

VIEW OF PROPOSED PROJECT



PROJECT SUMMARY	
ADDRESS:	1014 TWO ELK LANE MINTURN, CO 81645
PROJECT SCOPE:	91 SF ADDITION OF INTERIOR FINISHED SPACE, EXPANDING ONTO EXISTING EXTERIOR TERRACE, SMALL ROOF ADDITION AT SECOND LEVEL
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	V-B
TAX AREA:	SCD24 - MINTURN (TOWN)
PARCEL NUMBER:	2103-363-10-005
LOT SIZE:	.11 ACRES
LEGAL SUMMARY:	SUBDIVISION: CROSS CREEK PLACE LOT: 3E
BUILDING HEIGHT:	EXISTING TO REMAIN 28' MAX ALLOWED PER SEC, 16'-2'-60", TABLE 16-B "TABLE HEIGHT", MINTURN MUNICIPAL CODE HEIGHT MEASURED FROM FINISHED OR NATURAL GRADE, WHICHEVER IS MORE RESTRICTIVE, TO MIDDPOINT OF ROOF
LOT COVERAGE, SQ. FT.	
LOT COVERAGE	
LOT SIZE	5,963 SF (.13 ACRES)
ALLOWED	2,981 SF (50%)
PROPOSED	2,363 SF (39%)
IMPERVIOUS	
ALLOWED	3,577.8 SF (60%)
PROPOSED	2,986 SF
BUILDING	2,363 SF
DRIVEWAYS (EX.)	623 SF
TOTAL	2,986 SF (50%)

SYMBOLS LEGEND	
	— AREA NAME
	— AREA NUMBER
	— DOOR NUMBER
	— EXTERIOR ELEVATION NUMBER
	— EXTERIOR ELEVATION SHEET NUMBER
	— DETAIL NUMBER
	— DETAIL SHEET NUMBER
	— BUILDING SECTION NUMBER
	— BUILDING SECTION SHEET NUMBER
	— SPOT ELEVATION REFERENCE
	— WINDOW TYPE
	— INTERIOR GLASS TYPE
	— SKYLIGHT TYPE
	— NORTH ARROW
	— INTERIOR ELEVATION REFERENCE
	— CHANGE IN FLOOR OR CEILING ELEVATION

PROJECT TEAM	
OWNER	
ADAM AND LAINIE MINNICK 452 LEYDEN STREET DENVER, CO 80220 303.319.6178 303.956.2531 aminnick@torrefrancapital.com lainie.minnick@gesd.com	
ARCHITECT	
BOSS ARCHITECTURE CHRIS DAVIS KEVIN STEPHENSON 3300 E 17TH AVE DENVER, COLORADO 80206 303.377.6322 chris@BOSSArchitecture.com kevin@BOSSArchitecture.com	
GENERAL CONTRACTOR	CIVIL ENGINEER
THE GROFF COMPANY, LLC 1036 POLAR STAR DR. EAGLE, CO 81631 303.638.0956 fletcher@thegroffcompany.com	N/A
STRUCTURAL ENGINEER	MECHANICAL
IMEG CORP. MEGHAN C. BAKEMEYER 1400 BLENARY PLACE, SUITE 101 DENVER, CO 80202 303.623.4927 megan.c.bakemeyer@imegcorp.com	N/A
	LANDSCAPE ARCHITECT
	N/A
BUILDING CODE INFORMATION	
APPLICABLE CODES	
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)	
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	
2021 INTERNATIONAL FIRE CODE (IFC)	
2021 INTERNATIONAL PLUMBING CODE (IPC)	

DRAWING INDEX		ISSUES AND REVISIONS				
		3.11.2024 FOR PRICING	4.12.2024 DESIGN REVIEW	6.14.2024 FOR PERMIT	7.3.2024 REVISION 1	9.12.2024 DESIGN REVIEW
GENERAL DRAWINGS						
A0.0	COVER SHEET	●	○	○	○	○
A0.1	GENERAL NOTES & IECC COMPLIANCE			●	●	○
A0.2	VICINITY MAP		●	○		○
A0.3	SURVEY		●	○		○
ARCHITECTURAL DRAWINGS						
A1.0	SITE PLANS	●	○	○		○
A2.0	BASEMENT LEVEL PLAN	●	○	○		○
A2.1	LOWER LEVEL PLANS	●	○	○		○
A2.2	UPPER LEVEL PLANS	●	○	○	●	○
A2.3	ROOF PLANS	●	○	○		○
A2.4	REFLECTED CEILING PLANS	●	○	○		○
A3.0	EXTERIOR ELEVATIONS	●	○	○		○
A3.1	EXTERIOR ELEVATIONS	●	○	○		○
A3.2	EXTERIOR ELEVATIONS	●	○	○		○
A3.3	EXTERIOR ELEVATIONS	●	○	○		○
A4.0	BUILDING SECTIONS			●		—
A4.1	BUILDING SECTIONS			●		—
A6.0	INTERIOR ELEVATIONS					—
A7.0	WINDOW AND DOOR SCHEDULE	●	—	○		—
STRUCTURAL DRAWINGS						
S0.0	GENERAL NOTES			●		—
S1.0	LOWER LEVEL FOUNDATION PLAN			●		—
S1.1	MAIN LEVEL FRAMING PLAN			●		—
S1.2	UPPER LEVEL FRAMING PLAN			●		—
S1.3	ROOF LEVEL FRAMING PLAN			●		—
S2.0	FLOOR SECTIONS			●		—
S3.0	ROOF SECTIONS			●		—

TWO ELK CONDO

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COVER SHEET

OWNER:
ADAM AND LAINIE MINNICK
LOCATION:
1014 TWO ELK LANE
MINTURN, COLORADO 81645

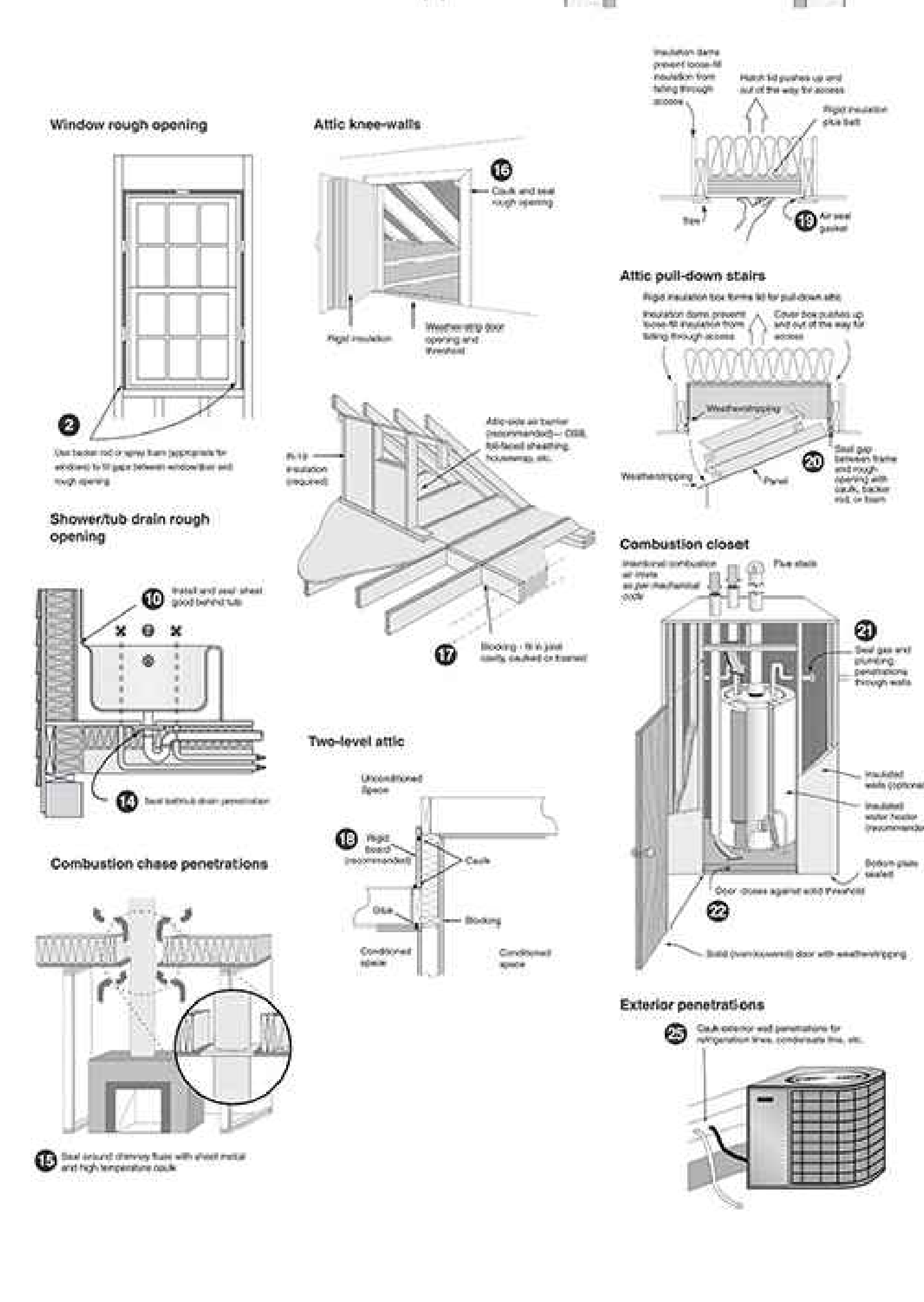
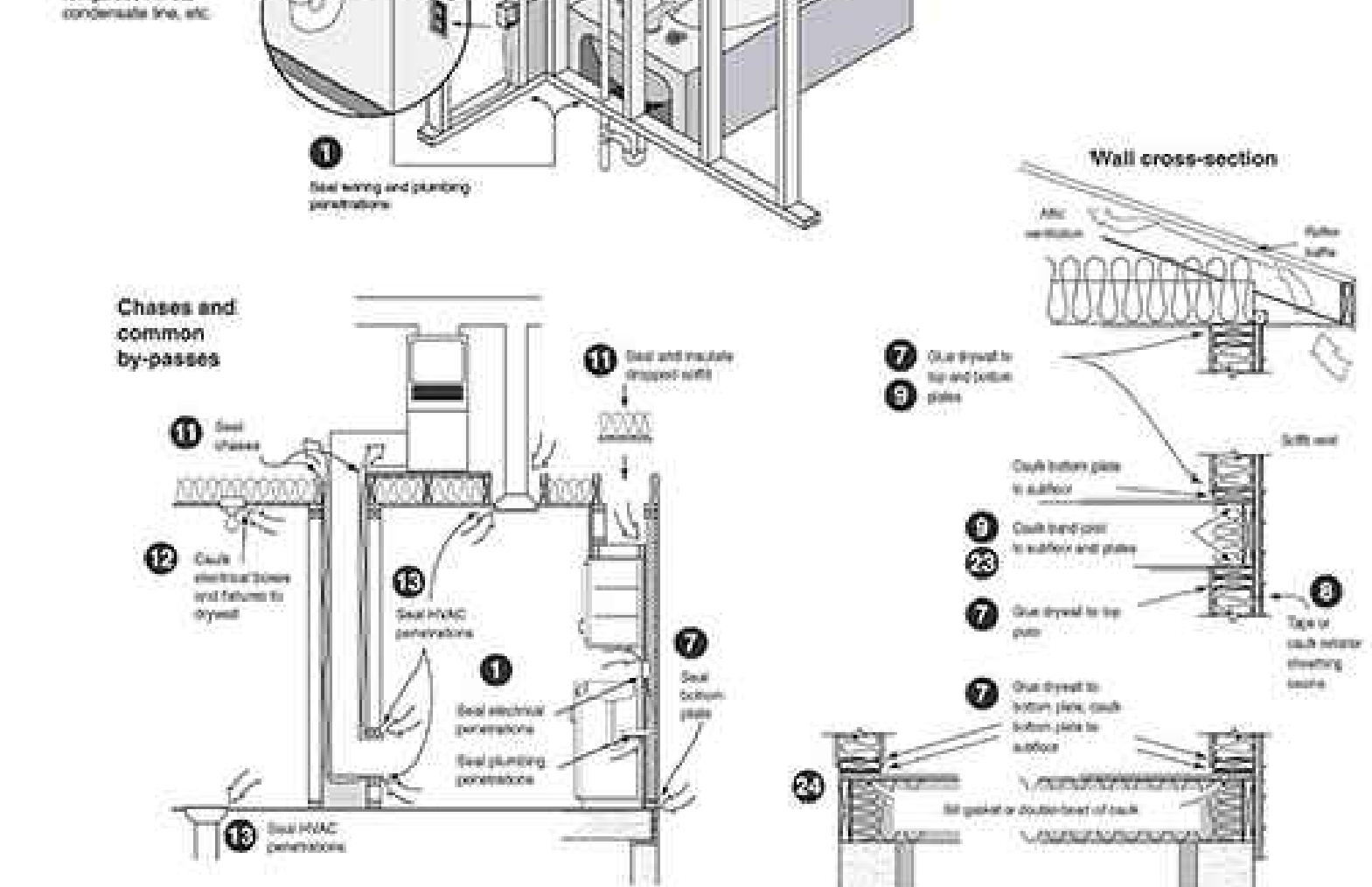
9/12/24 2024 FOR PRICING
9/12/24 2024 DESIGN REVIEW
9/12/24 2024 FOR PERMIT
8/31/24 2024 REVISION 1
9/12/24 2024 DESIGN REVIEW

BOSS ARCHITECTURE

CHRISTOPHER DAVIS
KEVIN STEPHENSON

AIR SEALING DETAILS

1. Flute and wall penetrations by gluing and electrical tape
2. Seal/insulate on outside of attic wall
3. Window and door rough openings
4. Airgap, gasket, recessed lights and electrical fixtures exposed to attic
5. Exterior wall exhaust fan terminations
6. Ceiling-mounted bath fans, speakers, etc.
7. Bottom plate and top plate
8. Space between rigid exterior sheathing
9. Band area between floors, conditioned space and attic
10. Gypsum on exterior wall
11. Mechanical equipment and ductwork chases in attic, unconditioned
12. Ceiling/enclosure electrical boxes
13. Ceiling/enclosure HVAC boots
14. Shower and tub drain line
15. Fireplace inserts
16. Attic kneewall doors
17. Seal cavities under attic kneewalls
18. Transition between ceiling heights (Attic: 10 ft. 0")
19. Attic scullie hole
20. Attic pull-down stairs
21. Wall penetrations of mechanical combustion exhaust
22. Threshold at mechanical combustion exhaust doors
23. Band joint exposed to exterior
24. Band area exposed to unconditioned space (such as basement or crawlspace)
25. Exterior wall penetrations for refrigeration lines, condenser line, etc.



AIR SEALING DETAILS
N.T.S.

2021 IECC COMPLIANCE

APPLICABLE CODE: 2021 IECC
CLIMATE ZONE: 4-5
INTERIOR DESIGN CONDITIONS: 70 DEGREES F FOR HEATING
75 DEGREES F MINIMUM FOR COOLING
COMPLIANCE PATH: PRESCRIPTIVE COMPLIANCE PATH, PER 402.1

WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH THE VAPOR RETARDER REQUIREMENTS OF SECTION 702.7 OF THE IRC.
3" CLOSED CELL SPRAY FOAM PROVIDES CLASS II VAPOR RETARDER, AS REQUIRED BY 702.7.
ALL RIM JOISTS TO BE INSULATED w/ 4.5" MIN. CLOSED CELL SPRAY FOAM INSULATION, TYP. (R-30 MIN)
THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION, PER IECC R402.4
THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, PER IECC R402.4.1
WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE, PER IECC R402.4.1.1
BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTION R402.

MINIMUM REQUIRED R-VALUES, PER TABLE R402.1.3

COMPONENT	MINIMUM INSULATION VALUE	PROVIDED ASSEMBLY	R-VALUE
CEILING R-VALUE:	R-60	3" CLOSED CELL SPRAY FOAM @ R-7/IN 11" NET AND BLOW FIBERGLASS INSULATION @ R-3.77/IN TOTAL INSULATION R-VALUE	R-21 R-41.5 R-62.5
WOOD FRAME WALL R-VALUE:	R-30 (CAVITY INSULATION - NO CONTINUOUS INSULATION)	3" CLOSED CELL SPRAY FOAM @ R-7/IN 2.5" NET AND BLOW FIBERGLASS INSULATION @ R-3.77/IN TOTAL INSULATION R-VALUE	R-21 R-9.4 R-30.4
BASEMENT WALL R-VALUE:	R-19 (CAVITY INSULATION - NO CONTINUOUS INSULATION)	5.5" FIBERGLASS BATT INSULATION @ R-3.45 / IN TOTAL INSULATION R-VALUE	R-19 R-19
SLAB R-VALUE / DEPTH	R-10 CONTINUOUS INSULATION / 4 FT	2" XPS RIGID INSULATION @ R-5 / IN TOTAL INSULATION R-VALUE	R-10 R-10
FLOOR CAVITY INSULATION:	R-30	4.5" CLOSED CELL SPRAY FOAM @ R7 TOTAL INSULATION R-VALUE	R-31.5 R-31.5

MINIMUM PENETRATION U-VALUES, PER TABLE R402.1.3

COMPONENT	MAXIMUM VALUE	PROVIDED ASSEMBLY
FENESTRATION U-FACTOR	U-0.32 (MAXIMUM 0.32 SHALL APPLY, AS BUILDING IS LOCATED ABOVE 4,000 FEET IN ELEVATION, PER TABLE 402.1.3 FOOTNOTE 1)	PROVIDED U-VALUES RANGE FROM 0.27-0.30 FOR ALL FIXED WINDOWS, OPERABLE WINDOWS, PATIO DOORS, AND MULTISLIDE DOORS. REFER TO SHEET A7.0 FOR WINDOW SCHEDULE, WITH U-VALUES INDICATED.
SOLAR HEAT GAIN COEFFICIENT 0.40		PROVIDED U-VALUES RANGE FROM 0.19-0.25, FOR ALL FIXED WINDOWS, OPERABLE WINDOWS, PATIO DOORS, AND MULTISLIDE DOORS REFER TO SHEET A7.0 FOR WINDOW SCHEDULE, WITH SHGC VALUES INDICATED.

AIR SEALING

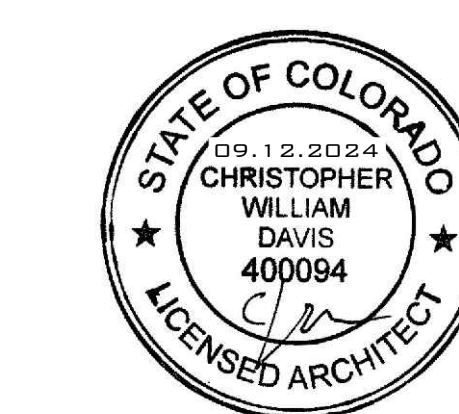
THE BUILDING SHALL BE TESTED FOR AIR LEAKAGE, PER R402.4.1.2. THE MAXIMUM AIR LEAKAGE RATE SHALL NOT EXCEED 3.0 ACH. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ANSI/RESNET/ICC 380, ASTM E770, OR ASTM E1827, AND REPORTED AT A PRESSURE OF 0.2 INCH WG (50 PASCALS). A WRITTEN REPORT OF THE RESULTS SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST. THE TEST SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE HAVE BEEN SEALED. THE BUILDING AIR BARRIER SHALL BE CONTINUOUS, AND SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED w/ THE INSULATION & ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED w/ THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION & SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE & THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS & HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY w/ A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT w/ THE AIR BARRIER.
WINDOWS, DOORS, AND SKYLIGHTS	THE SPACE BETWEEN WINDOW/DOOR JAMBS & FRAMING, & SKYLIGHTS & FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE AN EXTERIOR AIR BARRIER. THE JUNCTION OF THE RIM BOARD TO THE SILL PLATE AND THE RIM BOARD AND THE SUBFLOOR SHALL BE AIR SEALED.	RIM JOISTS SHALL BE INSULATED SO THAT THE INSULATION MAINTAINS PERMANENT CONTACT WITH THE EXTERIOR RIM BOARD.
FLOORS (INCLUDING CANTILEVERED FLOORS AND FLOORS ABOVE GARAGES)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT w/ THE UNDERSIDE OF SUBFLOOR DECKING OR FLOOR FRAMING CAVITY INSULATIONS SHALL BE PERMITTED TO BE IN CONTACT w/ THE TOP SIDE OF SHEATHING OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING & EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
BASEMENT CRAWL SPACE AND SLAB FOUNDATIONS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER / AIR BARRIER IN ACCORDANCE WITH SECTION R402.2.10. PENETRATIONS THROUGH THE CONCRETE FOUNDATION WALLS AND SLABS SHALL BE AIR SEALED. CLASS I VAPOR RETARDERS SHALL NOT BE USED AS AN AIR BARRIER ON BELOW GRADE WALLS AND SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE.	CRAWL SPACE INSULATION, WHERE PROVIDED INSTEAD OF FLOOR INSULATION, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.10. CONDITIONED BASEMENT FOUNDATION WALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.8.1 SLAB ON GRADE FLOOR INSULATION SHALL BE IN ACCORDANCE WITH SECTION R402.2.10.
SHAFTS, PENETRATIONS	DUCT AND FLUE SHAFTS AND OTHER SIMILAR PENETRATIONS TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE INSTALLED TO ALLOW FOR EXPANSION, CONTRACTION, AND MECHANICAL VIBRATION. UTILITY PENETRATIONS OF THE AIR BARRIER SHALL BE CAULKED, GASKETED, OR OTHERWISE SEALED, AND SHALL ALLOW FOR EXPANSION, CONTRACTION, AND MECHANICAL VIBRATION.	INSULATION SHALL BE FITTED TIGHTLY AROUND UTILITIES PASSING THROUGH SHAFTS AND PENETRATIONS IN THE BUILDING THERMAL ENVELOPE TO MAINTAIN REQUIRED R VALUE.
NARROW CAVITIES	NARROW CAVITIES OF 1 INCH OR LESS THAT ARE NOT ABLE TO BE INSULATED SHALL BE AIR SEALED.	BATTS TO BE INSTALLED IN NARROW CAVITIES SHALL BE CUT TO FIT OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE & CONDITIONED SPACES.	INSULATED PORTIONS OF THE GARAGE SEPARATION ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH R303 AND R402.7
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE THERMAL BUILDING ENVELOPE SHALL BE AIR SEALED IN ACCORDANCE WITH SECTION R402.4.5.	RECESSED LIGHT FIXTURES INSTALLED IN THE THERMAL BUILDING ENVELOPE SHALL BE AIR TIGHT AND IC RATED, AND SHALL BE BURIED OR SURROUNDED BY INSULATION.
PLUMBING, WIRING, OR OTHER OBSTRUCTIONS	ALL HOLES CREATED BY WIRING, PLUMBING, OR OTHER OBSTRUCTIONS IN THE AIR BARRIER SHALL BE AIR SEALED.	INSULATION SHALL BE INSTALLED TO FILL THE AVAILABLE SPACE AND SURROUND WIRING, PLUMBING, OR OTHER OBSTRUCTIONS, UNLESS THE REQUIRED R-VALUE CAN BE MET BY INSTALLING INSULATION AND AIR BARRIER SYSTEMS COMPLETELY TO THE EXTERIOR SIDE OF THE OBSTRUCTIONS
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL SEPARATE THEM FROM THE SHOWERS & TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL BE INSULATED
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC SUPPLY AND RETURN BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL COVERING, OR CEILING PENETRATED BY THE BOOT.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES & WALLS OR CEILINGS.	

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE w/ THE 2021 IRC, ALL MINUTEN AMENDMENTS TO THE CODE & ALL FEDERAL, STATE & LOCAL CODES & AGENCIES HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR & RESPECTIVE SUB-CONTRACTORS TO BUILD TO SATISFY THESE CODES & CALL FOR ALL NECESSARY INSPECTIONS.
2. CONTRACTOR SHALL VERIFY & COORDINATE ALL NEW & EXISTING CONDITIONS & DIMENSIONS @ JOB SITE FOR COMPARISON w/ DWG'S & SPECIFICATIONS PRIOR TO BIDDING & START OF & DURING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING w/ WORK.
3. DO NOT SCALE DWG'S. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR & COORDINATED w/ ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
4. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATION, & DETAILS ARE TO FACE OF WOOD FRAMING AND TO FINISH FACE OF, MASONRY, CONC. OR GRID LINES, UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ON THE ARCHITECTURAL DRAWINGS LOCATING STRUCTURAL STEEL OR HEAVY TIMBER MEMBERS ARE TO CENTERLINE, UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL VERIFY ALL COLUMN COORDINATES & CHECK THEM AGAINST DIMENSIONS SHOWN ON PLANS & DETAILS. CONSTRUCTION MANAGER SHOULD BE NOTIFIED OF ANY DISCREPANCIES DURING STAKING.
7. ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
8. "V.I.F. OR F.V." ON DWG'S REFERS TO FIELD VERIFICATION FOR CORRECT DIMENSIONS & CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. OFCI - CONTRACTOR FURNISHED CONTRACTOR INSTALLED OFEO - OWNER FURNISHED CONTRACTOR INSTALLED OFOI - OWNER FURNISHED OWNER INSTALLED
9. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDE, BUT NOT LIMITED TO: STRUCT. MEMBERS, MECH. DUCTS & INSULL., LIGHT FIXTURES, CEILING SYSTEMS, & ANY SPECIAL STRUCTURE SUPPORTS REQUIRED) & SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE F.O. SUBFLOOR INDICATED IN THE WALL SECTIONS & THE REFLECTED CEILING PLANS. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF CEILING).
10. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL WALL & CEILING FRAMING MEMBERS TO FACILITATE THE INSTALLATION OF ALL WALL & CEILING MOUNTED ELECT. & MECH. DEVICES, ETC., PER THE ARCHITECTS DWG'S. RE: INTERIOR ELEVATIONS, & REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DEVICES. IF NOT INDICATED, COORDINATE LOCATIONS w/ ARCHITECT PRIOR TO INSTALLATION.
11. ACCESS PANELS SHALL BE PROVIDED & INSTALLED WHEREVER REQUIRED BY BLDG. CODE OR OPERATION OR MAINTENANCE OF MECH. OR ELECT. EQUIPMENT, WHETHER OR NOT INDICATED ON THE DWG'S. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, & TYPE OF ACCESS PANEL w/ OTHER CONTRACTORS' WORK & RECEIVE APPROVAL OF THE ARCHITECT. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED w/O THE EXPRESSED APPROVAL OF THE ARCHITECT. CLAD & PAINT PANELS TO MATCH ADJACENT FINISHED CONDITION (PROVIDE FOR INTEGRATED LOOK TO WALL OR CEILING ASSEMBLY BY ANY MEANS NECESSARY) OR AS APPROVED BY ARCHITECT.
12. IN THE CASE OF A CONFLICT BETWEEN THE DWG'S & THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. IN THE CASE OF A CONFLICT IN THE DWG'S & DETAILS, THE DWG'S w/ THE LARGER SCALE OR THE ASSEMBLY WHICH PRODUCES THE HIGHER QUALITY ASSEMBLY & FINISH SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING w/ THE WORK.
13. ALL DUCT PENETRATIONS THROUGH PARTITIONS & CEILING SHALL BE PROVIDED w/ THE NECESSARY FRAMES & BRACING AROUND THE OPENING.
14. THE SPECIFICATIONS & ALL CONSULTANT DWG'S ARE SUPPLEMENTAL TO THE ARCHITECTURAL DWG'S IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE w/ THE ARCHITECTURAL DWG'S BEFORE THE INSTALLATION OF ANY OF THE CONSULTANTS' WORK & TO BRING ANY DISCREPANCIES OR CONFLICTS TO THE ARCHITECT'S ATTENTION IN WRITING, FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE GENERAL CONTRACTOR @ HIS/HER EXPENSE & @ NO EXPENSE TO THE ARCHITECT, HIS CONSULTANTS, OR THE OWNER.
15. THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BLDG. IS EITHER EXPEDITED OR NECESSARY. PRIOR TO PROCEEDING w/ WORK, REINFORCEMENT &/OR SUPPORT SATISFACTORY TO ARCHITECTS & STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR.
16. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY LOCAL REGULATIONS & COUNTY CODE.
17. FINAL CLEAN UP & DISPOSAL: REMOVE DEBRIS, RUBBISH & WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA & PAY ALL HAULING & DUMPING COSTS. CONFORM TO PERTAINING FEDERAL, STATE & LOCAL LAWS, REGULATIONS & ORDERS. UPON COMPLETION OF WORK, ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN & FREE FROM DEBRIS, CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, & OTHER BLEMISHES.
18. IF THE CONTRACTOR ASCERTAINS @ ANY TIME THAT REQUIREMENT OF THIS CONTRACT CONFLICT w/, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS & ORDINANCES, HE/SHE SHALL NOT PROCEED w/ WORK IN QUESTION, EXCEPT @ HIS/HER OWN RISK, UNTIL THE ARCHITECT HAS BEEN NOTIFIED IN WRITING & WRITTEN DETERMINATION IS MADE BY THE ARCHITECT. WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION w/ APPLICABLE LAWS, CODES, REGULATIONS & ORDINANCES, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT & REPLACE SUCH WORK w/ ALL NEW COMPLYING WORK @ NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
19. ANY WORK INSTALLED IN CONFLICT w/ THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR @ HIS/HER EXPENSE & @ NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANTS.
20. STAIR ASSEMBLY:
HEADROOM 6'-8" MIN AND WIDTH 3'-0" MIN
THE MAXIMUM RISER HEIGHT SHALL BE 7-3/4". OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENING BETWEEN TREADS IS LESS THAN 4".
THE MINIMUM TREAD DEPTH SHALL BE 10"
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN
34" AND NOT MORE THAN 38". HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM THE TOP TO THE BOTTOM RISER. HANDRAILS SHALL RETURN. HANDRAILS ADJACENT TO A WALL SHALL BE A SPACE OF NOT LESS THAN 1-1/2" FROM THE WALL TO THE HANDRAIL.
OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A SPHERE OF 4" OR MORE IN DIAMETER CANNOT PASS THROUGH. DOORS TO THE EXTERIOR SHALL HAVE A MAX 7-3/4" STEP TO A MINIMUM 36" DEEP LANDING, BUT THE DOOR MAY NOT SWING OVER THE LANDING.
PORCHES, BALCONIES OR RAISED FLOOR SURFACES MORE THAN 30" ABOVE THE FLOOR OR GRADE SHALL HAVE GUARD RAILS NOT LESS THAN 36" IN HEIGHT.

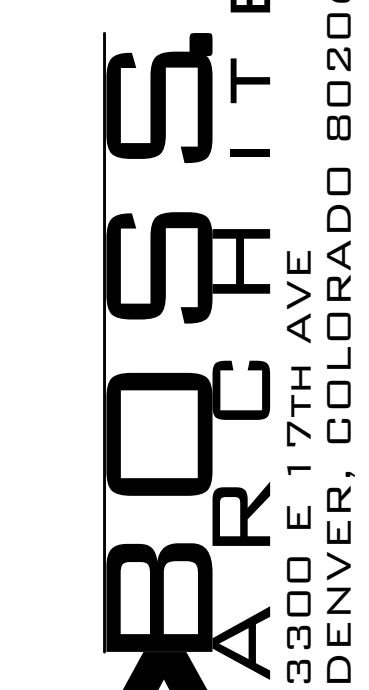
TWO.ELKCONDO



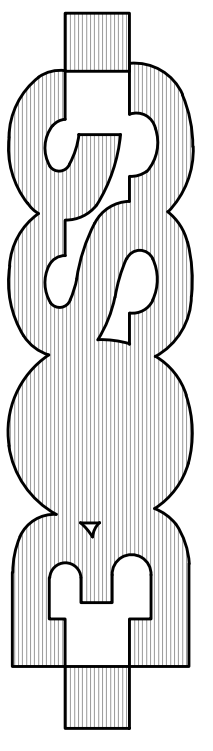
OWNERS:
ADAM AND LAINIE MINNICK
LOCATION:
**1014 TWO ELK LANE
MINTURN, COLORADO 81645**

📅 2024 FOR PRICING
📅 2024 DESIGN REVIEW
📅 2024 FOR PERMIT
📅 2024 REVISION 1
📅 2024 DESIGN REVIEW

GENERAL NOTES
AND IECC COMPLIANCE



ARCHITECTURE
 9300 E 17TH AVE
 DENVER, COLORADO 80206 USA
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CHRISTOPHER DAVIS
KEVIN STEPHENSON

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VICINITY MAP

TWO.ELKCONDO

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0.2

VICINITY MAP



GARY R. GILMAN
JULIE M. STOXEN
PO BOX 1550
VAIL, CO 81658

PARCEL #210336310001
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016

PARCEL #210336310006
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016

EAGLE RIVER

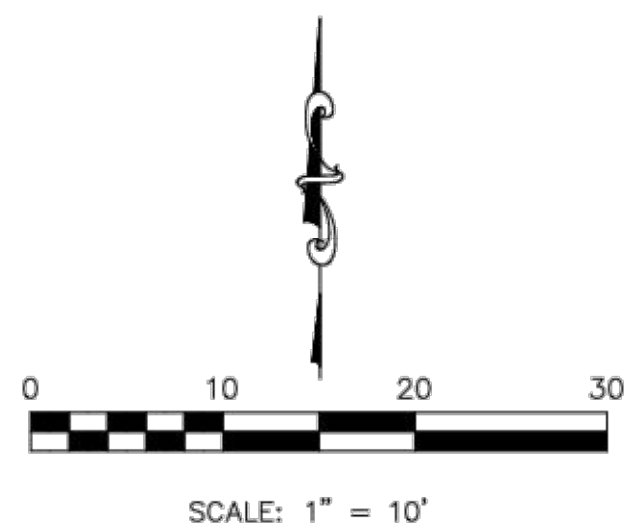
PARCEL #210336310003
1010 TWO ELK LANE
MINTURN, CO 81645

PARCEL #210336310005
ADAM & ELENI MINNICK
452 LEYDEN ST
DENVER, CO 80220

HIGHWAY 24

CROSS CREEK

CROSS CREEK ROAD



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	0°34'06"	756.30'	49.73'	24.68'	49.74'	N 17°36'59" W

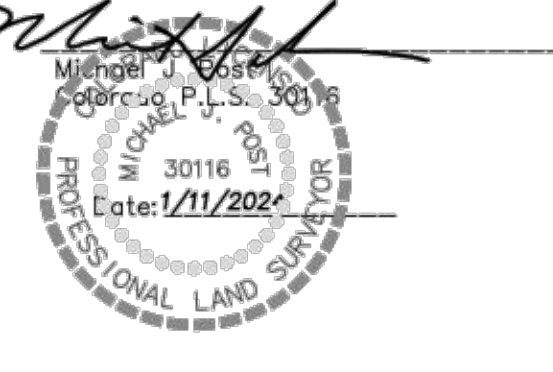
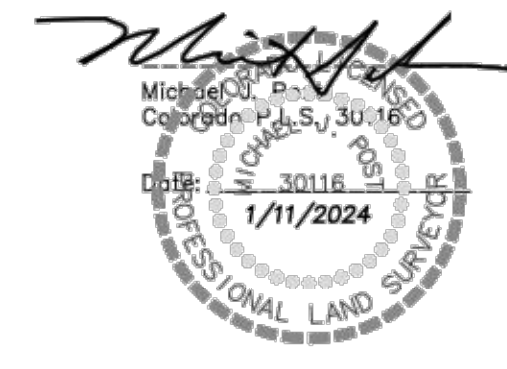
- NOTES:**
- 1) DATE OF SURVEY: 12/14/2023.
 - 2) SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AMENDED PLATS, EASEMENTS OF RECORD (OTHER THAN PLATTED), ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - 3) NOTICE, ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 - 4) THIS SURVEY AND THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OR TRANSFER TO OTHERS IS PROHIBITED.
 - 5) BASIS OF BEARINGS: MONUMENTS FOUND MARKING THE WEST CORNER LOT 1 AND SOUTH CORNER LOT 3W, (SEE DRAWING).
 - 6) 1.0' OF SNOW ON LOT AT TIME OF SURVEY; SOME FEATURES MAY EXIST BENEATH SNOW THAT ARE NOT SHOWN ON THIS DRAWING.
 - 7) BASIS OF ELEVATION: USGS NAVD 88 BM S-280 EAGLE COUNTY SURVEY CONTROL EL=7894.20'.
 - 8) 1' CONTOUR INTERVAL.
 - 9) THE U.S. SURVEY FOOT IS THE LINEAL UNIT USED FOR THE DIMENSIONS ON THIS PLAT.
 - 10) THIS PROPERTY DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAN.

LEGEND

- UTILITY POLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- CPP
- OVERHEAD POWER LINE
- ASPHALT SURFACE
- ROCK WALL
- FLAGSTONE SURFACE
- CONCRETE SURFACE
- DENOTES DECIDUOUS TREE W/ APPROX. 0.3' TRUNK DIAMETER
- DENOTES CONIFEROUS TREE W/ APPROX. 0.5' TRUNK DIAMETER

SURVEYOR'S CERTIFICATE:
 Certified to: ADAM & ELLEN MINNICK.
 I, Michael J. Post, a registered Professional Land Surveyor in the State of Colorado, do hereby certify that on 12/14/2023 this Improvement Survey Plat was performed under my supervision and that dimensions accurately represent said survey.

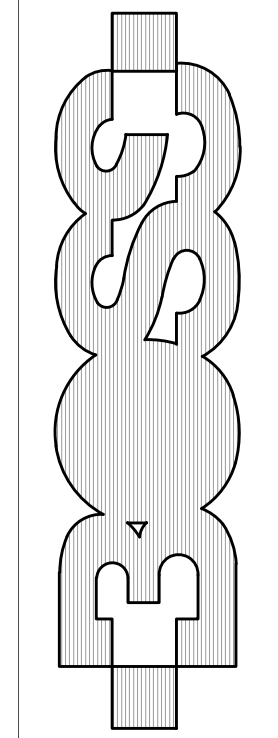
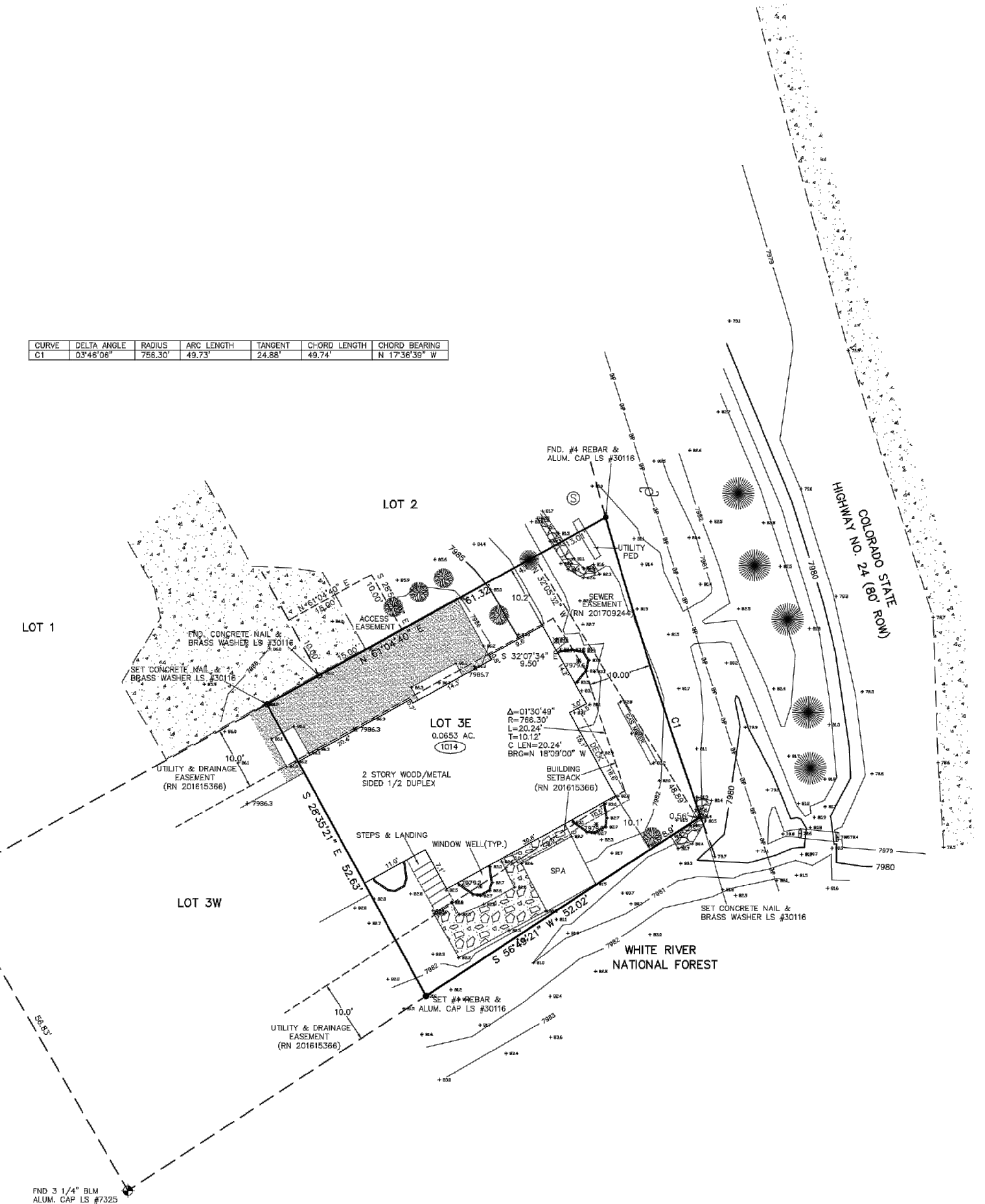
SURVEYOR'S CERTIFICATE:
 I, Michael J. Post, a Professional Land Surveyor registered under the laws of the State of Colorado, do hereby certify that this topographic survey was made by me and under my supervision, and that the survey is accurate and correct to the best of my knowledge.



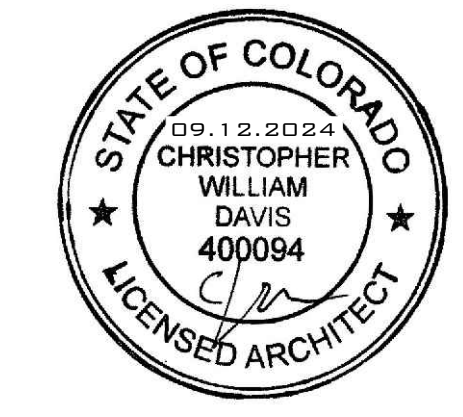
EAGLE VALLEY SURVEYING, INC.
 41199 HIGHWAY 6 & 24, EAGLE-VAIL
 P.O. BOX 1230
 EDWARDS, CO. 81632
 (970)949-1406

3518-T-ISP-2024.dwg DATE: 12/2023
 DRN. BY: MLT PAGE: 1 OF 1

TOPOGRAPHIC SURVEY
 IMPROVEMENT SURVEY PLAT
 LOT 3E
 CROSS CREEK PLACE
 TOWN OF MINTURN, EAGLE COUNTY, COLORADO
 JOB No. 3518



CHRISTOPHER DAVIS
 KEVIN STEPHENSON



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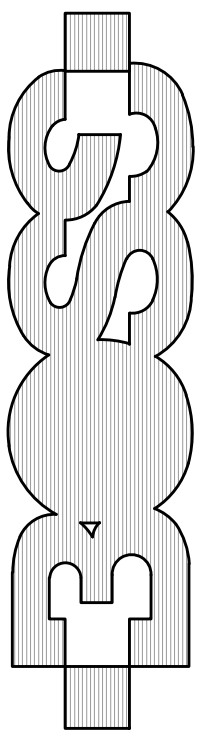
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SURVEY

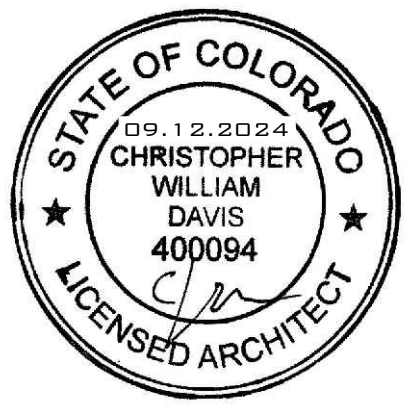
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LOT COVERAGE, SQ. FT.	
LOT COVERAGE	
LOT SIZE	5,963 SF (.13 ACRES)
ALLOWED	2,981 SF (50%)
PROPOSED	2,363 SF (39%)
IMPERVIOUS	
ALLOWED	3,577.8 SF (60%)
PROPOSED	2,986 SF
BUILDING	2,363 SF
DRIVEWAYS (EX.)	623 SF
TOTAL	2,986 SF (50%)



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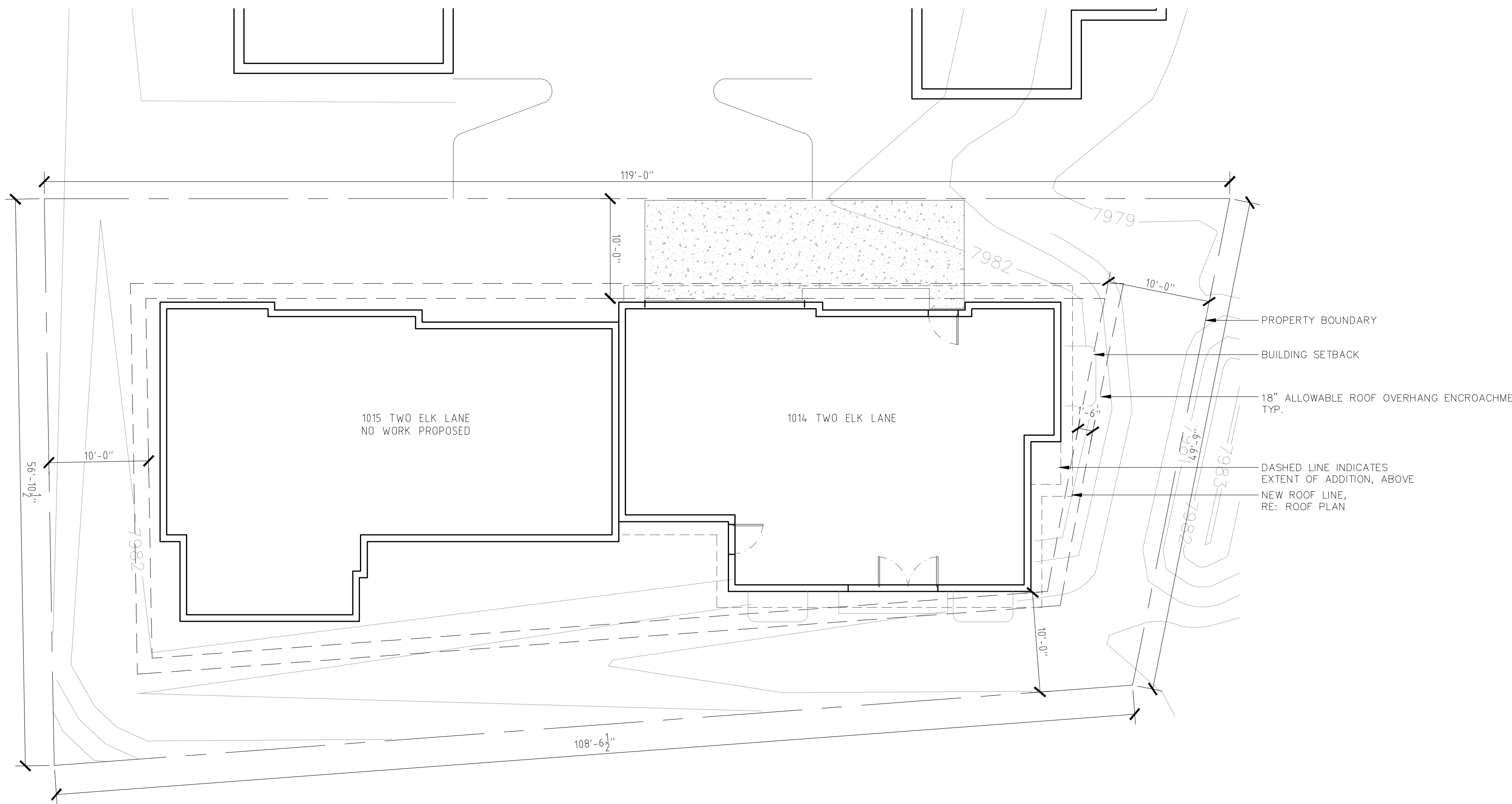
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SITE PLAN

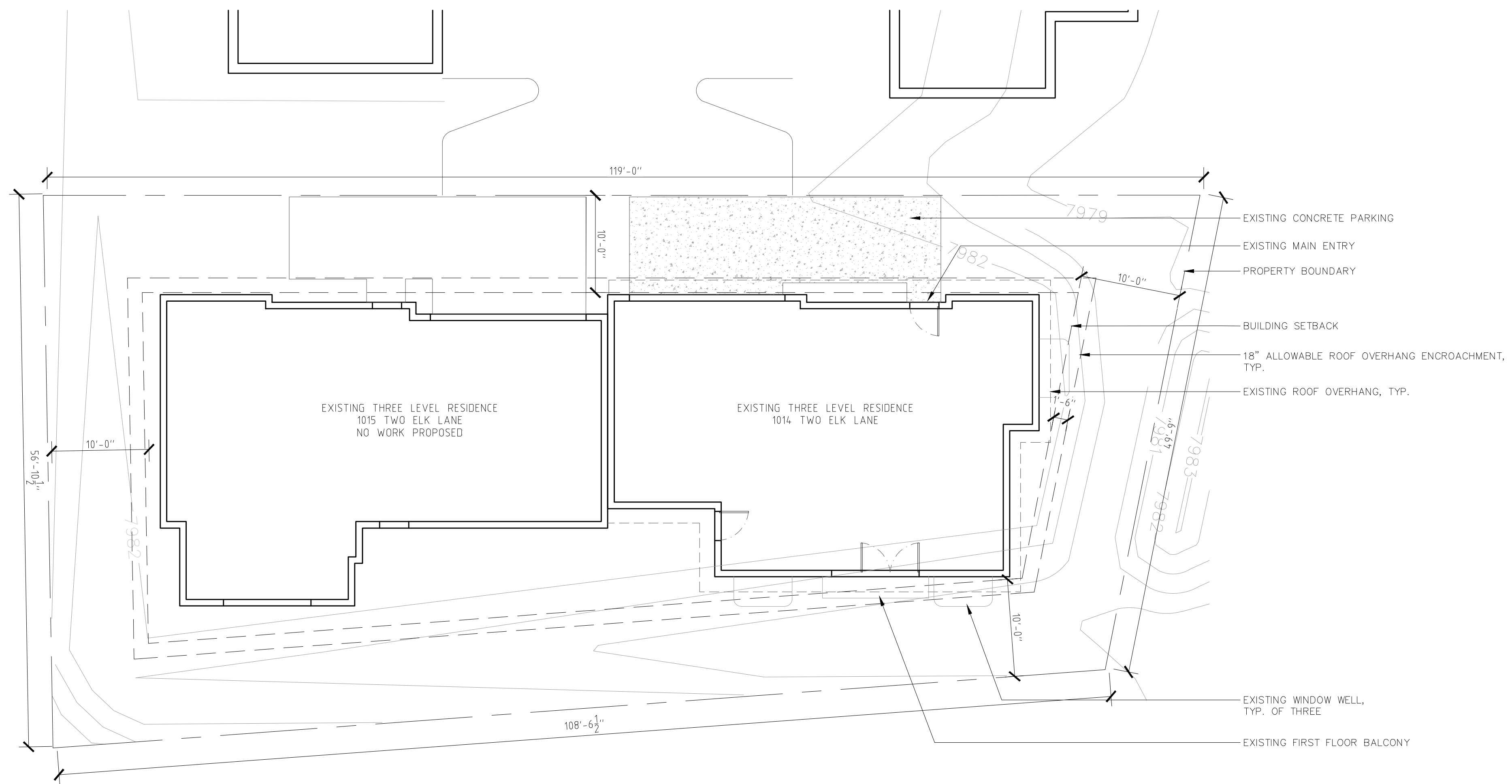
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1.0







2 PROPOSED SITE PLAN
1/4" : 1'



1 EXISTING SITE PLAN
1/4" : 1'

DEMO.LEGEND

	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

DEMOLITION.NOTES

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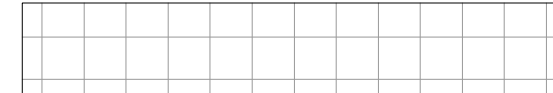
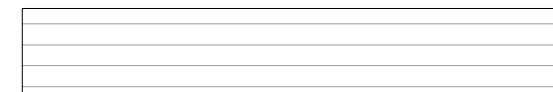
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RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

PLAN.MATERIALS

	STAMPED CONCRETE DECK
	WOOD FLOORING

PLAN.NOTES

VERIFY ALL DIMENSIONS IN FIELD.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

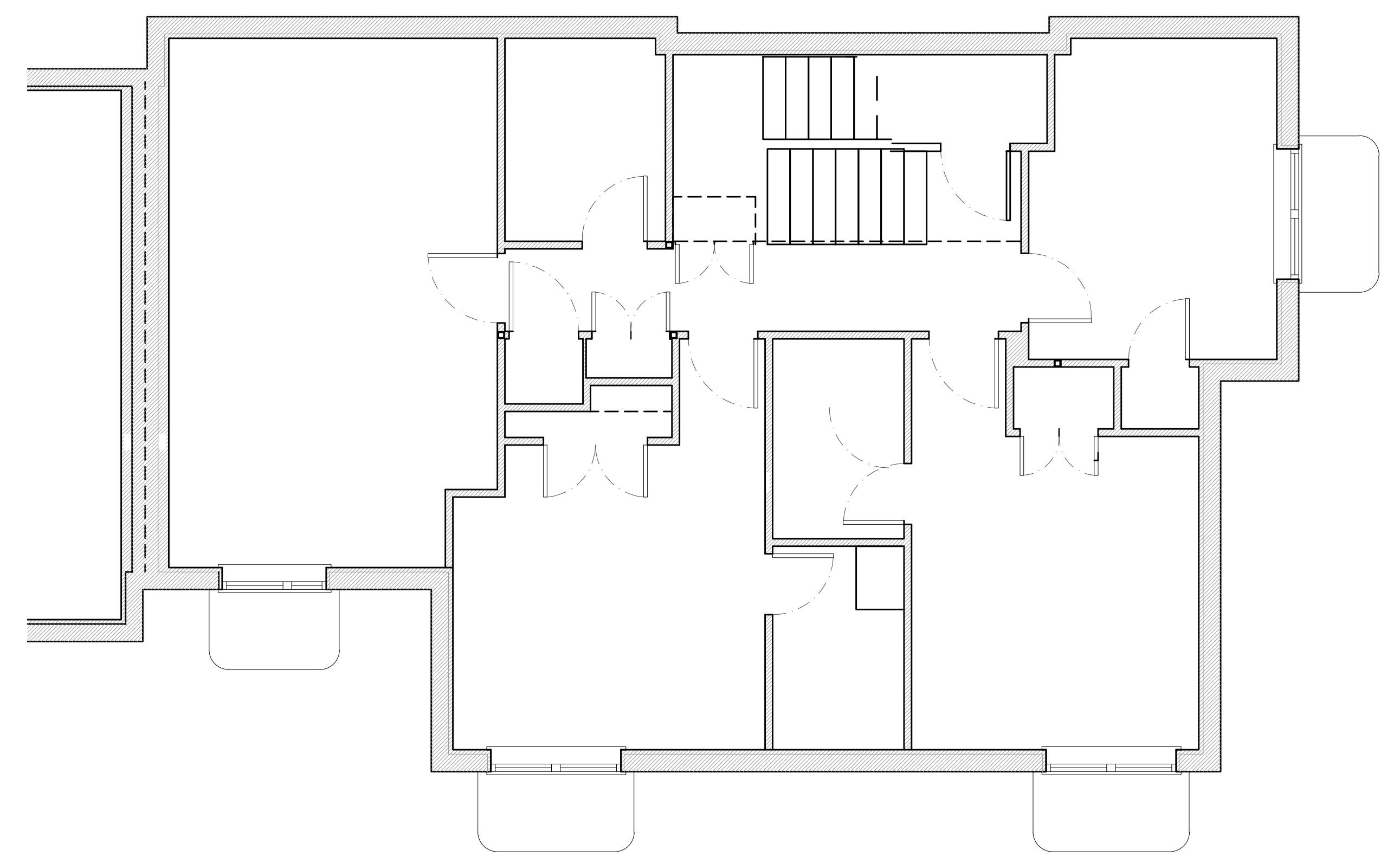
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 @ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).

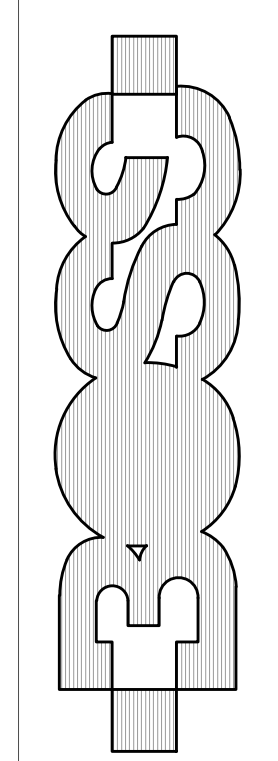
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 100'-0" = 7986.6"

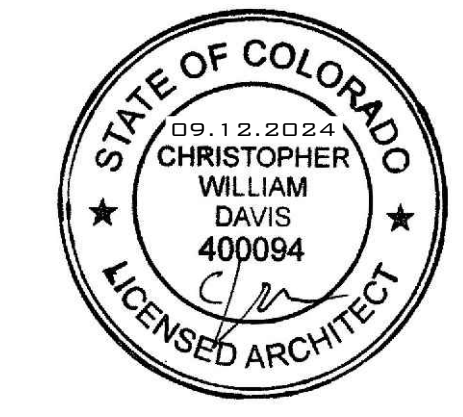
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1 BASEMENT PLAN
 NO WORK PROPOSED
 1/4" = 1'



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 KEVIN STEPHENSON
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BASEMENT PLAN

2.0

DEMO.LEGEND

	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

DEMOLITION.NOTES

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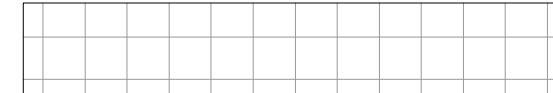
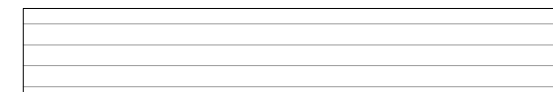
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	WOOD FLOORING

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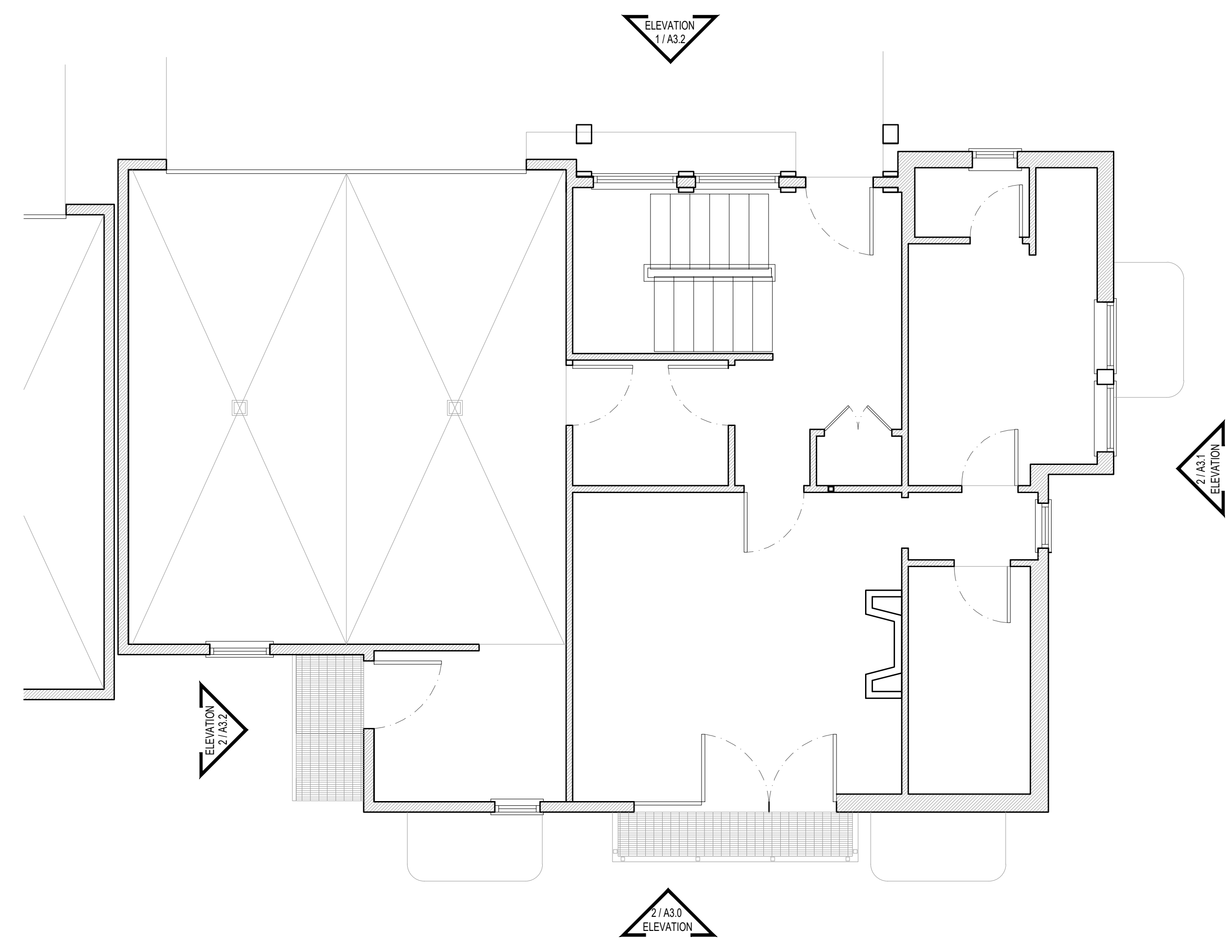
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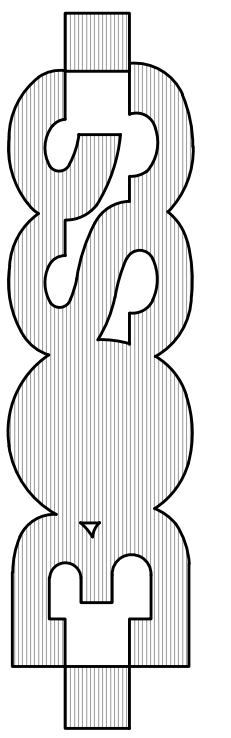
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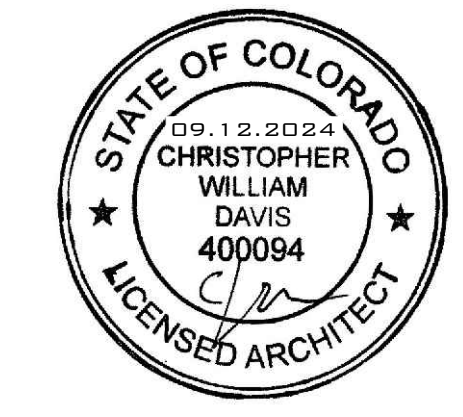
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1 LOWER LEVEL PLAN
 NO WORK PROPOSED
 1/4" = 1'



CHRISTOPHER.DAVIS
 KEVIN STEPHENSON
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LOWER LEVEL PLAN

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2.1

DEMO.LEGEND

	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

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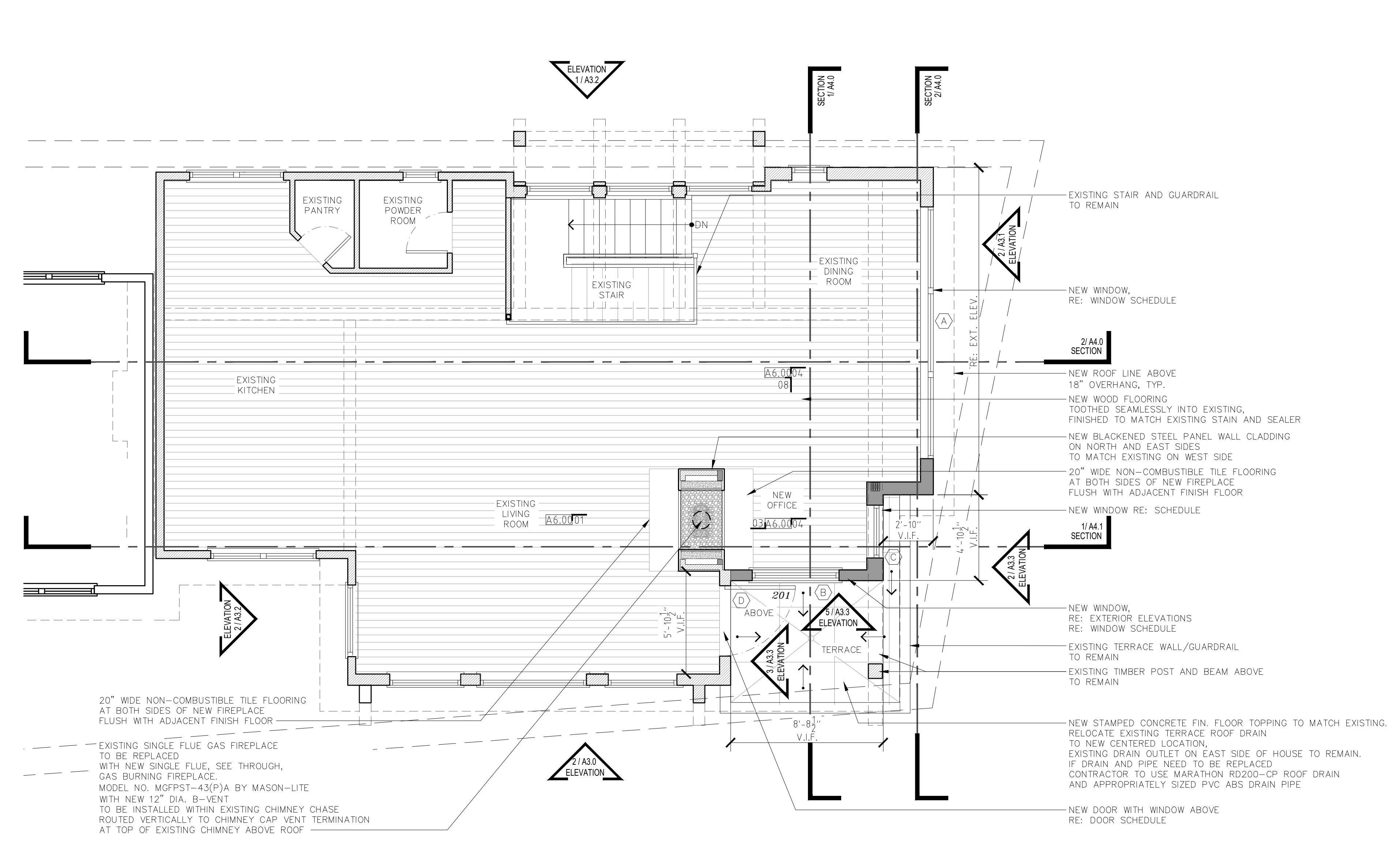
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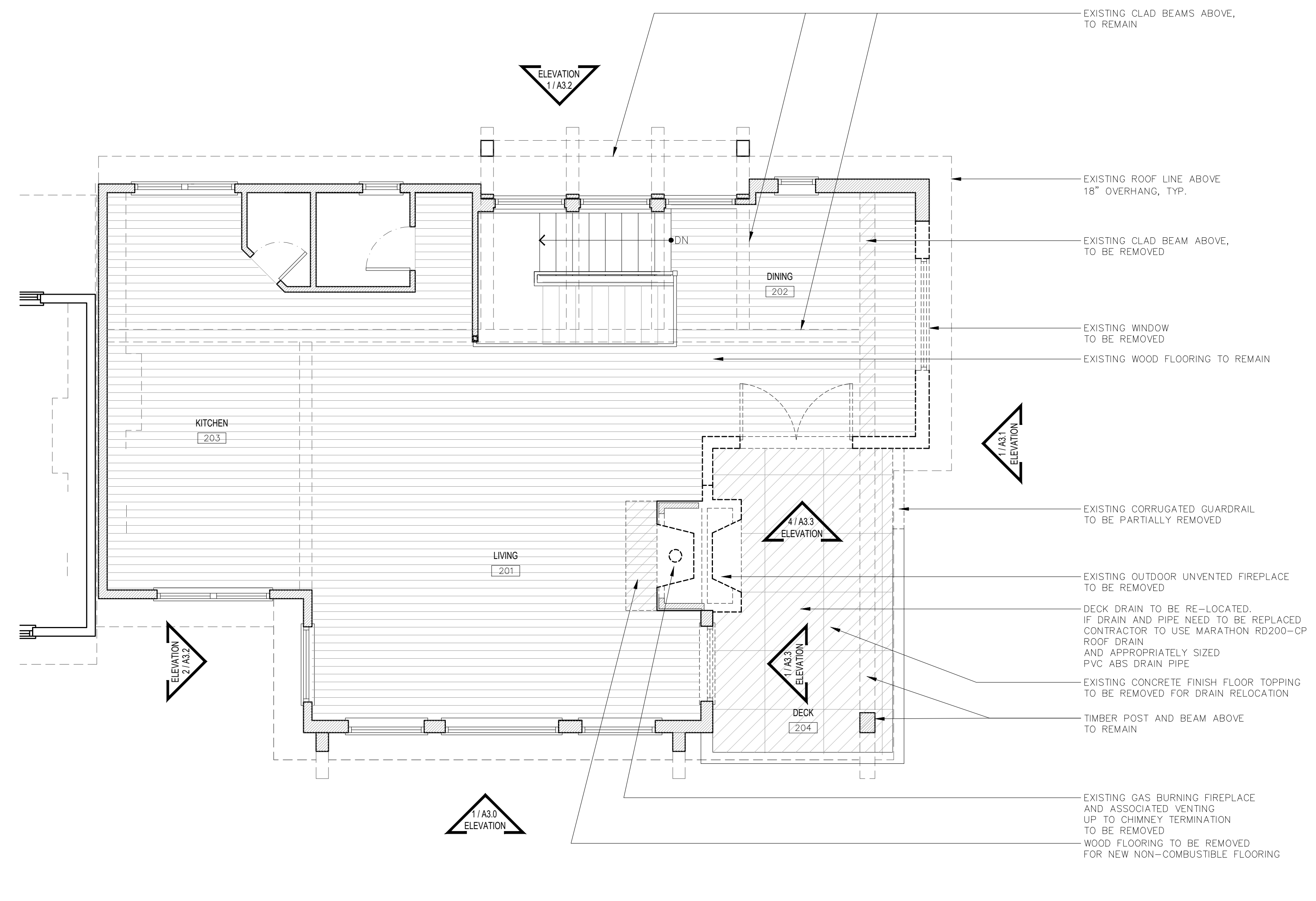
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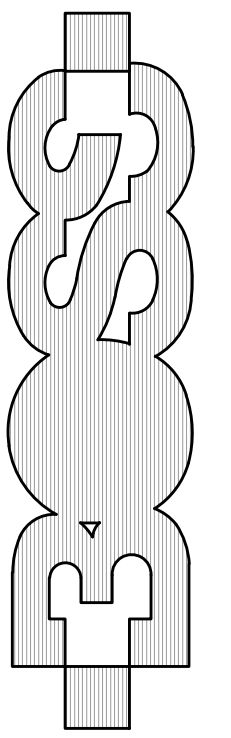
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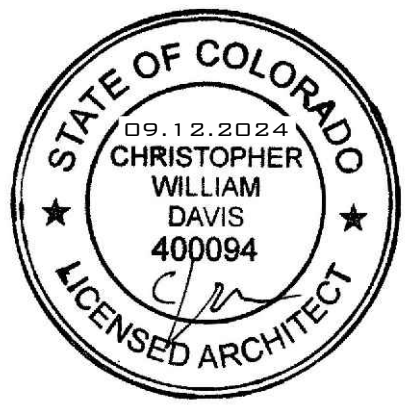
2 UPPER LEVEL PROPOSED PLAN
1/4" = 1'



1 UPPER LEVEL DEMO PLAN
1/4" = 1'



CHRISTOPHER DAVIS
KEVIN STEPHENSON



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UPPER LEVEL PLANS

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THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES & OTHER FORMS OF PROTECTION AS REQUIRED, TO PROTECT PERSONNEL, VISITORS, & GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.

ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT INTERNATIONAL RESIDENTIAL CODE, ADA, & ANY OTHER FEDERAL, STATE OR LOCAL AGENCIES HAVING JURISDICTION OVER THIS PROJECT.

DISCONNECT AND SAFELY PROTECT ALL UTILITY MAIN AND SUB CONNECTIONS SUCH AS BUT NOT LIMITED TO GAS, ELECTRIC, AND PLUMBING SO THEY CAN BE SAFELY TIED INTO, REMOVED OR RELOCATED AT A LATER DATE.

RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

ROOF PLAN.MATERIALS

	FULLY ADHERED, CONTINUOUS, 60 MIL. EPDM ROOFING
	CORRUGATED METAL ROOF

DS. SYMBOL INDICATES LOCATIONS OF DOWNSPOUTS

ROOF PLAN.NOTES

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

ALL LOW SLOPE ROOFED AREAS SHALL BE FULLY ADHERED 60 MIL. EPDM, (INCLUDING ALL REQUIRED EPDM FLASHINGS FOR CORNERS, TRANSITIONS, ROOF PENETRATIONS, & VENTS)

PROVIDE PROTECTIVE CAGES OVER ROOF DRAINS TO PREVENT DEBRIS FROM CLOGGING DRAINS, TYP.

WHEN ROOF & OVERFLOW DRAINS DRAIN INTERNALLY, THEY SHALL EXIT THE STRUCTURE VIA LAMBS TONGUES, ROUTED TO RAIN GARDEN #2. (RE: CIVIL)

FOR EVERY ROOF DRAIN, A SECONDARY OVERFLOW DRAIN SHALL BE PROVIDED, TYP. PER IRC 903.4 AND 903.4.1. (ALL OVERFLOW DRAIN INLET ELEVATIONS SHALL BE NO MORE THAN 2" ABOVE ROOF DRAIN INLETS, TYP.)

PROVIDE SLOPED PARAPET CAP FLASHING & GRAVEL STOPS, AS INDICATED ON THE WALL SECTIONS. (ALL PARAPET CAPS, GRAVEL STOPS, SHALL BE SEAMLESS, PREFINISHED METAL, TO MATCH EXISTING, TYP.)

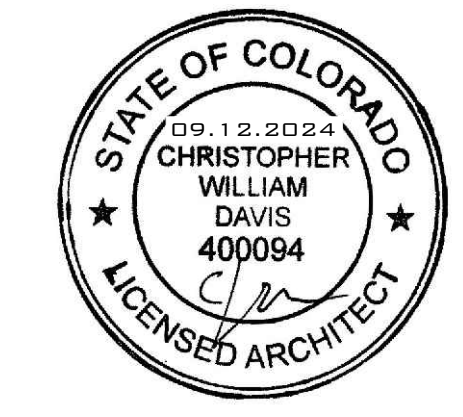
ALL FLASHING SHALL BE PREFINISHED METAL, U.N.O.

CONTRACTOR TO INSTALL HPC APPROVED 4" DOWN SPOUTS AND 6" GUTTERS WHERE INDICATED, AND INSTALL HPC APPROVED SNOW GUARDS AS REQ'D.

COORDINATE ALL VENT PIPE / FLUE / AND OTHER ROOF PENETRATIONS WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

NOTE: ICE DAM BARRIER OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL EXTEND FROM THE ROOF EAVE EDGE AT LEAST SIX FEET INSIDE THE EXTERIOR WALL LINE AS MEASURED ALONG THE ROOF SURFACE, EIGHTEEN INCHES FROM THE CENTERLINE OF THE VALLEY AND UP TWENTY-FOUR INCHES ON THE VERTICAL WALL AT A ROOF AND WALL JUNCTURE.

CHRISTOPHER.DAVIS
KEVIN .STEPHENSON

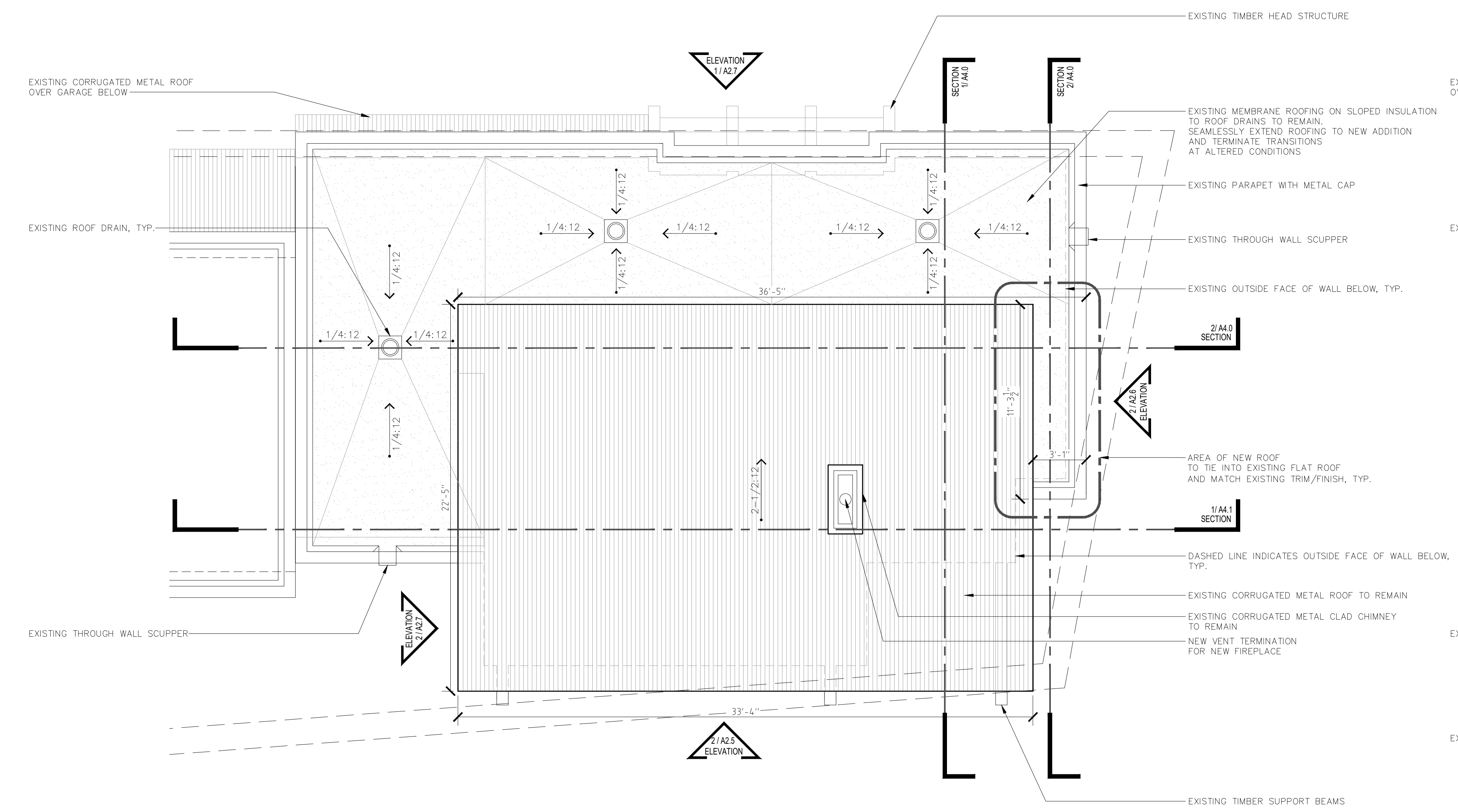


OWNER:
ADAM AND LAINIE MINNICK

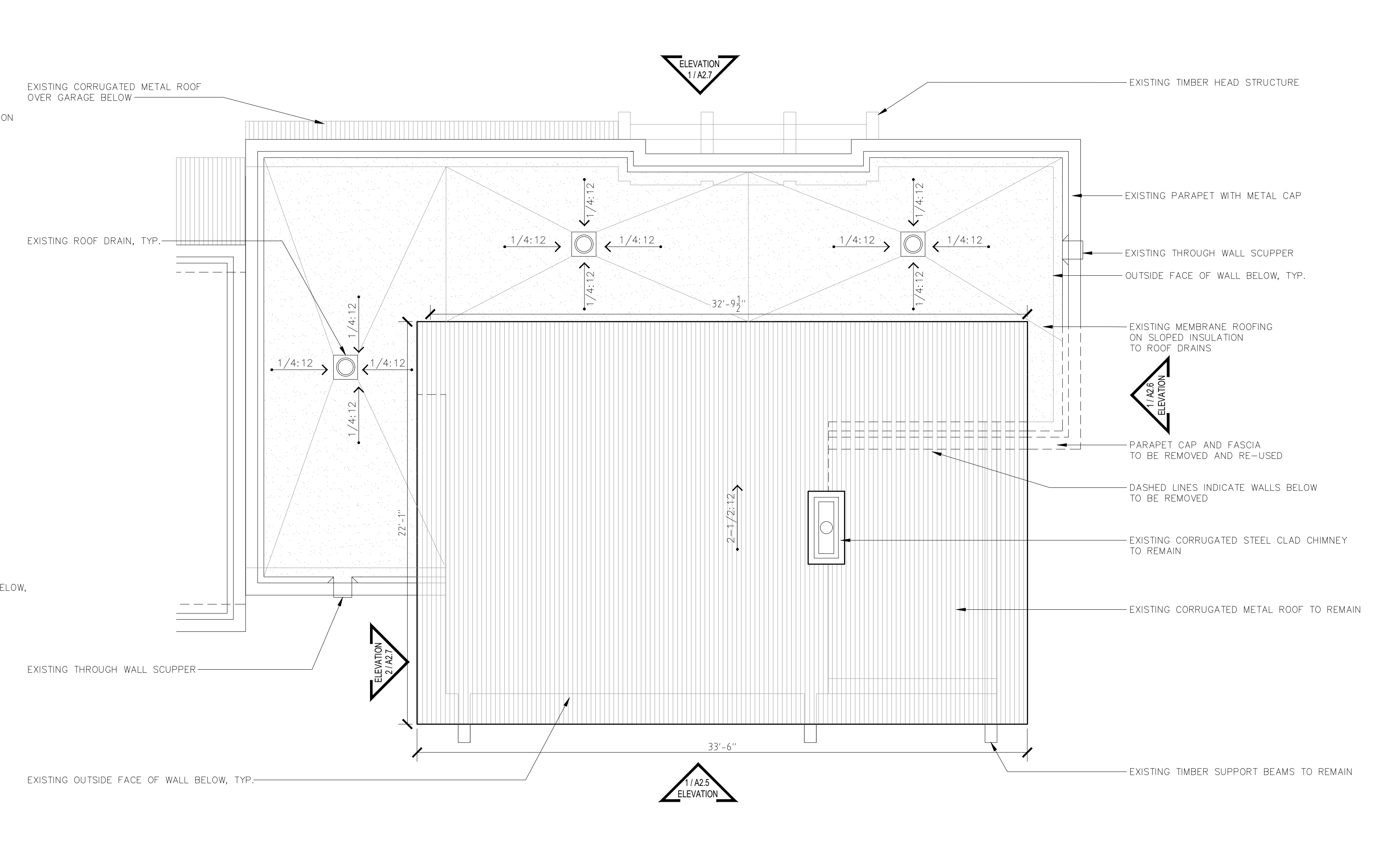
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**1014 TWO ELK LANE
MINTURN, COLORADO 81645**

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ROOF PLANS



2 ROOF PROPOSED PLAN
1/4" : 1'



1 ROOF DEMO PLAN
1/4" : 1'

TWO.ELKCONDO

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DEMO.LEGEND

	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

DEMOLITION.NOTES

THE GENERAL CONTRACTOR IS SUPPLIED, HEREIN, WITH THE CONSTRUCTION DOCUMENTS FOR THEIR USE IN PRICING & CONSTRUCTING THIS WORK. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL (E) CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES & UNFORESEEN CONDITIONS & COORDINATE PRICING & CONSTRUCTION INFORMATION ACCORDINGLY.

THESE DEMOLITION DRAWINGS ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR. VERIFY ALL CONDITIONS BEFORE PROCEEDING W/ THE DEMOLITION WORK IN ANY AREA. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT & STRUCTURAL ENGINEER, & SECURE INSTRUCTIONS PRIOR TO PROCEEDING WITH ANY WORK.

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RCP.NOTES

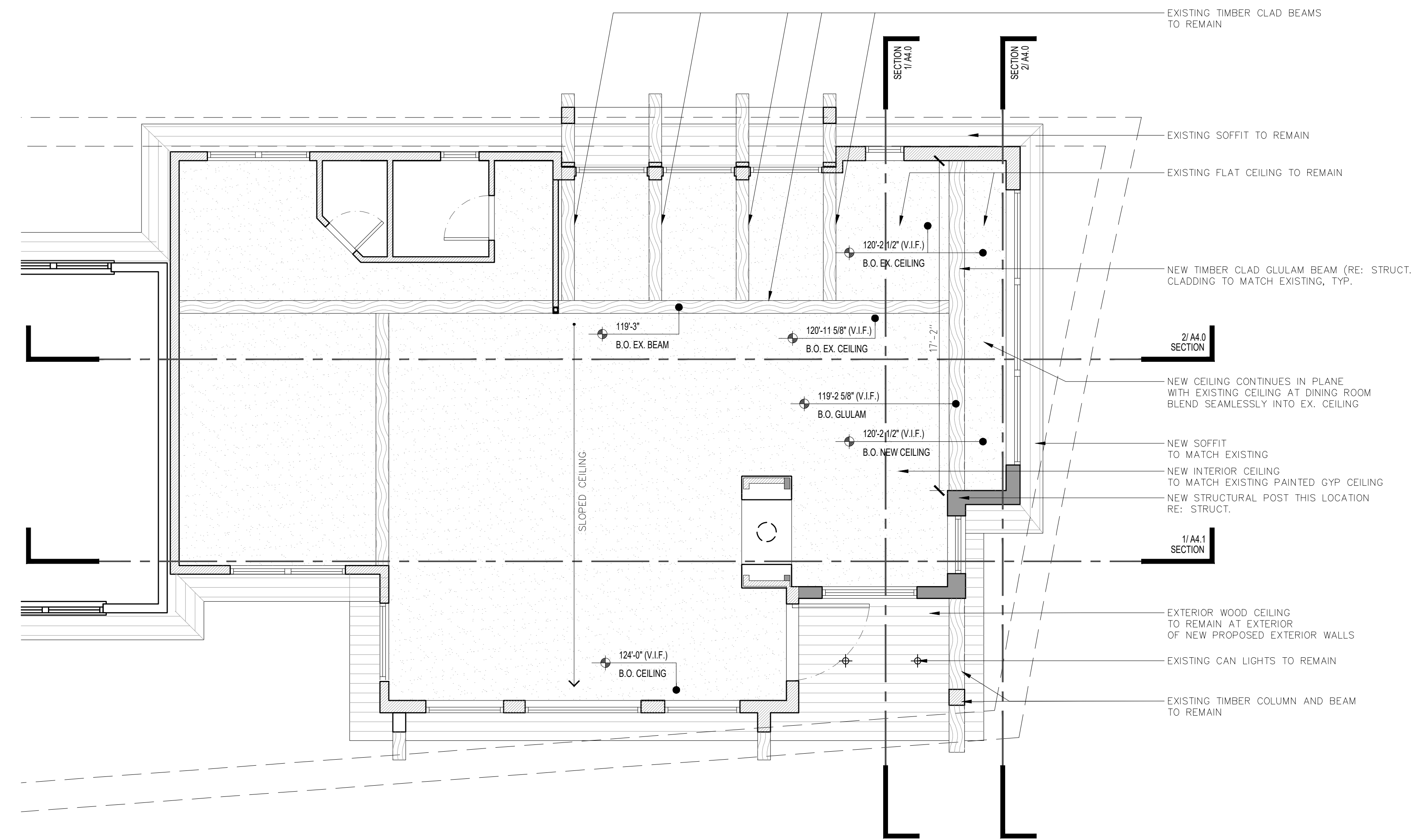
PROVIDE SMOKE DETECTORS, AS REQUIRED BY CODE.

NOTIFY OWNER & ARCHITECT OF ANY CONFLICTS BETWEEN LIGHT FIXTURES & MECHANICAL EQUIPMENT PRIOR TO INSTALLATION. PENDANT LIGHT FIXTURES MAY BE "TRAPEZED" AROUND CONFLICTING MECHANICAL EQUIPMENT, PER OWNER'S AND ARCHITECT'S APPROVAL.

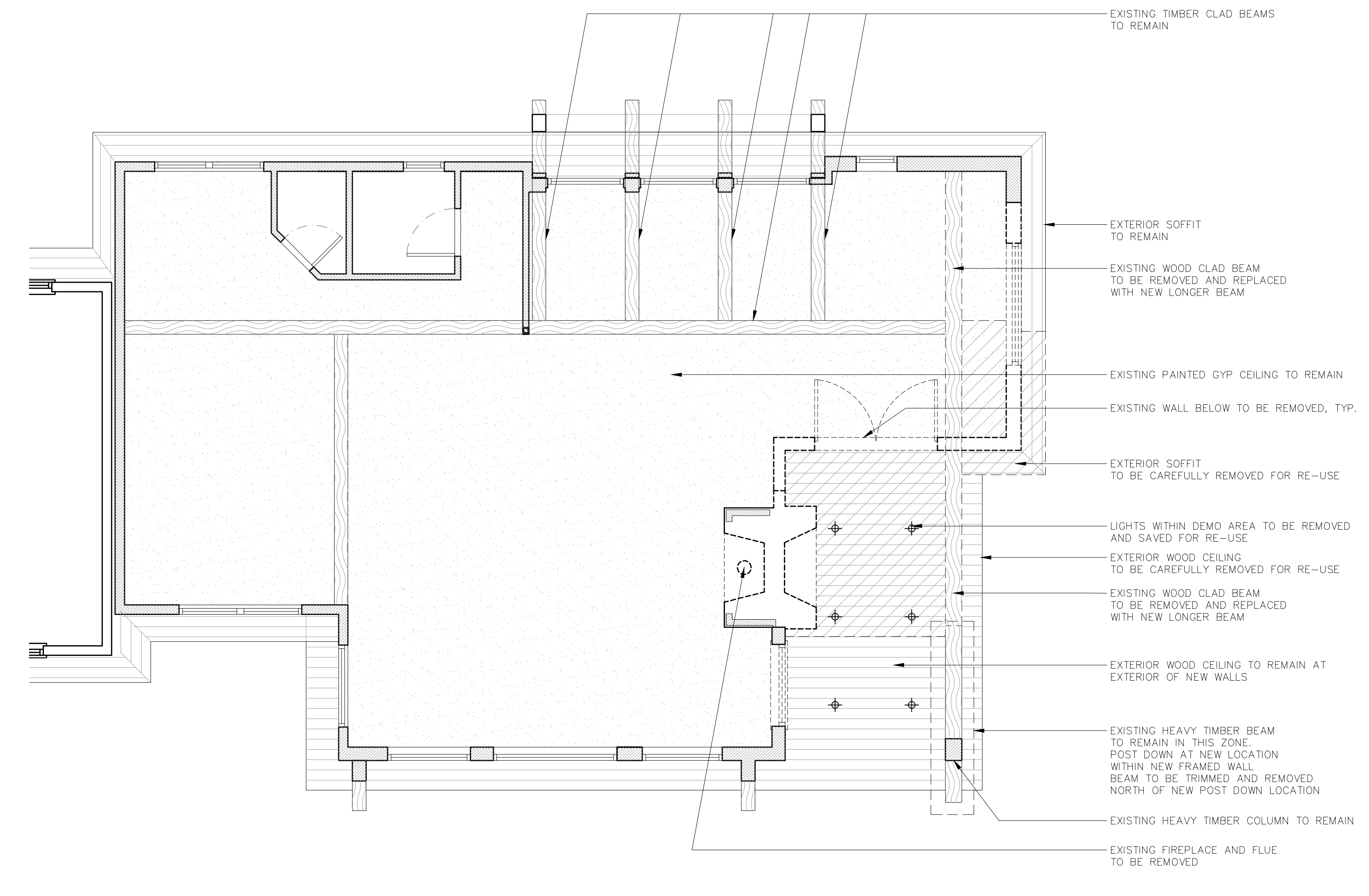
SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

RCP.MATERIALS

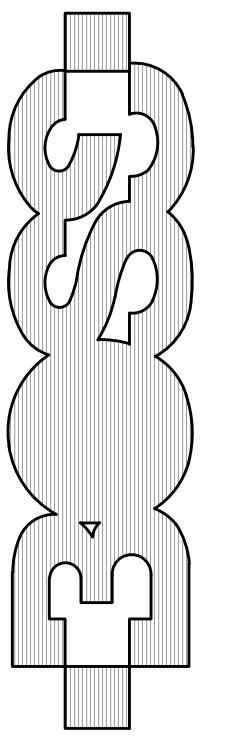
	GYP BOARD, PRIME & PAINT
	CVG T&G SOFFIT
	WOOD BEAM



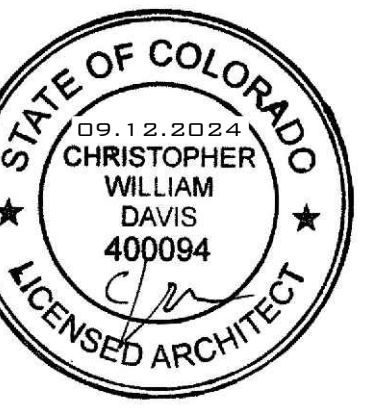
2 UPPER LEVEL PROPOSED RCP
1/4" : 1'



1 UPPER LEVEL DEMO RCP
1/4" : 1'



CHRISTOPHER DAVIS
KEVIN STEPHENSON
ARCHITECTS



OWNER: ADAM AND LAINIE MINNICK
LOCATION: 1014 TWO ELK LANE MINTURN, COLORADO 81645

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REFLECTED CEILING PLANS

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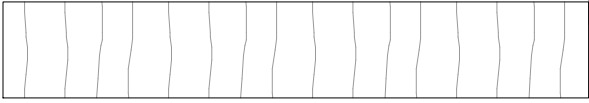



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2.4

ELEVATION NOTES

VERIFY ALL DIMENSIONS IN FIELD.
 SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.
 ALL WINDOWS ARE EXISTING, TO REMAIN, UNLESS NOTED OTHERWISE. ALL NEW WINDOWS TO MATCH EXISTING WINDOWS IN FRAME, PROFILE, FRAME SIZE, FRAME FINISH / COLOR, AND GLASS TYPE.
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ELEVATION MATERIALS

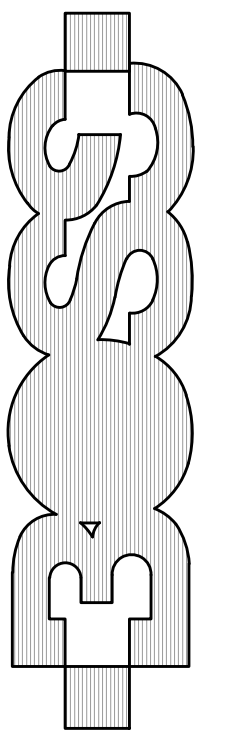
-  WOOD SIDING
-  CORRUGATED STEEL SIDING
-  AREA TO BE REMOVED
-  EXISTING WINDOWS OR DOORS TO BE REMOVED



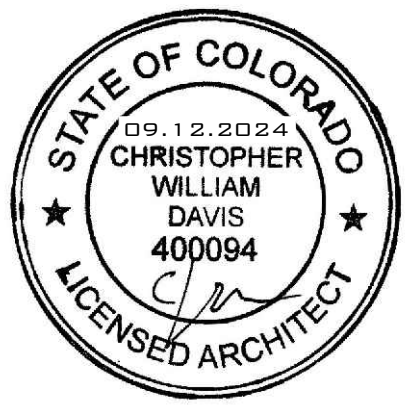
2 SOUTHEAST
 PROPOSED ELEVATION
 1/4" = 1'



1 SOUTHEAST
 DEMO ELEVATION
 1/4" = 1'



CHRISTOPHER DAVIS
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EXTERIOR ELEVATIONS

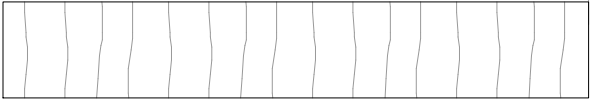
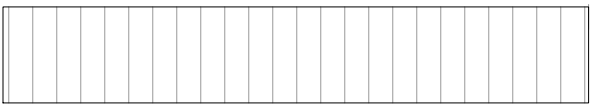


TWO ELK CONDO

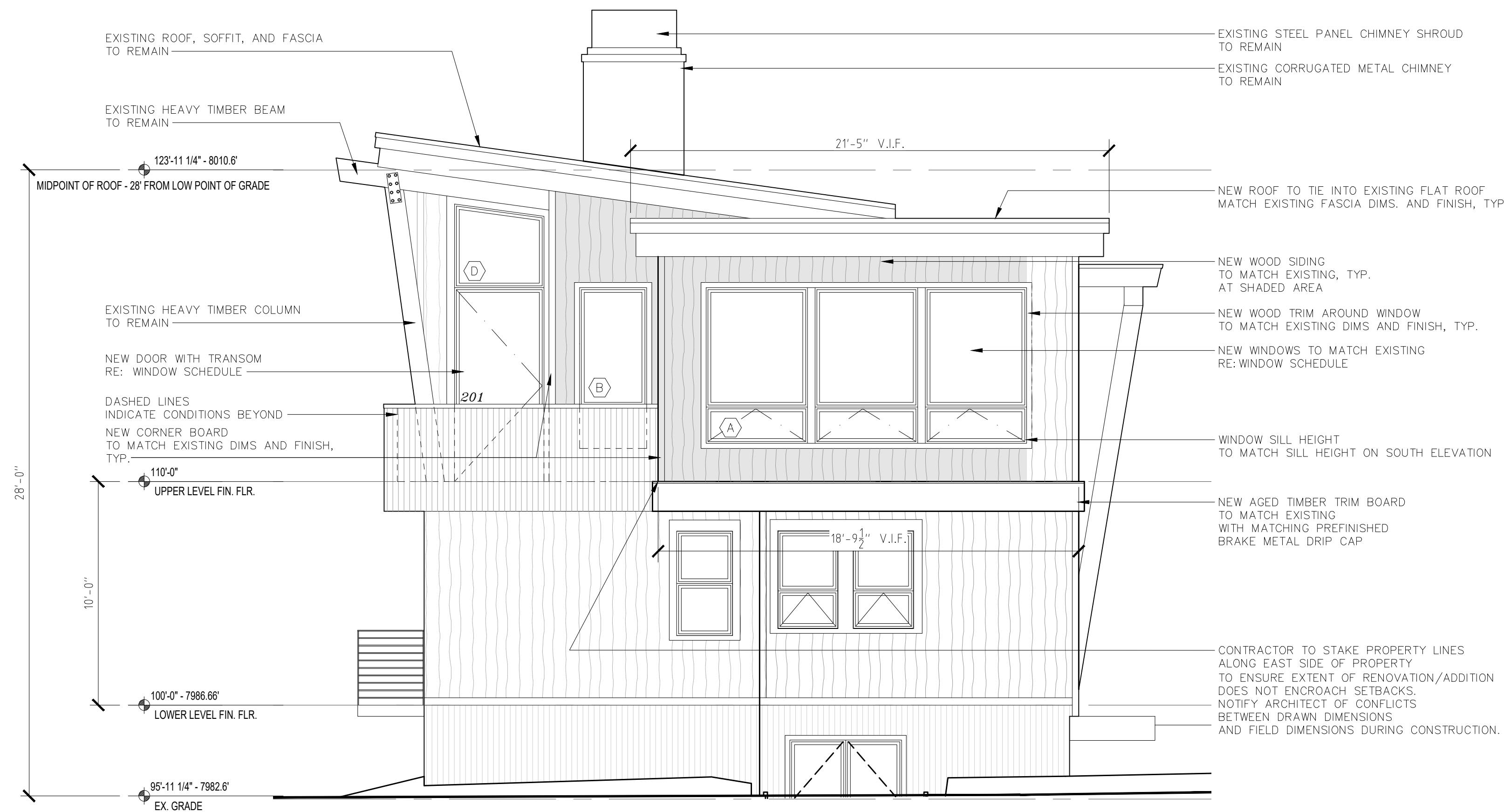
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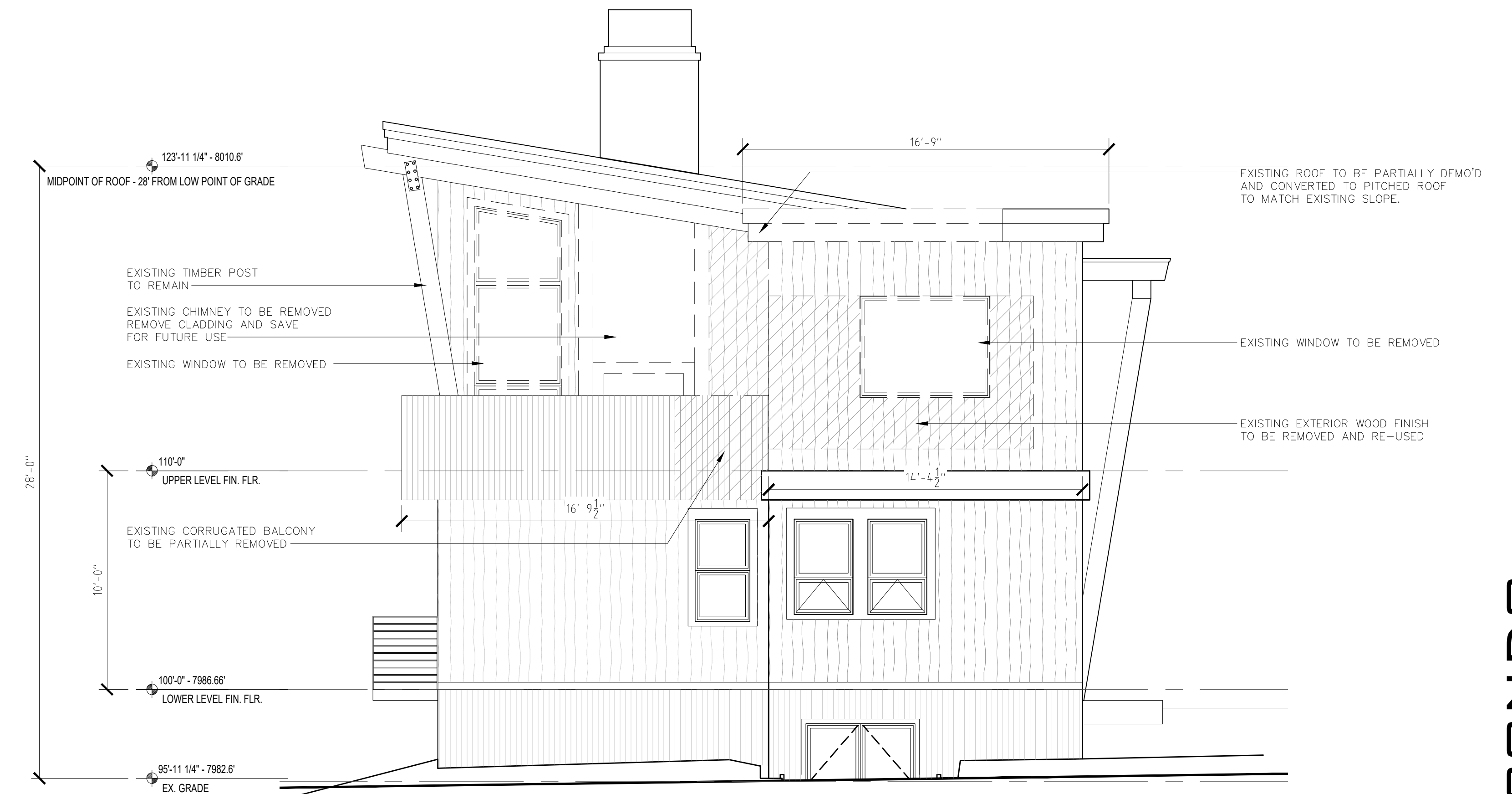
VERIFY ALL DIMENSIONS IN FIELD.
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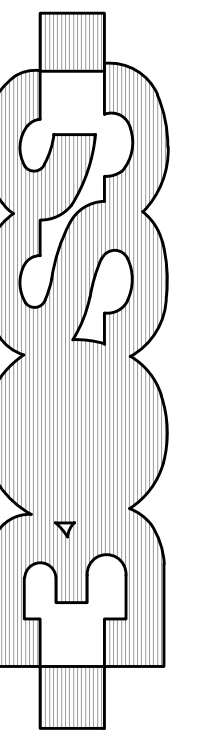
-  WOOD SIDING
-  CORRUGATED STEEL SIDING
-  AREA TO BE REMOVED
-  EXISTING WINDOWS OR DOORS TO BE REMOVED



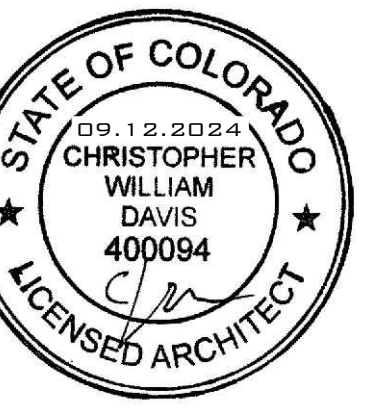
2 NORTHEAST
 PROPOSED ELEVATION
 1/4" : 1'



1 NORTHEAST
 DEMO ELEVATION
 1/4" : 1'



CHRISTOPHER DAVIS
 KEVIN STEPHENSON
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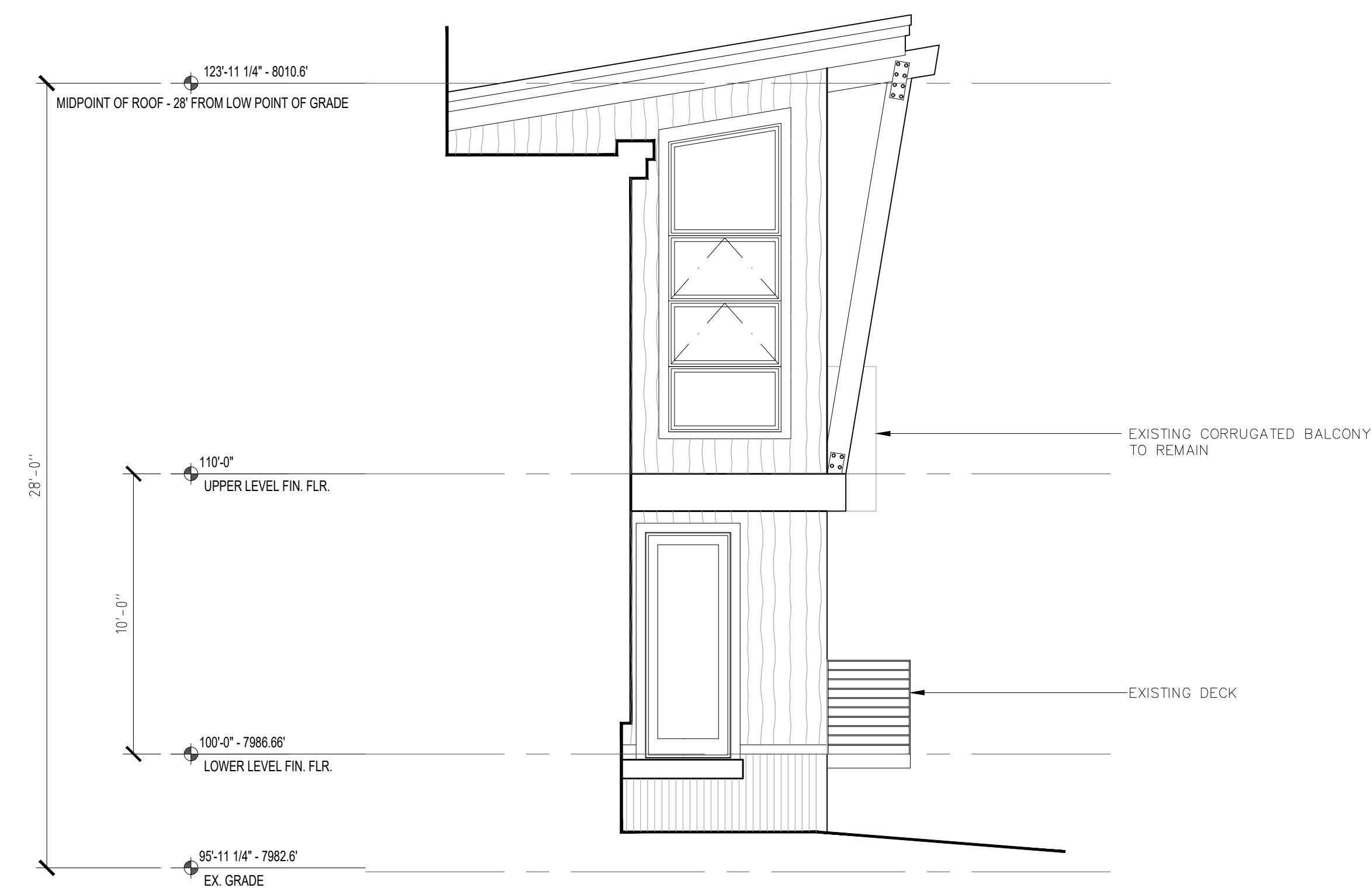
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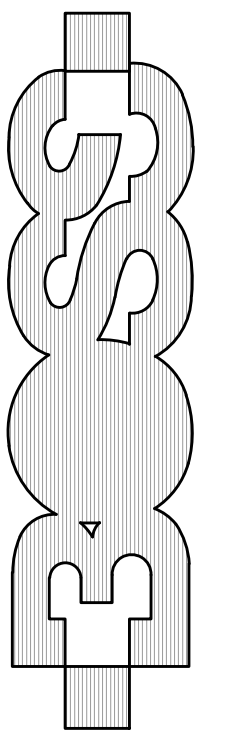
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-  CORRUGATED STEEL SIDING
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2 SOUTHWEST ELEVATION
 NO WORK PROPOSED
 1/4" : 1'



1 NORTHWEST ELEVATION
 NO WORK PROPOSED
 1/4" : 1'



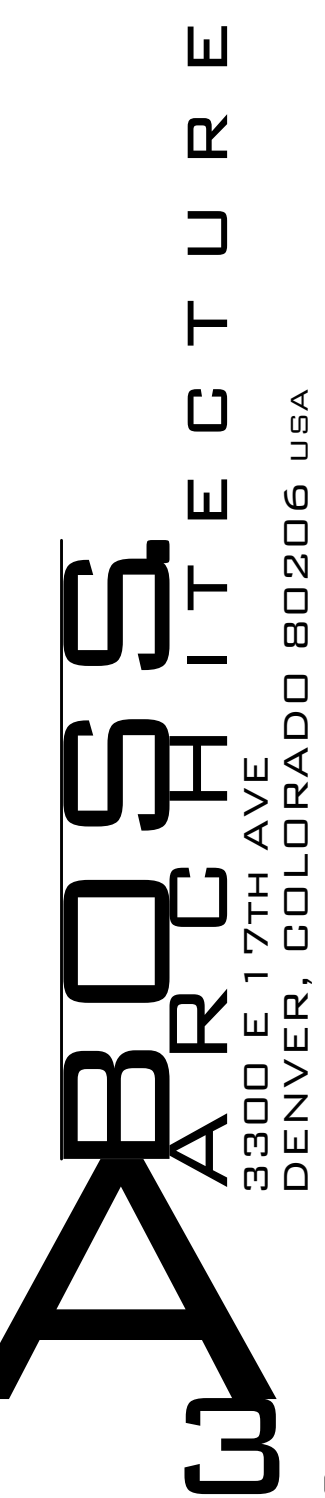
CHRISTOPHER DAVIS
 KEVIN STEPHENSON



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TWO ELK CONDO




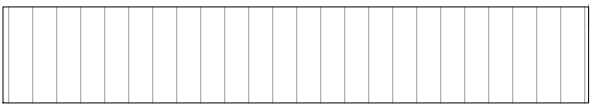


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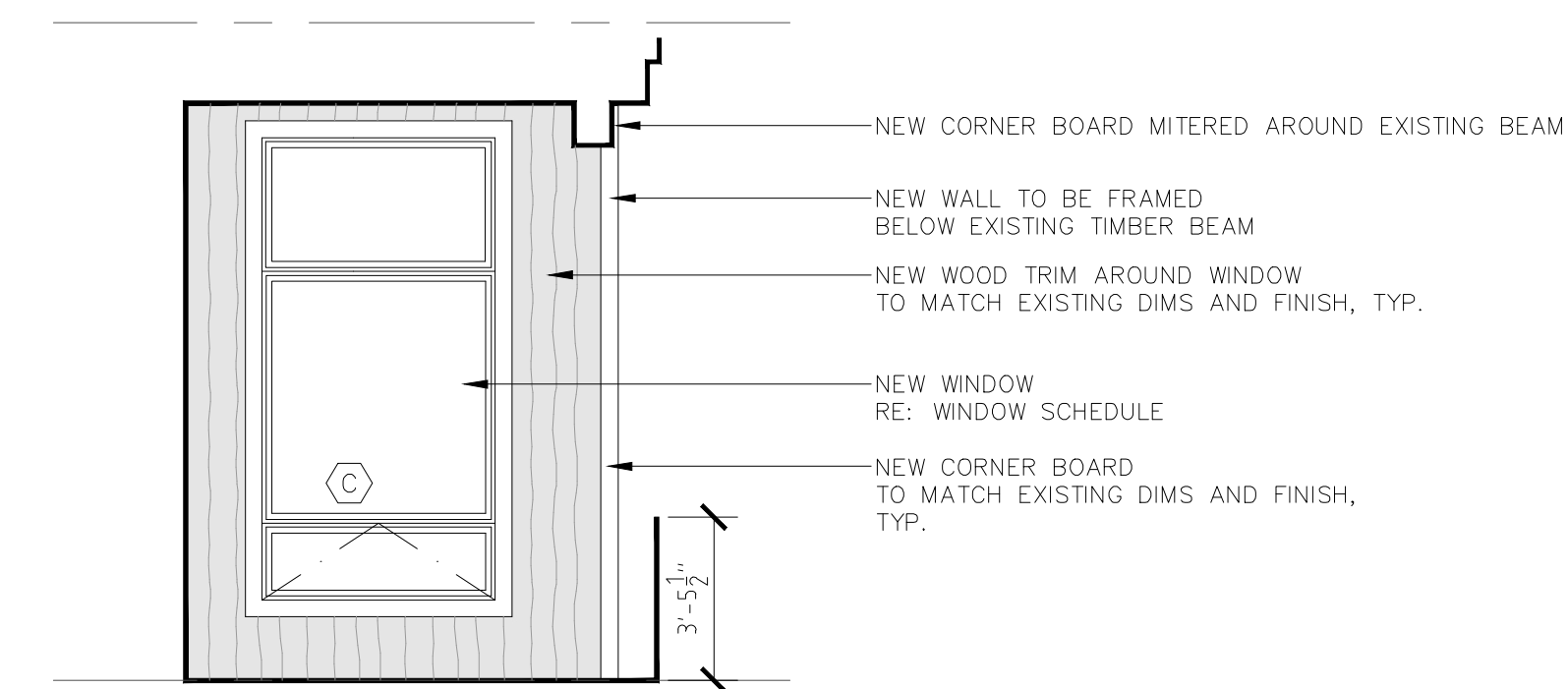
EXTERIOR ELEVATIONS

ELEVATION NOTES

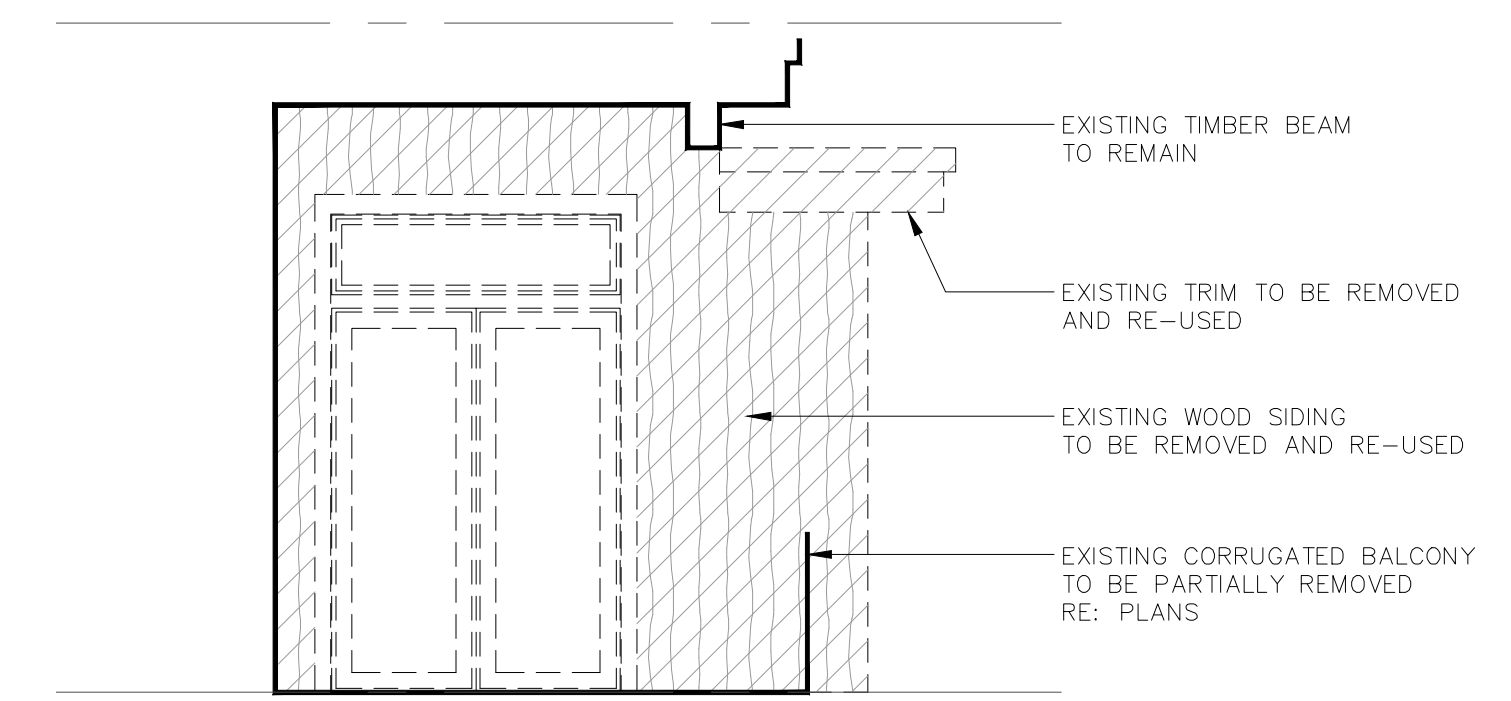
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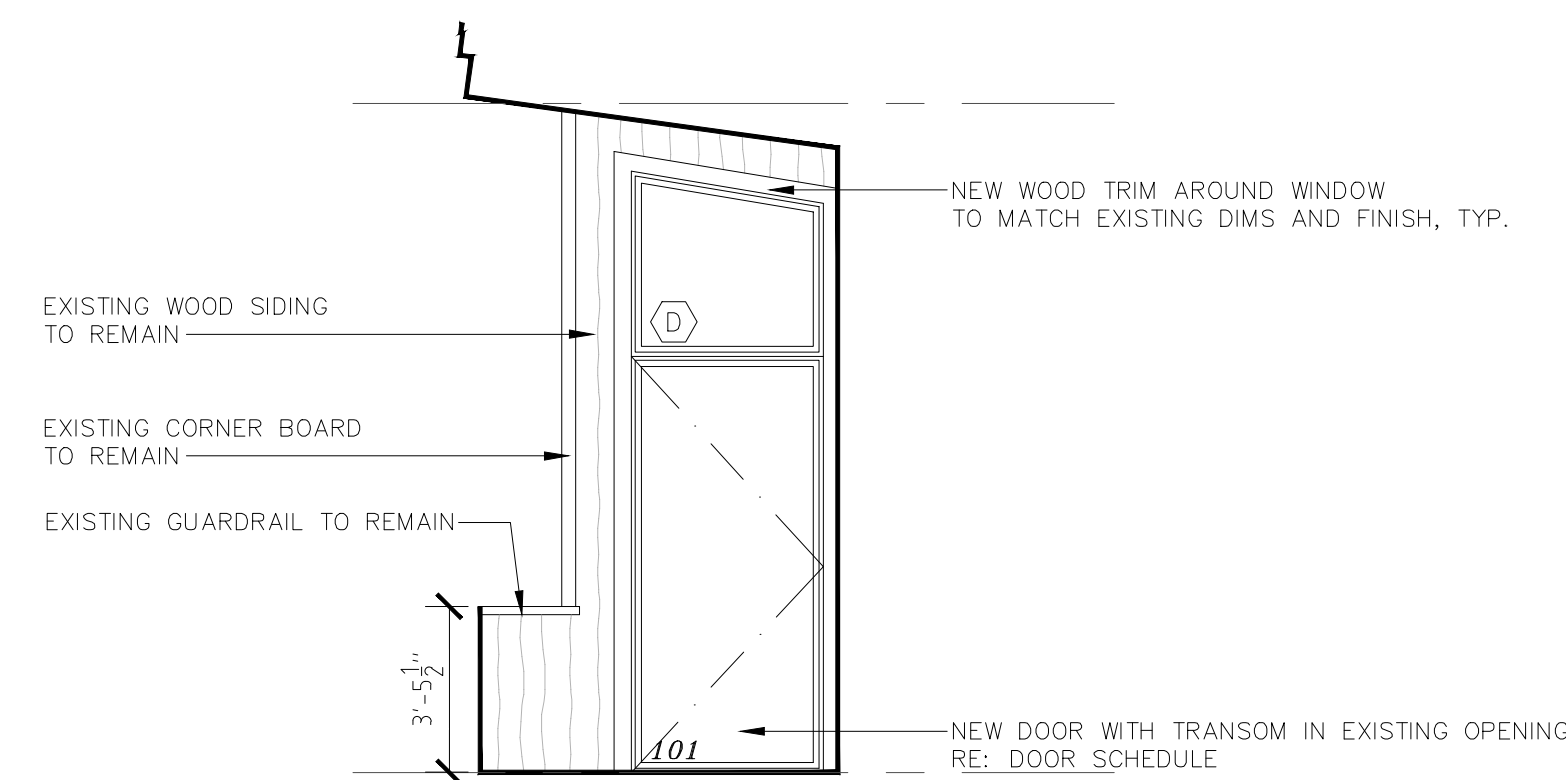
-  WOOD SIDING
-  CORRUGATED STEEL SIDING
-  AREA TO BE REMOVED
-  EXISTING WINDOWS OR DOORS TO BE REMOVED



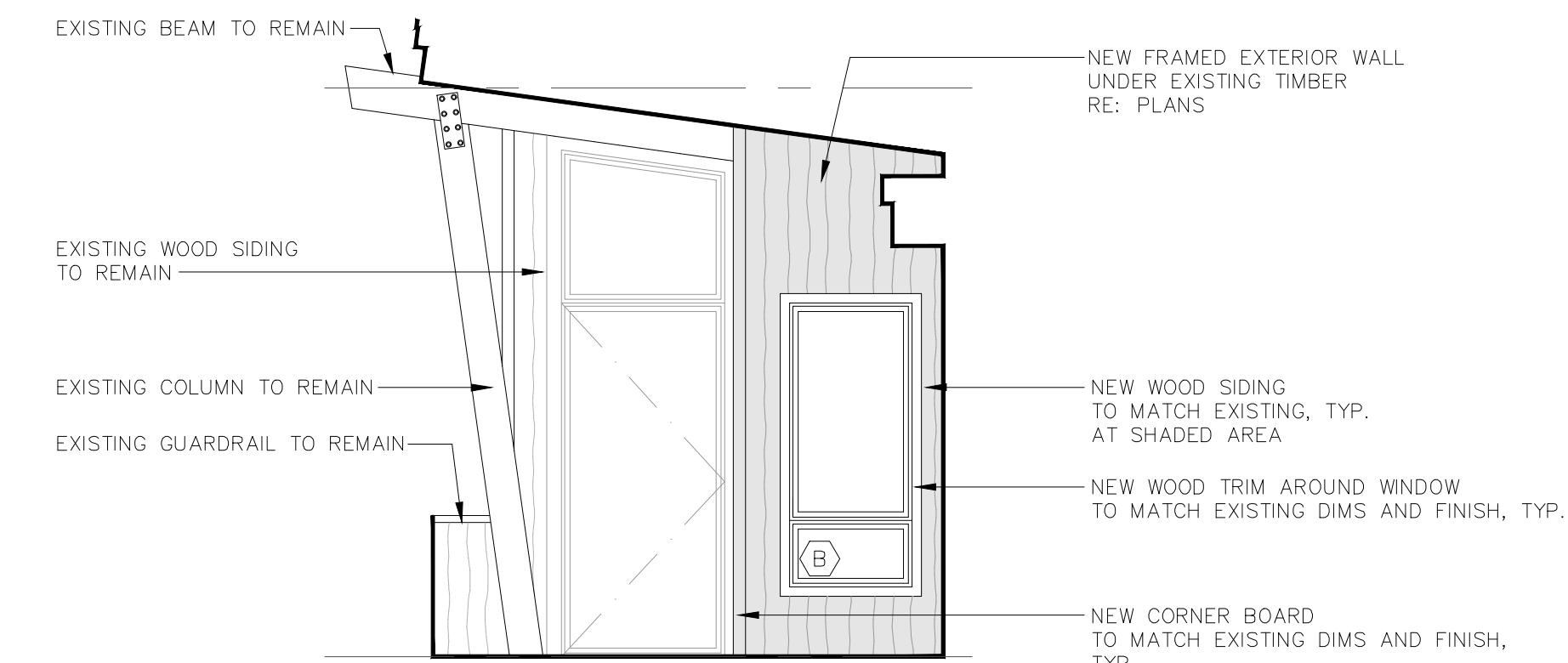
5 SOUTHEAST DECK PROPOSED ELEVATION
 1/4" : 1'



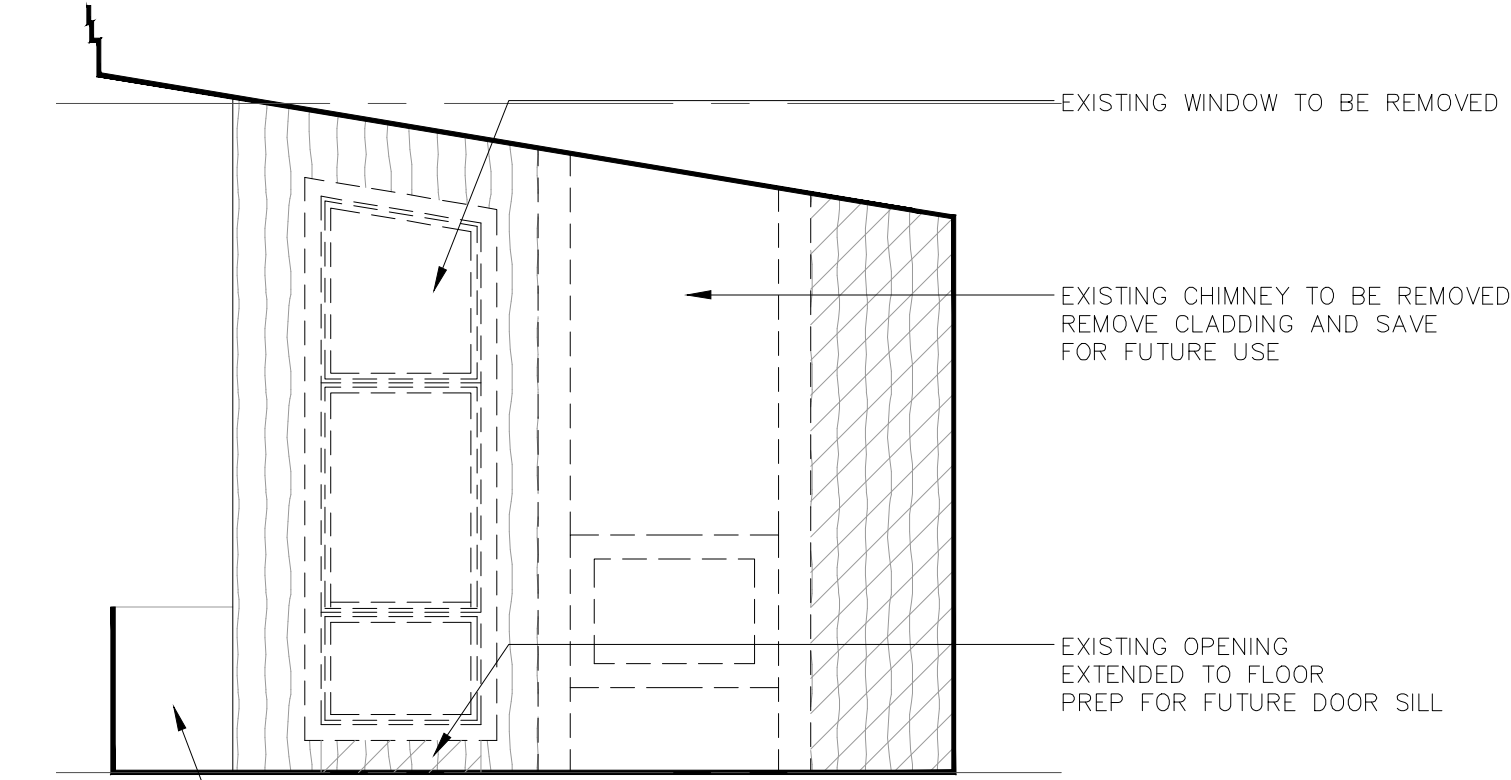
4 SOUTHEAST DECK DEMO ELEVATION
 1/4" : 1'



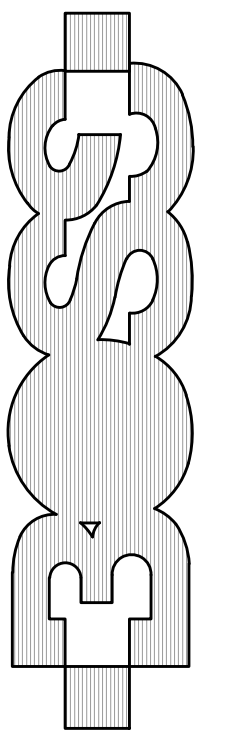
3 NORTHEAST DECK PROPOSED ELEVATION
 1/4" : 1'



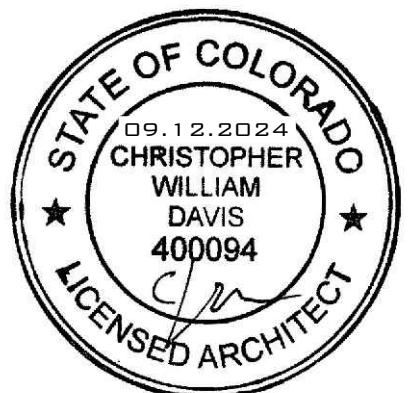
2 NORTHEAST DECK PROPOSED ELEVATION
 1/4" : 1'



1 NORTHEAST DECK DEMO ELEVATION
 1/4" : 1'



CHRISTOPHER DAVIS
 KEVIN STEPHENSON
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