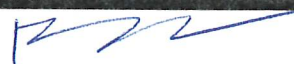




DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
Phone: 970-827-5645 Fax: 970-827-5545 Email: planner1@minturn.org

Project Name:			
1014 TWO ELK LANE			
Project Location			
Street Address: 1014 TWO ELK LANE, MINTURN, CO 81645			
Zoning: CROSS CREEK		Parcel Number(s): 2103-363-10-005	
Application Request:			
MAJOR CONSTRUCTION			
Applicant:			
Name: ADAM MINNICK			
Mailing Address: 452 LEYDEN STREET, DENVER, CO 80220			
Phone: (303) 319-6778		Email: aminnick@stonetowncapital.com	
Property Owner:			
Name: ADAM MINNICK			
Mailing Address: 452 LEYDEN STREET, DENVER CO 80220			
Phone: (303) 319-6778		Email: aminnick@stonetowncapital.com	
Required Information:			
Lot Size: .13 acres	Type of Residence (Single Family, ADU, Duplex) DUPLEX	# of Bedrooms 8	# On-site Parking Spaces 6
# of Stories: 2	Snow storage sq ft:	Building Footprint sq ft: 2363	Total sq ft Impervious Surface: 2986
Signature:			
			
Fee Paid: _____ Date Received: _____ Planner: _____			

Fletcher Groff

The Groff Company, LLC
1036 Polar Star Dr.
Eagle, CO, 81631
14th December 2023

Madison Harris

Planner 1, Town of Minturn
302 Pine St
Minturn, CO 81645

To Whom it May Concern,

This letter serves as the Statement of Intent for the renovation of 1014 Two Elk Lane, in Minturn, Colorado, parcel number 2103-363-10-005.

I am acting as Agent to the Owners of the above referenced duplex, who plan on enclosing a portion of the existing second-floor deck to interior space. There is no proposed work on the basement or ground-level floors, or any work proposed to the site.

The design has been developed to gain space for the second-floor dining room and a small office on the south east side of the unit. The renovation will capture approximately 98 square feet of the existing deck by moving the existing double-door wall 9' south.

The design has been developed to match and/or directly tie into existing conditions wherever possible, such as modifying the existing flat roof to tie into the existing shed roof, and matching sill and head heights of existing windows. All new exterior finishes will match existing materials on the building.

Sincerely,



Fletcher Groff