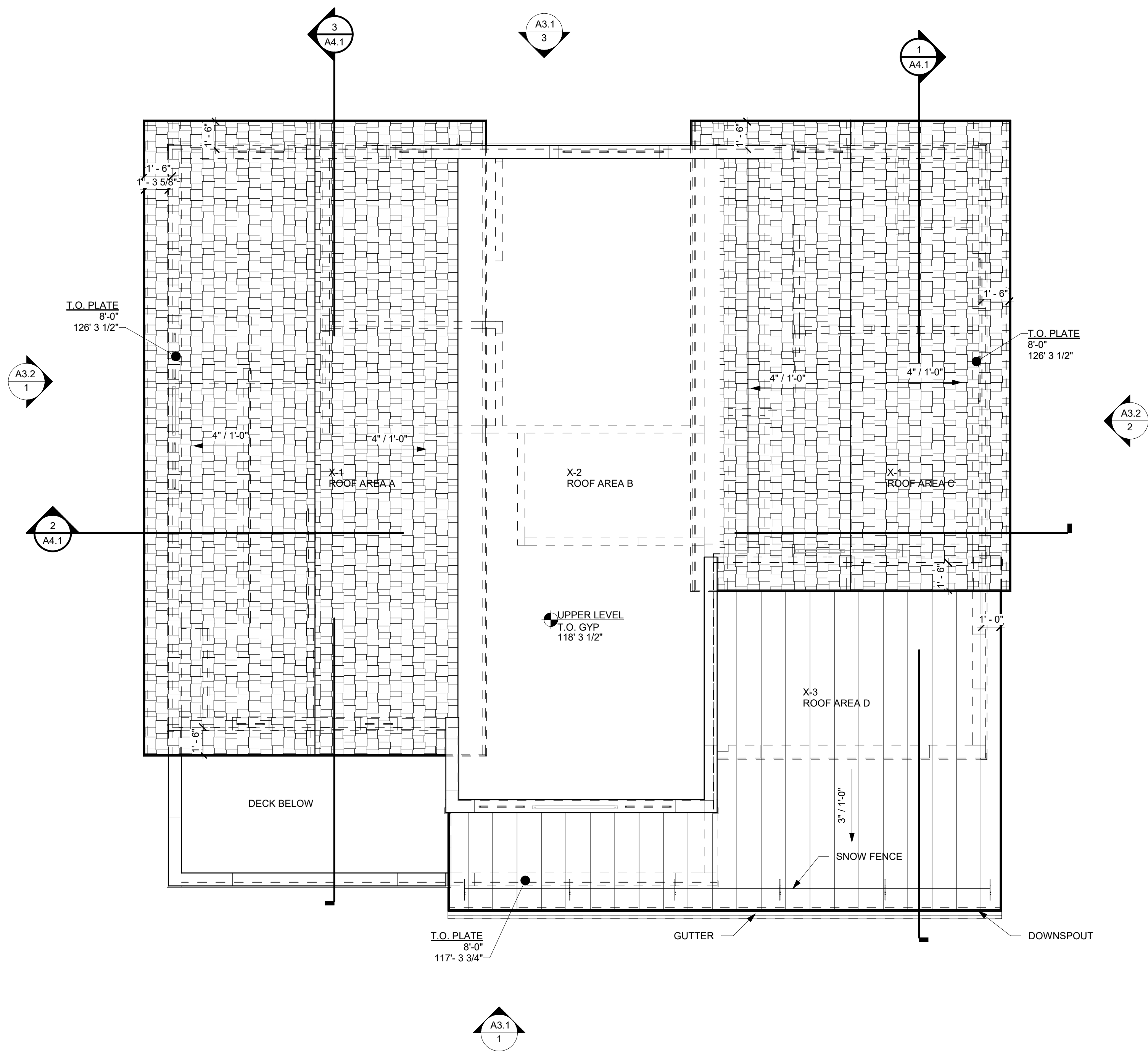
Issue Dates:
DRB-10/10/2024

Sheet Title:
Main & Upper Floor Plans

Project No:
2215

Sheet No:
A2.2

1 ROOF PLAN
A2.3 1/4" = 1'-0"



NOTES:

ROOF FINISH LEGEND

NOTES:

- HATCHED AREAS INDICATE OVERBUILT ROOF & CRICKETS, RE. STRUCTURAL
- ALL GUTTERS & DOWNSPOUTS TO RECEIVE HEAT TAPE FOR ENTIRE LENGTH, RE. DIAGRAM ON ELECTRICAL PLANS
- T.O. RIDGE ELEVATIONS GIVEN AT TOP OF ROOF SHEATHING
- CONTRACTOR TO VERIFY CHIMNEY DIMENSIONS WITH FIREPLACE MANUFACTURERS' REQUIREMENTS

R-1 TAMKO ASPHALT SHINGLES, HERITAGE PREMIUM, COLOR: NATURAL TIMBER

R-2 COIL COATED MTL STANDING SEAM ROOF SEE SYSTEM NOTES SHEET A0.1

COIL COATED MTL FLASHING, GUTTERS, AND DOWNSPOUTS

OVERHANGS ARE 2'-0" FROM FACE OF FRAMING TYP. U.N.O.

CHIMNEY CAP - 6" SANDSTONE CAP

ROOF BEAMS - ROUGH SAWN TIMBER

BEAMWORK LEGEND:

A > 4X10

B > 6X10

C > 6X12

D > 8X12

E > 10X14

F > 12X16

STICK RIDGE

T.O. WALL PLATE

FLOOR SPOT ELEV

TRUSS RIDGE

TRUSS BEARING

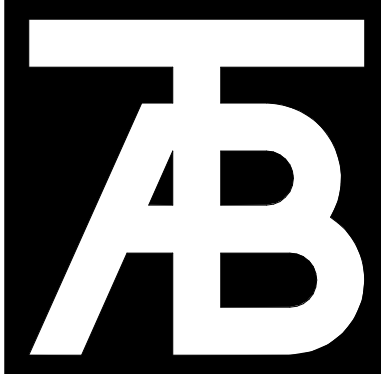
B.O. RIDGE +20'-2 5/8"
120'-2 5/8" (8359.22')
T.O. RIDGE 8360.68'

T.O. PLATE
+10'-0"
110'-0"

MAIN LEVEL
T.O. FLYWD/CONC/GYP
100'-0" (8466.5')

+20'-2 5/8"
120'-2 5/8"
T.O. RIDGE 8360.68'

T.O. PLATE
+10'-0"
110'-0"
+16" HEEL



TAB
Associates
The Architectural Balance

0056 Edwards Village Blvd.
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Edwards, CO 81632
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fax: (970) 766-1471
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Revisions:		
No	Description	Date

Issue Dates:
DRB-10/10/2024

Sheet Title:
Roof Plan

Project No:
2215

Sheet No:
A2.3

Roof Mark	Roof Area (SF)		Roof Area %		Avg Hgt (Ft)		Weighted Avg (Ft)	
A	597.00	/ by total	31.47	X	28.91	=	909.82	
B	577.00	/ by total	30.42	X	29.04	=	883.29	
C	353.00	/ by total	18.61	X	28.81	=	536.11	
D	370.00	/ by total	19.50	X	20.04	=	390.87	
	1897.00		100.00		106.80		2720.09	27.20
								27' 2 3/8"



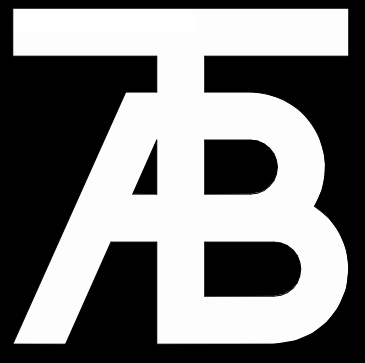
NOTES:

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE LAP SIDING
X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING
X-4 VERTICAL CORRUGATED METAL SIDING
R-1 ASPHALT SHINGLE ROOF
R-2 LOW SLOPE EPDM
R-3 STANDING SEAM METAL ROOF

EXTERIOR ELEVATION GENERAL NOTES:

- EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL LEGEND" FOR MATERIALS.
- REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
- REFER TO MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL WORK.
- ASSUME ALL PAINTED SURFACES WILL BE REPAINTED THIS INCLUDES BUT IS NOT LIMITED TO: DOORS, DOOR FRAMES, WINDOW FRAMES, AND HEADERS, CEILINGS, HANDRAILS, EXPOSED MECHANICAL, CMU ACCENTS, SOFFITS, STRUCTURAL BEAMS, AND ETC.
- PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
- PROVIDE ALLOWANCE TO REVIEW ALL EXPOSED ELECTRICAL CONDUIT TO DETERMINE FEASIBILITY TO REMOVE OR RELOCATE, INCLUDE IN ALLOWANCE LABOR AND MATERIALS TO REMOVE OR RELOCATE.
- SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT BUILDING.
- WHEN A PORTION OF A WALL IS PAINTED ASSUME THE ENTIRE WALL IS PAINTED TO INSIDE OR OUTSIDE CORNERS.
- DO NOT SCALE DRAWINGS.
- ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.



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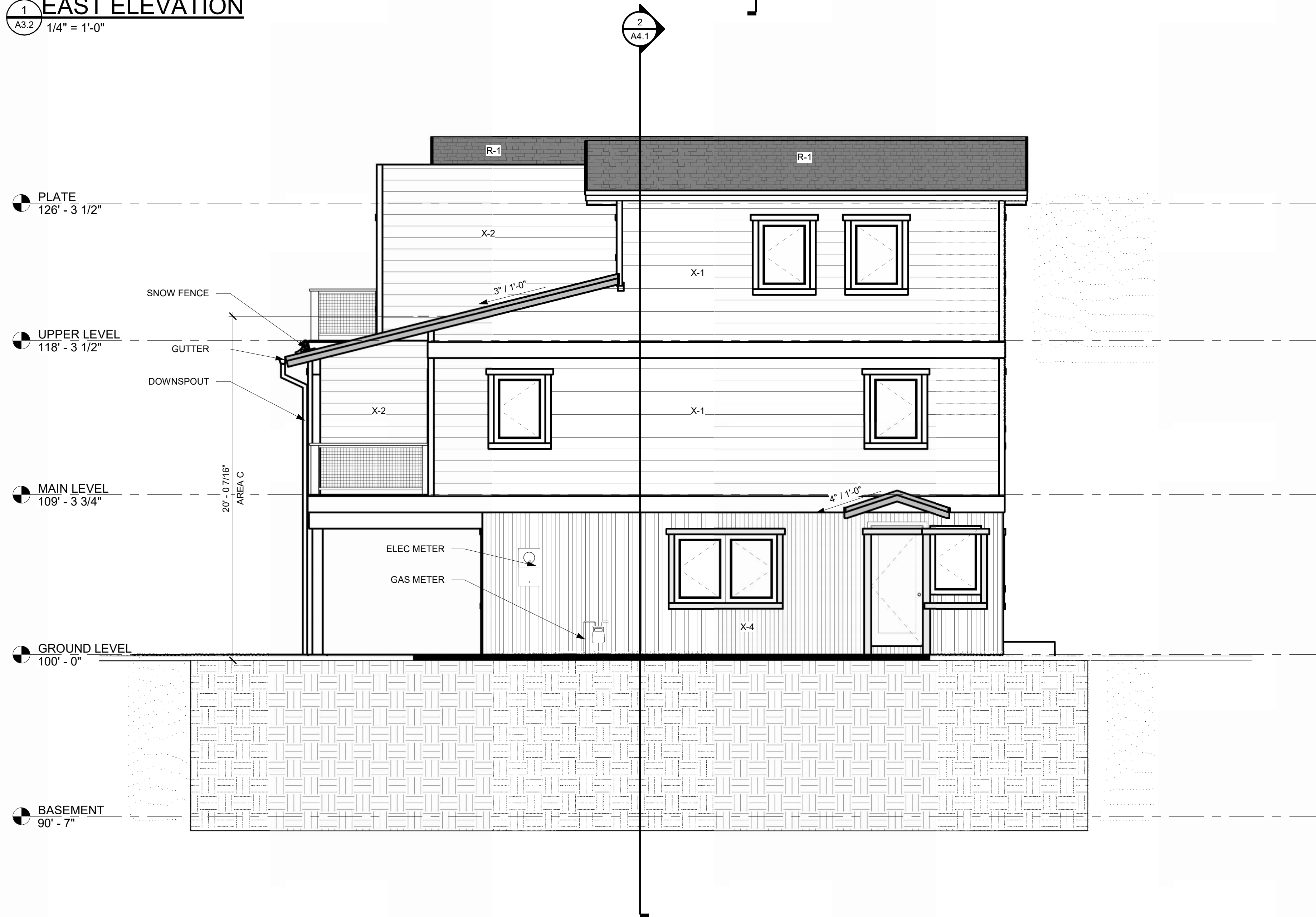
Sheet Title:
Exterior Elevations

Project No:
2215

Sheet No:
A3.1



1 EAST ELEVATION
A3.2 1/4" = 1'-0"



2 WEST ELEVATION
A3.2 1/4" = 1'-0"

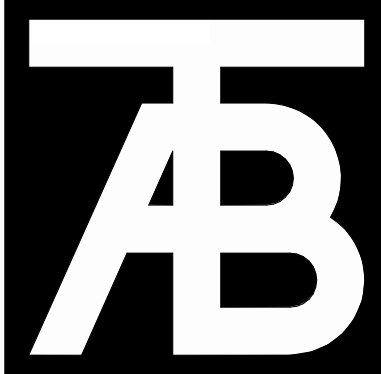
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R-1 ASPHALT SHINGLE ROOF
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R-3 STANDING SEAM METAL ROOF

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DRB-10/10/2024

Sheet Title:

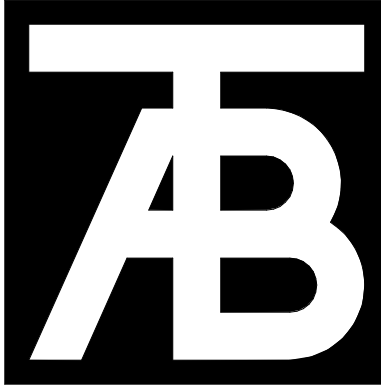
Exterior
Elevations

Project No:

2215

Sheet No:

A3.2



TAB
Associates
The Architectural Balance
0056 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
fax: (970) 766-1471
email: tab@tab.net
www.tabnet.com
Civil Engineer
Timberline Engineering
(970) 963-9669
Structural Engineer
KRM Consultants, Inc.
(970) 949-9391
Mechanical Engineer

Seal

Belden Place - Single Family w/ ADU
Lot 12 - 0019 Belden Way
Minturn, CO 81645

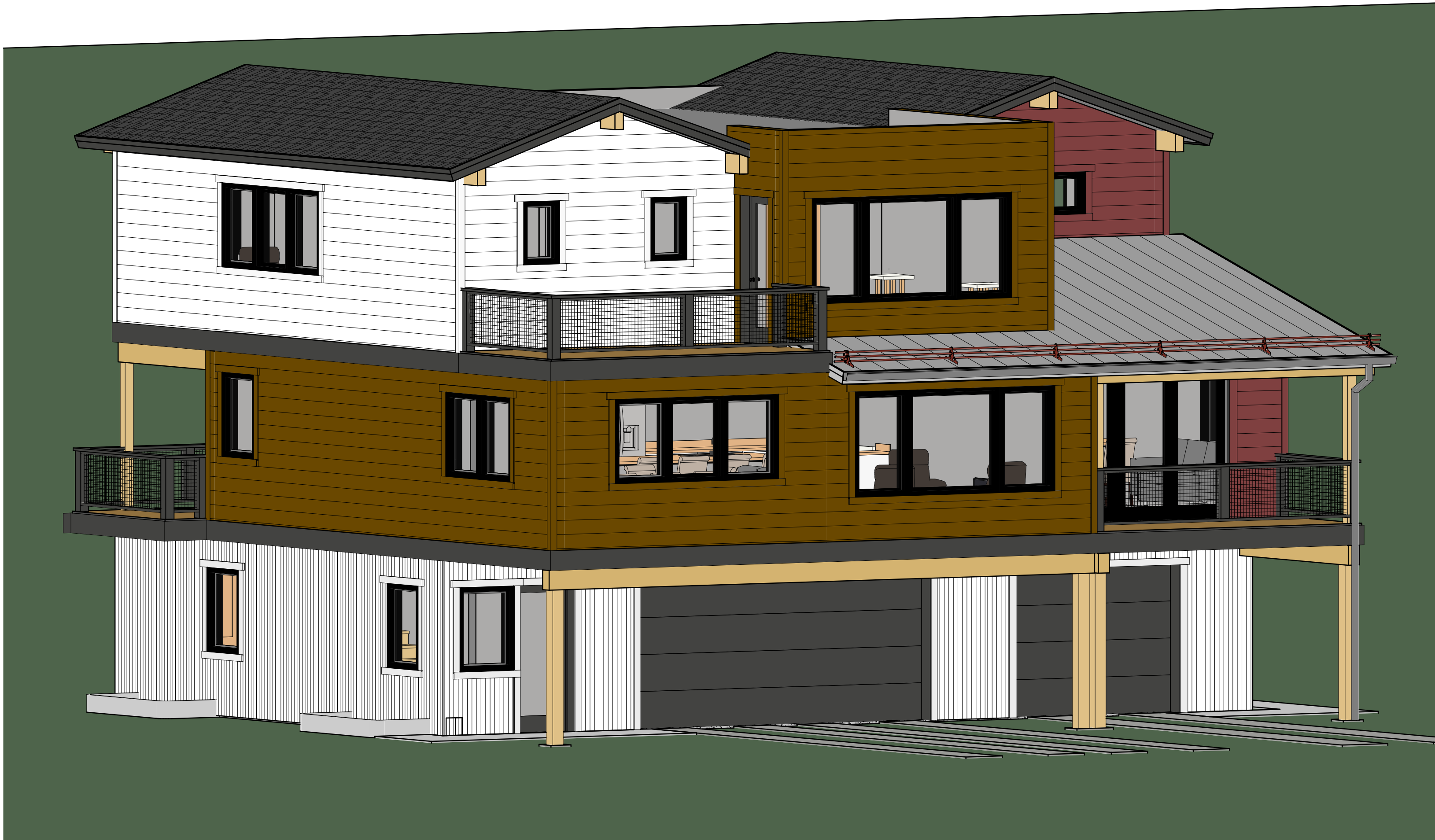
Revisions:		
No	Description	Date

Issue Dates:
DRB-10/10/2024

Sheet Title:
Renderings

Project No:
2215

Sheet No:
A3.3



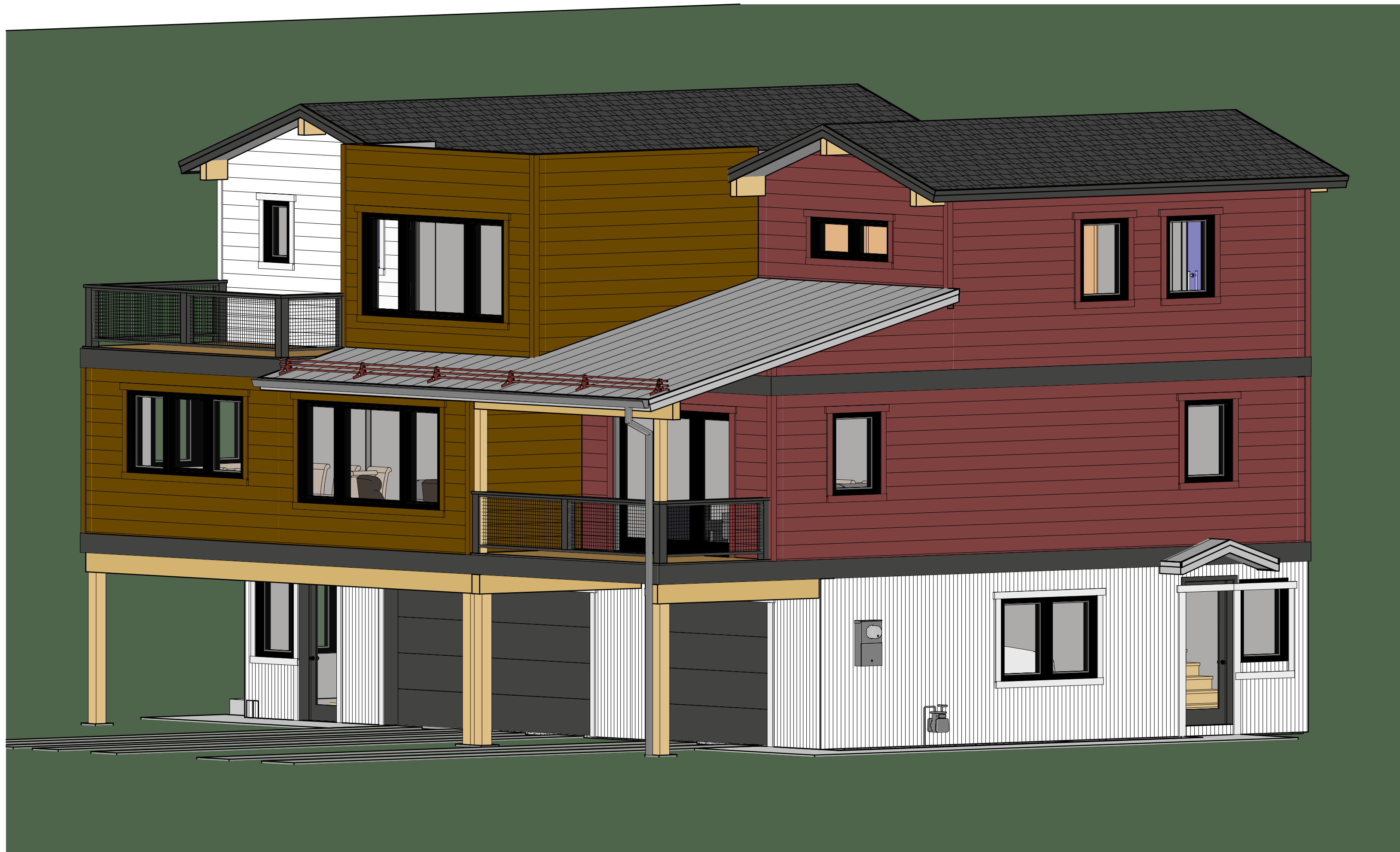
1 **SOUTHWEST CORNER**
A3.3



2 **NORTHEAST CORNER**
A3.3



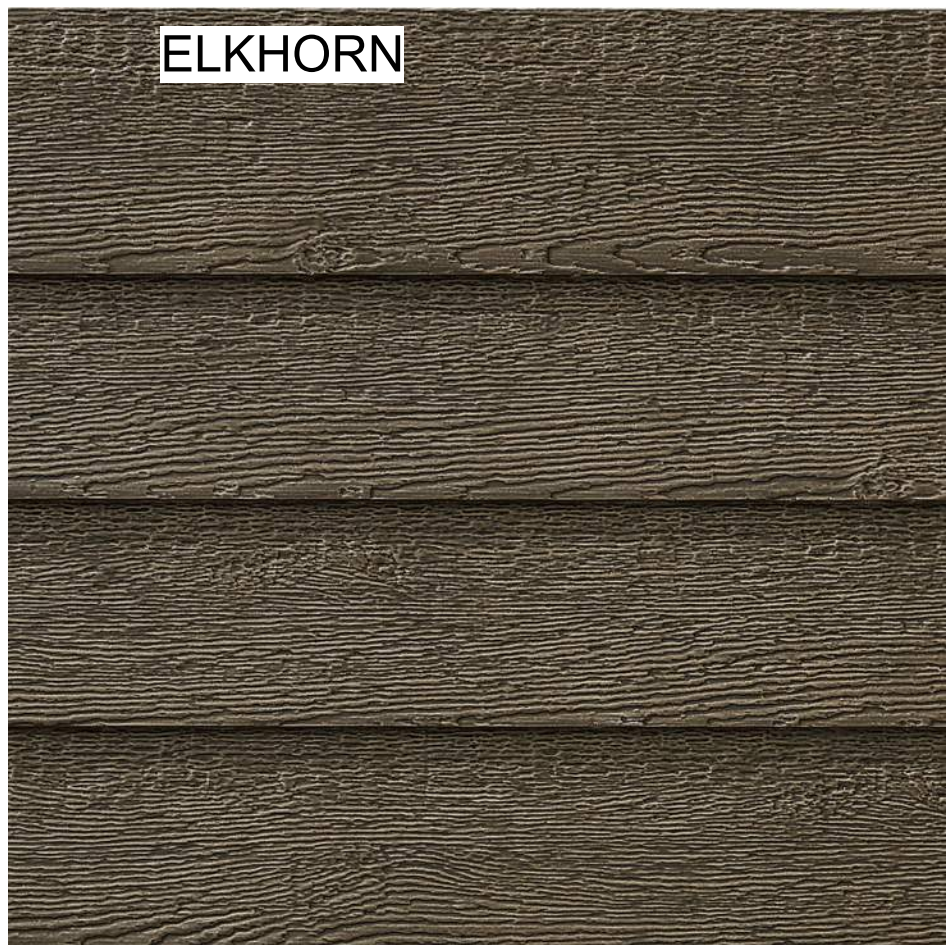
3 **NORTHWEST CORNER**
A3.3



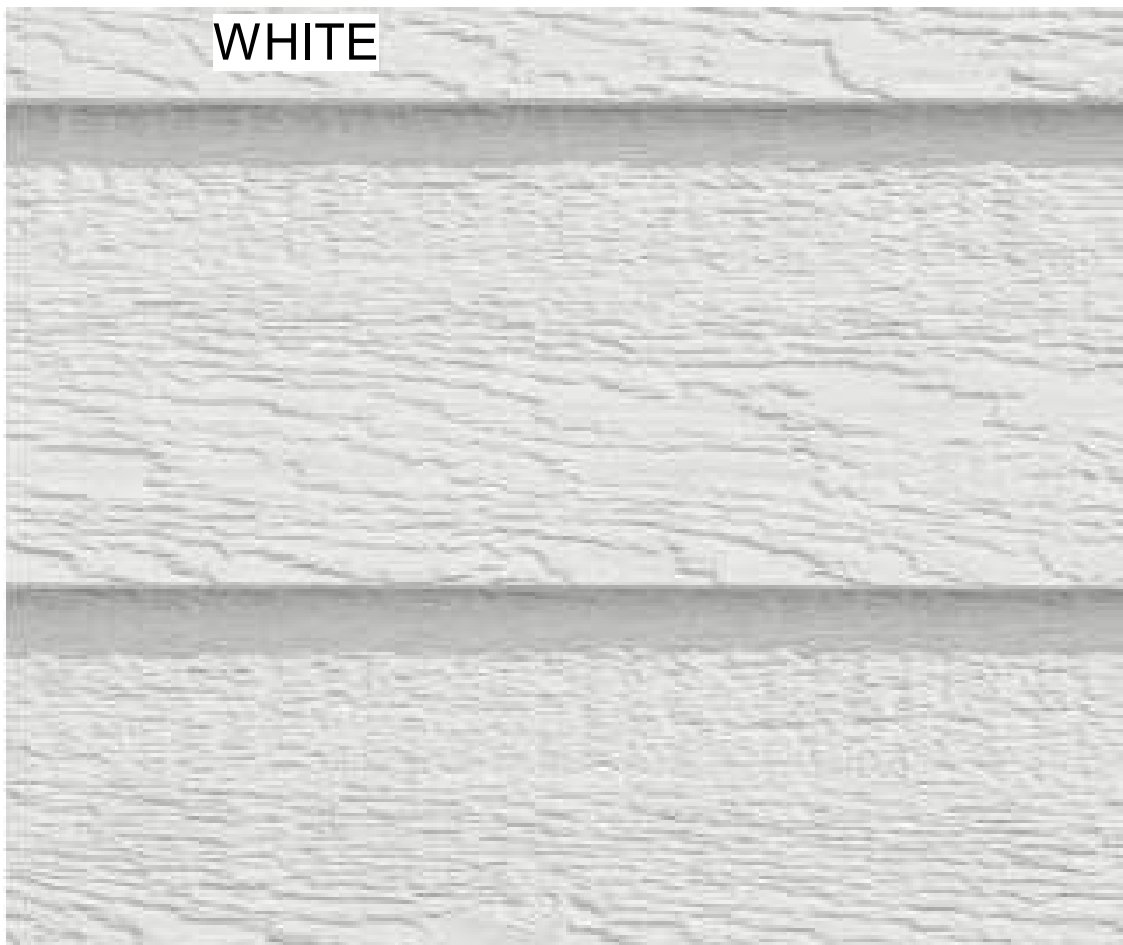
4 **SOUTHEAST CORNER**
A3.3



X-1 - LAP SIDING COLOR 1



X-2 - LAP SIDING COLOR 2



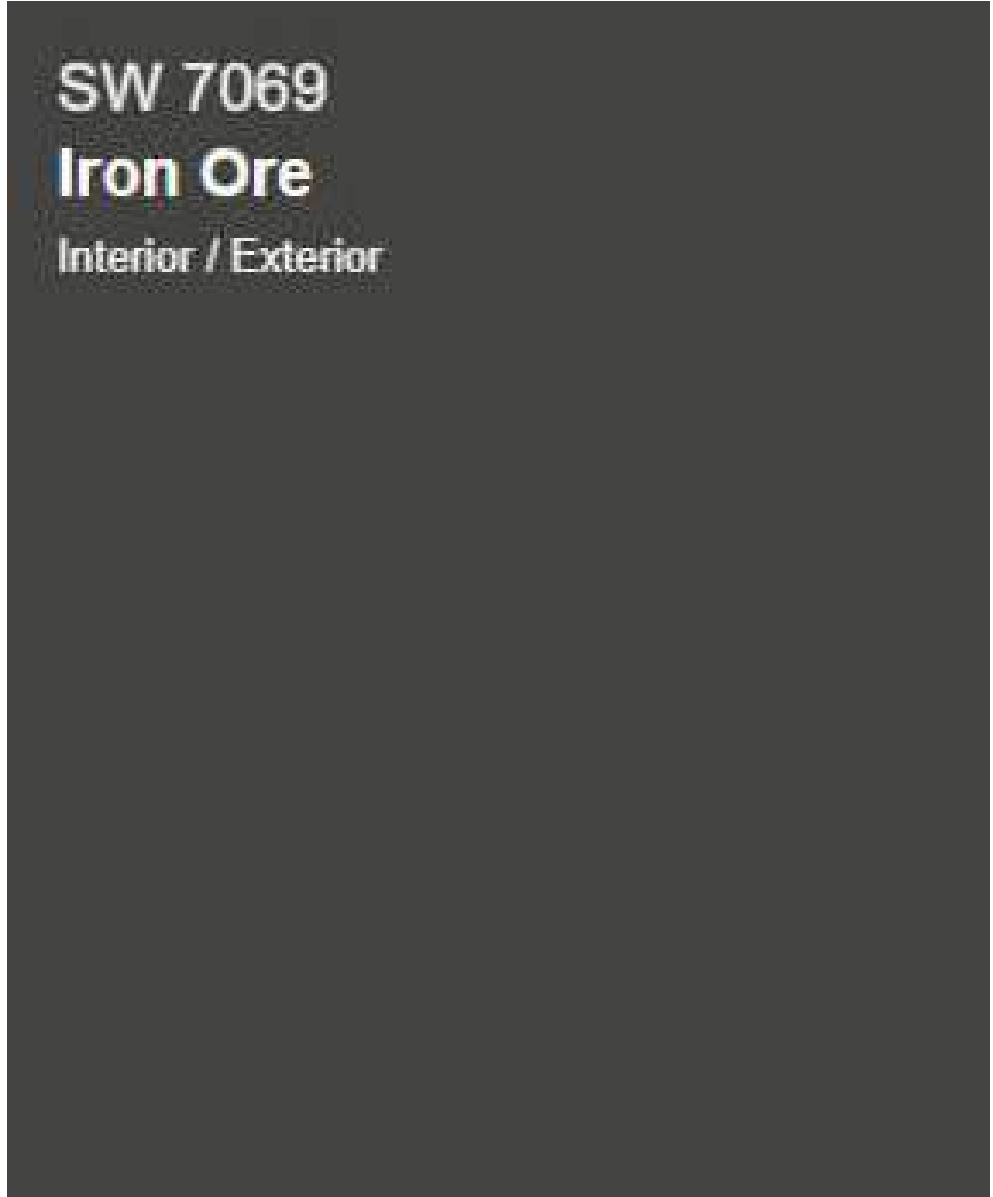
X-3 - LAP SIDING COLOR 2



X-4 VERTICAL CORRUGATED PANELS



X-6 STONE VENEER
SIMILAR TO GALLEGOS - #366
COURTLAND LOW RISE



PAINTED ITEMS:
SHERWIN WILLIAMS 7069 IRON ORE
TRIM, WOOD BEAMS, GUTTERS AND
OTHER METALS



GARAGE DOORS:
SIMILAR TO RAYNOR - ASPEN SERIES
RECESSED RANCH GROOVED PANELS
COLOR: WALNUT



R-1 ROOFING
SIMILAR TO GAF DEISGNER SHINGLES
WOODLAN 'CASTLEWOOD GRAY'


WINDOWS:
SIMILAR TO SIERRA PACIFIC "BLACK"
WOOD CLAD WINDOWS



R-3 ROOFING
SIMILAR OT WESTERN STATES
2" STANDING SEAM - 12" WIDTH
COLOR: GALVANIZED TO MATCH
CORRUGATED PANELS

GENERATION LIGHTING

8637401-12: Medium One Light Outdoor Wall Lantern



Dimensions:

Diameter: 12"

Width: 12"

Height: 10 5/8"

Weight: 1.5 lbs.

Extends: 17 1/8"

Extends Max: 23 1/8"

Wire: 6 1/2" (color/Black/White)

Mounting Proc.: Cap Nuts

Connection: Mounted To Box

Bulbs:

1 - Medium A19 75w Max. 120v - Not Included

Features:

- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JAG) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:

1 Body - Aluminum - Black

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990WS_37401-BRL)

Collection: Barn Light

Featured In the decorative Barn Light collection

1 A19 Medium 75 watt light bulb

Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.

Easily converts to LED with optional replacement lamps

Meets Title 24 energy efficiency standards

UPC #785652069352

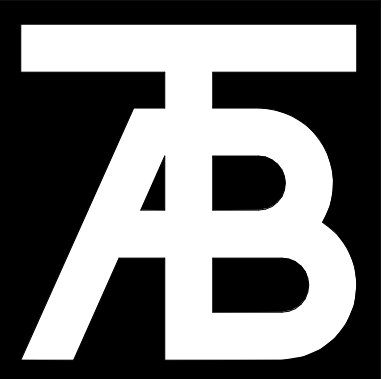
Finish: Black (12)

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	1 1/4	5	4 1/8	6 1/2		

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Pkt. Class	UPR Ship
Individual	8637401EN3-12	1	785652069352	16.75	14.58	13.25	1.873	4.1	250	Yes
NZ Pallet		48		48	40	77	85.556	186		No
NV Pallet		40		48	40	77	85.556	160		No



TAB
Associates
The Architectural Balance
0056 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
fax: (970) 766-1471
email: tab@vab.net
www.tabassociates.com
Civil Engineer
Timberline Engineering
(970) 963-9869
Structural Engineer
KRM Consultants, Inc.
(970) 949-9391
Mechanical Engineer
Electrical Engineer

Seal

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Minturn, CO 81645

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No	Description	Date

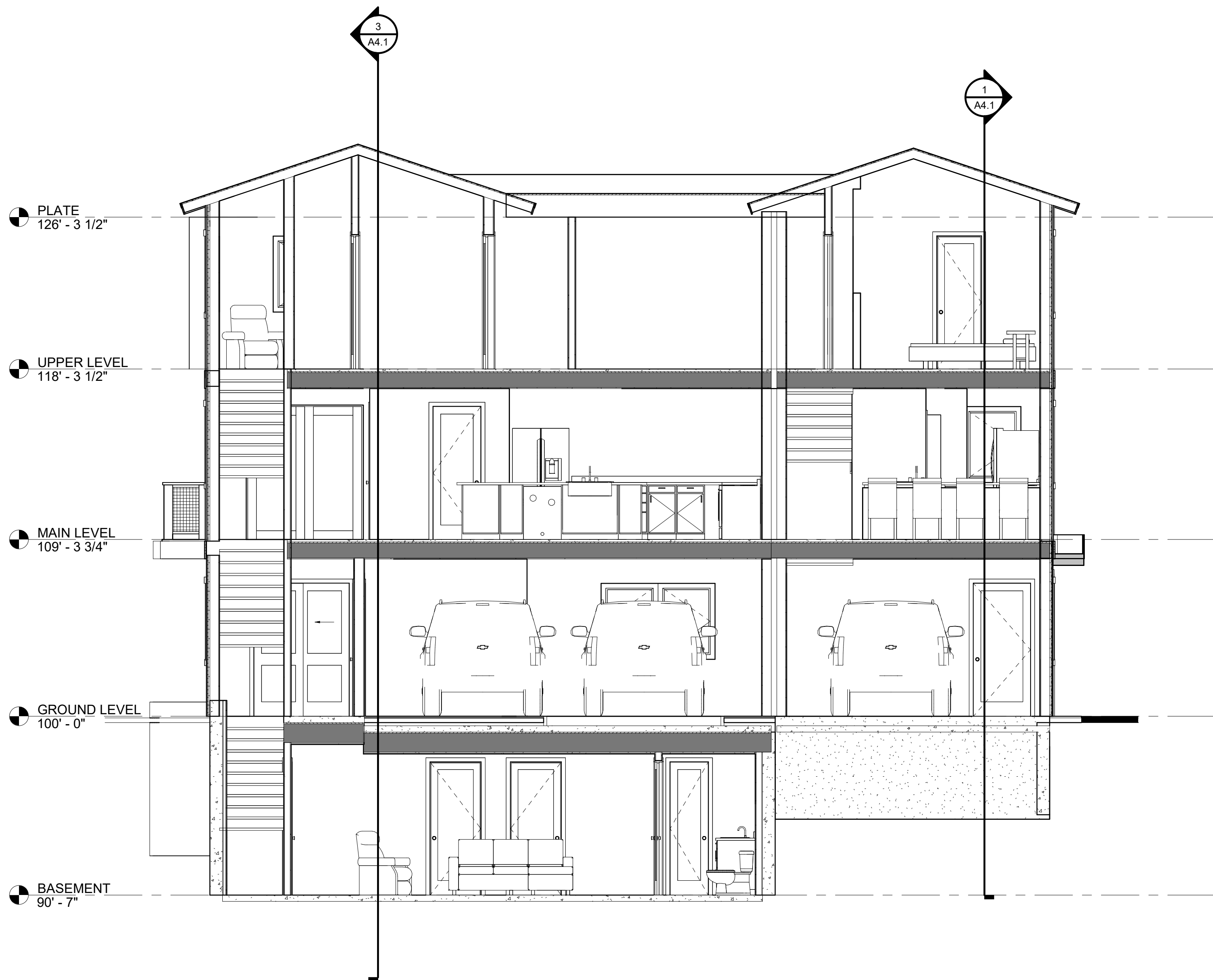
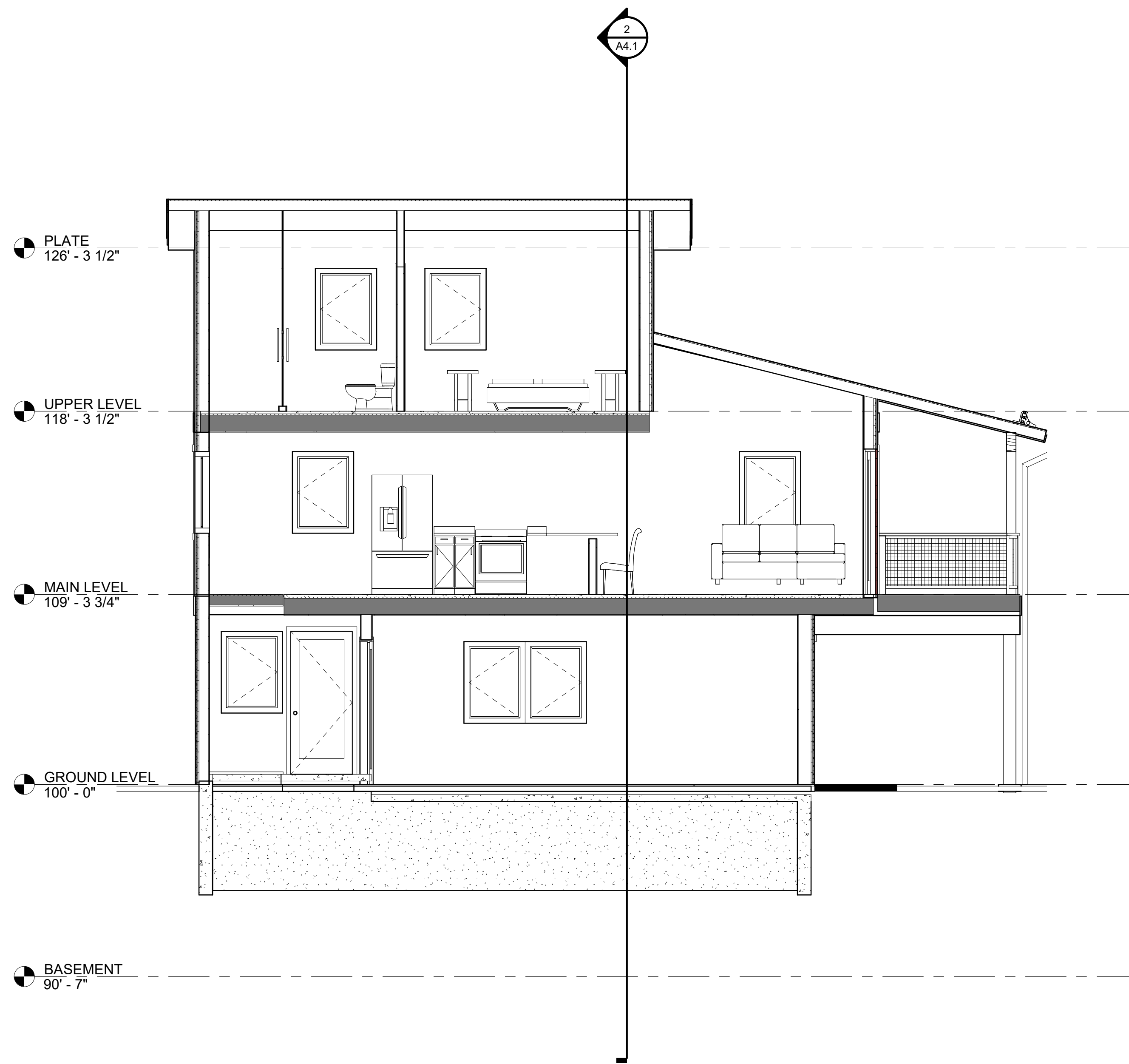
Issue Dates:
DRB-10/10/2024

Sheet Title:
Materials

Project No:
2215

Sheet No:

A3.4



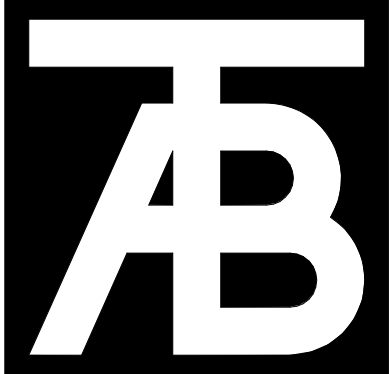
2 LONG BUILDING SECTION
1/4" = 1'-0"

3 SF BUILDING SECTION
1/4" = 1'-0"

NOTES:

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE LAP SIDING
- X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
- X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING
- X-4 VERTICAL CORRUGATED METAL SIDING
- R-1 ASPHALT SHINGLE ROOF
- R-2 LOW SLOPE EPDM
- R-3 STANDING SEAM METAL ROOF



TAB
Associates

The Architectural Balance
0056 Edwards Village Blvd.
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Edwards, CO 81632
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fax: (970) 766-1471
email: tab@tab.net
www.tabnet.com
Civil Engineer
Timberline Engineering
(970) 963-9669
Structural Engineer
KRM Consultants, Inc.
(970) 949-9391
Mechanical Engineer

Seal

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Minturn, CO 81645

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No	Description	Date

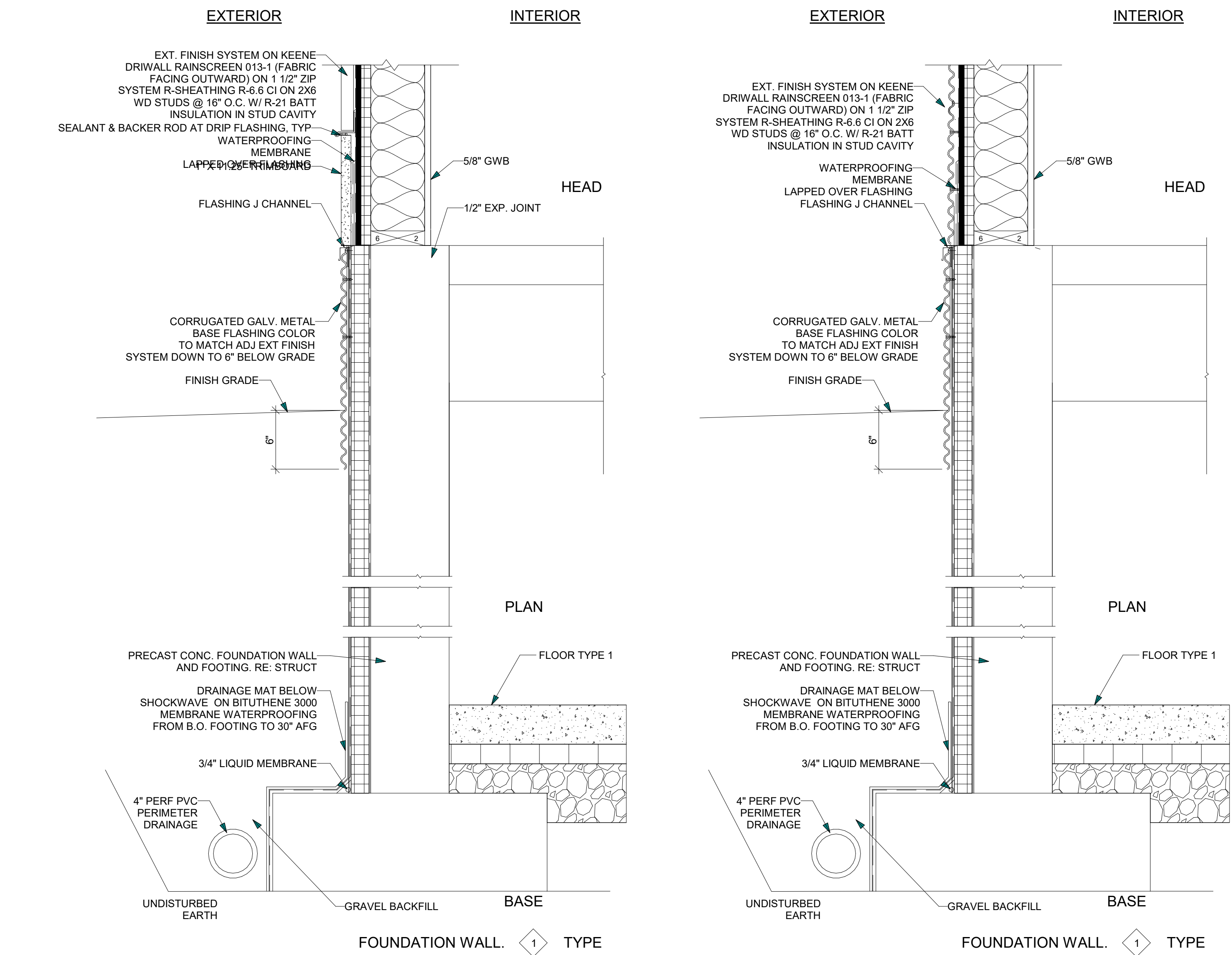
Issue Dates:
DRB-10/10/2024

Sheet Title:
Building
Sections

Project No:
2215

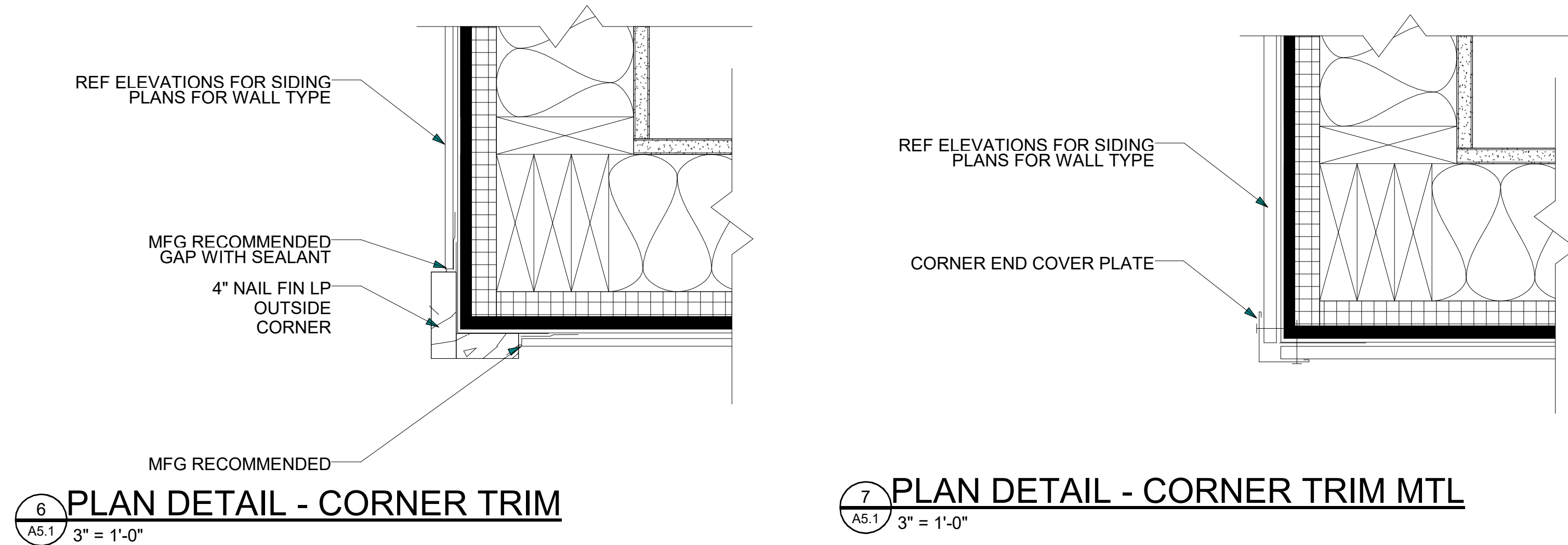
Sheet No:
A4.1

P:\2215 Belden Place Phase 201 Drawing Files\03 Schematic\Lot 12\2024 1008 - Lot 12.rvt 10/10/2024 11:19:57 AM



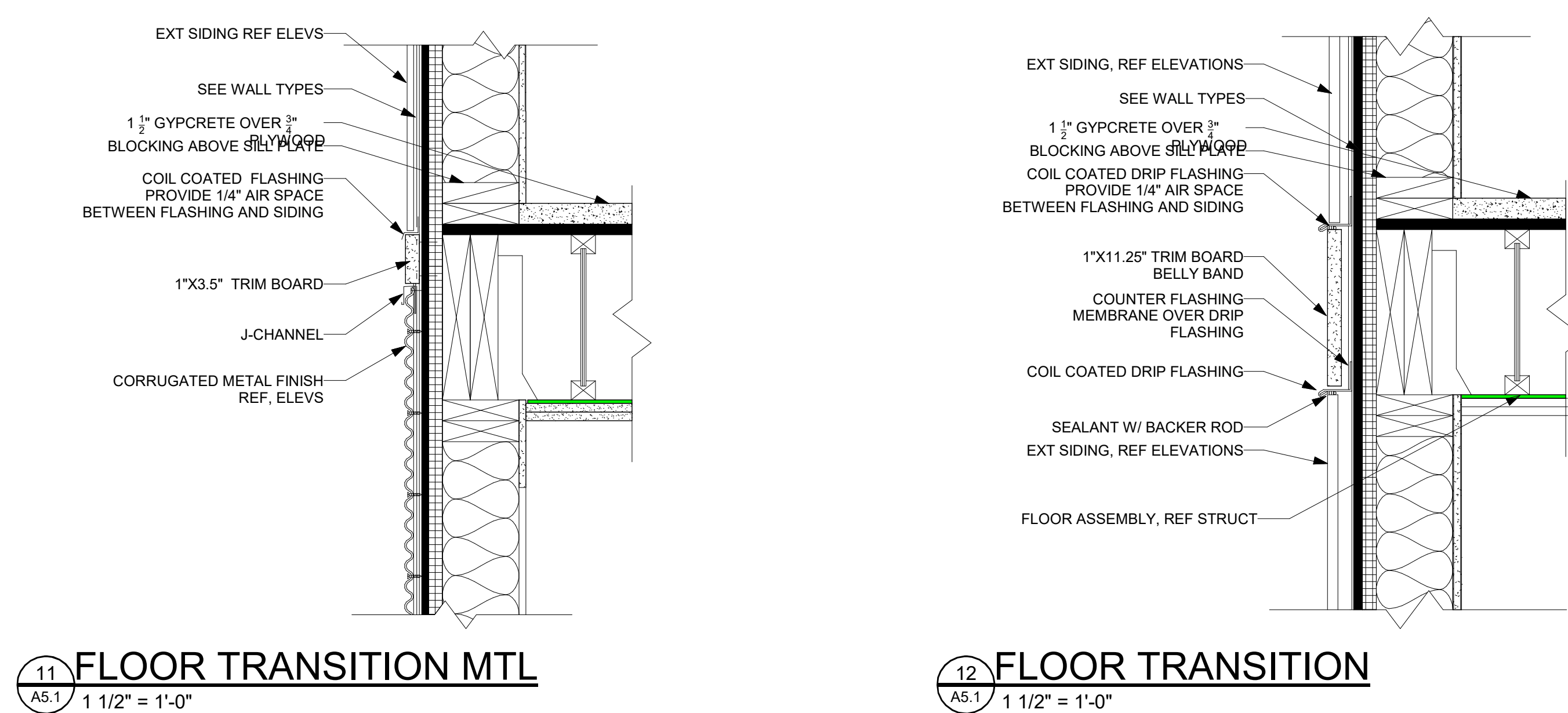
1 FOUNDATION DETAIL - CORRUGATED SIDING A5.1 1 1/2" = 1'-0"

2 FOUNDATION DETAIL - WOOD SIDING A5.1 1 1/2" = 1'-0"



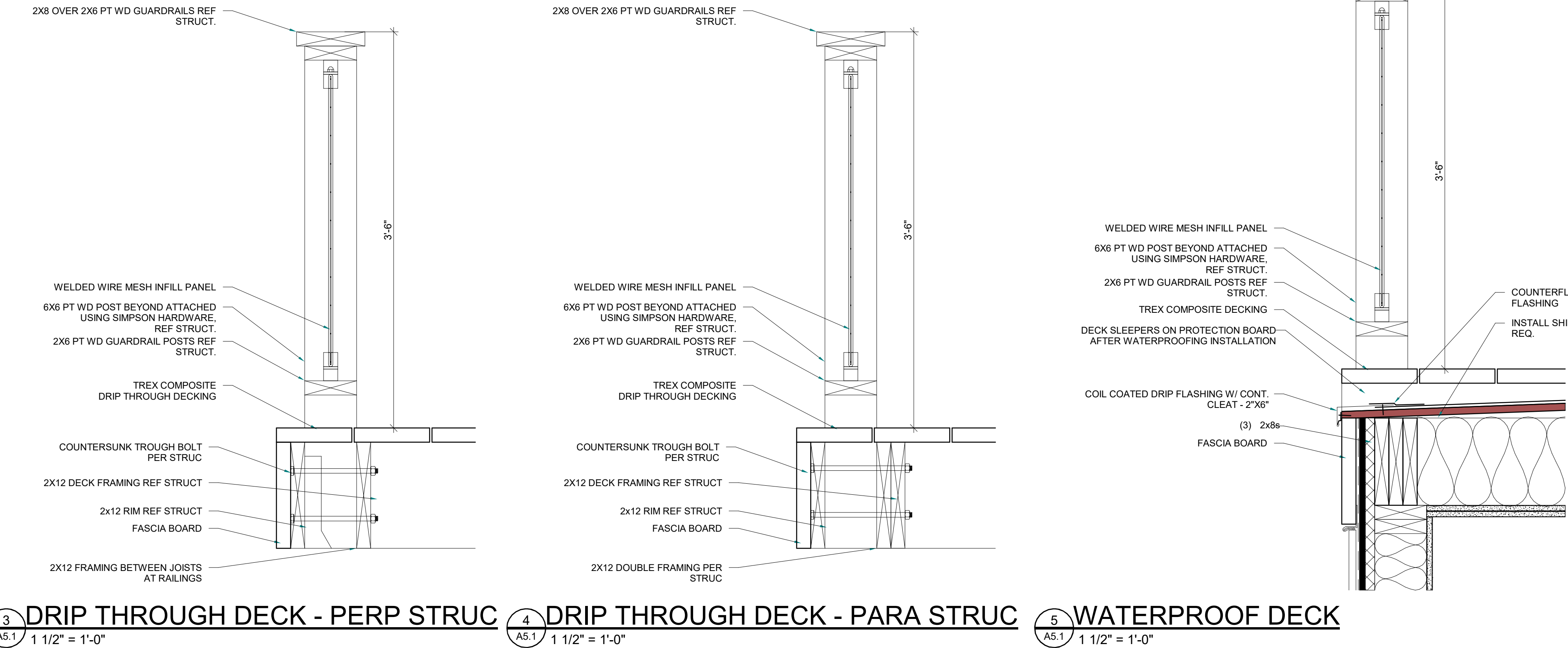
6 PLAN DETAIL - CORNER TRIM A5.1 3" = 1'-0"

7 PLAN DETAIL - CORNER TRIM MTL A5.1 3" = 1'-0"



11 FLOOR TRANSITION MTL A5.1 1 1/2" = 1'-0"

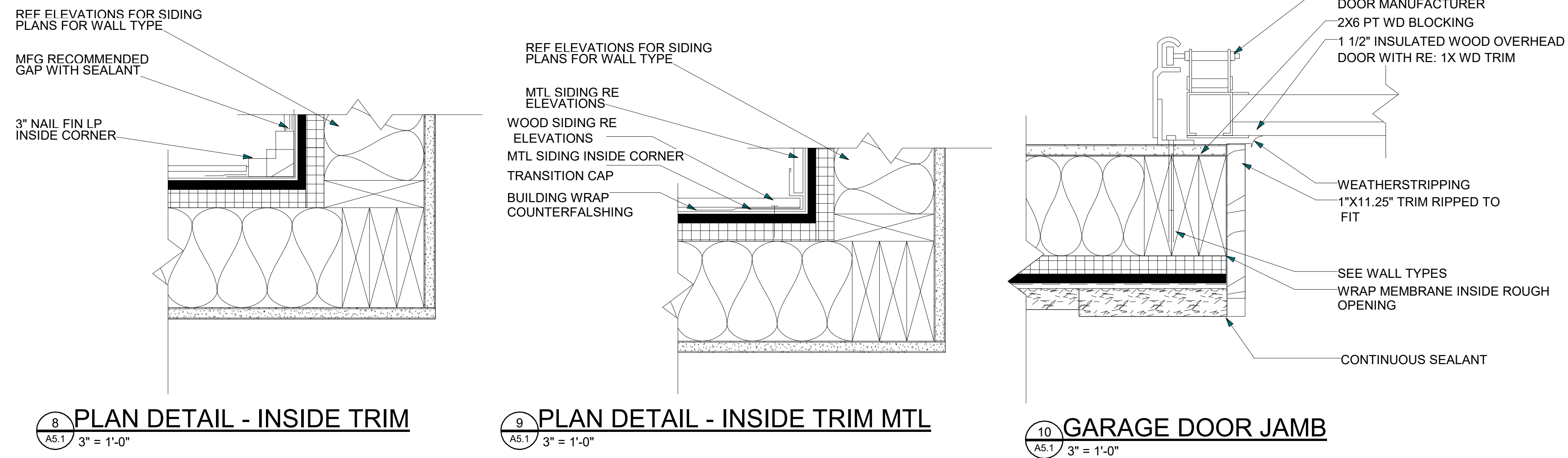
12 FLOOR TRANSITION A5.1 1 1/2" = 1'-0"



3 DRIP THROUGH DECK - PERP STRUC A5.1 1 1/2" = 1'-0"

4 DRIP THROUGH DECK - PARA STRUC A5.1 1 1/2" = 1'-0"

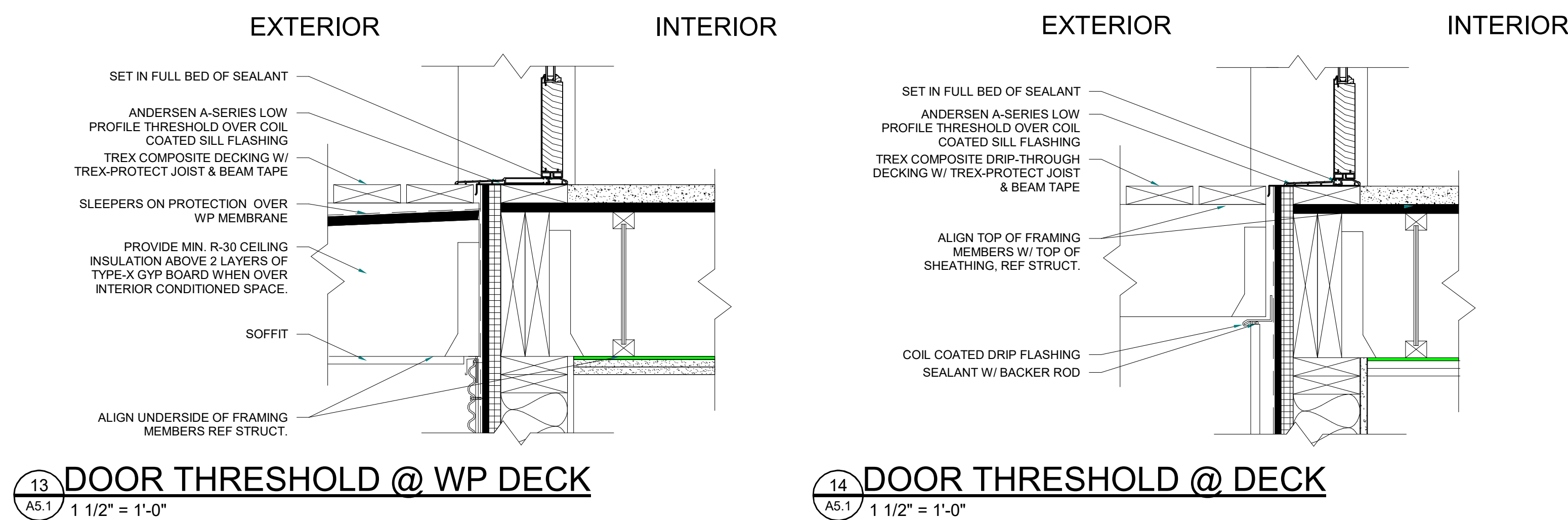
5 WATERPROOF DECK A5.1 1 1/2" = 1'-0"



8 PLAN DETAIL - INSIDE TRIM A5.1 3" = 1'-0"

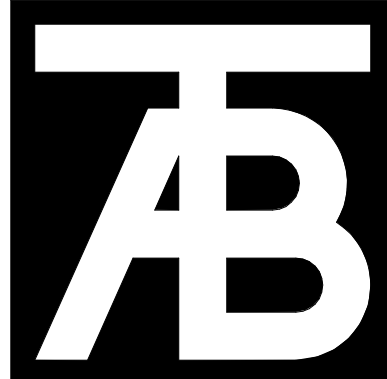
9 PLAN DETAIL - INSIDE TRIM MTL A5.1 3" = 1'-0"

10 GARAGE DOOR JAMB A5.1 3" = 1'-0"



13 DOOR THRESHOLD @ WP DECK A5.1 1 1/2" = 1'-0"

14 DOOR THRESHOLD @ DECK A5.1 1 1/2" = 1'-0"



TAB Associates
The Architectural Balance
0068 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
fax: (970) 766-4471
email: tab@tab.net
www.tabnet.com
Civil Engineer
Timberline Engineering
(970) 963-9869
Structural Engineer
KRM Consultants, Inc.
(970) 949-9391
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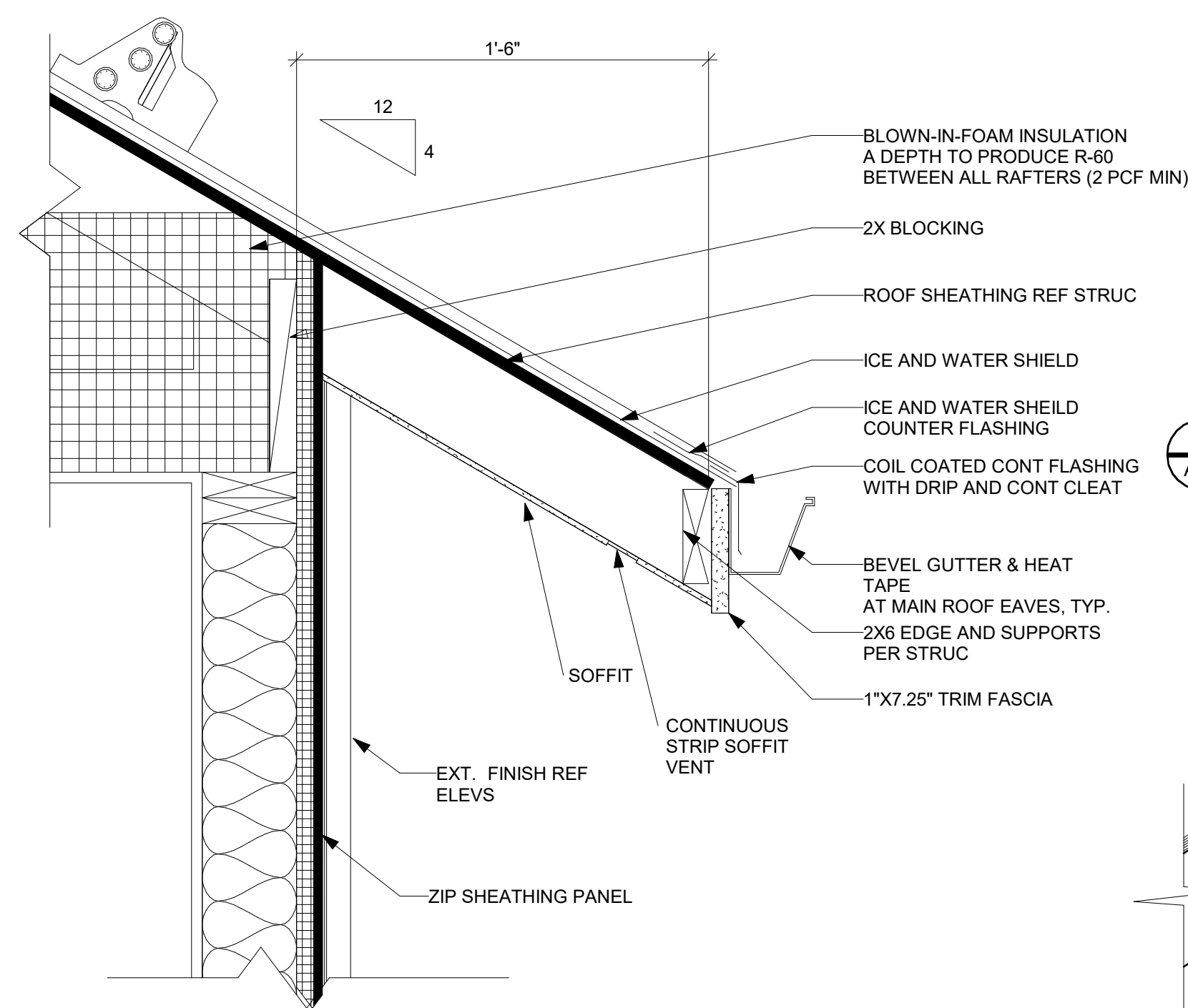
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No	Description	Date

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DRB-10/10/2024

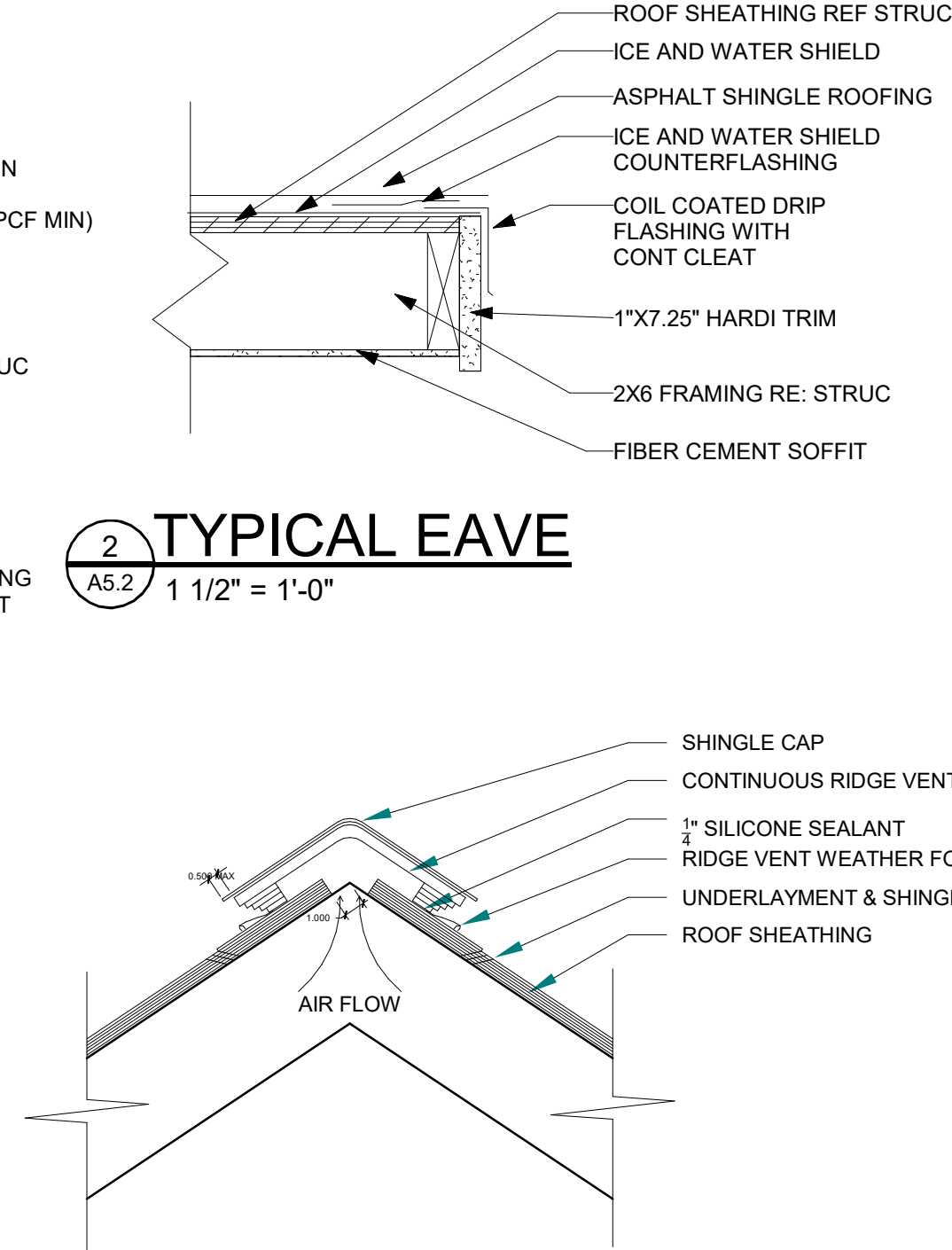
Sheet Title:
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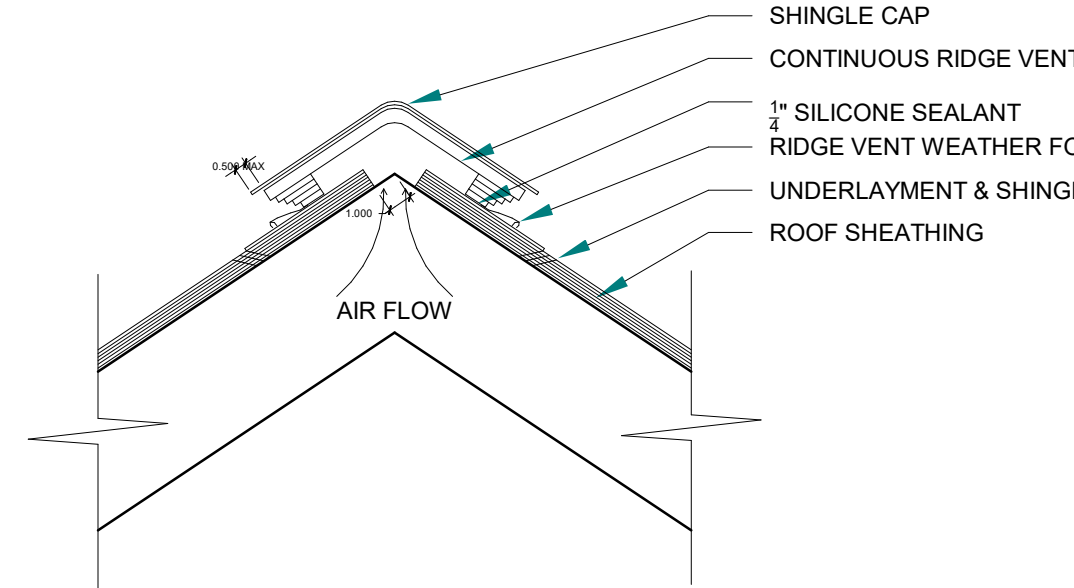
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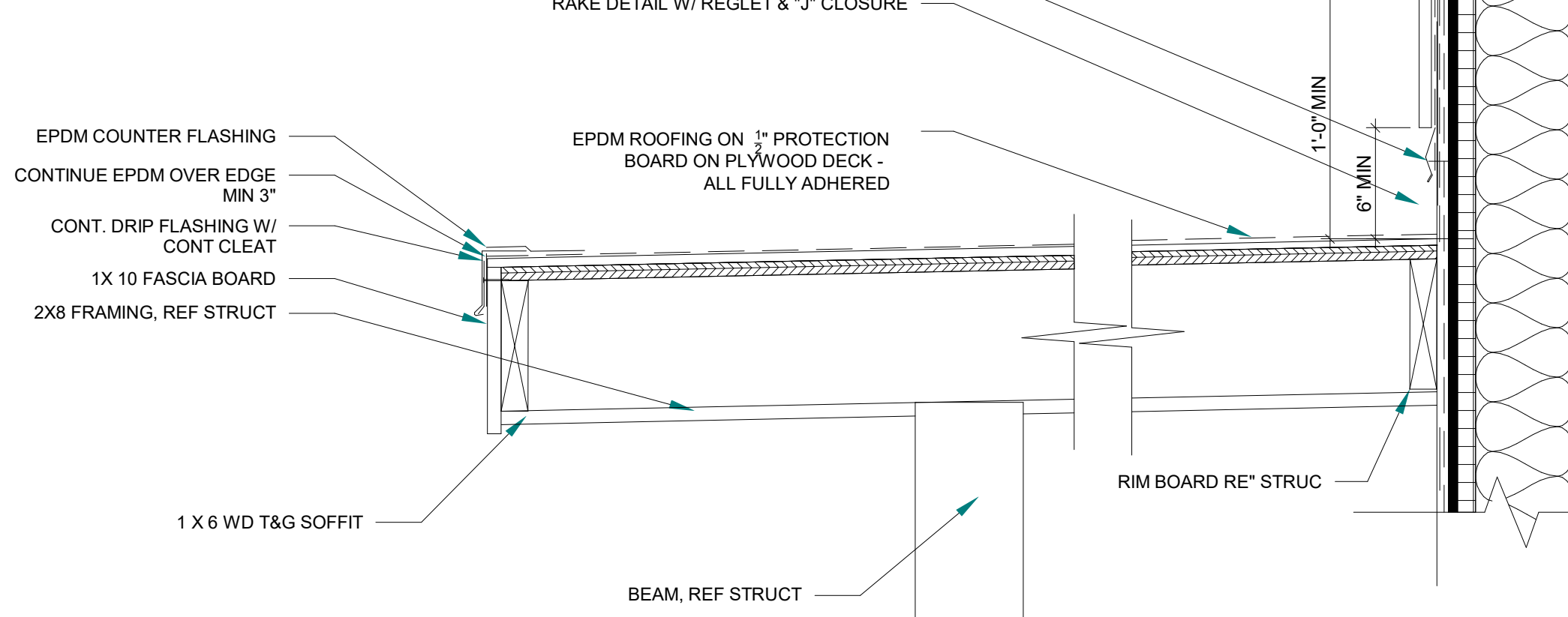
1 FASCIA AT TRUSS
A5.2 1 1/2" = 1'-0"



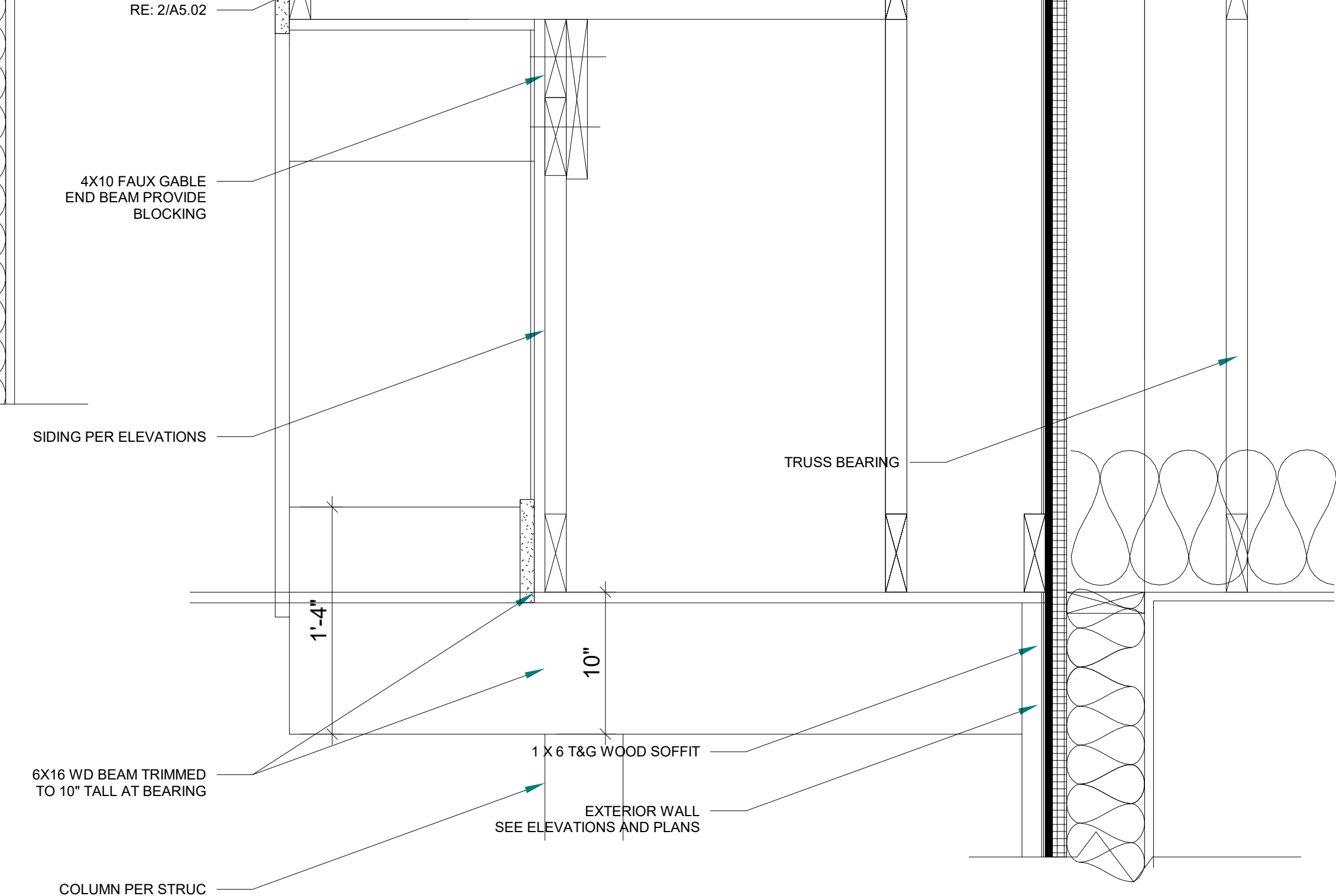
2 TYPICAL EAVE
A5.2 1 1/2" = 1'-0"



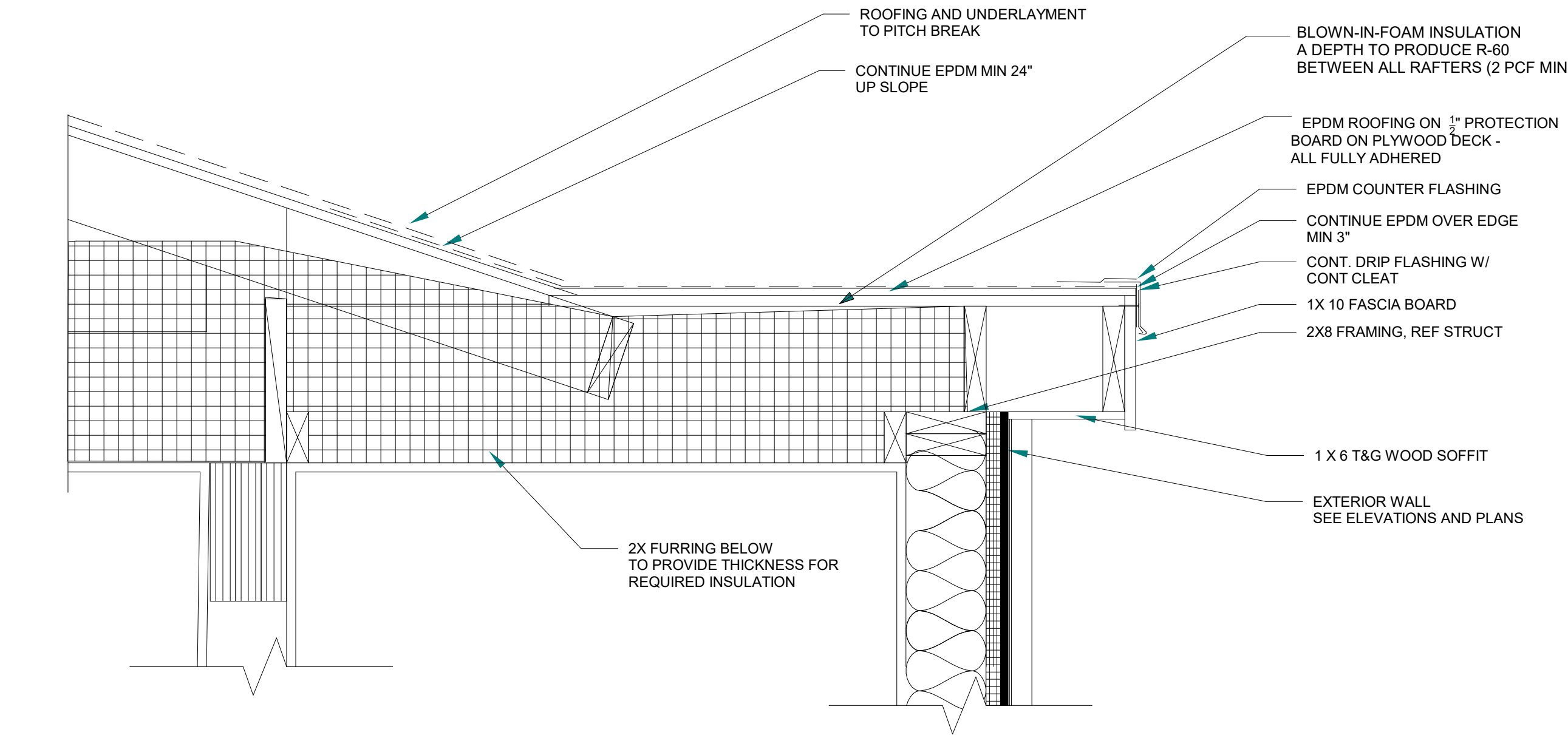
3 TYPICAL RIDGE
A5.2 1 1/2" = 1'-0"



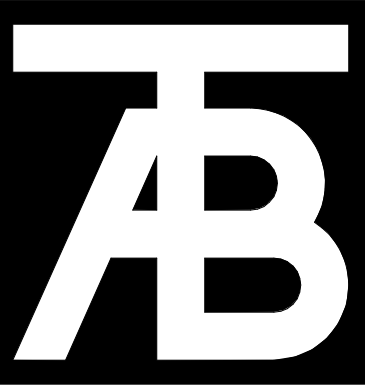
4 COVERED WALKWAY
A5.2 1 1/2" = 1'-0"



5 GABLE END DETAIL
A5.2 1 1/2" = 1'-0"



6 STAIR ROOF - LOW SLOPE TRANSITION
A5.2 1 1/2" = 1'-0"



TAB Associates
The Architectural Balance
0068 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
fax: (970) 766-1471
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www.tabnet.com
Civil Engineer
Timberline Engineering
(970) 963-9869
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KRM Consultants, Inc.
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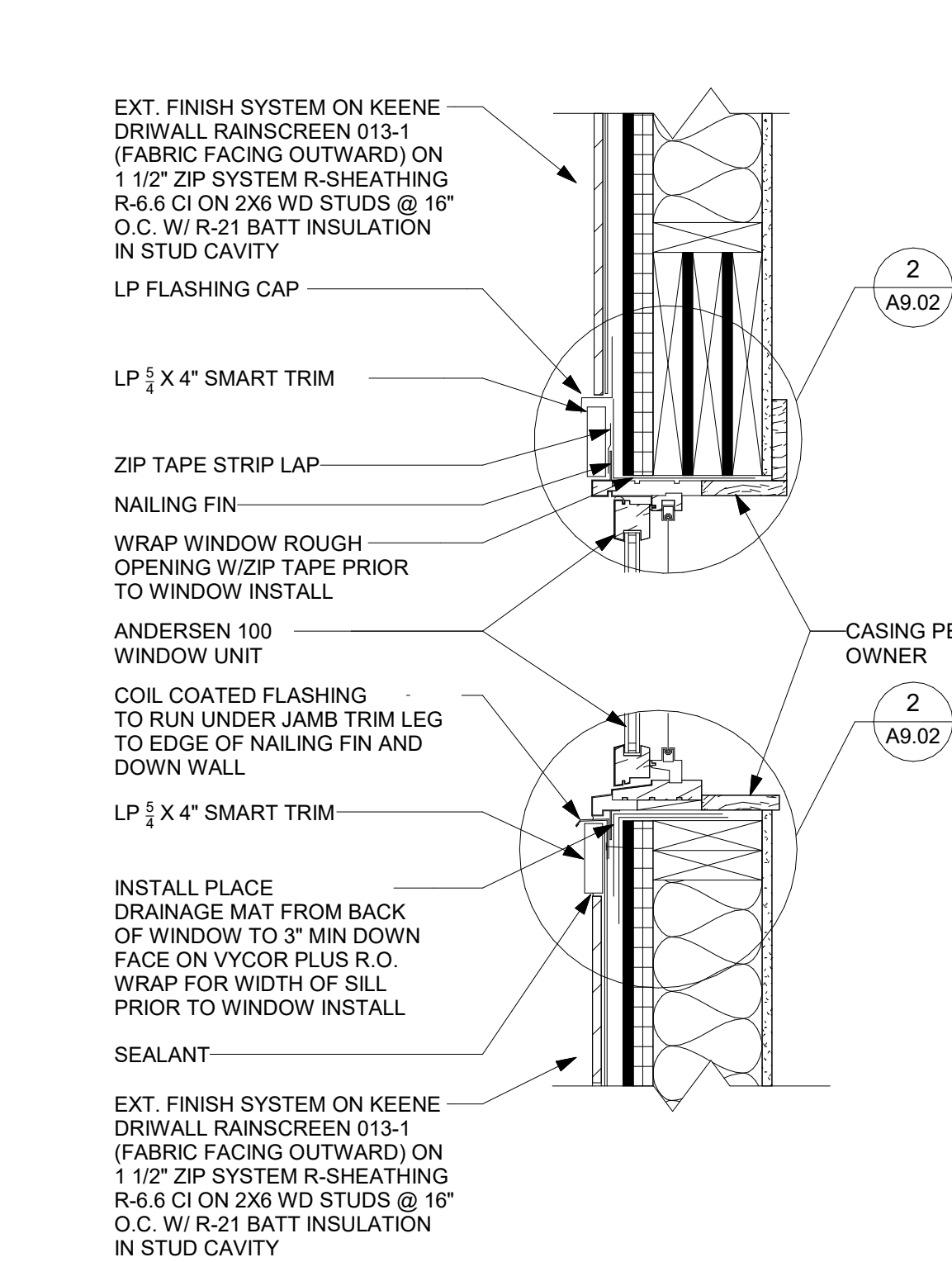
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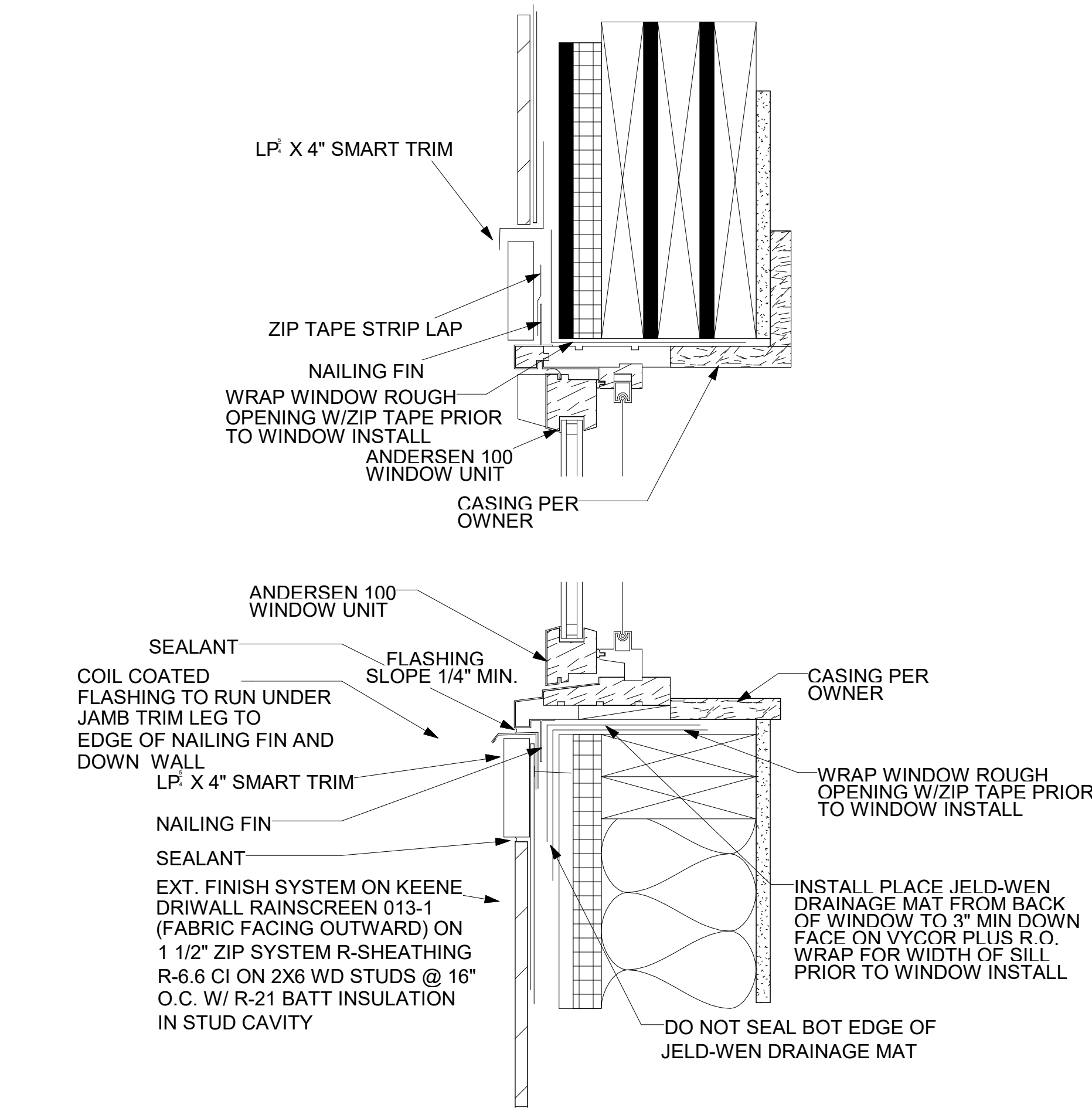
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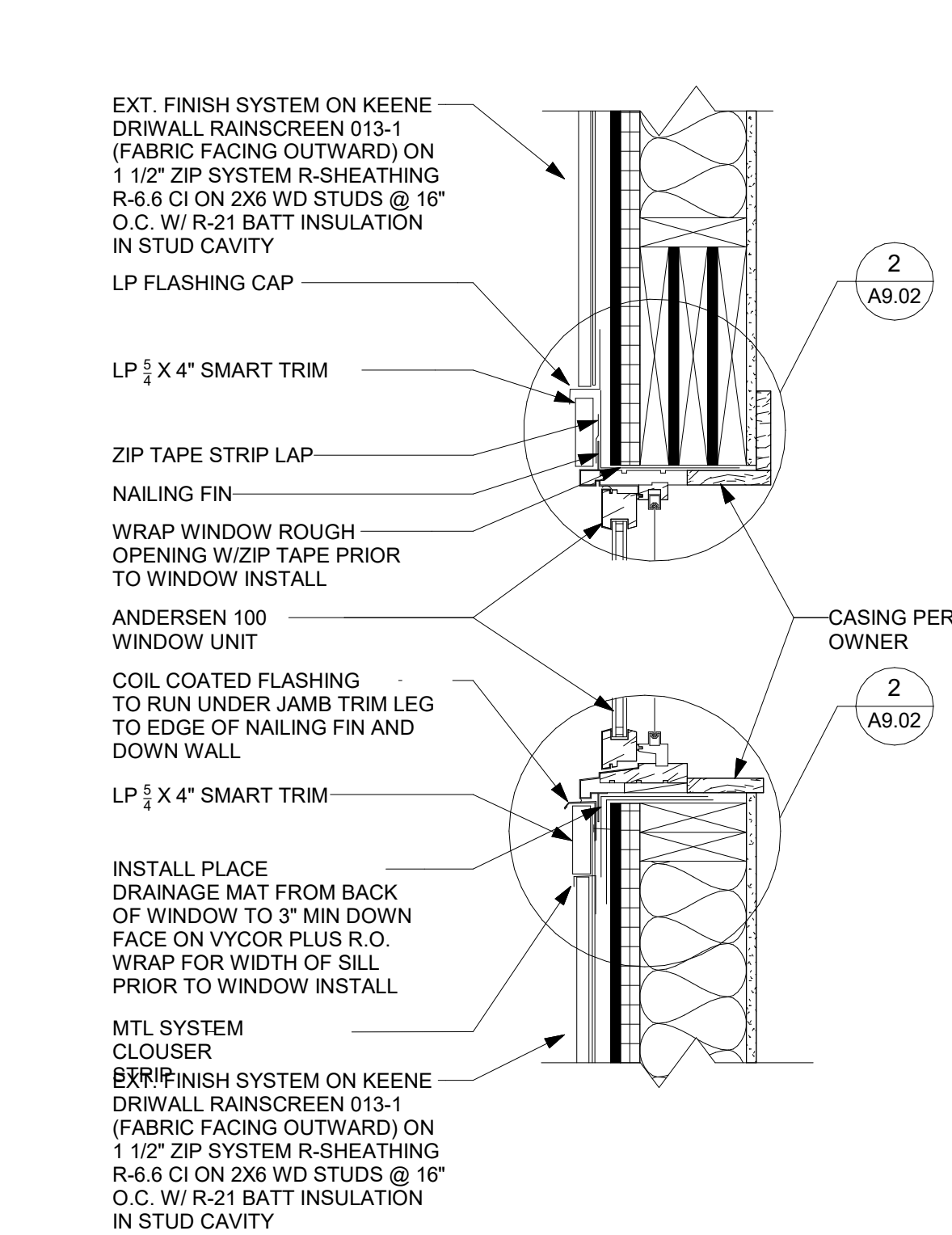
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A5.2



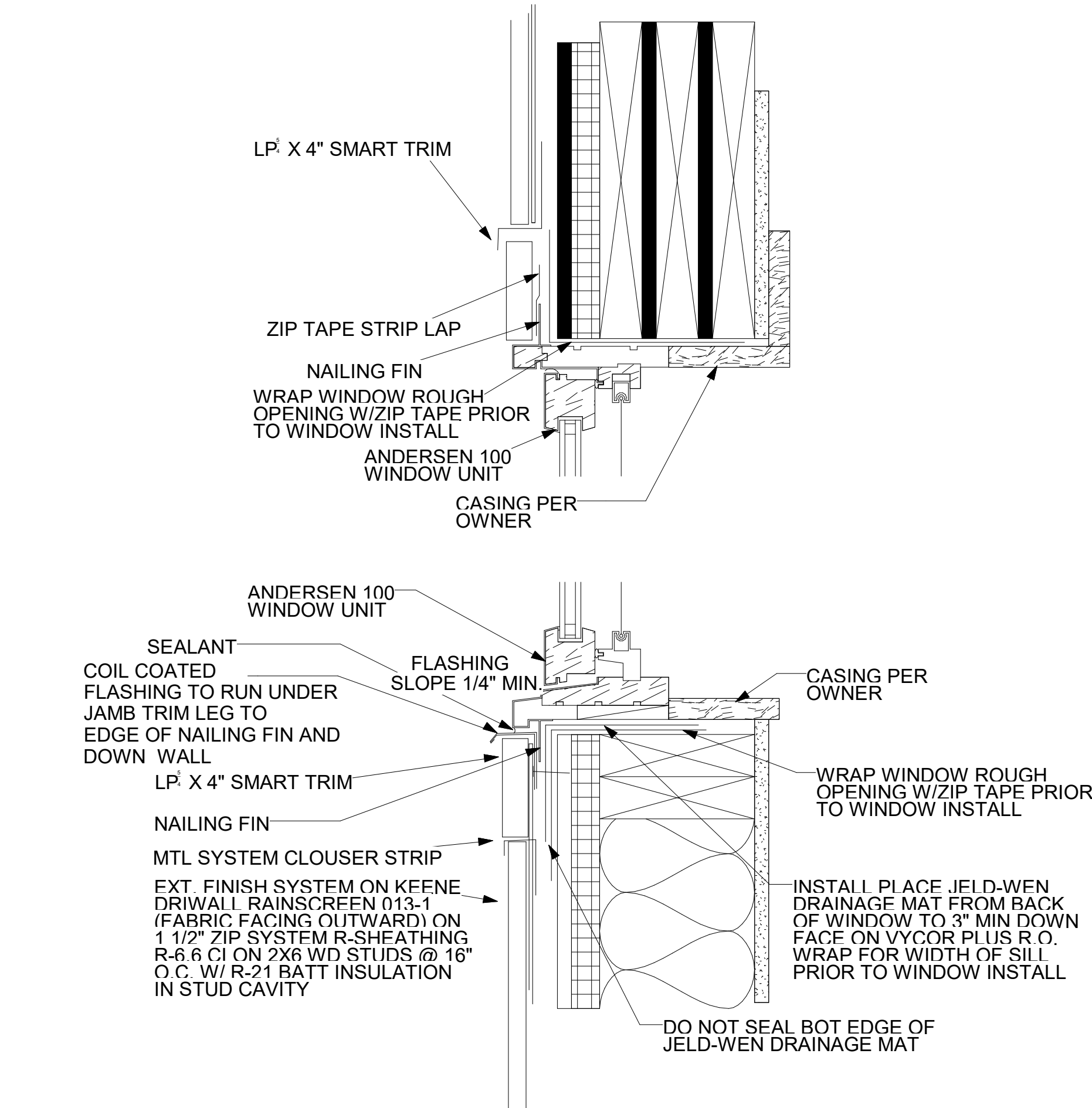
1 WINDOW HEAD SILL
A5.3 1 1/2" = 1'-0"



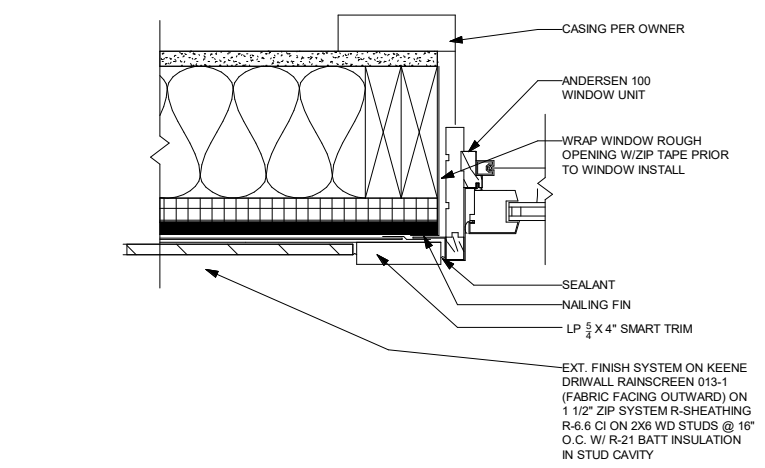
2 WINDOW HEAD SILL - ENLARGED
A5.3 3" = 1'-0"



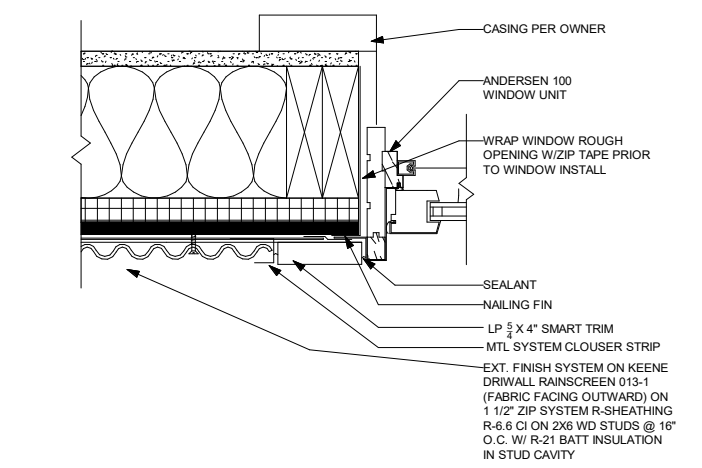
3 WINDOW HEAD SILL MTL
A5.3 1 1/2" = 1'-0"



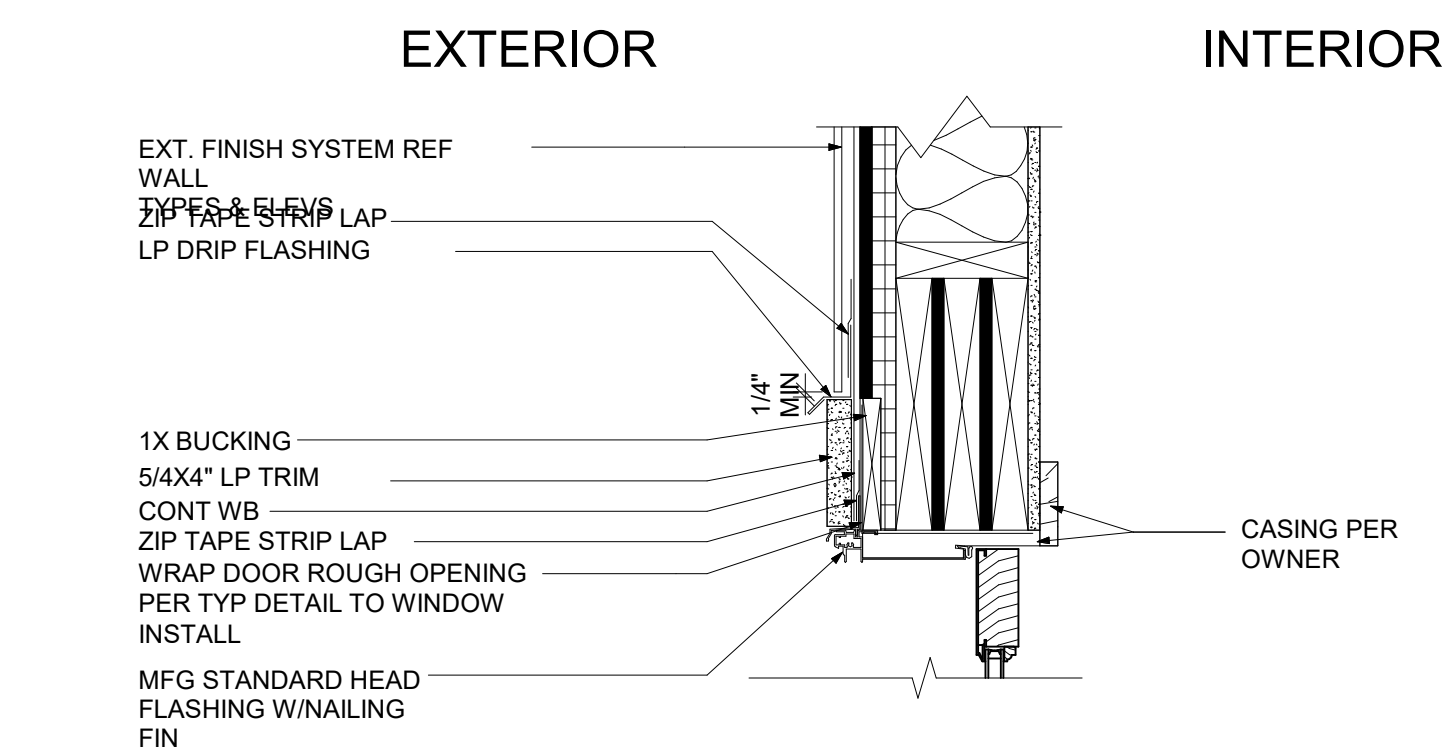
4 WINDOW HEAD SILL MTL - ENLARGED
A5.3 3" = 1'-0"



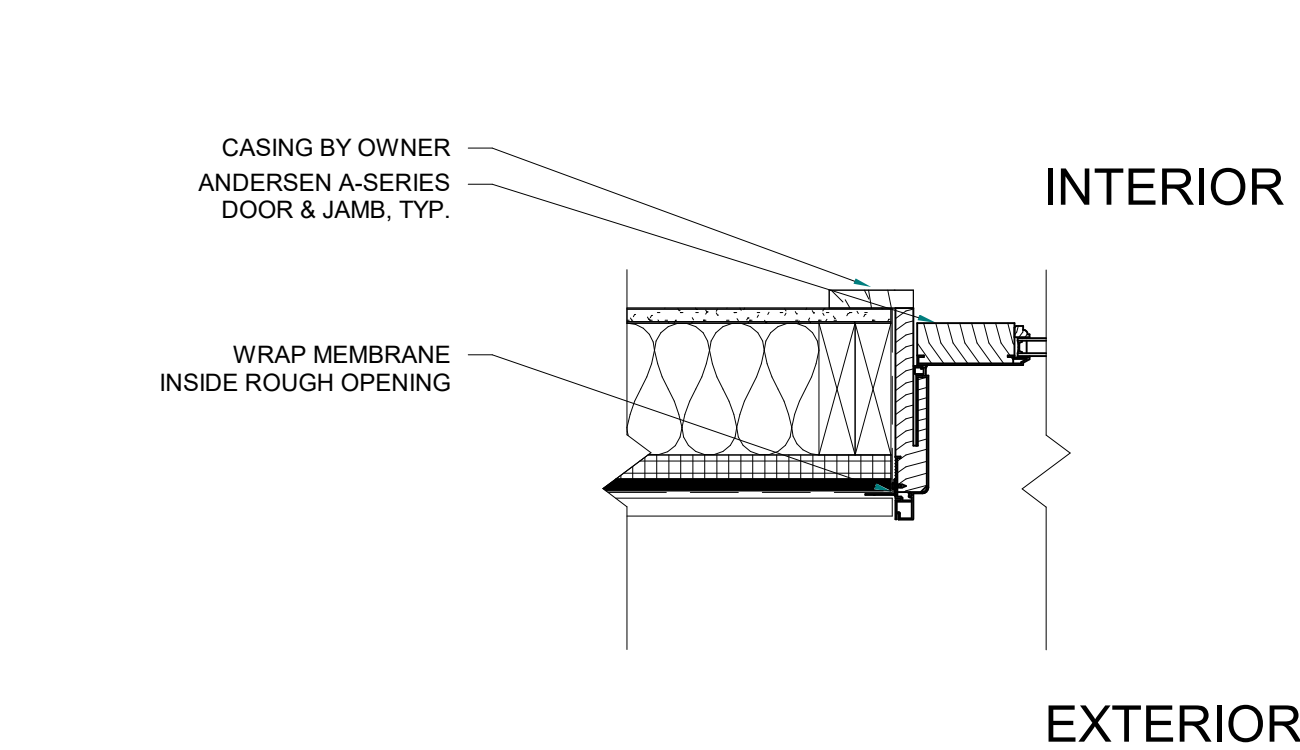
5 WINDOW JAMB
A5.3 1 1/2" = 1'-0"



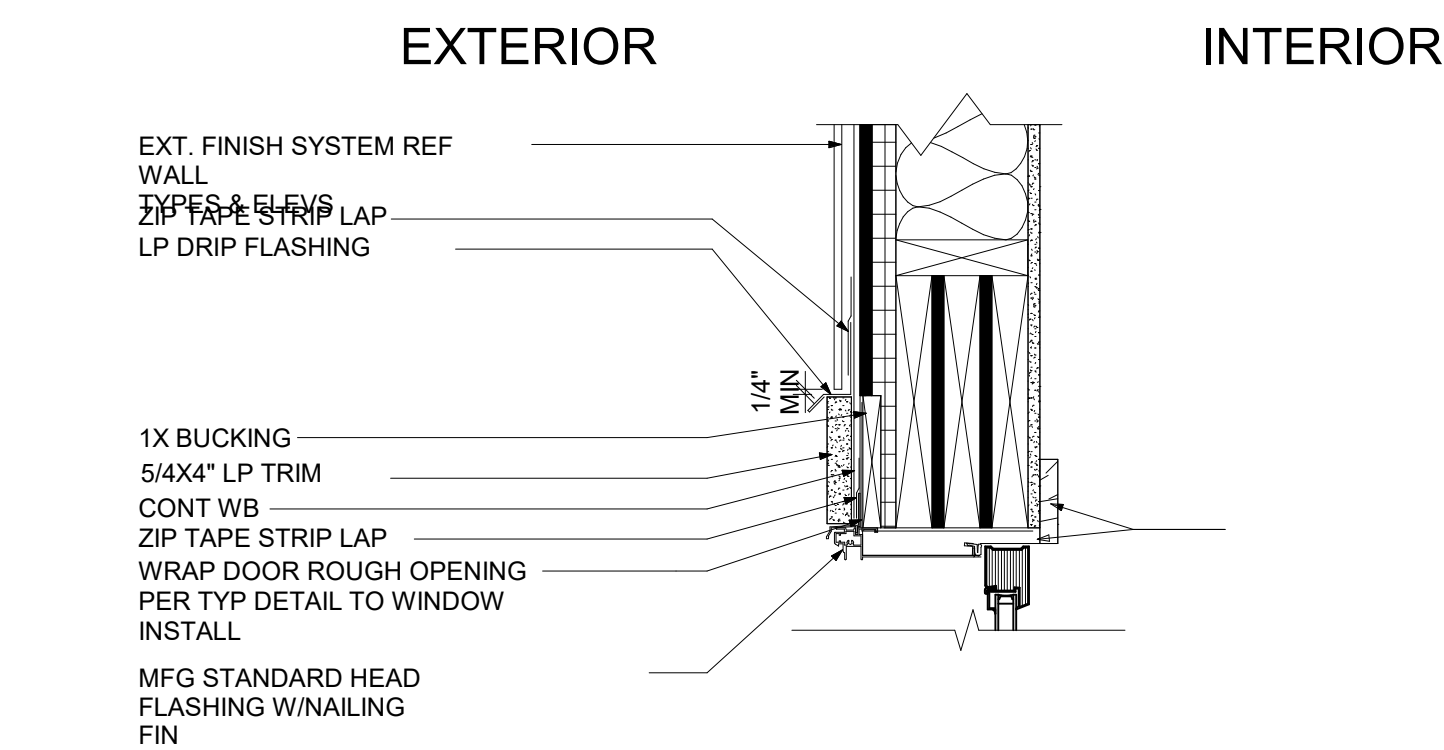
6 WINDOW JAMB MTL
A5.3 1 1/2" = 1'-0"



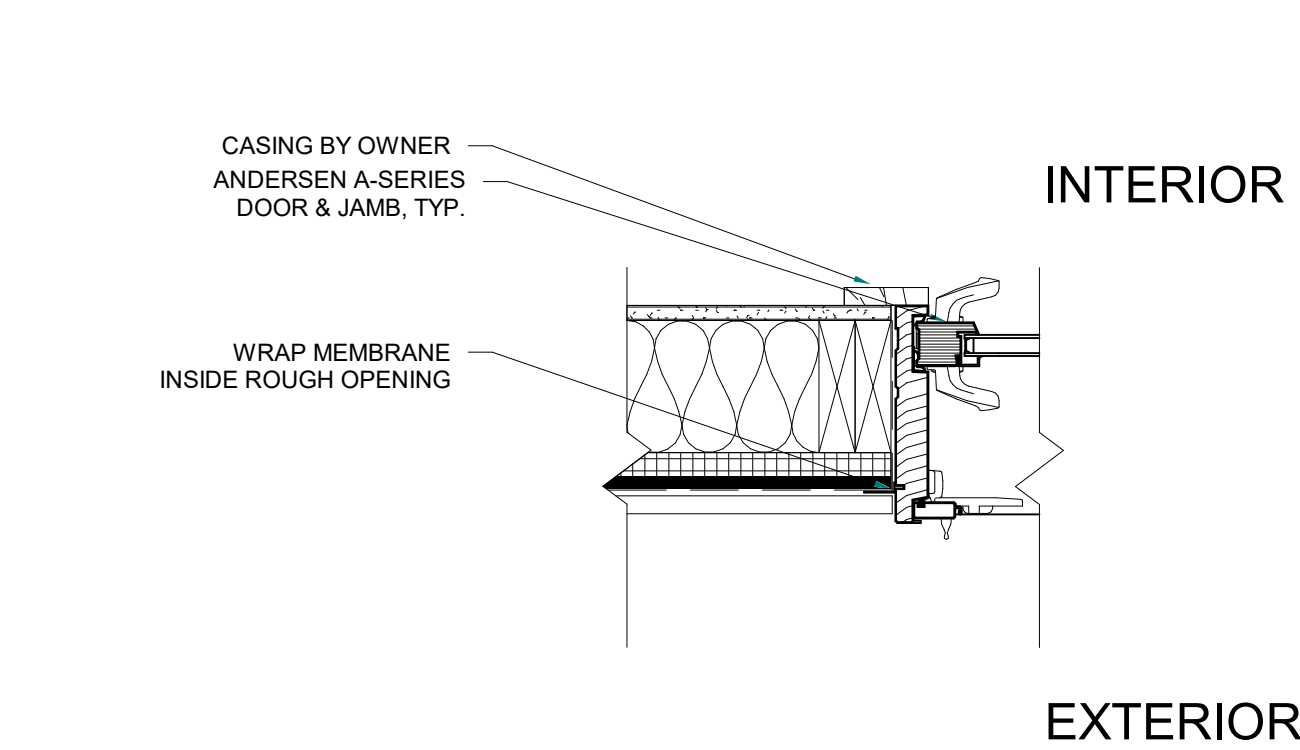
7 DOOR HEAD - SWING
A5.3 1 1/2" = 1'-0"



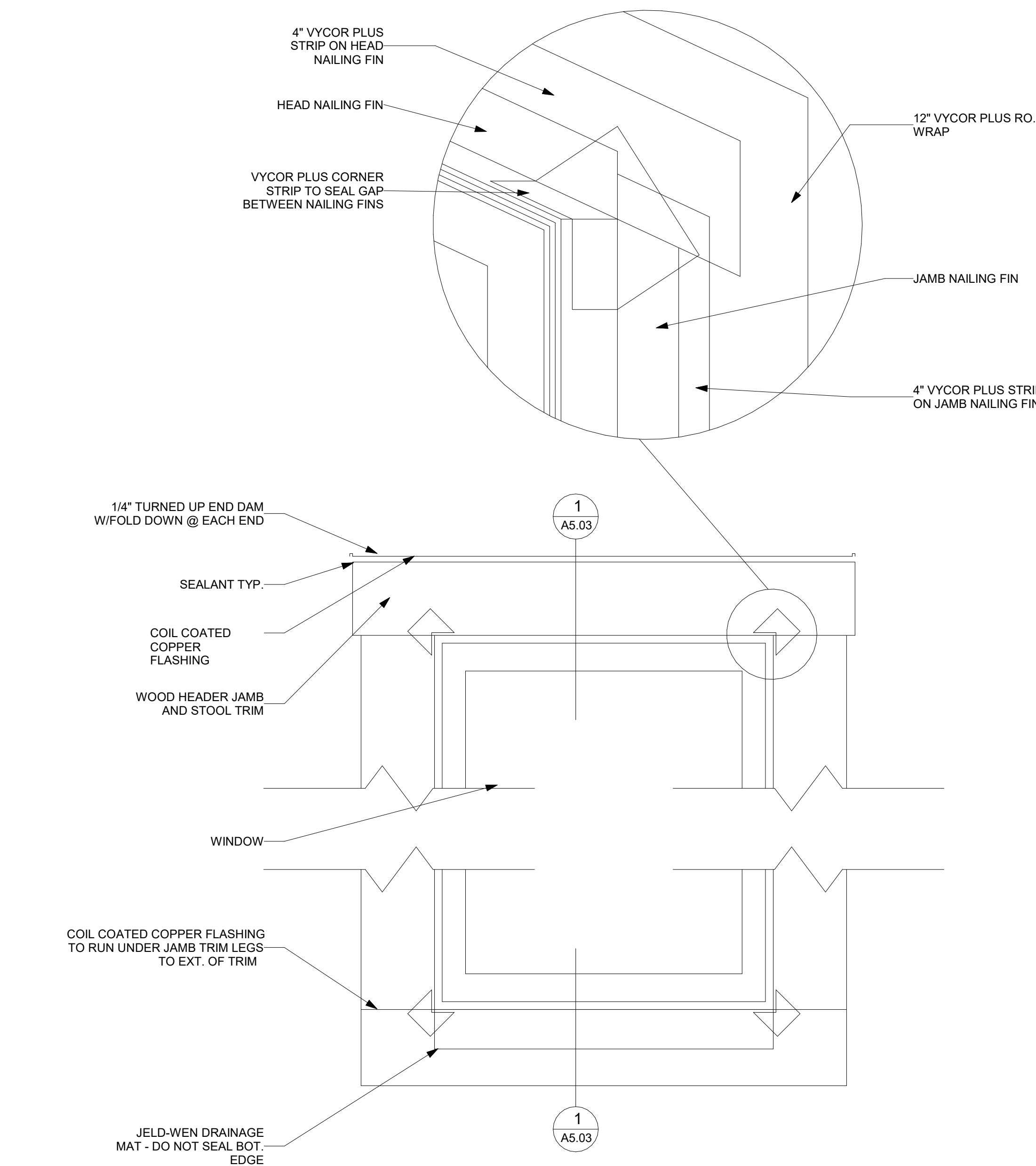
8 DOOR JAMB - SWING
A5.3 1 1/2" = 1'-0"



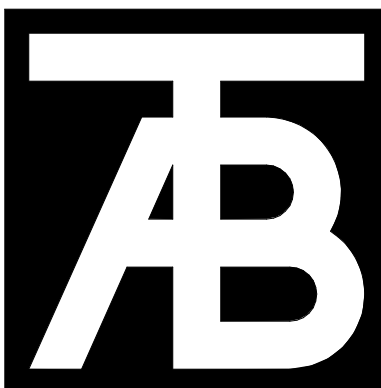
9 DOOR HEAD - SLIDER
A5.3 1 1/2" = 1'-0"



10 DOOR JAMB - SLIDER
A5.3 1 1/2" = 1'-0"



11 WINDOW FLASHING
A5.3 1 1/2" = 1'-0"



TAB Associates
The Architectural Balance
0068 Edwards Village Blvd.
Suite 210
Edwards, CO 81632
(970) 766-1470
fax: (970) 766-4471
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Civil Engineer
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A5.3